

**HISTORIC PRESERVATION COMMISSION
AGENDA
REGULAR MEETING**

September 13, 2018 – 6:30 p.m.

**LEMONT VILLAGE HALL
418 MAIN STREET**

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MINUTES**
- IV. CHAIRMAN'S REPORT**
- V. PUBLIC HEARINGS**
- VI. APPLICATIONS**
 - A. Certificate of Appropriateness for remodel
at 221 Illinois/228 Main Street**
- VII. NEW BUSINESS**
- VIII. OLD BUSINESS**
 - A. Exterior lighting for Hughie McClafferty's**
- IX. AUDIENCE PARTICIPATION**
- X. ADJOURN**

STREET #

DIRECTION

STREET

PIN

LOCAL SIGNIFICANCE RATING

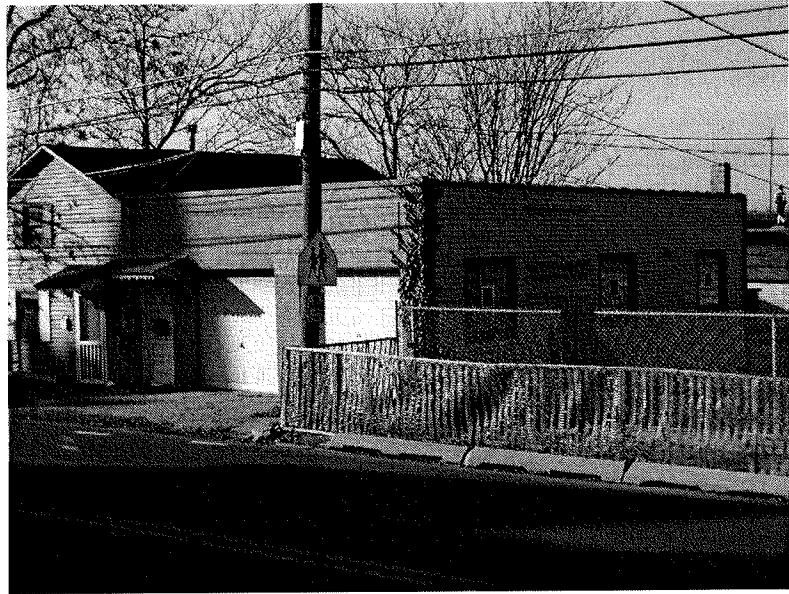
POTENTIAL IND NR? (Y or N)

CRITERIA

Contributing to a NR DISTRICT?

Contributing secondary structure?

Listed on existing SURVEY?



GENERAL INFORMATION

CATEGORY CURRENT FUNCTION

CONDITION HISTORIC FUNCTION

INTEGRITY REASON for SIGNIFICANCE

STOREFRONT INTEGRITY

SECONDARY STRUCTURE

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION PLAN

DETAILS NO OF STORIES

BEGINYEAR ROOF TYPE

OTHER YEAR ROOF MATERIAL

DATESOURCE FOUNDATION

WALL MATERIAL (current) PORCH

WALL MATERIAL 2 (current) WINDOW MATERIAL

WALL MATERIAL (original) WINDOW MATERIAL

WALL MATERIAL 2 (original) WINDOW TYPE

WINDOW CONFIG

SIGNIFICANT FEATURES

ALTERATIONS



APPLICATION FOR RESIDENTIAL CONSTRUCTION

VILLAGE OF LEMONT

Building Department

418 Main Street, Lemont, IL 60439

Phone 630-257-1580 Fax 630-257-1598

Permit # 2018-00000580

PIN # _____ Zoning District _____

228 Main St Lemont
Job Address _____ Subdivision _____ Lot # _____

Plan Review Contact Information: List any persons here that you want to receive a copy of the plan review once completed.

The Rosicam group
Property Owner/Lessee _____ Phone _____ Email _____

Address _____ City _____ State _____ Zip _____

LJM Architect 708-404-4451
Architect _____ Phone _____ Email _____

82 S La Grange ILL 60525
Address _____ City _____ State _____ Zip _____

Paradiso Home Inc 815-325-0881 Paradisohomes229
General Contractor _____ Phone _____ Email @Gmail.com

3104 GALLOUA DR. Joliet ILL 60435
Address _____ City _____ State _____ Zip _____

Type of Improvement:
 Addition Alteration/Repair/Replacement Finished Basement
 Moving/Relocation New Construction Remodel

Proposed Use or Occupancy Classification
 Single Family Garage
 Two or more family - Enter # of Units 3 Carport
 Other: _____

Square Footage of Proposed Building		Square Feet	Square Feet
House	1st Floor	_____	<u>2340 SF</u>
	2nd Floor	_____	
	Attic/3rd Floor	_____	
Basement	Unfinished	_____	_____
	Finished	_____	
Garage	Number of Car Stalls	_____	_____
Bedrooms	Number of Bedrooms	_____	_____
Accessory Uses:	Decks	_____	_____
	Patio	_____	_____
	Other:	_____	_____
Total Square Feet		_____	_____

APARTMENT BUILD-OUT 228 MAIN STREET LEMONT, IL

DRAWING LIST

- A-0.0 - COVER PAGE
- A-1.0 - EXISTING/DEMO PLAN
- A-2.0 - FIRST RENOVATION PLAN
- A-2.1 - SECOND RENOVATION PLAN
- A-2.2 - REFLECTED CEILING PLAN
- A-3.0 - PLUMBING/VENTILATION DETAILS
- E-1.0 - ELECTRICAL PLAN
- M-1.0 - MECHANICAL PLAN

General Notes

1. THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS, MAJOR ELEMENTS AND MATERIALS. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL COMPLETION OF THE PROJECT.
2. THE CONTRACTOR AND HIS SUBCONTRACTOR SHALL FURNISH ALL OF THOSE ITEMS AND LABOR REQUIRED FOR THE FULL COMPLETION OF THIS PROJECT IN A FIRST CLASS WORKMANSHIP LIKE MANNER.
3. INTERIOR FINISHES SHALL NOT EXCEED CLASS 1, 0-15 PLANS/SPREAD, 100 SMOKE.
4. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS, PARTITION LAYOUTS AND CONDITIONS BEFORE EXECUTION OF ANY WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
5. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL INCOMING UTILITIES.
6. WRITTEN DIMENSIONS HOLD PREFERENCE OVER SCALED DIMENSIONS. THESE DRAWINGS MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. DO NOT SCALE DRAWINGS.
7. CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH ALL COUNTY, STATE AND NATIONAL CODES AND ORDINANCES, PERFORM ALL WORK IN A FIRST CLASS WORKMANSHIP LIKE MANNER AND IN NO WAY DAMAGE OR WEAKEN THE STRUCTURAL STRENGTH OF THE BUILDING. REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT, COSHA LATEST EDITION. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER SUBMITTAL OF COMPLETION OF WORK.
8. THE CONTRACTOR'S SUBCONTRACTORS SHALL COMPLETELY HOOK-UP AND CONNECT ALL EQUIPMENT AND FURNISH ALL NECESSARY APPENDAGES.
9. THE PREMISES SHALL BE KEPT IN A BROOM SWEEP FINISH CONDITION DURING ALL PHASES OF THE CONSTRUCTION. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING UP AND DISPOSING OF THEIR LITTER AND LEFT OVER MATERIALS ON A REGULAR BASIS AND LEAVE THE PROJECT IN A BROOM FINISH CONDITION UPON COMPLETION OF THEIR PORTION OF THIS PROJECT.
10. THE ENTIRE INSTALLATION SHALL BE PERFORMED WITH A FIRST CLASS WORKMANSHIP LIKE MANNER, THE COMPLETED SYSTEMS SHALL BE FULLY OPERATIONAL. ACCEPTANCE BY THE OWNER SHALL BE A CONDITION OF THE CONTRACT.
11. ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES IN ORDER TO AVOID INTERFERENCE, PRESERVE MAXIMUM HEAD ROOM AND AVOID OMISSIONS.
12. RECESSED FIXTURES IN INSULATED CEILINGS MUST BE APPROVED.
13. THE CONTRACTOR SHALL PROVIDE A 6 FOOT TEMPORARY FENCE AND BARRICADES AROUND THE ENTIRE SITE AS REQUIRED BY COUNTY TO BE PROTECTED AND AT ANY OPENINGS THAT MIGHT PRESENT A HAZARD.
14. PROVIDE 1" MIN. CLEARANCE BETWEEN 1" LABEL FILLES AND ANY COMBUSTIBLE MAT'L PROVIDED THAT THE FIRST 5'-0" ABOVE THE FURNACE HAS 5" CLEARANCE.
15. LOW TEMPERATURE CHIMNEYS SHALL EXTEND TO A HEIGHT NOT LESS THAN 5'-0" ABOVE THE ROOF AT THE POINT OF INTERSECTION.
16. HANDRAIL HEIGHTS ON STAIRS SHALL BE 2'-8" ABOVE THE NOSING. HANDRAIL HEIGHTS AT LANDING SHALL BE 5'-0" AFF.
17. ALL DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO BE READILY OPENED WITHOUT USE OF A KEY FROM THE SIDE FROM WHICH EGRESS IS MADE.
18. ALL SUB-CONTRACTORS SHALL PROVIDE FIRE STOPPING EQUAL IN RATING TO THE FLOOR/CEILING AND WALL ASSEMBLIES THROUGH WHICH PENETRATIONS ARE MADE. THE CONTRACTOR SHALL ENSURE FIRE STOPPING IS INCLUDED IN ALL CONTRACTOR'S SCOPE OF WORK.
19. ALL PRESERVATIVE TREATED FIRE RETARDANT WOOD TO PASS "THE STANDARD TEST" ASTM D-2698-72
20. ALL GLAZED DOORS AND PANELS MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHERE THE SILL OF THE GLAZED PANEL IS LESS THAN 24" ABOVE THE FLOOR SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS. NO WINDOW SILLS SHALL HAVE A SILL HEIGHT OF LESS THAN 2'-0" ABOVE THE FLOOR UNLESS NOTED OTHERWISE.
21. ALL DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO BE READILY OPENED WITHOUT USE OF A KEY FROM THE SIDE FROM WHICH EGRESS IS MADE.
22. THE ARCHITECT MUST BE NOTIFIED IN WRITING OF ANY SUBSTITUTION TO EQUIPMENT, MATERIALS, OR PRODUCTS SPECIFIED IN THE DRAWINGS OR PROJECT MANUAL.

APPLICABLE CODES:

- 1) 2006 INTERNATIONAL BUILDING CODE
- 2) 2014 ILLINOIS STATE PLUMBING CODE
- 3) 2005 NATIONAL ELECTRIC CODE
- 4) 2006 INTERNATIONAL MECHANICAL CODE
- 5) 1997 ILLINOIS ACCESSIBILITY CODE
- 6) 2006 INTERNATIONAL FIRE CODE
- 7) 2006 INTERNATIONAL FUEL GAS CODE
- 8) 2006 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 9) 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 10) ALL WORK TO COMPLY WITH VILLAGE OF LEMONT LOCAL AMENDMENTS

ALL WORK SHALL COMPLY WITH ALL COMMENTS/REQUIREMENTS FROM THE LEMONT FIRE AND HEALTH DEPARTMENT

GENERAL NOTES

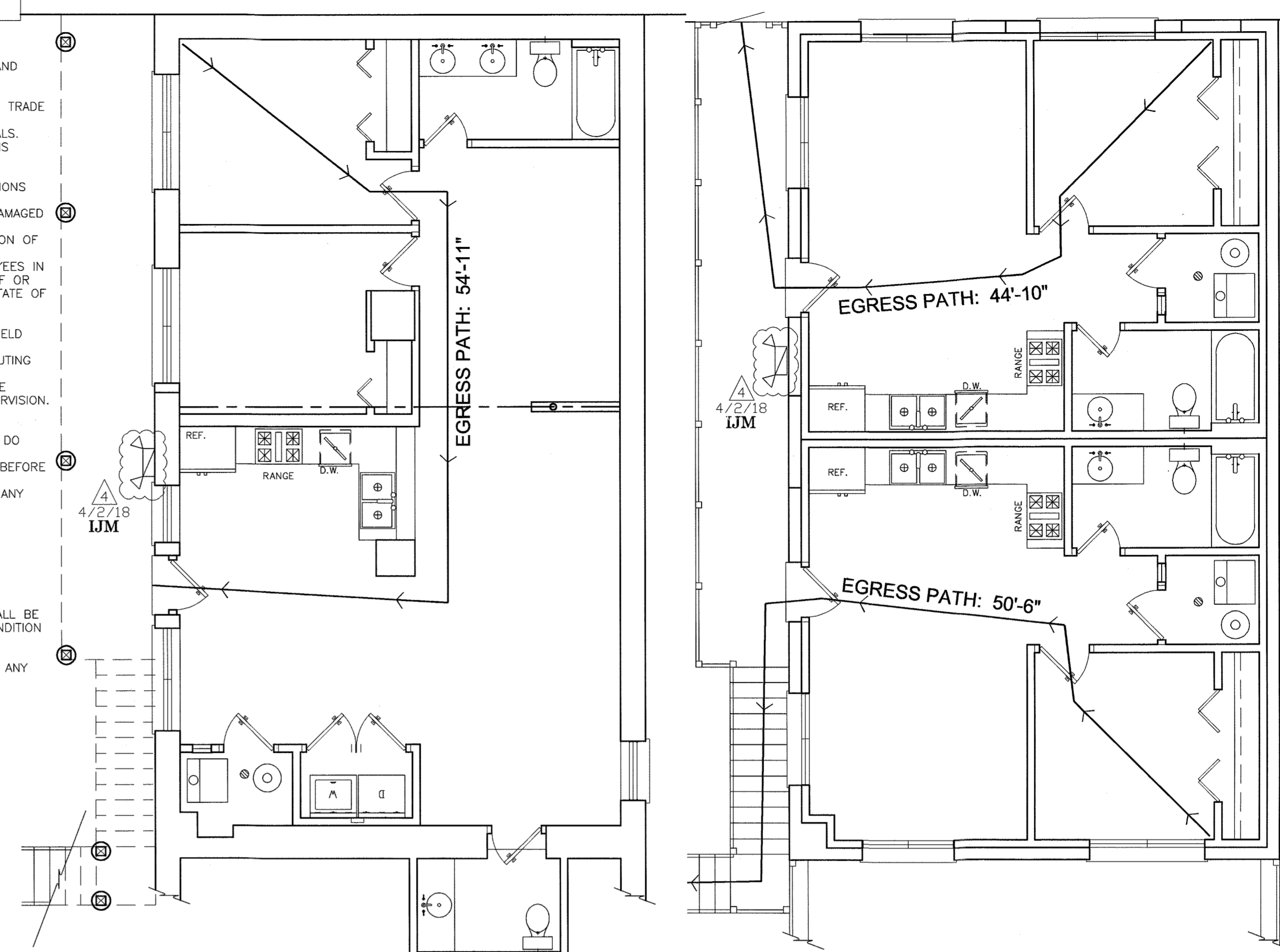
1. INCLUDED AS PART OF THESE DOCUMENTS IS THE "GENERAL CONDITIONS FOR CONSTRUCTION", AIA DOCUMENT A-201, ARTICLE 1 THRU 14 INCLUSIVE.
 2. GENERAL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH ALL CITY, STATE AND NATIONAL CODES AND ORDINANCES.
 3. MAINTAIN THROUGHOUT THE CONSTRUCTION PERIOD, A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES, WITH A HOLD HARMLESS CLAUSE, PROTECTING THE OWNER AND ARCHITECT.
 4. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS, POLICIES AND PROCEDURES OF THE OWNER.
 5. ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATIONS AND RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES AND STANDARDS.
 6. THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS, MAJOR ELEMENTS AND MATERIALS. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL COMPLETION OF THE PROJECT. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTOR SHALL FURNISH ALL OF THOSE ITEMS AND LABOR REQUIRED FOR THE FULL COMPLETION OF THIS PROJECT. ACCEPTANCE BY THE OWNER SHALL BE A CONDITION OF THE CONTRACT.
 7. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS CONTRARY TO THE CONSTRUCTION DOCUMENTS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
 8. THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO THE CONSTRUCTION OPERATION, AND REPAIR OR REPLACE ANY ELEMENTS DAMAGED DURING THE PROJECT.
 9. DRAWINGS AND SPECIFICATIONS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT THE FULL EXTENT OF WORK IS SHOWN AND COORDINATION OF WORK IS MADE POSSIBLE.
 10. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE BUILDING OWNER AND ARCHITECT AND THEIR REPRESENTATIVES, AGENTS AND EMPLOYEES IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE.
 11. THE CONTRACTOR MUST CHECK ALL DIMENSIONS, DETAILS, AND JOB SITE CONDITIONS AND BE RESPONSIBLE FOR THEM. THIS ARCHITECTURAL FIRM SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS OR MEANS BY THE CONTRACTOR AND OR ANY SUBCONTRACTOR AND THEIR TRADESMAN.
 12. ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES IMMEDIATELY. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
 13. THE ARCHITECT WILL NOT SUPERVISE CONSTRUCTION. ANY DISCREPANCIES OR QUESTIONS ABOUT THE PLANS SHALL BE WRITTEN IN WRITING TO THE ARCHITECT. THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY FIELD CHANGES. THE ARCHITECT HAS NO STOP WORK AUTHORITY. ANY SITE VISITS DO NOT CONSTITUTE WORK SUPERVISION.
- DIMENSIONS
1. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL GOVERN. THESE DRAWINGS MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. DO NOT SCALE DRAWINGS.
 2. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL PARTITION LAYOUTS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY FRAMING.
 3. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTION OF ANY WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
- COORDINATION
1. REFER TO SITE SURVEY FOR SITE INFORMATION. CONTRACTOR TO VERIFY ALL INFORMATION.
 2. THE GENERAL CONTRACTOR SHALL COORDINATE ADDITIONAL SUPPORT OR CONCEALED BLOCKING FOR INSTALLATION OF HANDRAILS, MILLWORK, WALL PANELS, WINDOW TREATMENTS, GRAB BARS AND ALL OTHER SURFACE MOUNTED COMPONENTS.
 3. THE GENERAL CONTRACTOR'S SUBCONTRACTORS SHALL COMPLETELY HOOK-UP AND CONNECT ALL EQUIPMENT AND FURNISH ALL NECESSARY APPENDAGES. THE COMPLETED SYSTEMS SHALL BE FULLY OPERATIONAL.
 4. THE PREMISES SHALL BE KEPT IN A BROOM SWEEP FINISH CONDITION DURING ALL PHASES OF THE CONSTRUCTION. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING UP AND DISPOSING OF THEIR LITTER AND LEFT OVER MATERIALS ON A REGULAR BASIS AND LEAVE THE PROJECT IN A BROOM FINISH CONDITION UPON COMPLETION OF THEIR PORTION OF THIS PROJECT.
 5. ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES IN ORDER TO AVOID INTERFERENCES, PRESERVE MAXIMUM HEAD ROOM AND AVOID OMISSIONS.
 6. THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND BARRICADES AROUND THE ENTIRE SITE AS REQUIRED BY THE CITY TO BE PROTECTED AND AT ANY OPENINGS THAT MIGHT PRESENT A HAZARD.
 7. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL INCOMING UTILITIES.



NORTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



RENOVATION EGRESS PLAN

SCOPE OF WORK
THE WORK CONSISTS OF ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY AND REQUIRED TO COMPLETE ALL DEMOLITION WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.

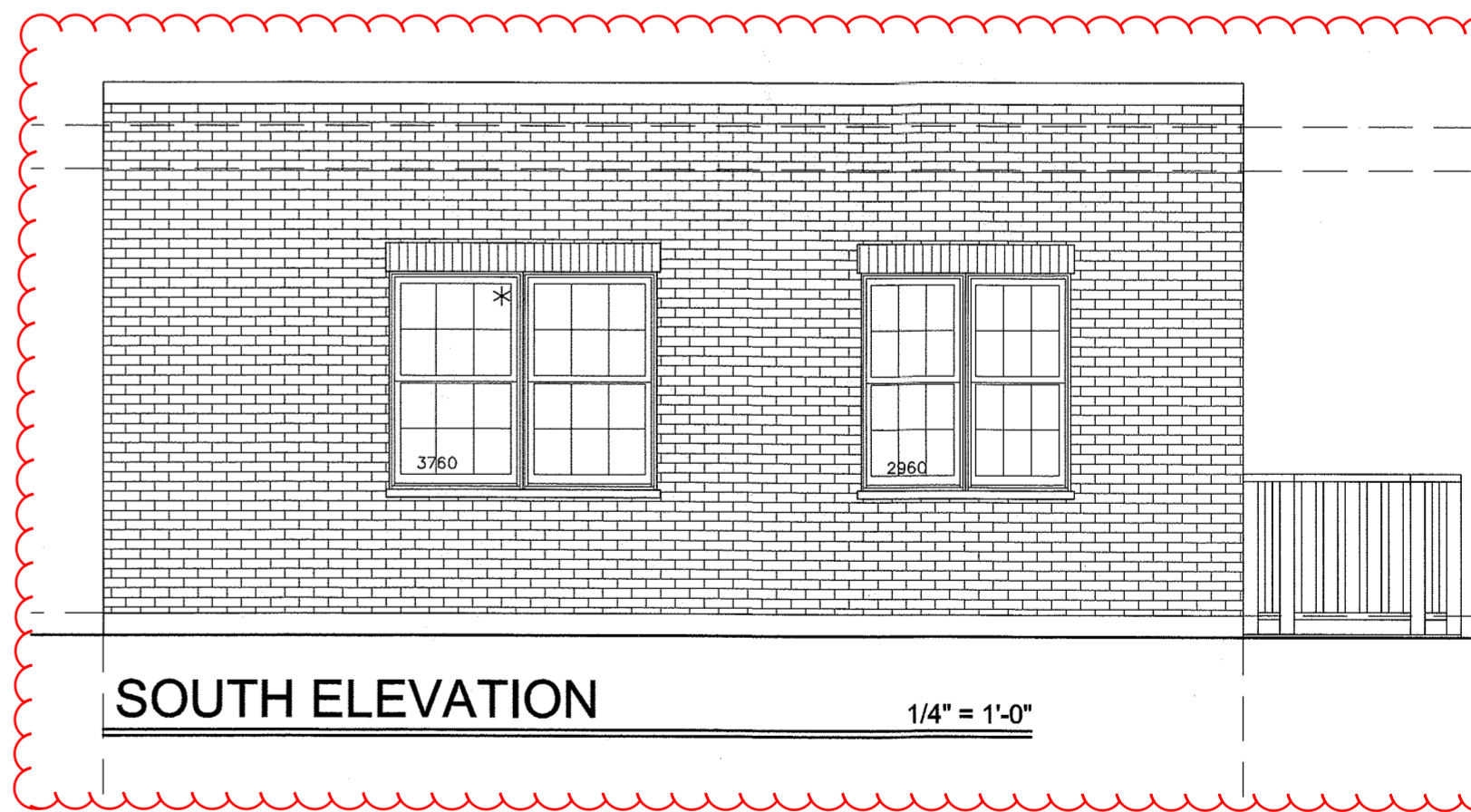
1. REMOVAL OF EXISTING PARTITIONS OR FINISHES AS NEEDED
2. REPAIR AND INFILL EXISTING FLOOR SLAB AS NEEDED
3. CONSTRUCTION OF NEW PARTITIONS
4. REPAIR AND REPLACEMENT OF EXISTING FINISHES AS NEEDED
5. PROPER REMOVAL AND DISPOSAL OF DEMOLISHED MATERIALS AS REQUIRED BY CITY CODES
6. DEMOLITION CONTRACTOR SHALL FOLLOW ALL APPLICABLE LOCAL AND FEDERAL CODES

NOTE:
ALL WORK SHALL BE INSTALLED ACCORDING TO THE APPROVED CONSTRUCTION DRAWINGS. ANY CHANGES DURING CONSTRUCTION SHALL BE SUBMITTED FOR APPROVAL BY THE BUILDING DEPARTMENT AND THE CONSTRUCTION DOCUMENTS SHALL BE AMENDED

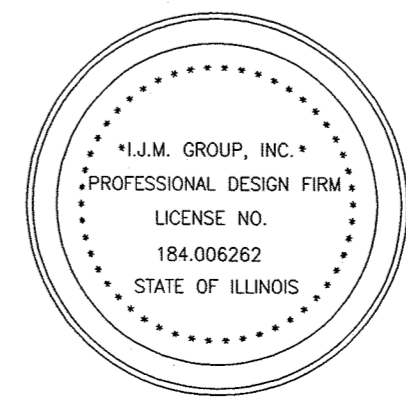
Building Design Elements

Design Use Group Classification (B 302.1):	GROUP R-2
Construction Type (B 602):	Type 3B
Building/Horizontal Projection Area (B 503.1):	1,234.9 SqFt.
Building Height in Feet (B 503.1):	EXISTING
Number of Stories (B 503.1):	TWO (2)
Required Number of Exits for Bldg. (B 1003):	1 Exit Required
Number of Exits for Bldg.:	ONE per UNIT
Fire Protection Per NFPA 13, 72 (B 903):	FIRE PROTECTION PER ENGINEER
OCCUPANCY LOAD:	13
BUILDING SPRINKLERED:	NO

PLANS TO COMPLY WITH LEMONT FIRE PROTECTION DISTRICT REQUIREMENTS



SOUTH ELEVATION
1/4" = 1'-0"



CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT THEY, TO THE BEST OF MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES OF THE GOVERNING BODY HAVING JURISDICTION.

Ian McDonnell
IAN MCDONNELL - ILLINOIS REGISTRATION NO. 001-020866
LICENSE EXPIRES: 11.30.2018 DATE SIGNED: 4/10/18

IJM ARCHITECTS

82 S. La Grange Rd.
Suite 205
La Grange, IL. 60525
f: 708-469-7674
p: 708-404-4451

PROJECT	A-0.0 COVER PAGE
	A-1.0 EXISTING/DEMO PLANS
	A-2.0 FIRST RENOVATION PLAN
	A-2.1 SECOND RENOVATION PLAN
	A-3.0 PLUMBING/VENTILATION
	E-1.0 ELECTRICAL PLANS
	M-1.0 MECHANICAL PLANS

VILLAGE OF LEMONT
 APPROVED
 APPROVED AS NOTED
 NOT APPROVED

Date: _____ Signature: _____



APARTMENT BUILD-OUT FOR 228 MAIN STREET, LEMONT, IL

VILLAGE OF LEMONT
 APPROVED
 APPROVED AS NOTED
 NOT APPROVED

Date: _____ Signature: _____



EXP. DATE: _____ ISSUE: _____

OWNER REVIEW	
CONSTRUCTION SET	
VILLAGE CORRECTIONS	
#1	11/5/17
#2	12/15/17
#3	4/10/18

DATE: 4.10.2018

JOB#: 2017-173

SHEET: A-0.0

Replacement Products

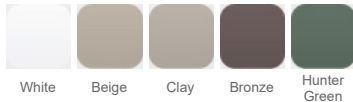
Select a Window Style...

Products

Products Overview

Vinyl Colors

EXTERIOR WITH WHITE OR BEIGE INTERIOR

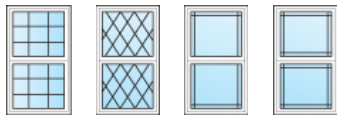


White Beige Clay Bronze Hunter Green



CUSTOM EXTERIOR COLORS
Custom colors are also available with White or Beige interiors.

Grid Patterns



Colonial Diamond Perimeter Sash Perimeter

Flat Grid Styles

EXTERIOR WITH WHITE OR BEIGE INTERIOR



White Beige Clay Bronze Hunter Green



CUSTOM EXTERIOR COLORS
Custom colors are also available with White or Beige interiors.

Contoured Grid Styles

EXTERIOR WITH WHITE OR BEIGE INTERIOR

Double Hung



Double Hung windows feature two sash that move up and down. Two styles are available – one with equal amounts of glass in each sash or where the glass in the lower sash is wider than the top. Both styles can be also be ordered in a 60/40 Oriel configuration, meaning the top sash is taller than the bottom sash.

Standard

Frame Type

Exterior Frame Type

Frame Construction

Sash Construction

Jamb Thickness

Vinyl Profile

Vinyl Color

Sill Design

Spacer System

Insulating Glass Unit

Glass Type

Glass Strength

Weatherseals

Sash Operation

Meeting Rail

Cam Lock

Screen

Screen Mesh

Lift Rail

Nite Locks

Head Expander

Sill Extender

Replacement

Sculpted Radius

Fusion-Welded

Fusion-Welded

3-1/4"

Chambered

White, Beige

True Fusion-Welded Sloped Sill - No Weeps

Warm Edge Glass Spacer System MPG

3/4"

Clear

Single

Fin Seal, Seal Bulb

Constant Force Stainless Steel Balance System

Interlocking

Single = < 31.5" W Double = > 31.5" W

Extruded, Half

Fiberglass

Integral

Double

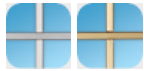
Yes

Yes



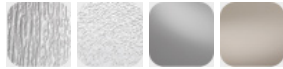
White Beige

Other Grid Styles



Brushed Nickel Brass

Decorative Glass Options



Rain Obscure Gray Tinted Bronze

Glass Package Options



MPG Plus™



MPG Extreme™



MAIN BROCHURE
DOWNLOAD PDF



REPLACEMENT
DOWNLOAD PDF

Options

Style

Oriel, Unequal Glass

Vinyl Color

Exterior with White Interior: Beige, Clay, Bronze, Hunter Green, Color-matched Custom
Exterior with Beige Interior: White, Clay, Bronze, Hunter Green, Color-matched Custom

Screen

Full

Glass

MPG Plus™, MPG Extreme™, Tinted Bronze, Tinted Gray, Obscure, Rain

Glass Strength

Double Strength, Tempered Clear, Tempered Low E

Cam Locks

Dual > 28" W to 31.5" W

Grid Style

Contoured, Flat

Grid Patterns

Colonial, Diamond, Perimeter, Sash Perimeter, Custom

Grid Colors

Exterior with White Interior: Clay, Bronze, Hunter Green, Color-matched Custom
Brushed Nickel, Brass, Beige
Exterior with Beige Interior: Clay, Bronze, Hunter Green, Color-matched Custom
Brushed Nickel, Brass, White

Factory Mull (Labor & Materials)

Yes

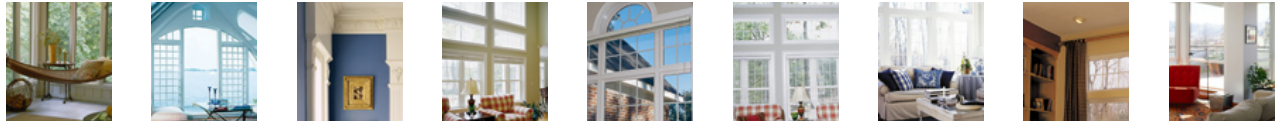
Field Mull (Materials Only)

Yes

Balance Pocket Cover

Yes

Photo Gallery [CLICK ON A PHOTO FOR A LARGER VIEW](#)



Go green.

Producing green-friendly products is not only environmentally sound in saving energy but also economically sound in saving dollars. Sprouse Windows and Doors proudly offers a wide range of energy efficient products and options. Visit the efficiency section of this site for more information.



Have a question? Contact the Sprouse Windows & Doors Customer Service Center here.

ASK A QUESTION

Sprouse is proud to be an Energy Star® certified partner. Click here to find out more.

ENERGY STAR® PARTNER

Find out where you can get high-performance Sprouse windows and doors in your area.

LOCATE A SUPPLIER.

Many color options are available and we can color match. Also introducing Elegant Matte Finish!

COLORS



HTM Lighting Solutions



14in. Bronze Gooseneck Barn Light LED Fixture for Indoor/Outdoor Use - Photocell Included - Swivel Head - 42W
3800lm - Energy Star Rated - ETL Listed - Sign Lighting - 3000K (Warm White)

