

**HISTORIC PRESERVATION COMMISSION
AGENDA
REGULAR MEETING**

August 9, 2018 – 6:30 p.m.

**LEMONT VILLAGE HALL
418 MAIN STREET**

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MINUTES**
- IV. CHAIRMAN'S REPORT**
- V. PUBLIC HEARINGS**
- VI. APPLICATIONS**
 - A.** Certificate of Appropriateness for fence at 215 Cass
 - B.** Certificate of Appropriateness for rehab at 217 Illinois
- VII. NEW BUSINESS**
- VIII. OLD BUSINESS**
- IX. AUDIENCE PARTICIPATION**
- X. ADJOURN**

Application for Certificate of Appropriateness



Lemont Historic Preservation Commission

418 Main Street Lemont, Illinois 60439

phone (630) 257-1595

fax (630) 257-1598

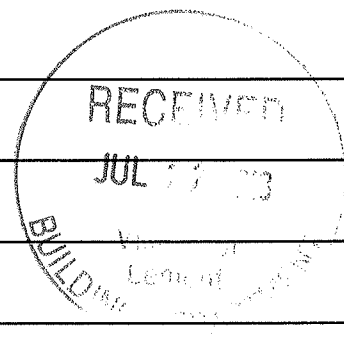
APPLICANT INFORMATION

Applicant's Name Tom Pearson

Applicant's Address 215 Cass

Applicant's Telephone # 630 296 0015

Applicant's E-mail Address n/a



CHECK ONE OF THE FOLLOWING:

- Applicant is the owner of the subject property and is the signer of this application.
- Applicant is the contract purchaser of the subject property.
- Applicant is acting on behalf of the beneficiary of a trust.
- Applicant is a tenant on the subject property.

PROPERTY INFORMATION

Address of Subject Property/Properties 215 Cass

Parcel Identification Number of Subject Property/Properties _____

PROJECT INFORMATION

Proposed Construction, Renovation, Demolition (check all that apply):

- | | |
|---|---|
| Change in height of structure _____ | Change in fenestration (window arrangement) _____ |
| Change in footprint of structure _____ | Replacement of windows, awnings _____ |
| Addition to structure _____ | Replacement of exterior details _____ |
| Change in exterior materials on a structure _____ | Installation or alteration of a fence <input checked="" type="checkbox"/> |
| Change in roofing materials _____ | Construction of new structure _____ |
| Addition of or change to a sign _____ | Demolition of s structure _____ |

Brief Statement of Proposed Work:

New fence in HD - Vinyl

Village of LEMONT

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY

STREET #

DIRECTION

STREET

PIN

LOCAL SIGNIFICANCE RATING

POTENTIAL IND NR? (Y or N)

CRITERIA

Contributing to a NR DISTRICT?

Contributing secondary structure?

Listed on existing SURVEY?



GENERAL INFORMATION

CATEGORY	<input type="text" value="building"/>	CURRENT FUNCTION	<input type="text" value="Domestic - multiple dwelling"/>
CONDITION	<input type="text" value="good"/>	HISTORIC FUNCTION	<input type="text" value="Domestic - single dwelling"/>
INTEGRITY	<input type="text" value="moderate alterations"/>	REASON for SIGNIFICANCE	<input type="text"/>
STOREFRONT INTEGRITY	<input type="text"/>		
SECONDARY STRUCTURE	<input type="text" value="detached garage"/> <input type="text" value="det.garage - C"/>		

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	<input type="text" value="No style"/>	PLAN	<input type="text" value="rectangular"/>
DETAILS	<input type="text"/>	NO OF STORIES	<input type="text" value="2"/>
BEGINYEAR	<input type="text" value="1913"/>	ROOF TYPE	<input type="text" value="Jerkinhead"/>
OTHER YEAR	<input type="text"/>	ROOF MATERIAL	<input type="text" value="Asphalt - shingle"/>
DATESOURCE	<input type="text" value="Village of Lemont"/>	FOUNDATION	<input type="text" value="Parged"/>
WALL MATERIAL (current)	<input type="text" value="Stucco"/>	PORCH	<input type="text"/>
WALL MATERIAL 2 (current)	<input type="text" value="Asbestos"/>	WINDOW MATERIAL	<input type="text" value="wood"/>
WALL MATERIAL (original)	<input type="text" value="Stucco"/>	WINDOW MATERIAL	<input type="text" value="metal"/>
WALL MATERIAL 2 (original)	<input type="text" value="Wood?"/>	WINDOW TYPE	<input type="text" value="double hung; sliding"/>
		WINDOW CONFIG	<input type="text" value="3/1"/>

SIGNIFICANT FEATURES

ALTERATIONS

STOREFRONT
FEATURES

STOREFRONT
ALTERATIONS

HISTORIC INFORMATION

HISTORIC
NAME

COMMON
NAME

PERMIT NO:

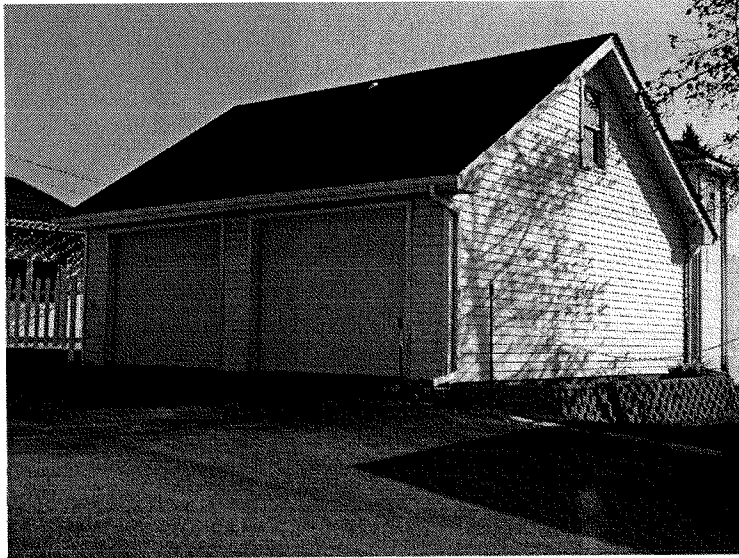
COST

ARCHITECT

ARCHITECT2

BUILDER

ARCHITECT
SOURCE



HISTORIC
INFO

LANDSCAPE

Midblock on north side of residential street between State and Lemont Streets; front sidewalks; similar setbacks on block; alley at rear

PHOTO INFORMATION

ROLL1

FRAMES1

ROLL2

FRAMES2

ROLL3

FRAMES3

DIGITAL
PHOTO ID

\images\cass215.jpg

DIGITAL
PHOTO ID2

\images\cass215a.jpg

SURVEY INFORMATION

PREPARER

JENNIFER KENNY

PREPARER
ORGANIZATION

GRANACKI HISTORIC CONSULTANTS

SURVEYDATE

10/13/2005

SURVEYAREA

LEMONT HISTORIC DISTRICT

PRESERVATION COMMISSION INFO

CERTIFICATE OF APPROPRIATENESS

COA DATE:

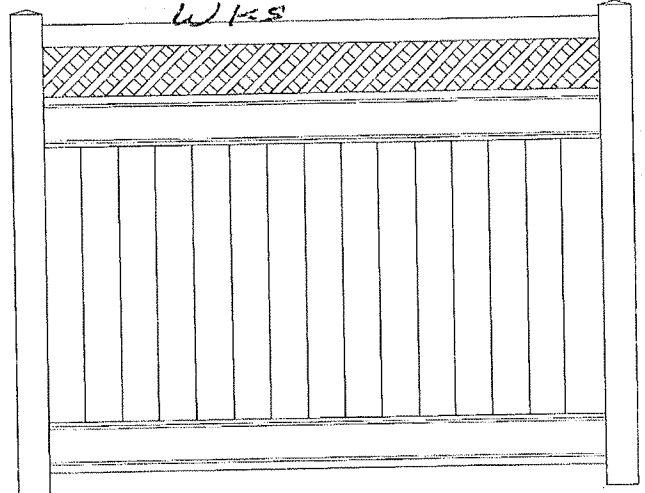
COA NOTES:

Survey will be
Privacy complete in 1 to 1 1/2
wks

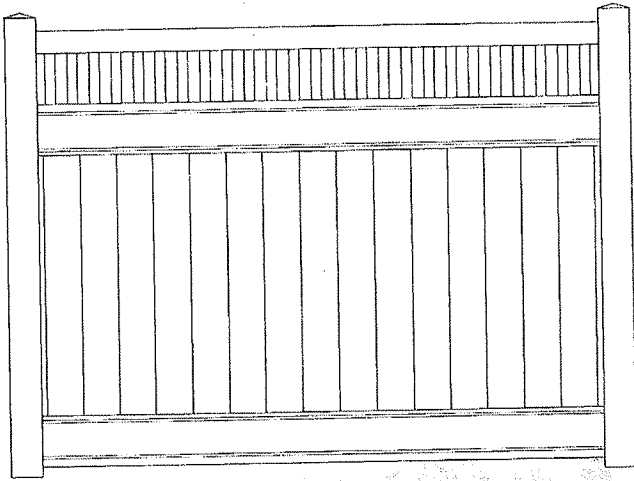
RE: SURVEY PEOPLE

708 645 7136

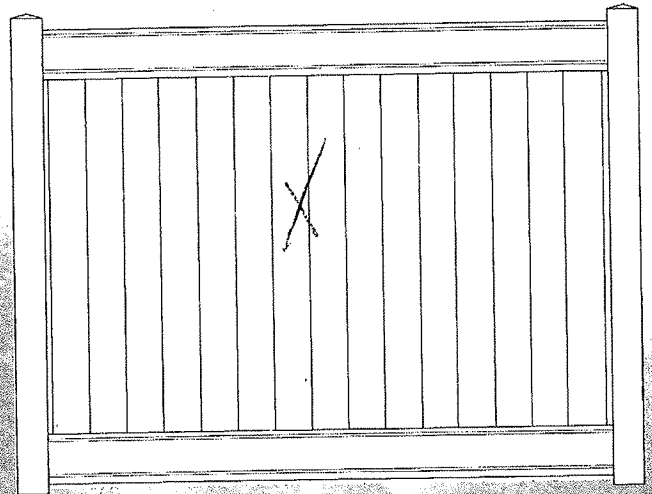
~~# 2630 939 0767~~



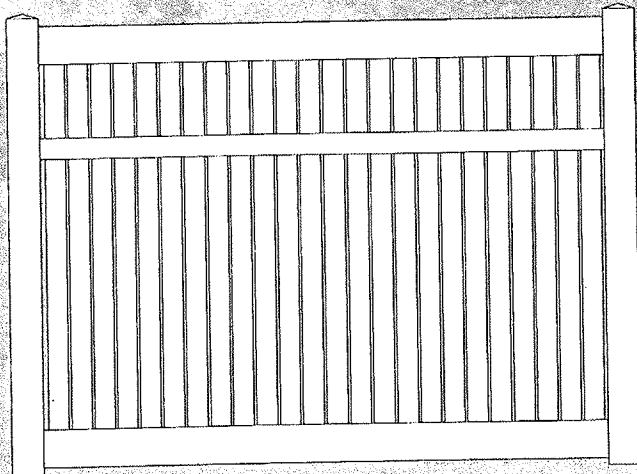
Belmont Lattice Top



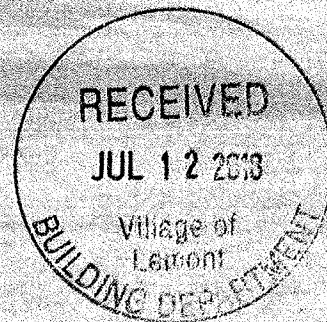
Belmont Spindle Top



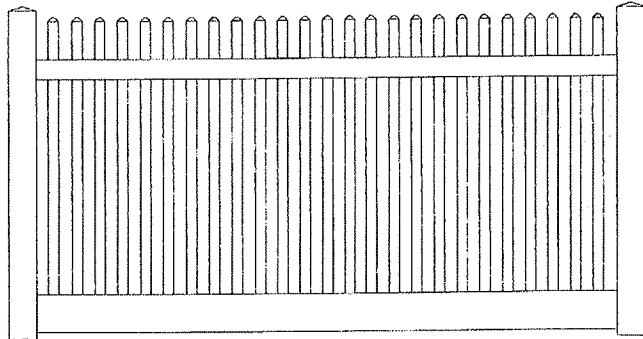
Belmont



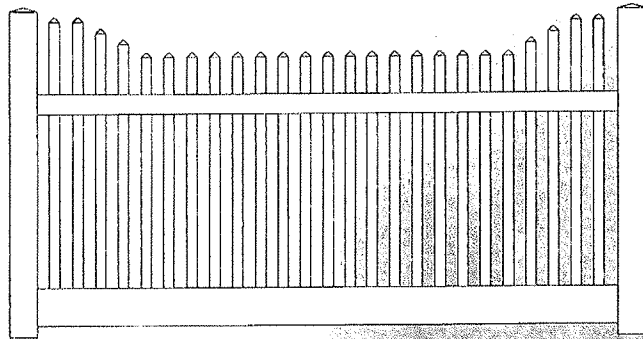
Sheffield



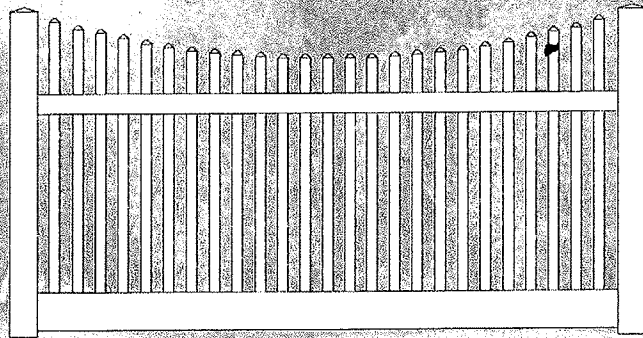
Spaced



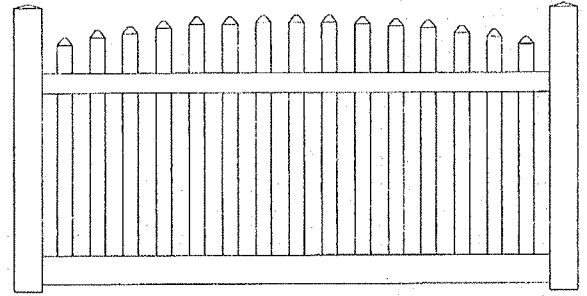
Madison Flat Top



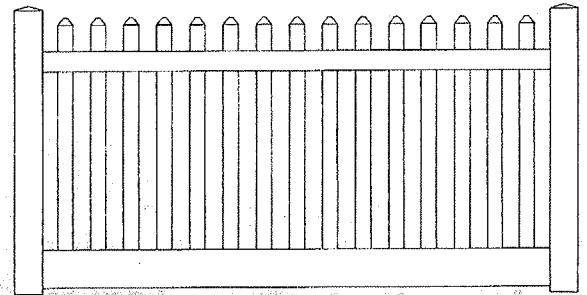
Madison Stepped



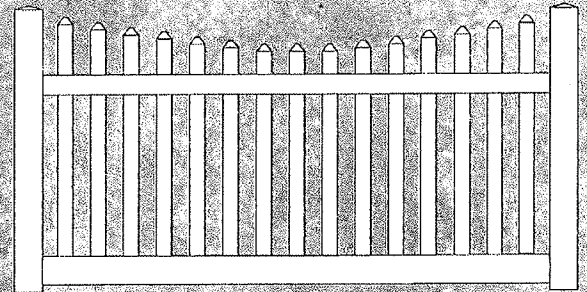
Madison Scallop



Bridgeport Arch

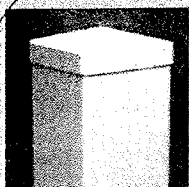


Bridgeport Flat Top

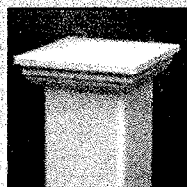


Bridgeport Scallop

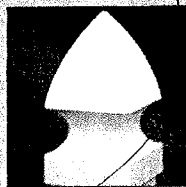
Post Tops



External Flat



New England

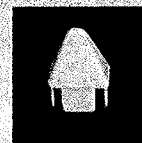


Gothic

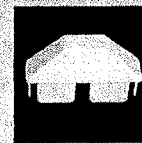
Picket Caps



Sharp Wide



Sharp Narrow



Dog Ear



Diamond

Village of LEMONT

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY

STREET #

DIRECTION

STREET

PIN

LOCAL SIGNIFICANCE RATING

POTENTIAL IND NR? (Y or N)

CRITERIA

Contributing to a NR DISTRICT?

Contributing secondary structure?

Listed on existing SURVEY?



GENERAL INFORMATION

CATEGORY	<input type="text" value="building"/>	CURRENT FUNCTION	<input type="text" value="Domestic - multiple dwelling"/>
CONDITION	<input type="text" value="fair"/>	HISTORIC FUNCTION	<input type="text" value="Domestic - single dwelling"/>
INTEGRITY	<input type="text" value="minor alterations and addition(s)"/>	REASON for SIGNIFICANCE	<input type="text" value="Rare vernacular, urban type I-house, unfortunately with aluminum siding and replacement windows."/>
STOREFRONT INTEGRITY	<input type="text"/>		
SECONDARY STRUCTURE	<input type="text"/>		

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	<input type="text" value="I-House"/>	PLAN	<input type="text" value="rectangular"/>
DETAILS	<input type="text"/>	NO OF STORIES	<input type="text" value="2"/>
BEGINYEAR	<input type="text" value="1880"/>	ROOF TYPE	<input type="text" value="Hipped"/>
OTHER YEAR	<input type="text"/>	ROOF MATERIAL	<input type="text" value="Asphalt - shingle"/>
DATESOURCE	<input type="text" value="Village of Lemont database"/>	FOUNDATION	<input type="text" value="Stone"/>
WALL MATERIAL (current)	<input type="text" value="Aluminum"/>	PORCH	<input type="text" value="-"/>
WALL MATERIAL 2 (current)	<input type="text"/>	WINDOW MATERIAL	<input type="text" value="metal"/>
WALL MATERIAL (original)	<input type="text" value="Wood"/>	WINDOW MATERIAL	<input type="text"/>
WALL MATERIAL 2 (original)	<input type="text"/>	WINDOW TYPE	<input type="text" value="double hung"/>
		WINDOW CONFIG	<input type="text" value="1/1"/>

SIGNIFICANT FEATURES

ALTERATIONS

STOREFRONT
FEATURES

STOREFRONT
ALTERATIONS

HISTORIC INFORMATION

HISTORIC NAME	
COMMON NAME	
PERMIT NO:	
COST	
ARCHITECT	
ARCHITECT2	
BUILDER	
ARCHITECT SOURCE	

HISTORIC
INFO

LANDSCAPE

At top of ridge, lot significantly drops to rear (north); on north side of Illinois between Lemont and State Street; sidewalk at front; telephone pole at front; built to lot line

PHOTO INFORMATION

ROLL1	
FRAMES1	
ROLL2	
FRAMES2	
ROLL3	
FRAMES3	
DIGITAL PHOTO ID	images\illinois213.jpg
DIGITAL PHOTO ID2	

SURVEY INFORMATION

PREPARER	JENNIFER KENNY
PREPARER ORGANIZATION	GRANACKI HISTORIC CONSULTANTS
SURVEYDATE	10/4/2005
SURVEYAREA	LEMONT HISTORIC DISTRICT

PRESERVATION COMMISSION INFO

CERTIFICATE OF APPROPRIATENESS

COA DATE:

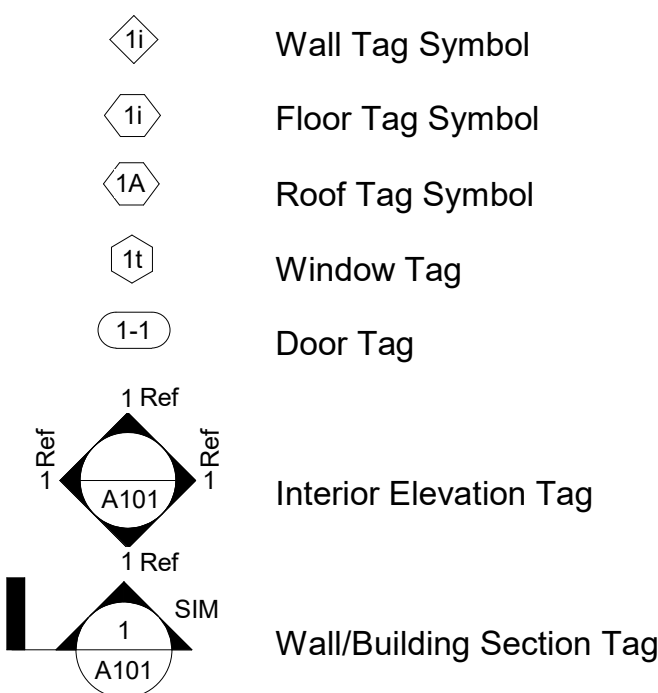
COA NOTES:

Codes

The following codes that are to be strictly complied with:
2006 International Building Code (Industrial, Commercial & Multi-Family)
2006 International Residential Code (One-Family and Two-Family Dwellings)
2006 International Property Maintenance Code
2005 National Electric Code (NFPA 70-2005)
2014 Illinois Plumbing Code
2006 International Mechanical Code
2006 International Fuel Gas Code
2015 Illinois (International) Energy Conservation Code
2006 International Fire Code (Industrial, Commercial & Multi-Family)

All contractors shall be responsible for compliance with state and local building codes and inspection procedures without recourse to owner or architect. General contractor shall obtain and pay for all permits fees, licenses etc. as required by the local authorities and shall be responsible that all subcontractors likewise pay for all subsequent permits, fees, licenses, etc.

Symbol Legend

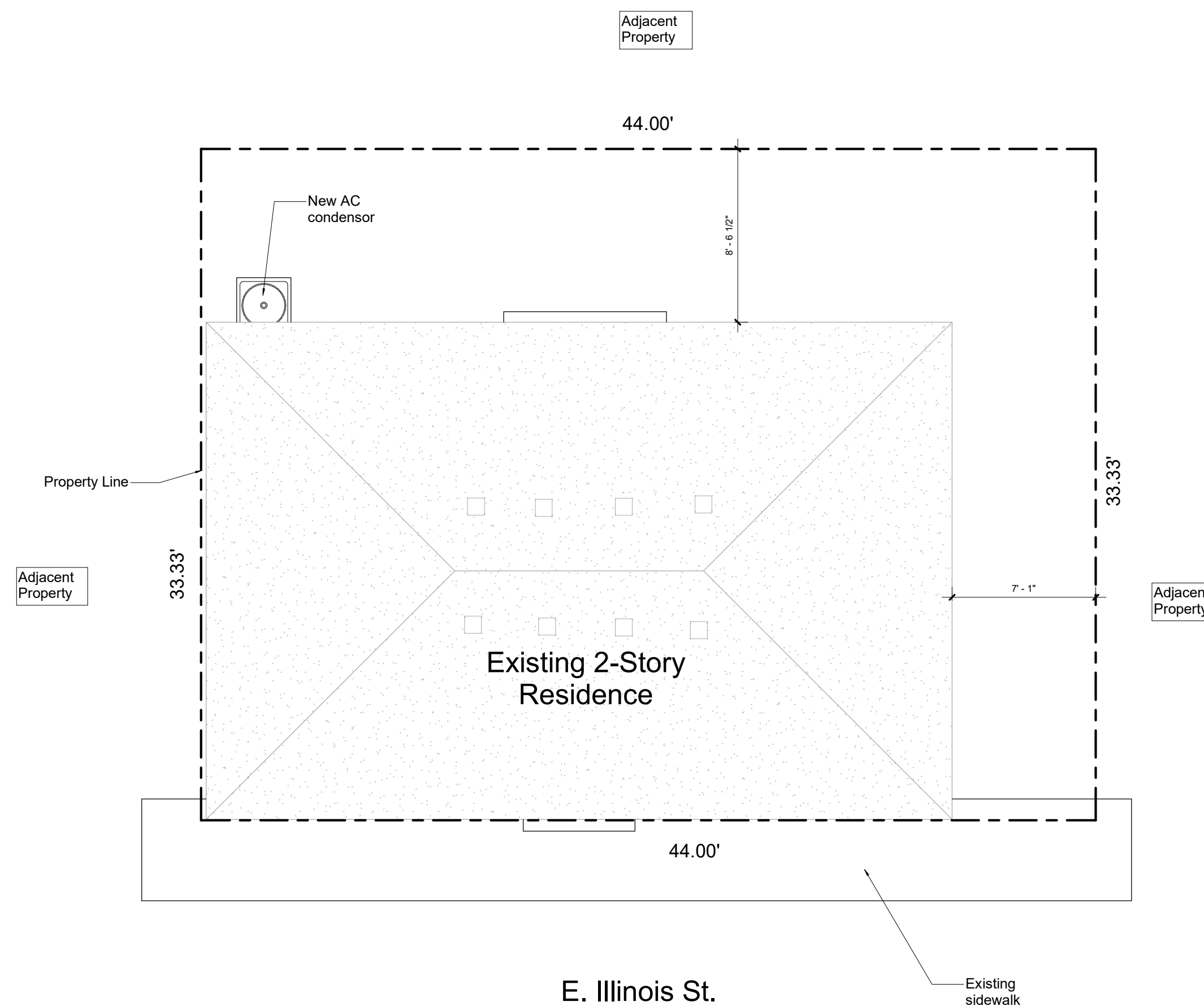


Abbreviations

AFF	Above Finished Floor	MAT	Material
ALUM	Aluminum	MAX	Maximum
BD	Board	MC	Medicine Cabinet
BM	Beam	MECH	Mechanical
B/	Bottom of	MFR	Manufacturer
CAB	Cabinet	MTL	Metal
CL	Center Line	MIN	Minimum
CLR	Clear	MO	Masonry Opening
CONC	Concrete	NIC	Not in Contract
CONST	Construction	NTS	Not to Scale
CONT	Continuous	OC	On Center
CLOS	Closet	P LAM	Plastic Laminate
CMU	Concrete Masonry Unit	PNL	Panel
CPT	Carpet	PNT	Paint
CT	Ceramic Tile	R	Riser
DET	Detail	REF	Refrigerator
DIA	Diameter	REIN	Reinforced
DN	Down	REQD	Required
DW	Dishwasher	RO	Rough Opening
DWG	Drawing	SC	Solid Core
DS	Downspout	SF	Square Foot
EXG	Existing	SPECS	Specifications
FD	Floor Drain	SS	Stainless Steel
FDN	Foundation	T/	Top of
FLR	Floor	T	Tread
FPHB	Frost Proof Hose Bid	TEL	Telephone
GL	Glass	TYP	Typical
GWB	Gypsum Wall Board	UNO	Unless Noted Otherwise
HC	Hollow Core	VCT	Vinyl Composition Tile
HDWR	Hardware	VIF	Verify in Field
HP	High Point	WC	Water Closet
INT	Interior	WD	Wood
LAV	Lavatory	WP	Water Proof
LP	Low Point		

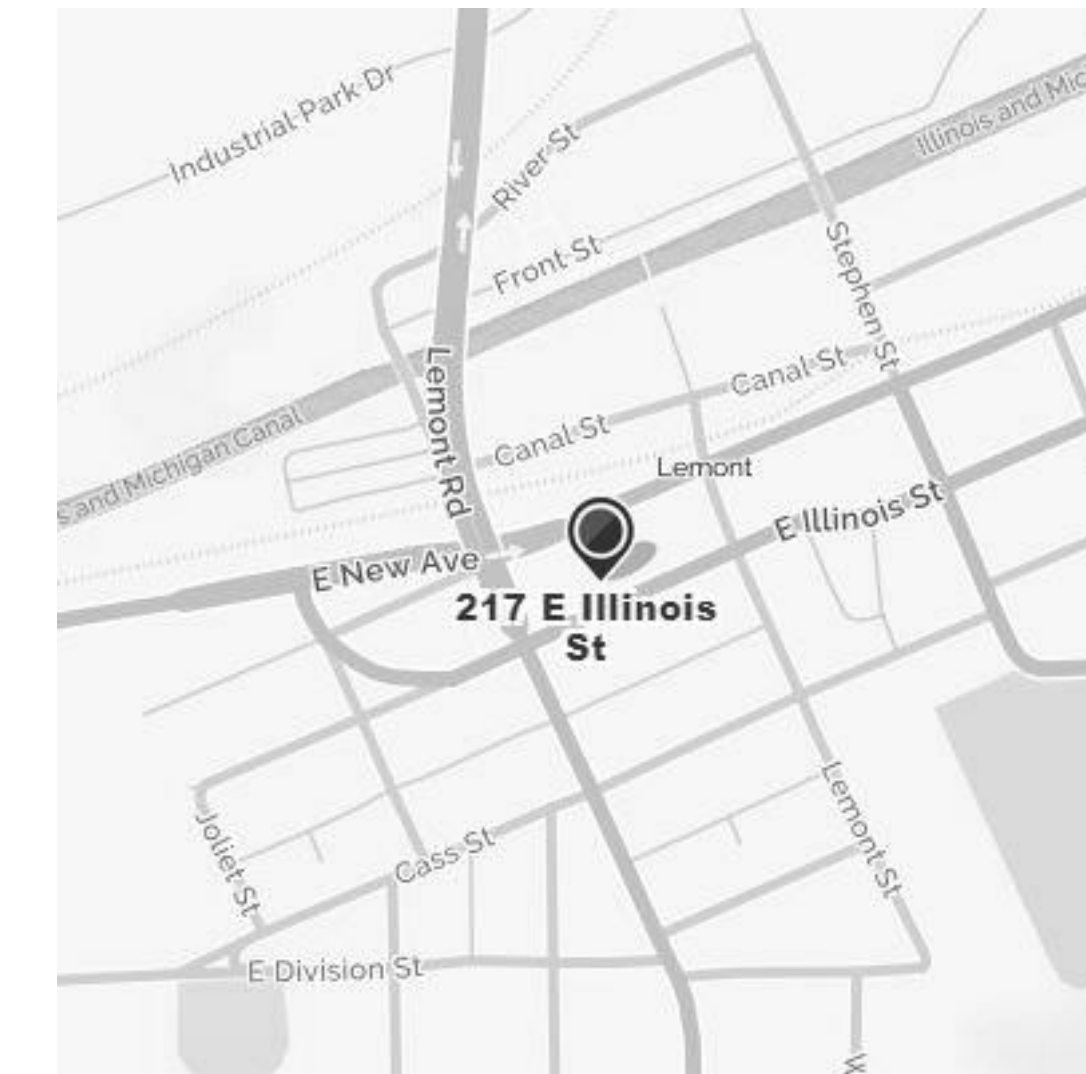


① Perspective View



② Site Plan
3/16" = 1'-0"

Map



COPYRIGHT. The Architect shall retain all copyrights, statutory and common law right with regard to the plans and design content. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of the Architect.

LIMITATIONS OF WARRANTY. The Architect and his Consultants do not warrant or guarantee the accuracy and completeness of the work product therein beyond a reasonable diligence. If mistakes, omissions or discrepancies are found to exist within the work product, the Architect shall be promptly notified so that he may have the opportunity to take whatever steps necessary to resolve them. Failure to promptly notify the Architect of such conditions shall absolve the Architect from any responsibility for the consequences of such failure. Actions taken without the knowledge and consent of the Architect, or in contradiction to the Architect's work product or recommendation, shall become the responsibility not of the Architect, but of such parties responsible for taking such actions.

Owner:
 Amir Bashir
 681 W. Briarcliff Road
 Bolingbrook, IL 60440

Architect:
 Dan Hodgson
 520 Alexandria Dr.
 Naperville, IL 60565
 dlhodgson75@gmail.com
 312-656-0808

Scope of Work

Renovation of an existing 2-story, single family residence. Work includes new interior layout and finishes, electrical, ventilation, refrigeration, and plumbing systems.

Drawing Index

A0.1	Cover Page & Site Plan
A0.2	General Notes
A0.3	Existing Floor Plans & Elevations
A2.1	Floor Plans and Schedules
A2.2	Floor Plans and Schedules
A3.1	Exterior Elevations
A4.1	Building & Wall Sections
E2.1	Electrical Plans and Details
M2.1	Mechanical Plans and Schedules
M2.2	Mechanical Floor Plans
P2.1	Plumbing Riser Diagram and Schedules
S2.1	Framing Plans

Revision Schedule		
#	Revision Description	Date
1	Permit Revisions	10/20/17
2	Permit Revisions	7/24/18

CERTIFICATIONS OF DRAWINGS
 I hereby certify that these plans were prepared under my direction and to the best of my knowledge conform to the Local Ordinances.

Residential Renovation @ 217 E. Illinois St. Lemont, IL 60439

Daniel L. Hodgson AIA
 Illinois License No. 001-019313
 Expires on: 30 November, 2017

Project Name: Residential Renovation & Addition
 Location: 217 E. Illinois St. Lemont, IL 60439

Dwg Title: Cover Page & Site Plan

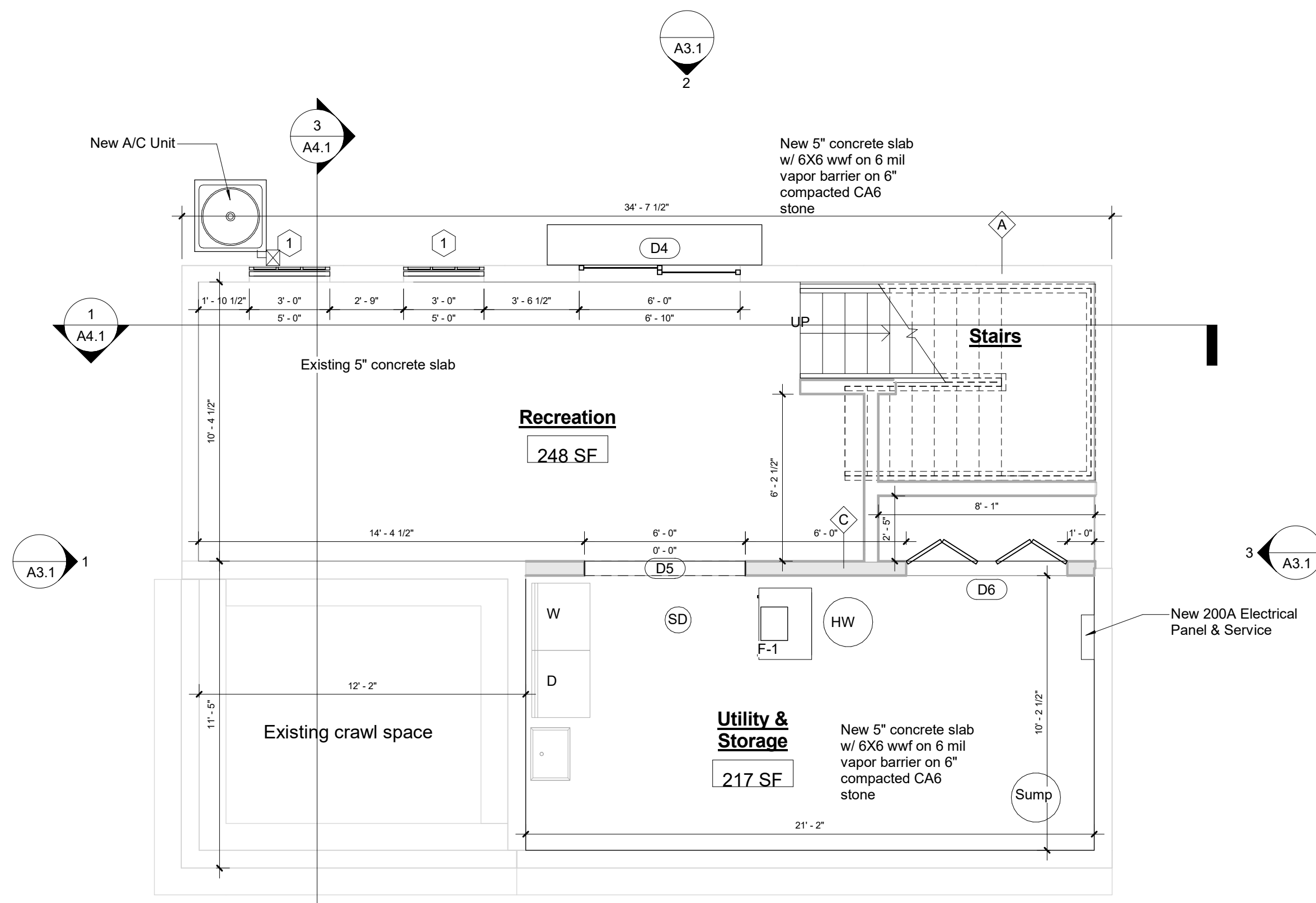
Dwg No.: A0.1

Issued For: Issued for Permit
 Job No.:
 Scale: As indicated
 Drawn by: DLH
 Date: 2017 08 30

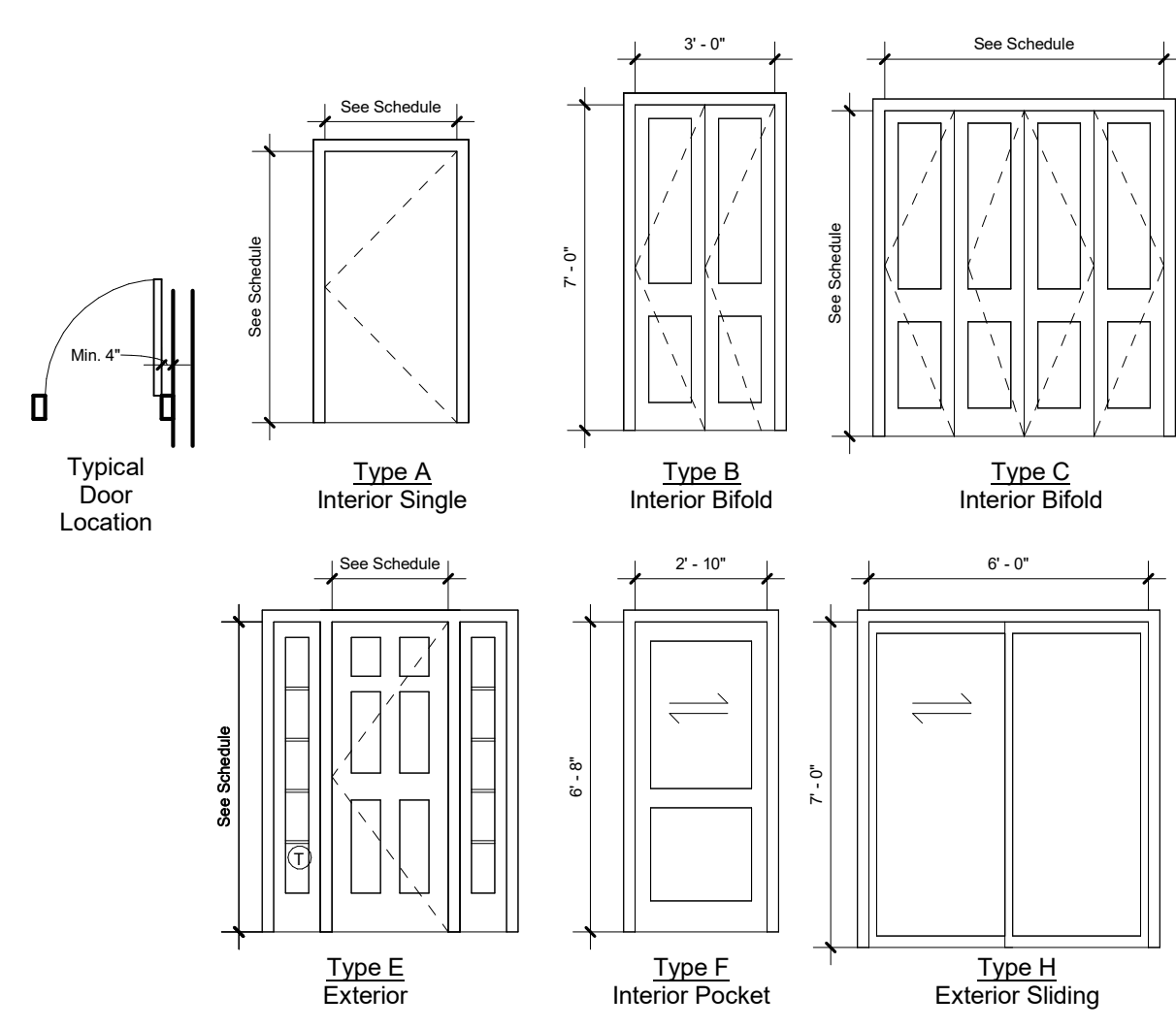
Issued for Permit - 2017 08 30

Door Schedule									
Count	Mark	Type Mark	Type	Height	Width	Family	From Room Name	To Room Name	
1	D1	51	36" x 80"	6' - 8"	3' - 0"	Single-Panel 1		Family Room	
1	D2	A	32" x 80"	6' - 8"	2' - 8"	Single-Flush	Family Room	Toilet #1	
1	D3	A	34" x 80"	6' - 8"	2' - 10"	Single-Flush	Family Room	Bedroom #1	
1	D4	H	72" x 82"	6' - 10"	6' - 0"	Sliding-2 panel	Recreation		
1	D5		72" x 84"	0' - 0"	0' - 0"	Door-Opening	Utility & Storage	Recreation	
1	D6	C	72" x 80"	6' - 8"	6' - 0"	Bifold-4 Panel	Utility & Storage	Closet	
1	D7		96" x 84"	0' - 0"	0' - 0"	Door-Opening	Stair		
1	D8		72" x 84"	0' - 0"	0' - 0"	Door-Opening		Den	
1	D9	C	60" x 84"	7' - 0"	5' - 0"	Bifold-4 Panel	Closet	Bedroom #2	
1	D10	A	32" x 80"	6' - 8"	2' - 8"	Single-Flush	Hallway	Bedroom #2	
1	D11	A	32" x 80"	6' - 8"	2' - 8"	Single-Flush	Master Bedroom	Hallway	
1	D12	A	32" x 80"	6' - 8"	2' - 8"	Single-Flush	Hallway	Toilet #2	
1	D13		108" x 84"	0' - 0"	0' - 0"	Door-Opening	Den	Hallway	
1	D14	C	60" x 84"	7' - 0"	5' - 0"	Bifold-4 Panel	Closet	Master Bedroom	
1	D15	B	30" x 80"	6' - 8"	2' - 6"	Bifold-2 Panel	Toilet #2		
1	D16	B	30" x 80"	6' - 8"	2' - 6"	Bifold-2 Panel		Bedroom #1	
1	D17		48" x 84"	0' - 0"	0' - 0"	Door-Opening	Stairs	Living Room	

17

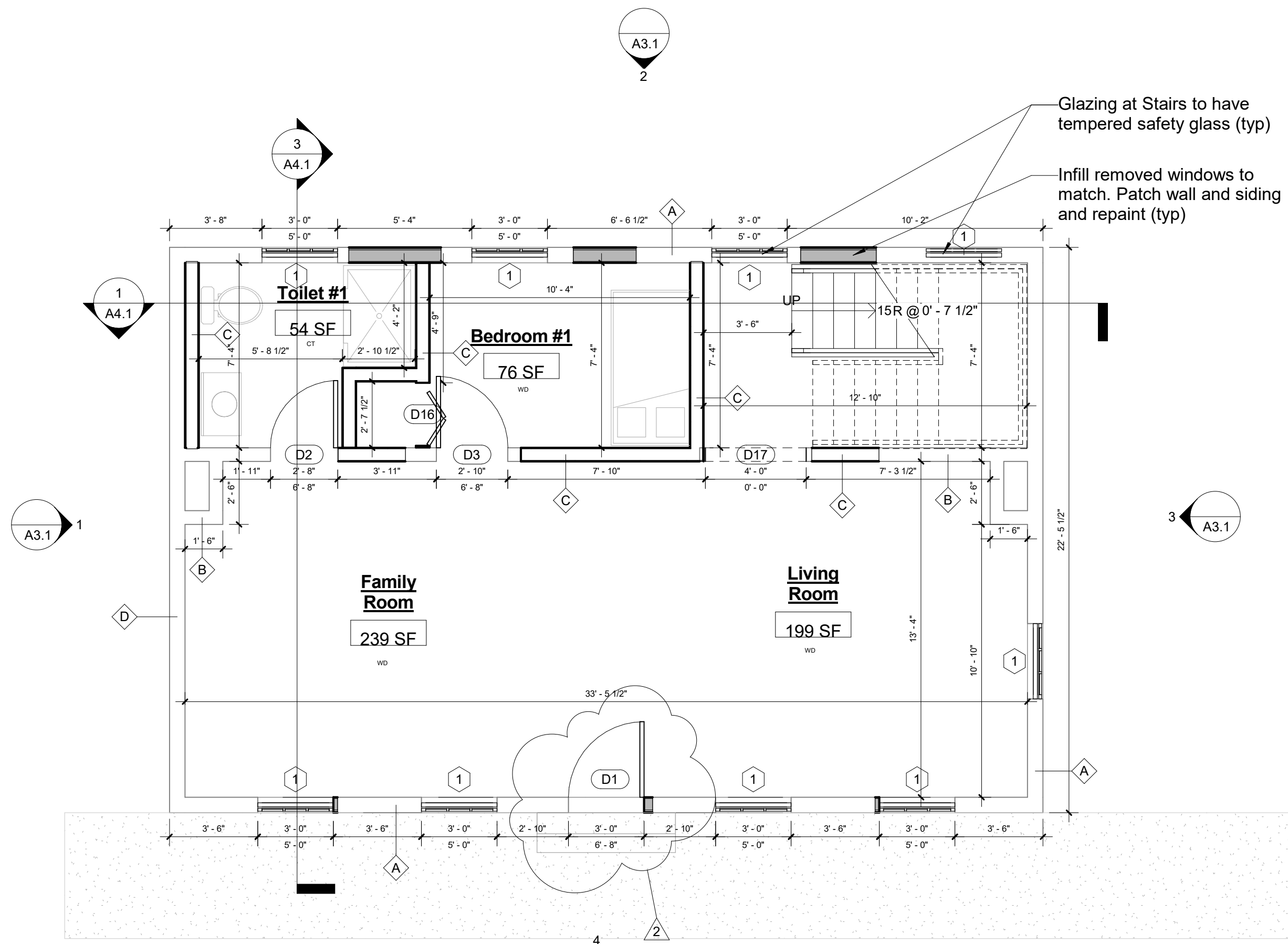


1 Basement Plan
1/4" = 1'-0"



Door Types
1/4" = 1'-0"

- Door Schedule Notes:
- Contractor to verify size of all doors prior to ordering.
 - All new interior doors to be solid core wood doors.
 - All glazing to be tempered glass.
 - All exterior doors and egress doors are to be easily operable from the egress side, without the use of a key or any special knowledge.
 - All new exterior doors to be 1-3/4" Thick.
 - All new hardware to be selected by Owner then furnished and installed by Contractor.
 - All exterior doors to have weather stripping.
 - All exterior doors are to be re keyed after construction is substantially complete. Coordinate keying with owner.



2 1st Floor Plan
1/4" = 1'-0"

COPYRIGHT. The Architect shall retain all copyrights, statutory and common law right with regard to the plans and design content. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of the Architect.

LIMITATIONS OF WARRANTY. The Architect and his Consultants do not warrant or guarantee the accuracy and completeness of the work product therein beyond a reasonable diligence. If mistakes, omissions or discrepancies are found to exist within the work product, the Architect shall be promptly notified so that he may have the opportunity to take whatever steps necessary to resolve them. Failure to promptly notify the Architect of such conditions shall absolve the Architect from any responsibility for the consequences of such failure. Actions taken without the knowledge and consent of the Architect, or in contradiction to the Architect's work product or recommendation, shall become the responsibility not of the Architect, but of such parties responsible for taking such actions.

Owner:
Amir Bashir
681 W. Briarcliff Road
Bolingbrook, IL 60440

Architect:
Dan Hodgson
520 Alexandria Dr.
Naperville, IL 60565
dlhodgson75@gmail.com
312-656-0808

Revision Schedule		
#	Revision Description	Date
1	Permit Revisions	10/20/17
2	Permit Revisions	7/24/18

CERTIFICATIONS OF DRAWINGS
I hereby certify that these plans were prepared under my direction and to the best of my knowledge conform to the Local Ordinances.

Daniel L. Hodgson AIA
Illinois License No. 001-019313
Expires on: 30 November, 2017
Project Name: Residential Renovation & Addition
Location: 217 E. Illinois St. Lemont, IL 60439
Dwg Title: Floor Plans and Schedules
Dwg No.: A2.1
Issued For: Job No. Scale: 1/4" = 1'-0"
Drawn by: DLH
Date: 2017 08 30

Light and Vent Schedule								
Room Name	Area	%	Natural Light		Natural Ventilation		Remarks	
			Required (sf)	Actual (sf)	%	Required (sf)		Actual (sf)
FIRST FLOOR								
Living Room	199	8%	15.92	28.5	4%	7.96	16.5	
Family Room	239	8%	19.12	19	4%	9.56	11	
Bedroom #1	76	8%	6.08	9.5	4%	3.04		
2ND FLOOR								
Kitchen	85	N/A	N/A	6.24	N/A	N/A	3.8	400 CFM Exhaust Fan
Den	153	8%	12.24	19	4%	6.12	5.5	
Bedroom #2	91	8%	7.28	9.5	4%	3.64	5.5	
Master...	135	8%	10.8	19	4%	5.4	11	

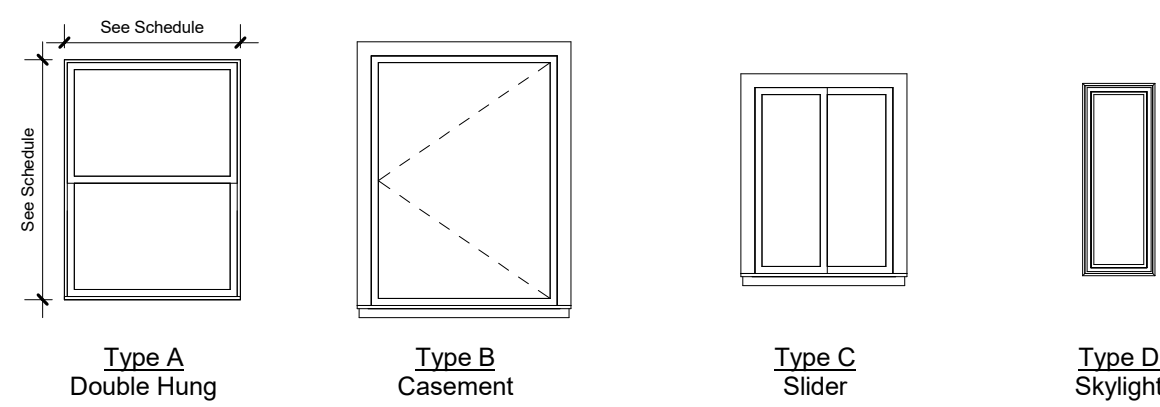
Window Schedule						
Count	Mark	Type Mark	Type	Height	Width	Family
23		1			3' - 0"	
1	C	2	36" x 36"	3' - 0"	3' - 0"	Slider with Trim
1	M	10	36" x 12"	1' - 0"	3' - 0"	Casement with Trim

Emergency Egress Openings

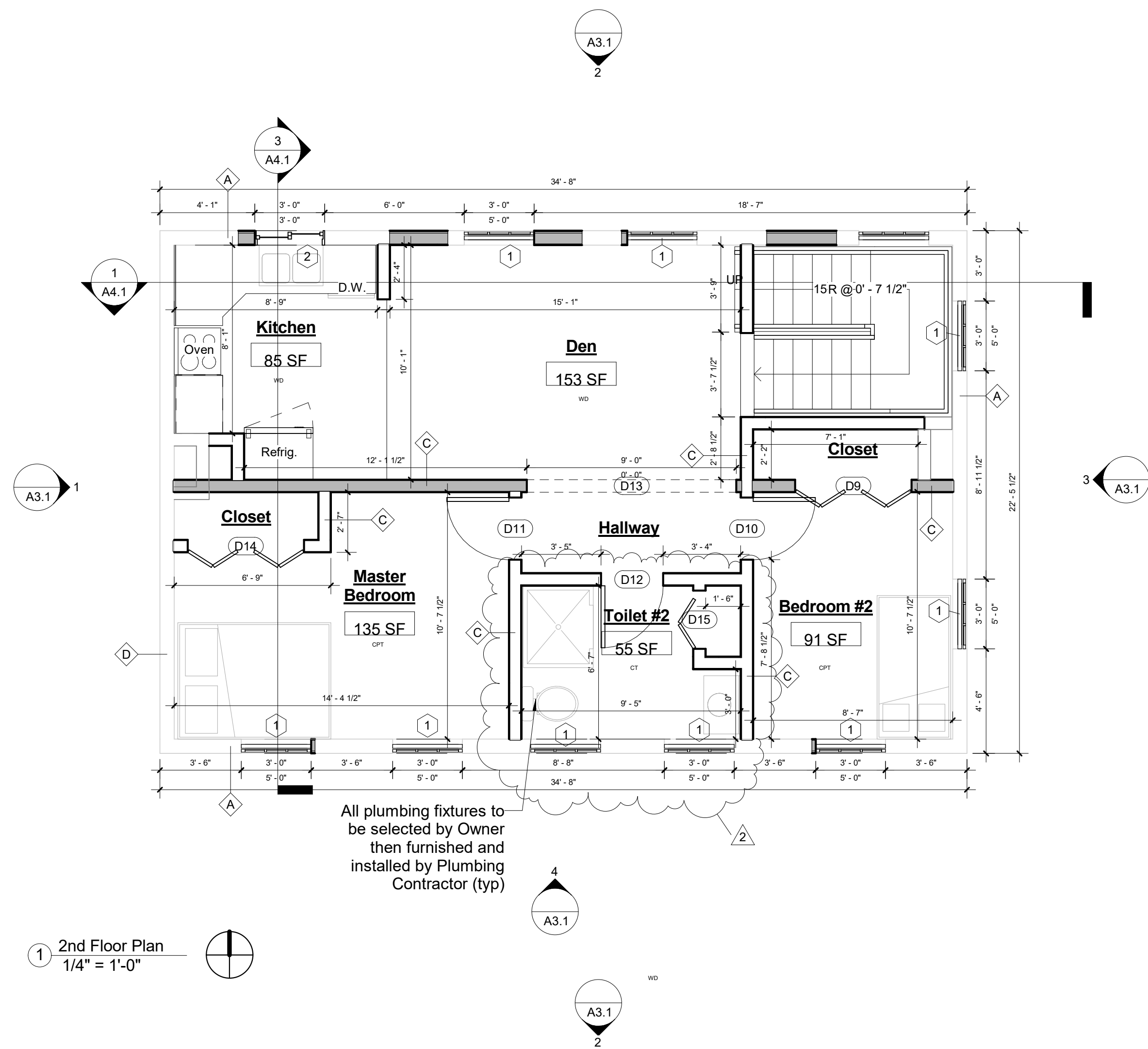
Every sleeping room shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside to a full clear opening without the use of separate tools. Where windows are provided as a means of egress or rescue they shall have a sill height of not more than 44" above the floor. All egress or rescue windows from sleeping rooms must have a minimum clear opening of 5.7 SF, with a minimum net clear opening height dimension of 24" and a minimum net clear opening width of 20". A grade floor window may have a net clear opening of 5 SF.

Window Clearance Requirements

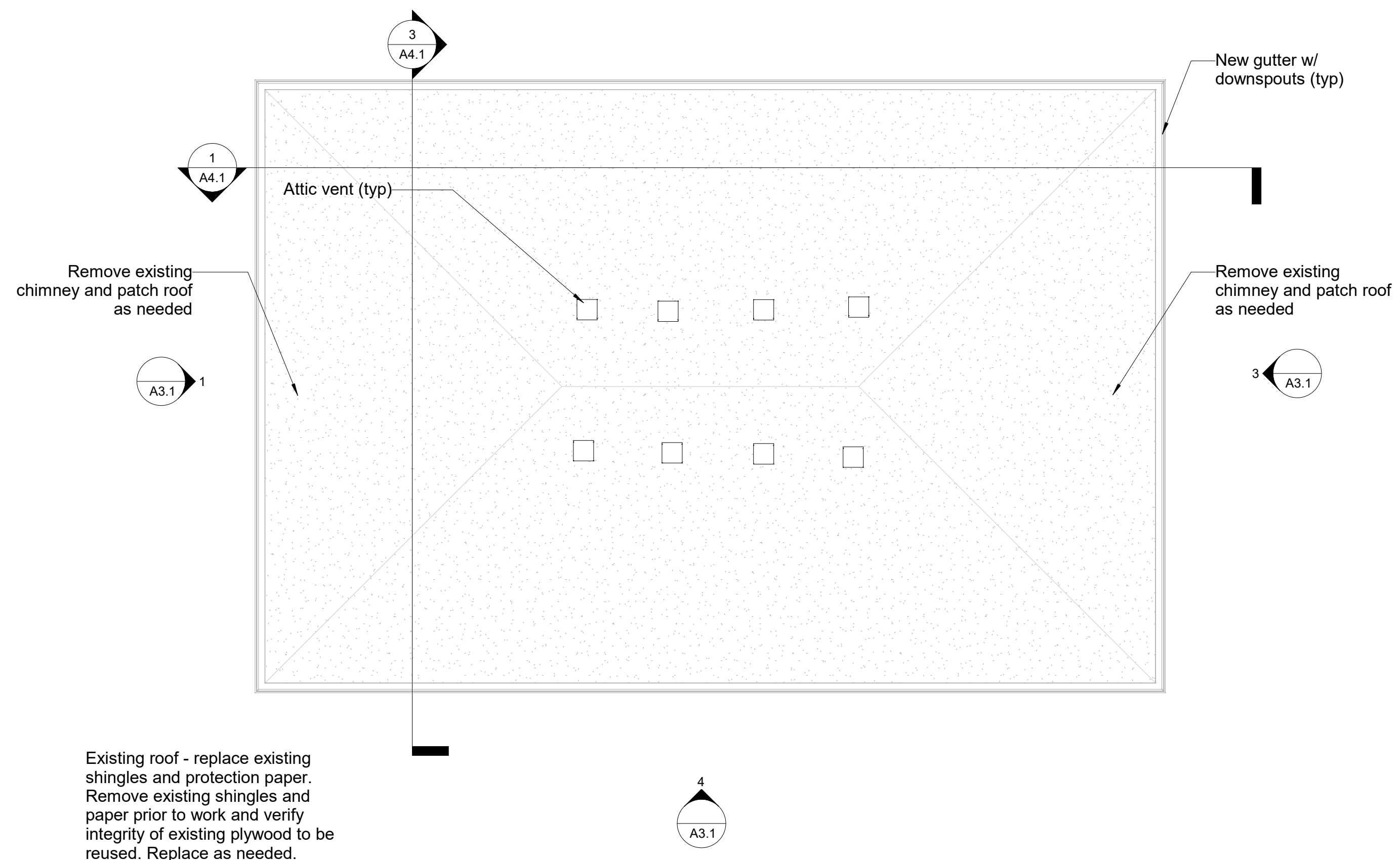
Window openings greater than 6'-0" above the grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24" above the finished floor of the room in which the window is located.



Window Types
1/4" = 1'-0"



2nd Floor Plan
1/4" = 1'-0"



Roof Plan
1/4" = 1'-0"

COPYRIGHT. The Architect shall retain all copyrights, statutory and common law right with regard to the plans and design content. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of the Architect.

LIMITATIONS OF WARRANTY. The Architect and his Consultants do not warrant or guarantee the accuracy and completeness of the work product therein beyond a reasonable diligence. If mistakes, omissions or discrepancies are found to exist within the work product, the Architect shall be promptly notified so that he may have the opportunity to take whatever steps necessary to resolve them. Failure to promptly notify the Architect of such conditions shall absolve the Architect from any responsibility for the consequences of such failure. Actions taken without the knowledge and consent of the Architect, or in contradiction to the Architect's work product or recommendation, shall become the responsibility not of the Architect, but of such parties responsible for taking such actions.

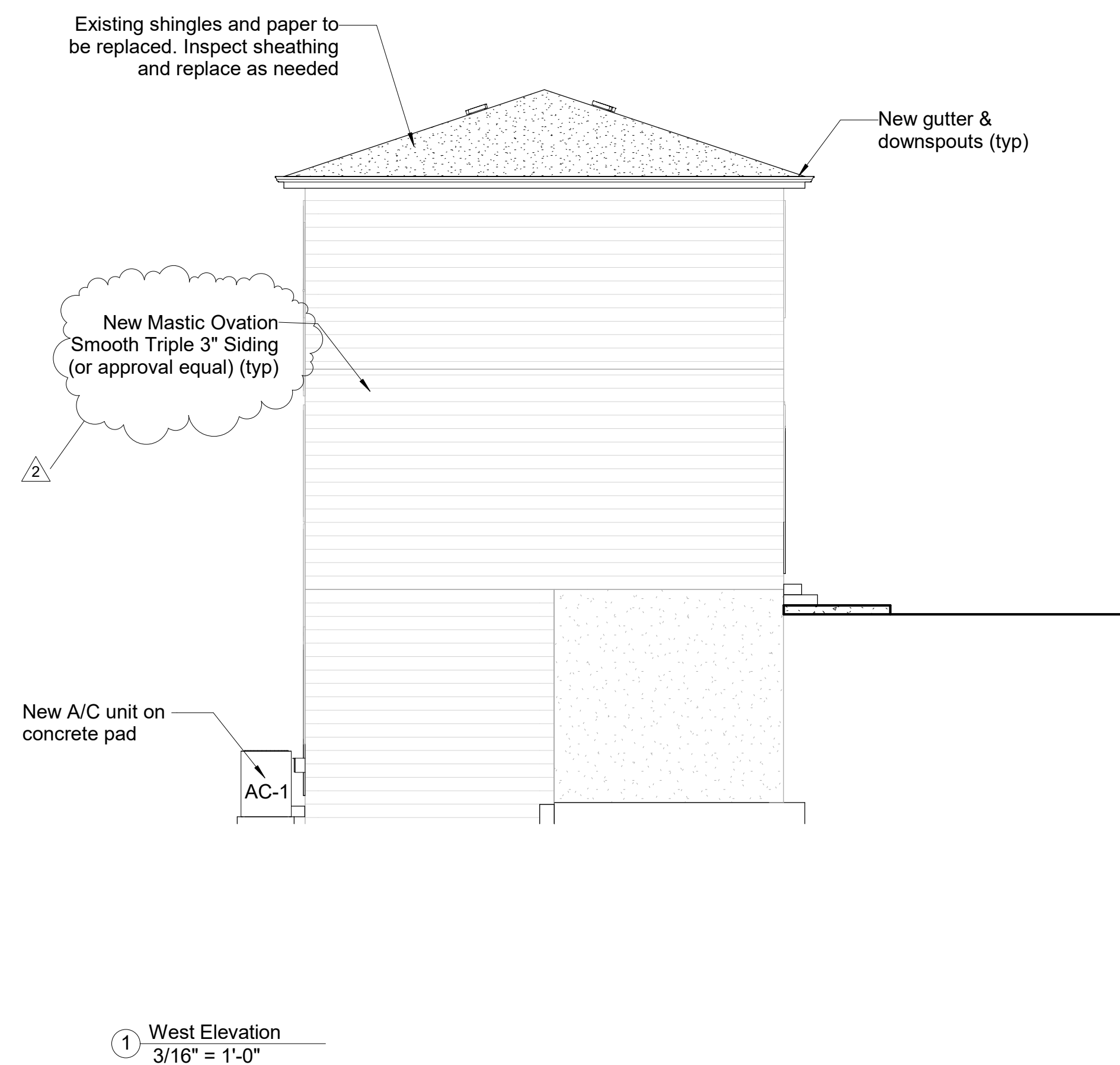
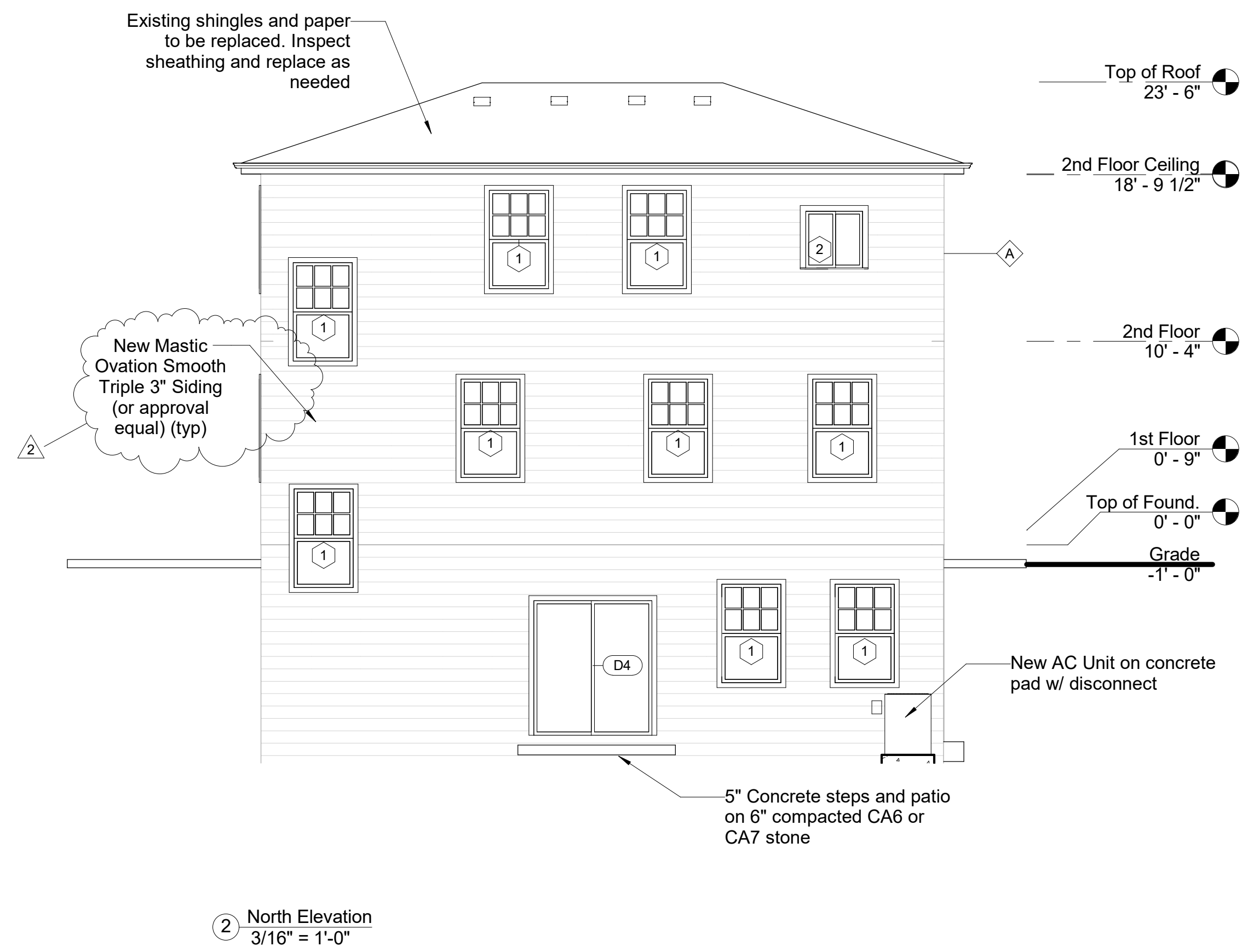
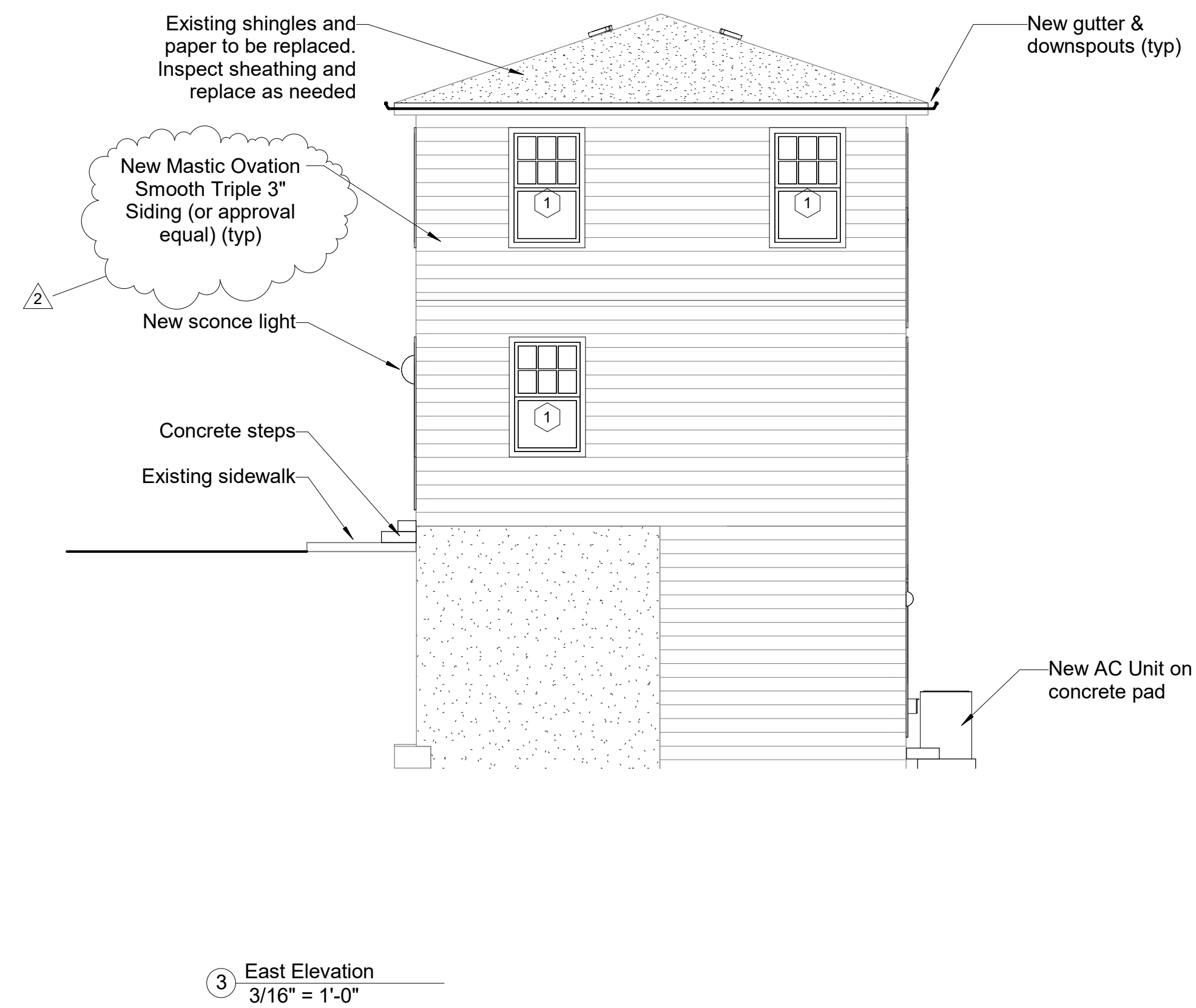
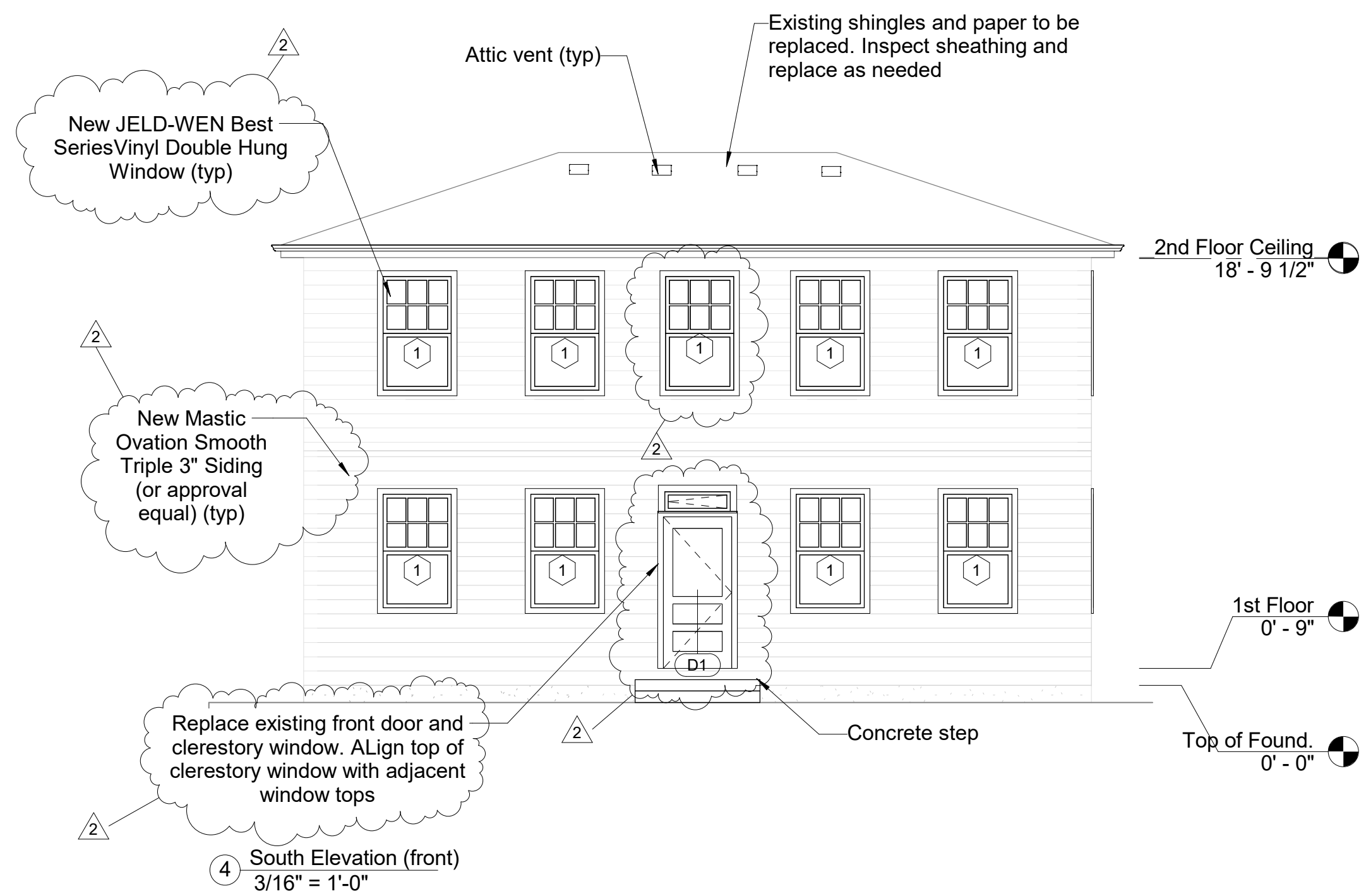
Owner:
Amir Bashir
681 W. Briarcliff Road
Bolingbrook, IL 60440

Architect:
Dan Hodgson
520 Alexandria Dr.
Naperville, IL 60565
dlhodgson75@gmail.com
312-656-0808

Revision Schedule		
#	Revision Description	Date
1	Permit Revisions	10/20/17
2	Permit Revisions	7/24/18

CERTIFICATIONS OF DRAWINGS
I hereby certify that these plans were prepared under my direction and to the best of my knowledge conform to the Local Ordinances.

Daniel L. Hodgson AIA
Illinois License No. 001-019313
Expires on: 30 November, 2017
Project Name: Residential Renovation & Addition
Location: 217 E. Illinois St. Lemont, IL 60439
Dwg Title: Floor Plans and Schedules
Dwg No.: A2.2
Issued For: Issued for Permit
Job No.:
Scale: 1/4" = 1'-0"
Drawn by: DLH
Date: 2017 08 30



COPYRIGHT. The Architect shall retain all copyrights, statutory and common law right with regard to the plans and design content. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of the Architect.

LIMITATIONS OF WARRANTY. The Architect and his Consultants do not warrant or guarantee the accuracy and completeness of the work product therein beyond a reasonable diligence. If mistakes, omissions or discrepancies are found to exist within the work product, the Architect shall be promptly notified so that he may have the opportunity to take whatever steps necessary to resolve them. Failure to promptly notify the Architect of such conditions shall absolve the Architect from any responsibility for the consequences of such failure. Actions taken without the knowledge and consent of the Architect, or in contradiction to the Architect's work product or recommendation, shall become the responsibility not of the Architect, but of such parties responsible for taking such actions.

Owner:
Amir Bashir
681 W. Briarcliff Road
Bolingbrook, IL 60440

Architect:
Dan Hodgson
520 Alexandria Dr.
Naperville, IL 60565
dlhodgson75@gmail.com
312-656-0808

Revision Schedule		
#	Revision Description	Date
2	Permit Revisions	7/24/18

CERTIFICATIONS OF DRAWINGS
I hereby certify that these plans were prepared under my direction and to the best of my knowledge conform to the Local Ordinances.

Daniel L. Hodgson AIA
Illinois License No. 001-019313
Expires on: 30 November, 2017

Project Name: Residential Renovation & Addition
Location: 217 E. Illinois St. Lemont, IL 60439

Dwg Title: Exterior Elevations
Dwg No.:

Issued For: Issued for Permit
Job No.:
Scale: 3/16" = 1'-0"
Drawn by: DLH
Date: 2017 08 30

A3.1



RECOMMENDED

**JELD-WEN® Best Series 36"W x 60-1/2"H Vinyl Double Hung Window - White/White****Product Specifications:****Variation:** White Exterior/White Interior**Dimensions:** Fits Rough Opening Size

36" W x 60-1/2" H

Model Number: JW1792-00251**Menard SKU:** 4045764**Product Type:** Double Hung**Collection:** Best Series**Material:** Vinyl**Rough Opening Dimensions:** 36" W x

60-1/2" H inches

Frame Width: 36-1/2 inches**Frame Height:** 60 inches**Frame Depth:** 3-5/8 inches**Interior Color:** White**Exterior Color:** White**Hardware Finish:** White**Hardware Type:** Cam-Lock and Self-

Adjusting Balance

Screen Material: Fiberglass Mesh**Screen Color:** Gray**Grid Pattern:** Colonial**Mounting Method:** With Nailing Flange

(New Construction)

U-Value: 0.3**Visible Light VT Rating:** 0.44**Solar Heat Gain Coefficient:** 0.19**Air Leakage (AL) Rating:** 0.1 CFM**Manufacturer Warranty:** Lifetime

Limited, Accidental Glass Breakage

Warranty, Skilled Labor Coverage - 2

years

Meets IRC for Egress: Yes**Online Availability****Ship to Home**

Not eligible for Ship to Home

Deliver from Store

Contact a store for delivery options

Ship to Store - Free!

Online Price

\$ 209⁰⁰ each**Store Availability****Product Description**

JELD-WEN® vinyl windows are made to be durable, energy efficient, and low-maintenance. With features like a steel-reinforced frame and insulated glass, JELD-WEN® vinyl windows are suitable for any architectural style or design. Backed by a Lifetime Limited Warranty, they're just as reliable as they are attractive!

- Vinyl construction allows for low maintenance
- Steel-reinforced sash for long-lasting strength
- Top and bottom sash tilt for easy cleaning - no need for a ladder to clean the window
- Built-in nailing flange for complete installation and a tight seal
- Low-E glass with Argon reduces energy costs, interior condensation, and protects against harmful UV rays
- ENERGY STAR® certified windows reduce energy bills by an average of 12% nationwide, compared to non-certified products
- Built-in Brickmould and J-Channel frame creates a clean, streamlined appearance for a traditional look while also saving a step in the installation process
- Accidental glass breakage coverage included for all of life's unexpected events

Brand Name: JELD-WEN

Please Note: Prices, promotions, styles and availability may vary by store and online. While we do our best to provide accurate item availability information, we cannot guarantee in-stock status and availability as inventory is sold and received continuously throughout the day. Inventory last updated 11/9/2017 at 5:00am EST. Online orders and products



RECOMMENDED

**LockSide Double 3-1/2" Gray Vinyl Lap Siding**

Product Specifications:

Variation: Gray**Dimensions:** 7" x 12' 3"**Model Number:** VLSC3502**Menard SKU:** 1465475**Siding Profile:** Double 3-1/2"**Thickness:** 0.040 inch**Color/Finish:** Gray**Color/Finish Family:** Gray**Siding Surface Design:** Woodgrain**Overall Width:** 2-Jan inch**Overall Length:** 147 inch**Exposure:** 7 inch**Coverage Per Piece:** 7.14 square foot**Manufacturer Warranty:** Limited Lifetime**Special Features:** ASTM D4216

Online Price

\$3⁴⁹ each**Online Availability****Ship to Home**

Available for immediate shipment .

Deliver from Store

Not eligible for Deliver from Store

Ship to Store - Free!

Not eligible for Ship to Store

Store Availability**Product Description**

The most affordable option in our product line, this vinyl siding is textured with a weathered woodgrain that is built to withstand the elements. Its unique LineLock™ panel locking system ensures quick and easy installation.

- .040" thickness
- 14 pc cover approximately 100 square foot
- Each 7" x 12' 3" pc covers approximately 7.14 square foot
- Transferable limited lifetime warranty
- Weathered woodgrain texture with a low-gloss finish
- Meets or exceeds ASTM D3680

Brand Name: LockSide

Please Note: Prices, promotions, styles and availability may vary by store and online. While we do our best to provide accurate item availability information, we cannot guarantee in-stock status and availability as inventory is sold and received continuously throughout the day. Inventory last updated 11/9/2017 at 5:00am EST. Online orders and products purchased in-store qualify for rebate redemption. Rebates are provided in the form of a Menards® Merchandise Credit Check valid towards purchases at any Menards® retail store. Not valid for purchases on MENARDS.COM®.

Menards®

5106 Menard Drive
Eau Claire, WI, 54703, USA
customerservice@menardsoc.com