

**HISTORIC PRESERVATION COMMISSION
AGENDA
REGULAR MEETING**

October 11, 2018 – 6:30 p.m.

**LEMONT VILLAGE HALL
418 MAIN STREET**

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MINUTES**
- IV. CHAIRMAN'S REPORT**
- V. PUBLIC HEARINGS**
- VI. APPLICATIONS**
 - A.** Certificate of Appropriateness for site development at 220 Illinois Street (St. James Academy)
 - B.** Certificate of Appropriateness for residing at 114 Stephen Street
- VII. NEW BUSINESS**
- VIII. OLD BUSINESS**
 - A.** St. Patrick's Church
- IX. AUDIENCE PARTICIPATION**
- X. ADJOURN**

Application for Certificate of Appropriateness



Lemont Historic Preservation Commission
418 Main Street Lemont, Illinois 60439
phone (630) 257-1595
fax (630) 257-1598

APPLICANT INFORMATION

Applicant's Name ADDISON PROPERTIES, LLC (SAL ALFANO)
Applicant's Address 11291 BELL RD, LEMONT, IL 60439
Applicant's Telephone # 708-997-0167
Applicant's E-mail Address SALALFANO@COMCAST.NET

CHECK ONE OF THE FOLLOWING:

- Applicant is the owner of the subject property and is the signer of this application.
- Applicant is the contract purchaser of the subject property.
- Applicant is acting on behalf of the beneficiary of a trust.
- Applicant is a tenant on the subject property.

PROPERTY INFORMATION

Address of Subject Property/Properties 220 E. ILLINOIS
Parcel Identification Number of Subject Property/Properties _____

PROJECT INFORMATION

Proposed Construction, Renovation, Demolition (check all that apply): ADDITION OF PARKING LOT AND RECONFIGURATION OF FRONT ENTRY

- | | |
|---|---|
| Change in height of structure _____ | Change in fenestration (window arrangement) _____ |
| Change in footprint of structure _____ | Replacement of windows, awnings _____ |
| Addition to structure _____ | Replacement of exterior details _____ |
| Change in exterior materials on a structure _____ | Installation or alteration of a fence _____ |
| Change in roofing materials _____ | Construction of new structure _____ |
| Addition of or change to a sign _____ | Demolition of s structure _____ |

Brief Statement of Proposed Work:

ADDITION OF PARKING LOT AND RECONFIGURATION OF FRONT ENTRY



**Application for Certificate of
Appropriateness, page 2 of 2**



SUPPORTING DOCUMENTS

Attach architectural elevations, sketches, drawings, plans, site plans, etc. as appropriate. **SUBMIT 10 COPIES OF ALL DOCUMENTS.** The submission of material samples is encouraged, and in some cases the Historic Preservation Commission may deny or postpone approval of the application without material samples. The applicant may submit material samples at the time of application or may present them to the Historic Preservation Commission at the Commission's public meeting.

FOR VILLAGE STAFF USE ONLY

Application received on: _____

By: _____

Project information (drawings, elevations, etc) received: _____

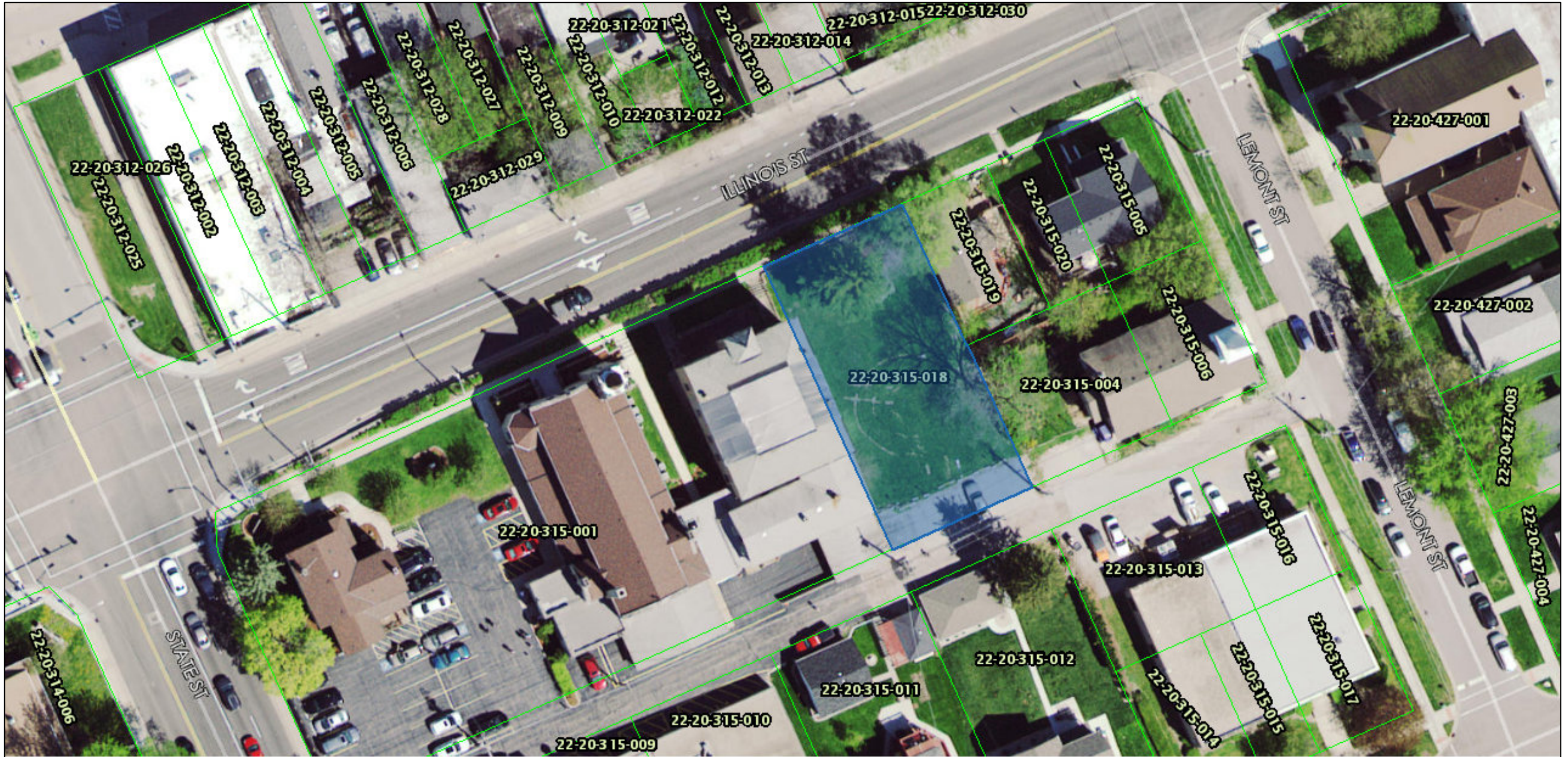
AFFIRMATION

I hereby affirm that I have full legal capacity to authorize the filing of this application and that all information, exhibits, and documents herewith submitted are true and correct to the best of my knowledge. I permit Village representatives to make all reasonable inspections and investigations of the subject property during the period of processing of this application. I understand that the submitted fee is non-refundable, and that prior to approval of grant reimbursement I will be expected to enter into an agreement with the Village of Lemont.

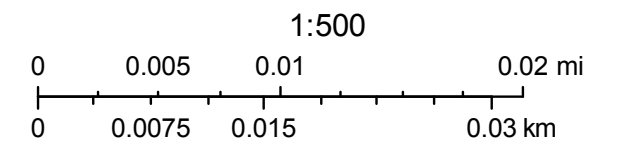
Signature of Applicant

9/25/18
Date

220 E Illinois St



October 9, 2018



Cook County GIS Dept - Imagery from 2017

NEW PARKING LOT & TERRACE

220 ILLINOIS STREET

LEMONT, ILLINOIS



LIST OF DRAWINGS

- A 1 ___ SITE PLAN
- A 2 ___ FOUNDATION PLAN & SECTIONS
- A 3 ___ ELEVATIONS
- A 4 ___ STAIR SECTION

CODES REFERENCED (W/ LEMONT AMENDMENTS)

- 2006 INTERNATIONAL BUILDING CODE
- 2006 INTERNATIONAL PROPERTY MAINTENANCE CODE
- LEMONT U.D.O.

GENERAL NOTES

- VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH THE EXISTING BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS WITHIN THE CURRENT EDITIONS OF ALL LOCAL, STATE, AND FEDERAL APPLICABLE CODES ADOPTED BY THE LOCAL JURISDICTION.
- EACH TRADE SHALL BE HELD RESPONSIBLE FOR THE KNOWLEDGE OF THE CONSTRUCTION DOCUMENTS AND THE APPLICABLE BUILDING CODES.

SCHEDULING

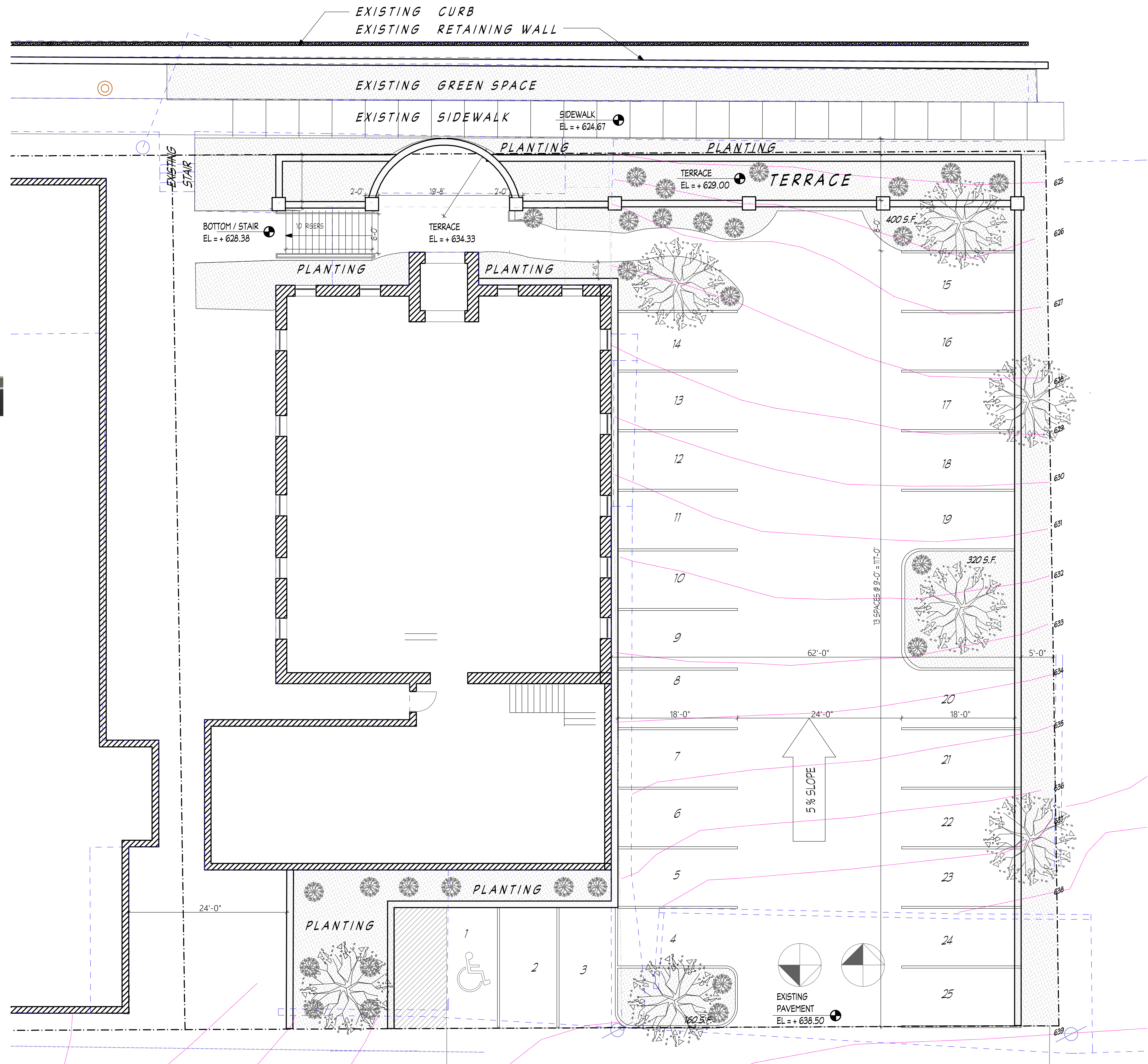
- BEFORE COMMENCING WITH ANY ALTERATION OR DEMOLITION WORK, SUBMIT FOR REVIEW TO THE ARCHITECT AND APPROVAL BY THE OWNER A SCHEDULE SHOWING COMMENCEMENT, THE ORDER, AND THE COMPLETION DATES FOR THE VARIOUS PARTS OF THIS WORK.

PROTECTION

- MAKE SUCH EXPLORATION AND PROBES THAT ARE NECESSARY TO ASCERTAIN ANY PROTECTIVE MEASURE BEFORE PROCEEDING WITH THE DEMOLITION AND REMOVAL.
- PROVIDE BARRIERS, WARNING SIGNS, AND OTHER ITEMS AS REQUIRED FOR THE PROTECTION OF THE WORKMEN ENGAGED IN THE DEMOLITION.
- TAKE NECESSARY PRECAUTIONS TO PREVENT DUST AND DIRT FROM RISING. PROTECT UNALTERED PORTIONS OF THE EXISTING BUILDING UNDER THIS SECTION BY ADEQUATE MEANS. CONDUCT OPERATIONS WITH MINIMUM TRAFFIC INTERFERENCE.
- COMPLY WITH THE GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTIONS.
- EXISTING AREAS, CONSTRUCTION, PRODUCTS, MATERIALS, AND EQUIPMENT TO REMAIN SHALL BE PROTECTED FROM DAMAGE.

WORKMANSHIP

- EXECUTE THE WORK IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE DISTURBANCE TO THE PUBLIC.
- FINISH NEW AND ADJACENT EXISTING SURFACES AS SPECIFIED FOR THE NEW WORK. CLEAN EXISTING SURFACES OF DIRT, GREASE, LOOSE PAINT, ETC. BEFORE REFINISHING.
- CUT OUT EMBEDDED ATTACHMENT ITEMS AS REQUIRED TO PROPERLY PROVIDE FOR PATCHING AND REPAIR OF THE RESPECTIVE FINISHES.



SITE PLAN - FOR REFERENCE ONLY (SEE SITE DEVELOPMENT DRAWINGS PREPARED BY PAUL K. MORRIS, P.E.)

SCALE: 1/8" = 1'-0"

NEW PARKING LOT
ILLINOIS STREET
LEMONT, IL

n. battistich, architects
MEADOWBROOK OFFICE CENTER
16W475 S. FRONTAGE RD., SUITE 201
BURR RIDGE, IL 60527 (630) 966-1773

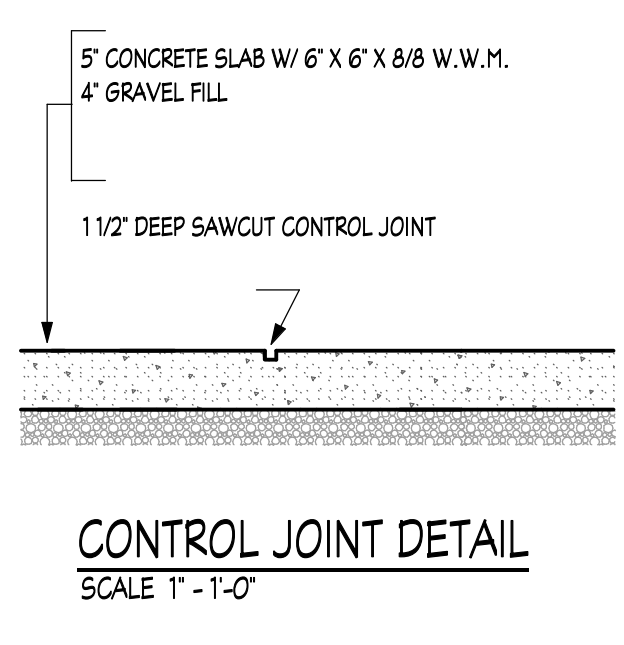
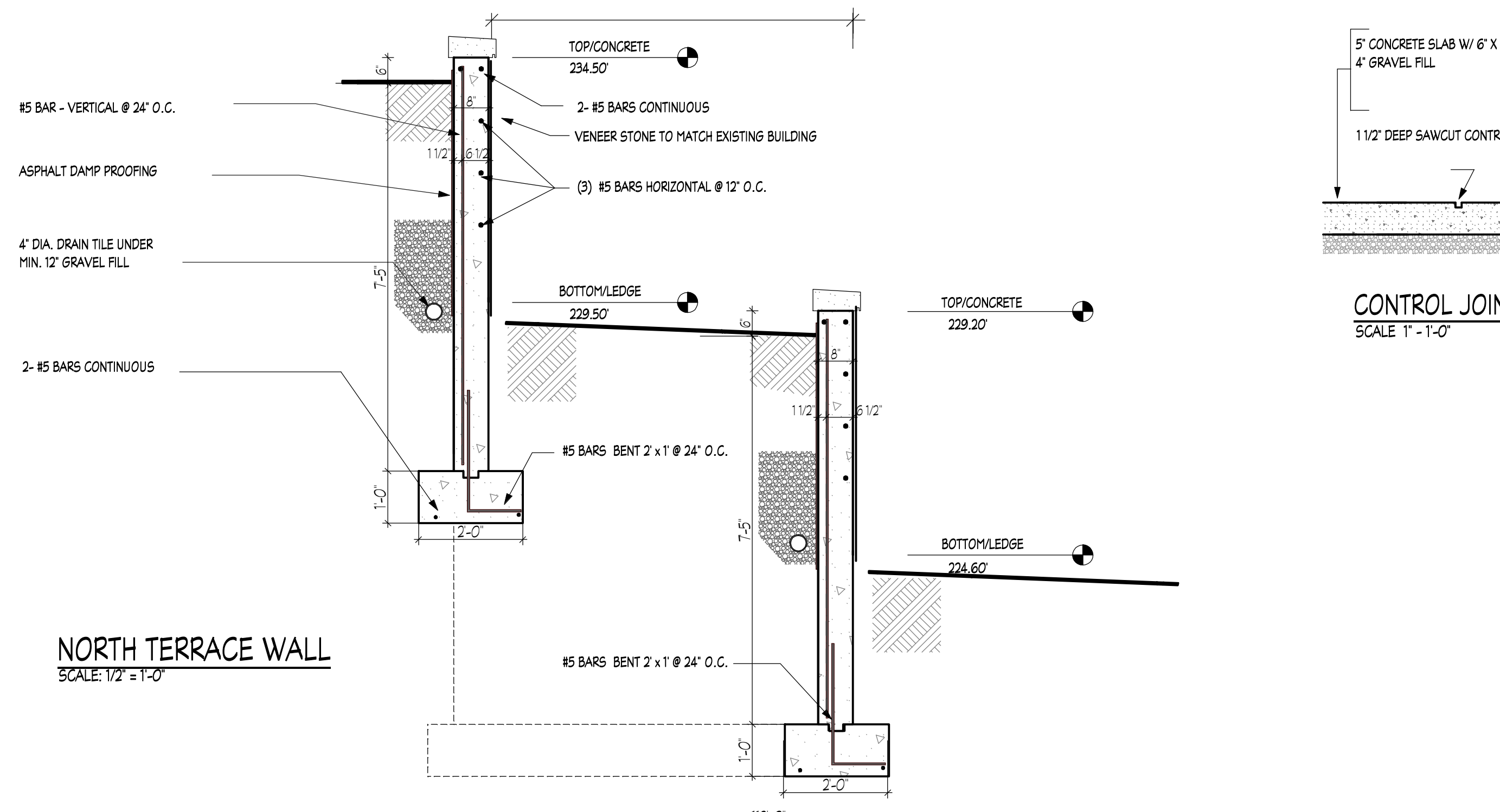
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE AND BELIEF WITH THE REQUIREMENTS OF THE APPLICABLE BUILDING CODES

DO NOT SCALE DRAWINGS
CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS AND CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH THE EXISTING BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK.

DATE: AUG. 30, 2018
DRAWN BY:
SCALE:
APPROVED BY:

REVISIONS:
PLAN No. NB 0502-18
SHEET No. A1 of 4





CONCRETE NOTES
ALL CONCRETE WORK IS TO BE IN COMPLIANCE WITH A.C.I. 318.02.

ALL FOOTINGS SHALL BEAR ON SOLID, UNDISTURBED SOIL OF 3,000 P.S.F. BEARING CAPACITY. NO CONCRETE SHALL BE POURED IN EXCAVATIONS CONTAINING WATER OR SOLID GROUND.

ALL CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS, 3" MINIMUM SLUMP, WITH A MINIMUM OF 6 BAGS OF CEMENT PER CUBIC YARD OF CONCRETE, NOT MORE THAN 6 GALLONS OF WATER PER BAG OF CEMENT.

REINFORCING BAR MATERIAL SHALL CONFORM TO A.S.T.M. A 615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A 185.

REINFORCING DESIGN AND PLACEMENT SHALL BE ACCORDING TO A.C.I. 315. PROVIDE FOUNDATION WALL CORNER BAR EQUAL IN SIZE TO HORIZONTAL REINFORCING. PROVIDE CHAIRS TO SUPPORT REINFORCING. PROVIDE A MINIMUM OF 2" COVER ON ALL REINFORCING UNLESS OTHERWISE SPECIFIED.

MISCELLANEOUS CONCRETE EXTERIOR SLABS SHALL CONTAIN 6% AIR ENTRAINMENT WITH 6 BAG MIX MINIMUM. PROVIDE EXPANSION JOINTS AT MAXIMUM INTERVALS OF 15'-0" IN EITHER DIRECTION. SAWCUT CONTROL JOINTS WITHIN 24 HOURS.

ANY STOP IN CONCRETE WORK TO BE MADE AT CENTER OF SPAN WITH BULKHEADS AND KEYWAYS. SEE PLAN.

FORMWORK DESIGN AND ERECTION SHALL CONFORM WITH THE REQUIREMENTS A.C.I. STANDARD "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK". FORMS SHALL CONFORM TO SHAPE, LINES, GRADES, AND DIMENSIONS AS INDICATED ON THE DRAWINGS.

SPREAD FOOTINGS SHALL BE KEYED TO RECEIVE FOUNDATION WALLS. 3' X 1 1/2' KEYWAY.

BUILT-UP ITEMS SUCH AS INSERTS, ANCHOR BOLTS, SLEEVES, ETC. SHALL BE COORDINATED WITH OTHER TRADES PRIOR TO PLACEMENT OF CONCRETE.

CAST IN PLACE CONCRETE
PORTLAND CEMENT: A.S.T.M. C 150-66, TYPE I NORMAL PORTLAND CEMENT

AGGREGATE FOR NORMAL WEIGHT CONCRETE: ALL FINE AND COURSE AGGREGATE SHALL CONFORM TO A.S.T.M. C 33-64 WITH CLEAN, HARD, AND UNCOATED PARTICLES.

MIXING WATER: CLEAN, FREE FROM OILS OR OTHER INJURIOUS MATERIALS. COMPLY W/ AASHO T26.

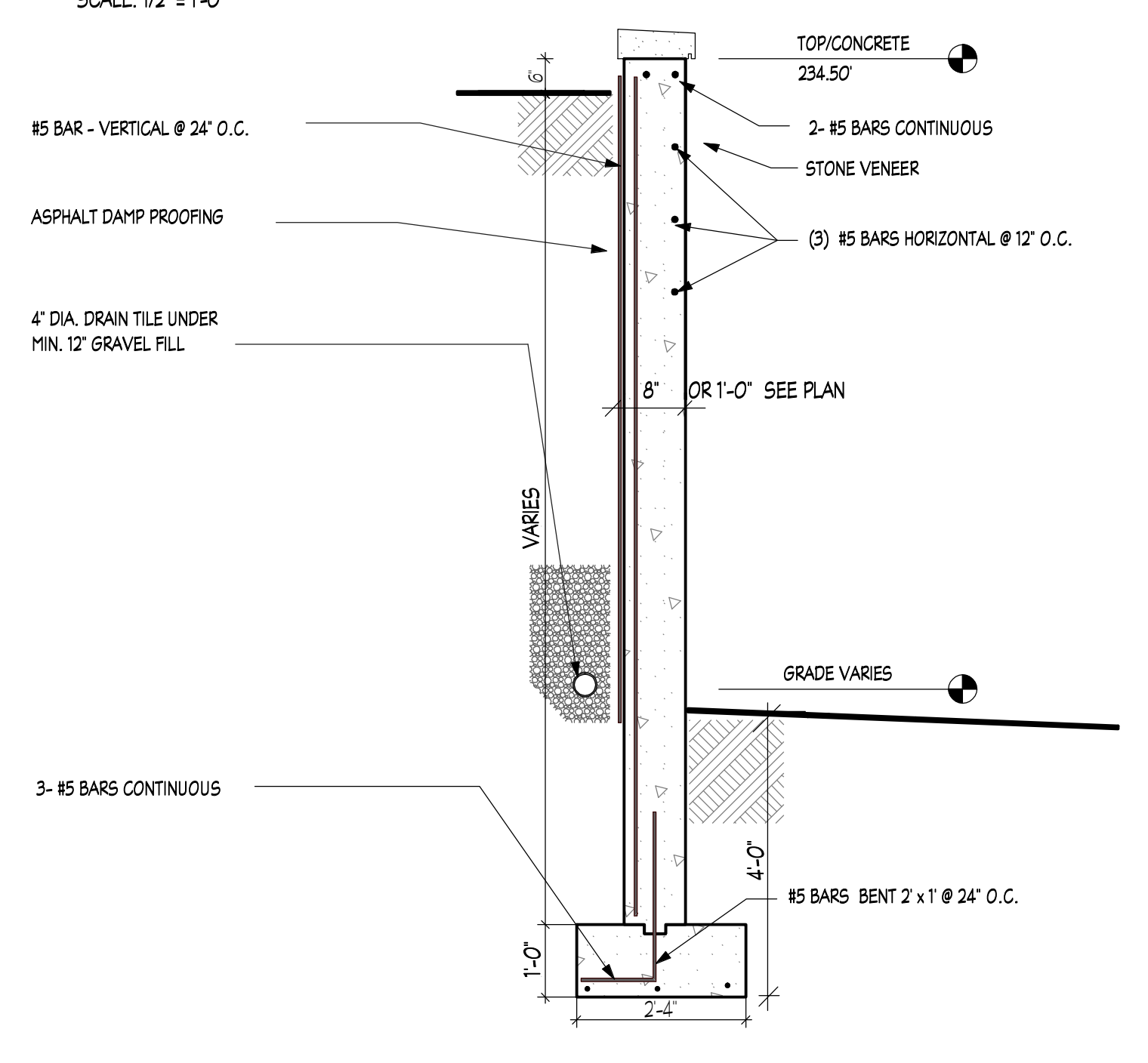
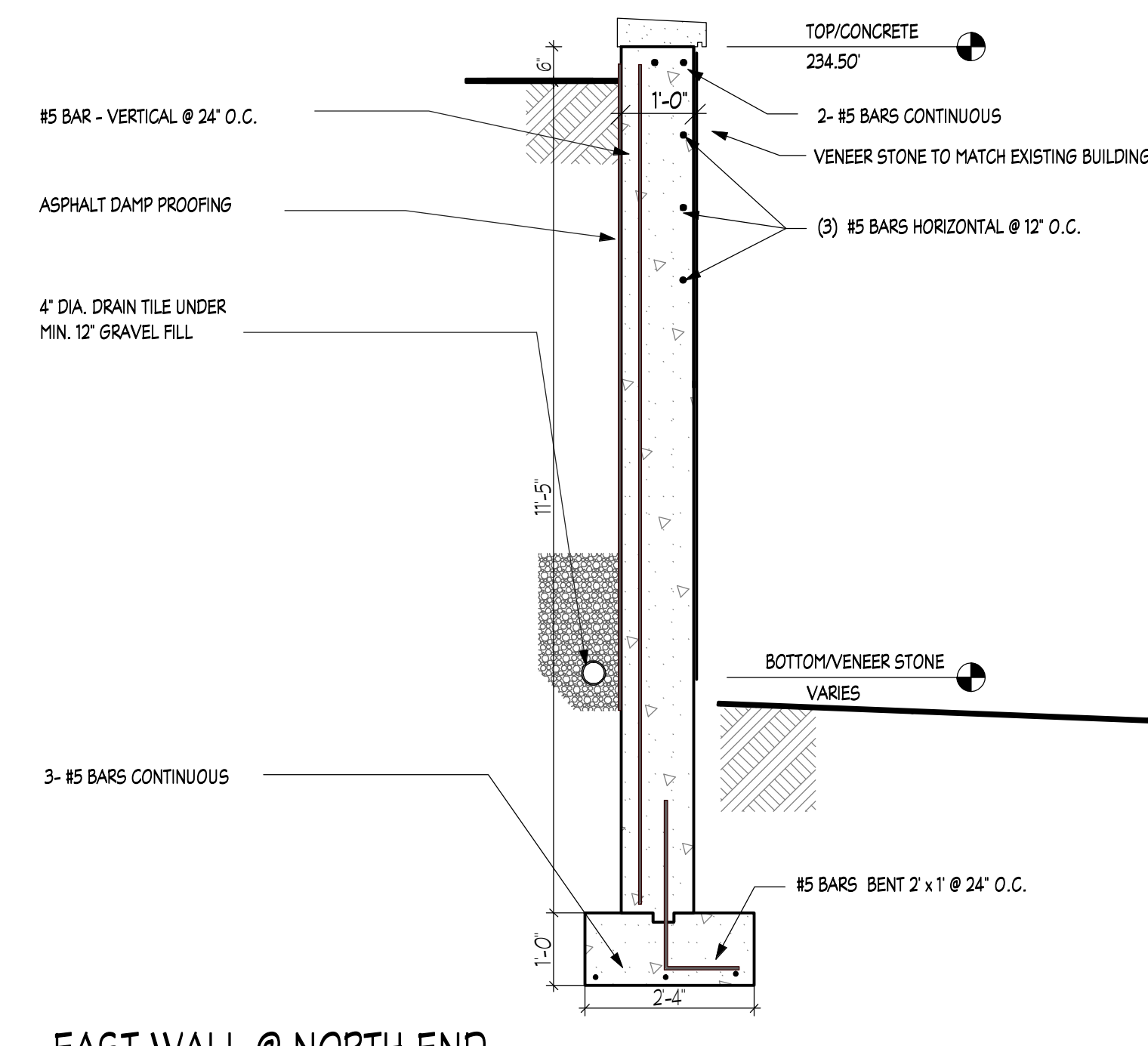
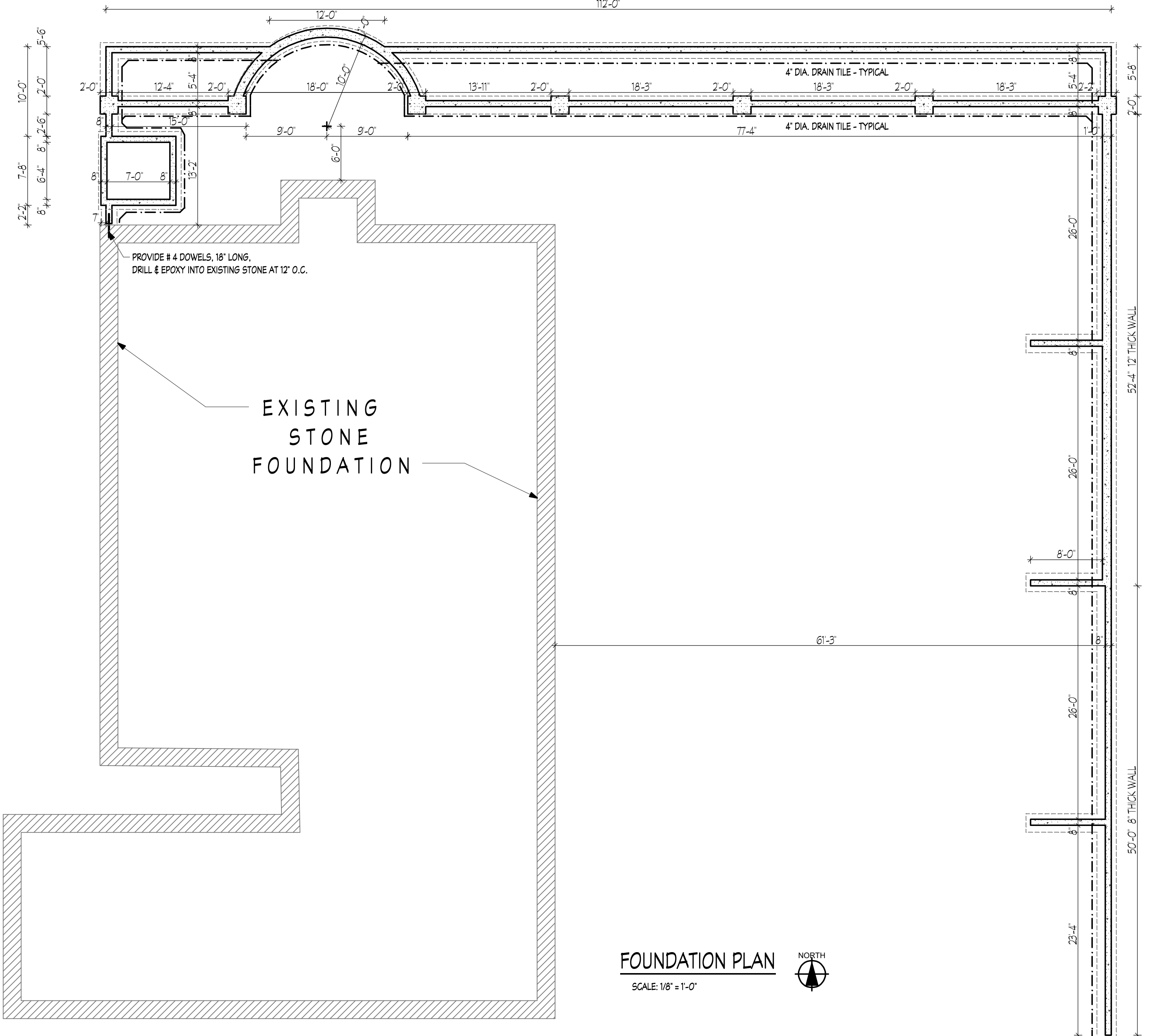
CONCRETE FLOOR SLABS
FLOOR SLABS ARE TO HAVE A CLASS "A" TOLERANCE STEEL TROWLED FINISH.

FLOOR SLABS SHALL BE LEVEL, PLAIN SURFACES UNLESS OTHERWISE INDICATED ON THE DRAWINGS. SURFACE SHALL BE PITCHED TO DRAINS AS REQUIRED.

CONCRETE FOR ALL SLABS SHALL BE PLACED CONTINUOUSLY BETWEEN CONSTRUCTION JOINTS; CONSOLIDATED BY VIBRATION OR ANY OTHER SUITABLE MEANS; BROUGHT TO THE CORRECT LEVEL WITH A STRAIGHT EDGE AND STRUCK OFF. USE BULL FLOATS OR DARBIES TO PRODUCE A SMOOTH SURFACE FREE FROM HUMPS AND HOLLOWES.

THE MAXIMUM VARIATION IN SURFACE TOLERANCE SHALL BE 1/8" IN 10'-0".

SPRINKLING OF DRY CEMENT OR A MIXTURE OF DRY CEMENT AND SAND ON THE SURFACES OF THE FRESH CONCRETE TO ABSORB WATER OR TO STIFFEN THE MIX SHALL NOT BE PERMITTED.



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE AND BELIEF WITH THE REQUIREMENTS OF THE APPLICABLE BUILDING CODES

DO NOT SCALE DRAWINGS
CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME.

DATE: AUG. 30, 2018
DRAWN BY:
SCALE:
APPROVED BY:

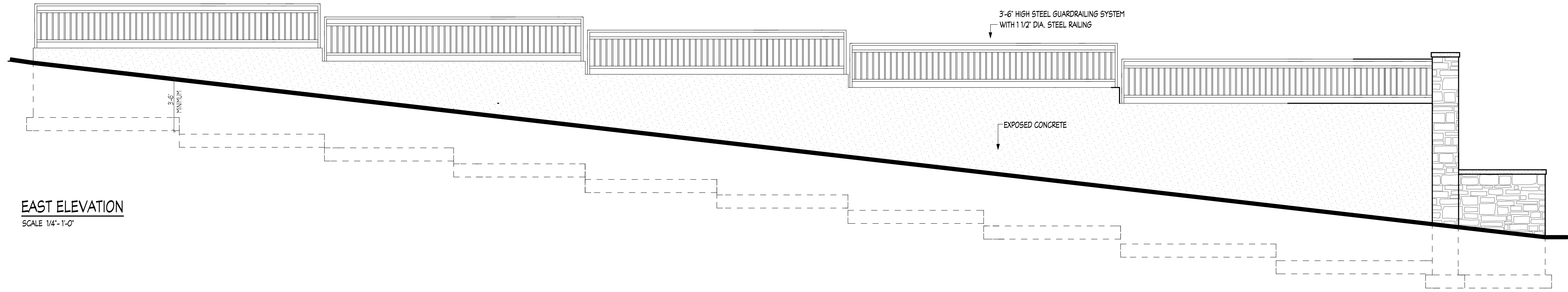
REVISIONS
PLAN No. NB 0502-18
SHEET No. A 2 of 4

n. battistich, architects
MEADOWBROOK OFFICE CENTER
16W475 S. FRONTAGE RD., SUITE 201
BURR RIDGE, IL 60527 (630) 966-1773

NEW PARKING LOT
ILLINOIS STREET
LEMONT, IL



EAST ELEVATION
SCALE: 1/4" = 1'-0"



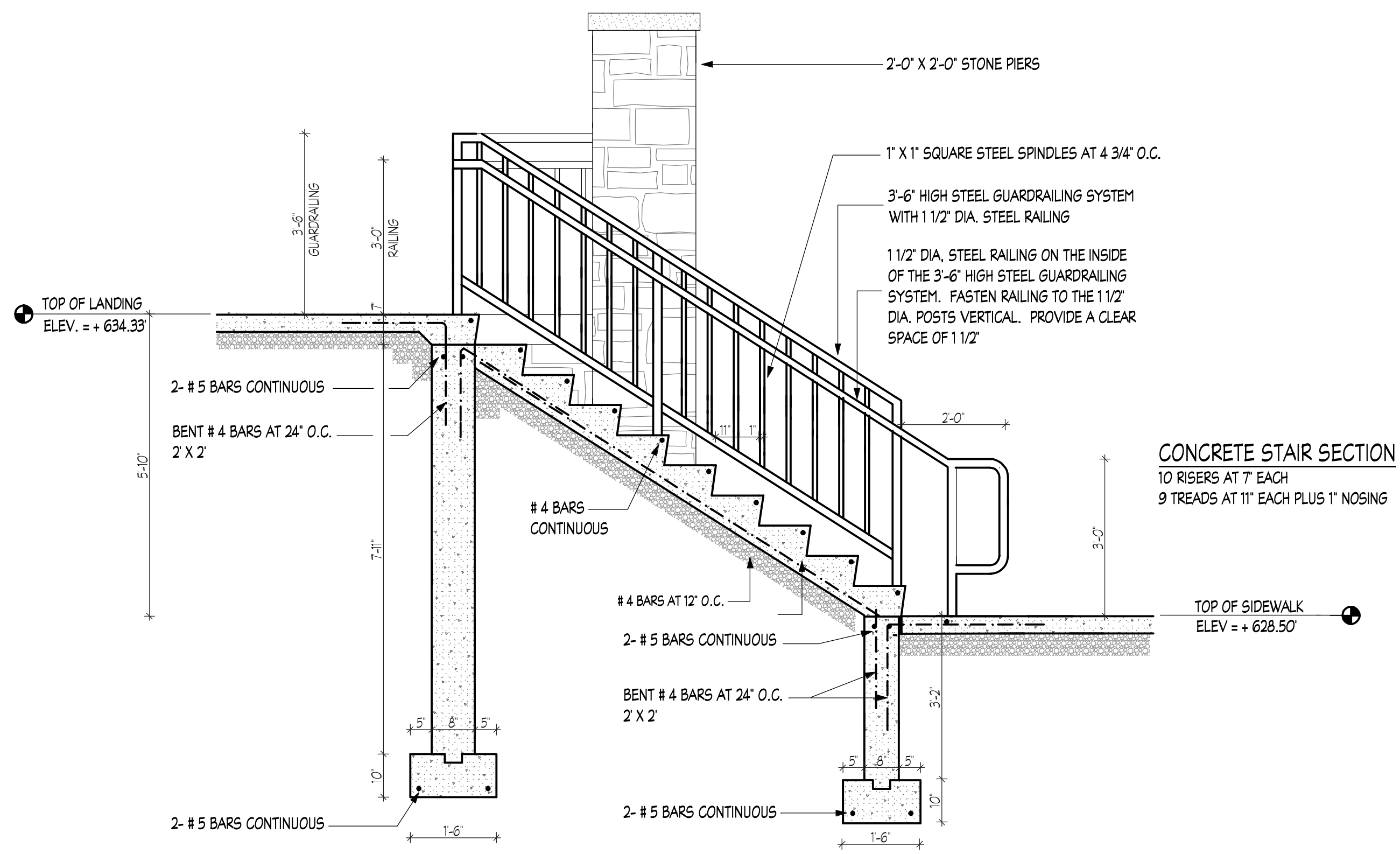
NORTH ELEVATION
SCALE: 3/16" = 1'-0"

NEW PARKING LOT
ILLINOIS STREET
LEMONT, IL

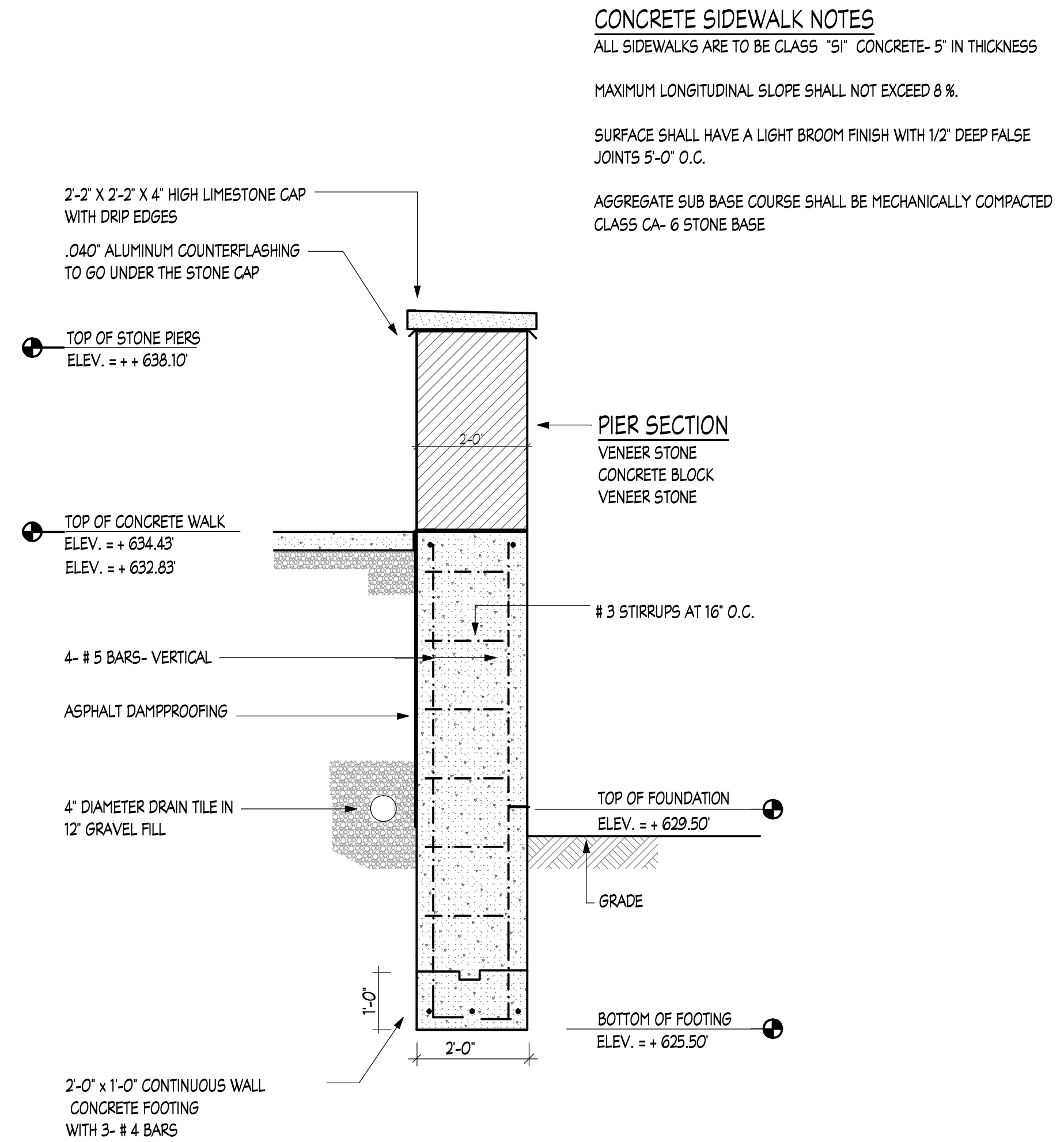
<p>DO NOT SCALE DRAWINGS</p> <p>CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL IMMEDIATELY NOTIFY THE ARCHITECTS, IN WRITING, OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME.</p>	<p>DATE: AUG. 30, 2018</p>	<p>REVISIONS</p>	<p>PLAN No. NB 0502-18</p>	<p>DATE: AUG. 30, 2018</p> <p>DRAWN BY:</p> <p>SCALE</p> <p>APPROVED BY:</p>	<p>I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE AND BELIEF WITH THE REQUIREMENTS OF THE APPLICABLE BUILDING CODES</p>
	<p>SHEET No.</p> <p>A 3 of 4</p>	<p>ARCHITECTS</p>			

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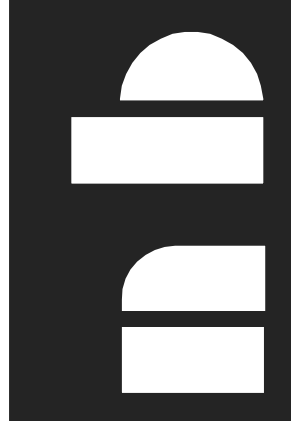


STAIR SECTION
SCALE 1/2" = 1'-0"



PIER SECTION
SCALE 1/2" = 1'-0"

NEW PARKING LOT
ILLINOIS STREET
LEMONT, IL



PLAN No. NB 0502-18
SHEET No. **A 4 of 4**

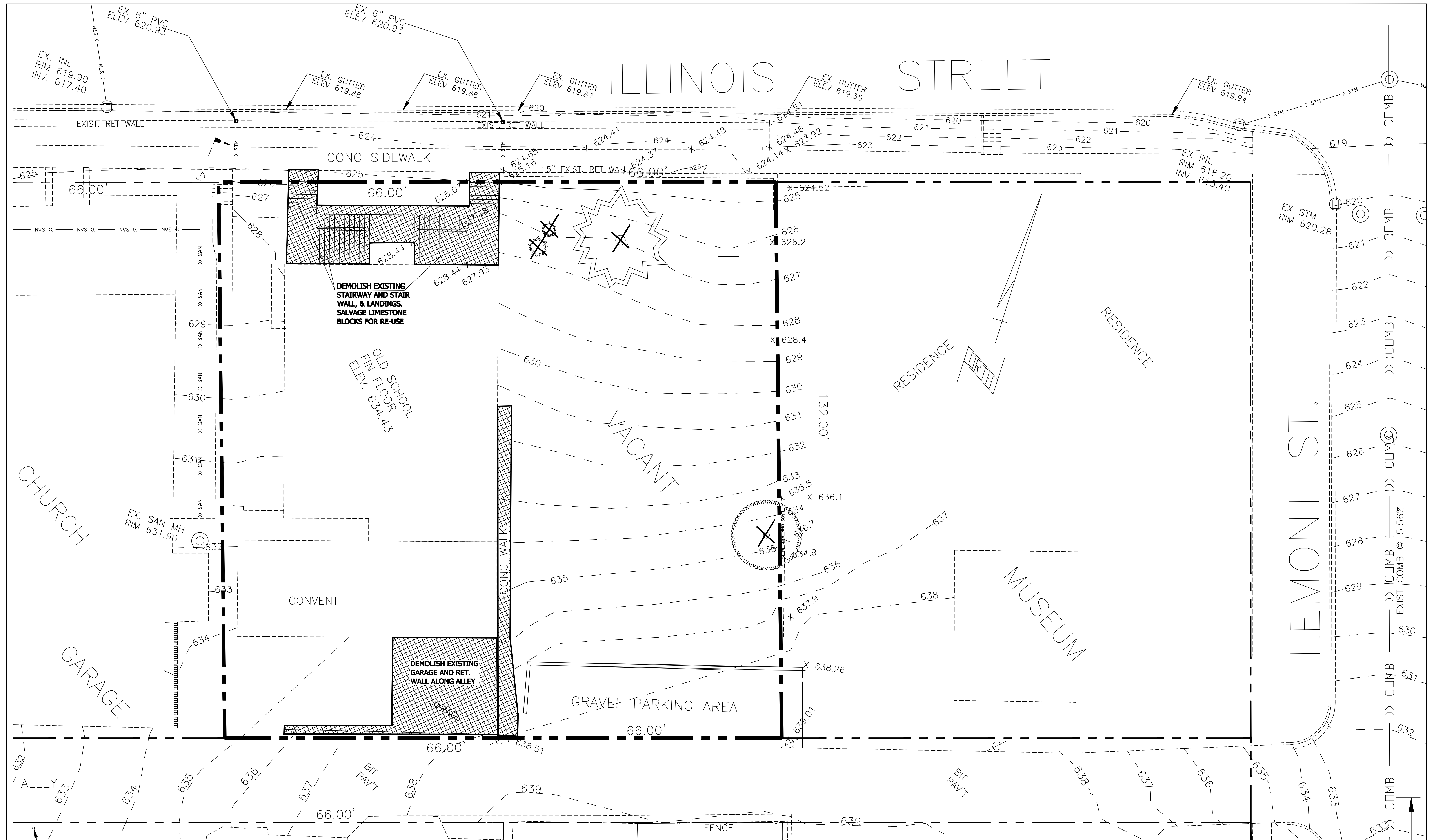
REVISIONS

DATE: AUG. 30, 2018
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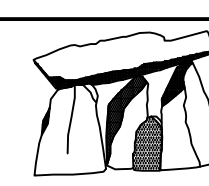
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n. battistich, architects
MEADOWBROOK OFFICE CENTER
16W475 S. FRONTAGE RD., SUITE 201
BURR RIDGE, IL 60527 (630) 966-1773



NO.	DATE	DESCRIPTION
REVISIONS		

DESIGNED	PKM
DRAWN	MS
CHECKED	PKM
DATE	10/12/16

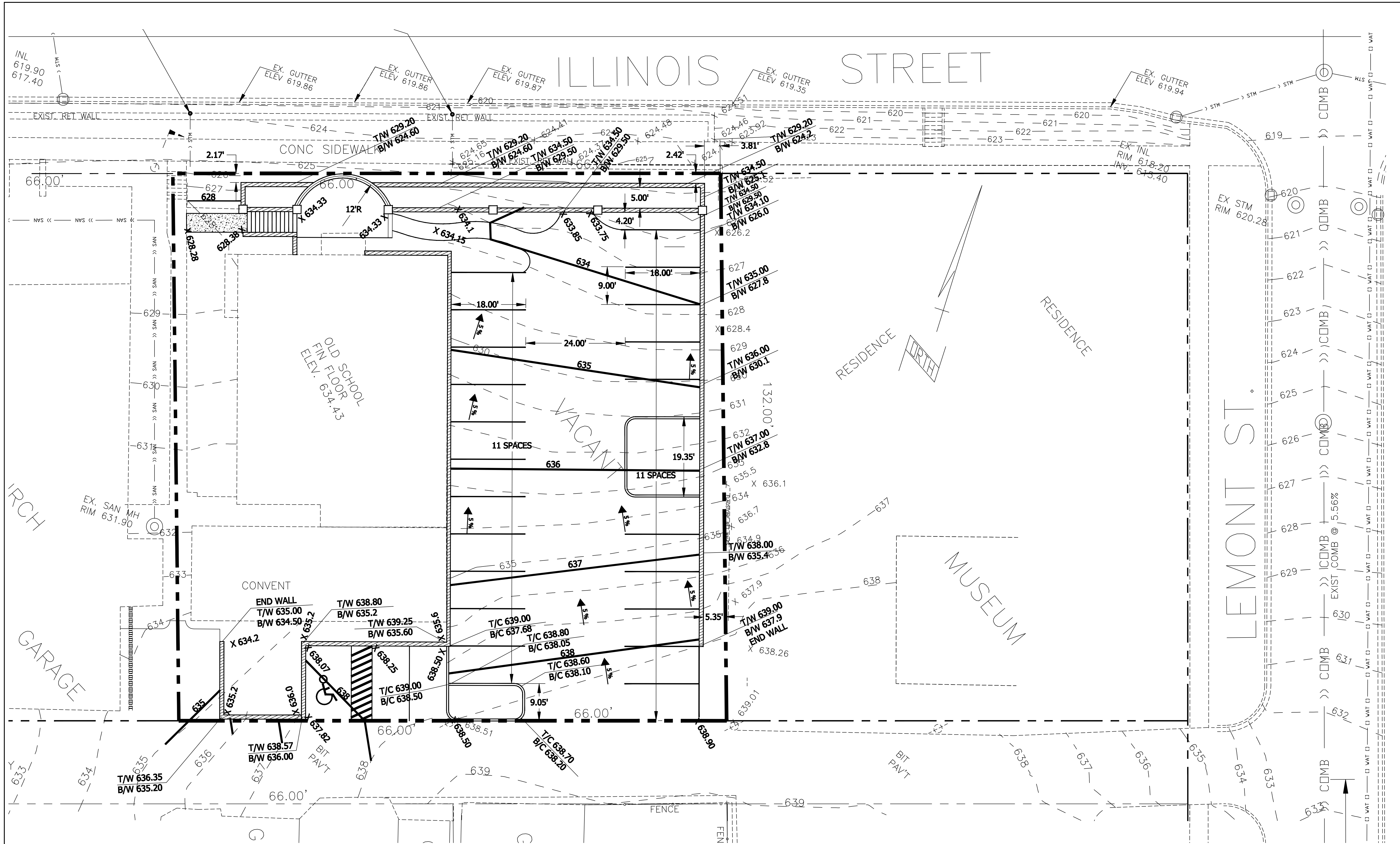

PAUL K. MORRIS, P.E.
 CIVIL ENGINEERING + TRANSPORTATION PLANNING
 1363 STATE STREET,
 LEMONT, ILLINOIS 60439
 (630) 300-8102

OLD ST. JAMES ACADEMY PROJECT
 220 ILLINOIS STREET
 LEMONT, IL

SCALE
 1" = 30'

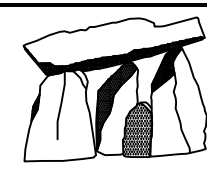
EXISTING CONDITIONS
 & DEMOLITION PLAN

SHEET 6
 OF 13 SHEETS
 PROJECT NO.



NO.	DATE	DESCRIPTION
1.	9/13/18	FRONT ENTRANCE AND REAR PARKING
REVISIONS		

DESIGNED	PKM
DRAWN	MS
CHECKED	PKM
DATE	8/25/16



PAUL K. MORRIS, P.E.
 CIVIL ENGINEERING + TRANSPORTATION PLANNING
 1363 STATE STREET,
 LEMONT, ILLINOIS 60439
 (630) 300-8102

OLD ST. JAMES ACADEMY PROJECT
 220 ILLINOIS STREET
 LEMONT, IL

SCALE
 1" = 10'

GRADING AND DRAINAGE PLAN

SHEET 7
 OF 13 SHEETS
 PROJECT NO.

Application for Certificate of Appropriateness



Lemont Historic Preservation Commission
418 Main Street Lemont, Illinois 60439
phone (630) 257-1595
fax (630) 257-1598

APPLICANT INFORMATION

Applicant's Name

Paradise Homes

Applicant's Address

3901 Galena Crest Hill IL

Applicant's Telephone #

815-325-0881

Applicant's E-mail Address

paradisehomes22@gmail.com

CHECK ONE OF THE FOLLOWING:

- Applicant is the owner of the subject property and is the signer of this application.
- Applicant is the contract purchaser of the subject property.
- Applicant is acting on behalf of the beneficiary of a trust.
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PROPERTY INFORMATION

Address of Subject Property/Properties

114 Stephen Lemont

Parcel Identification Number of Subject Property/Properties

Re-do siding on front - add metal railing

PROJECT INFORMATION

Proposed Construction, Renovation, Demolition (check all that apply):

- | | |
|---|---|
| Change in height of structure _____ | Change in fenestration (window arrangement) _____ |
| Change in footprint of structure _____ | Replacement of windows, awnings <input checked="" type="checkbox"/> |
| Addition to structure _____ | Replacement of exterior details _____ |
| Change in exterior materials on a structure <input checked="" type="checkbox"/> | Installation or alteration of a fence _____ |
| Change in roofing materials _____ | Construction of new structure _____ |
| Addition of or change to a sign _____ | Demolition of s structure _____ |

Brief Statement of Proposed Work:

Replace old windows w/ new vinyl replacement, white double hungs. Change to horizontal siding. Add metal railing to front for decor look only.

**Application for Certificate of
Appropriateness, page 2 of 2**



SUPPORTING DOCUMENTS

Attach architectural elevations, sketches, drawings, plans, site plans, etc. as appropriate. **SUBMIT 10 COPIES OF ALL DOCUMENTS.** The submission of material samples is encouraged, and in some cases the Historic Preservation Commission may deny or postpone approval of the application without material samples. The applicant may submit material samples at the time of application or may present them to the Historic Preservation Commission at the Commission's public meeting.

FOR VILLAGE STAFF USE ONLY

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By: _____

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Signature of Applicant

Date

[Handwritten Signature] *9/28/18*

Village of LEMONT

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY

STREET #

DIRECTION

STREET

PIN

LOCAL SIGNIFICANCE RATING

POTENTIAL IND NR? (Y or N)

CRITERIA

Contributing to a NR DISTRICT?

Contributing secondary structure?

Listed on existing SURVEY?



GENERAL INFORMATION

CATEGORY CURRENT FUNCTION

CONDITION HISTORIC FUNCTION

INTEGRITY REASON for SIGNIFICANCE

STOREFRONT INTEGRITY

SECONDARY STRUCTURE

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION

DETAILS

BEGINYEAR

OTHER YEAR

DATESOURCE

WALL MATERIAL (current)

WALL MATERIAL 2 (current)

WALL MATERIAL (original)

WALL MATERIAL 2 (original)

PLAN

NO OF STORIES

ROOF TYPE

ROOF MATERIAL

FOUNDATION

PORCH

WINDOW MATERIAL

WINDOW MATERIAL

WINDOW TYPE

WINDOW CONFIG

SIGNIFICANT FEATURES

ALTERATIONS

Village of LEMONT

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY
CONTINUATION SHEET

STREET # 114

STREET STEPHEN

ADDITIONAL PHOTOS OR INFORMATION

Historic Information:

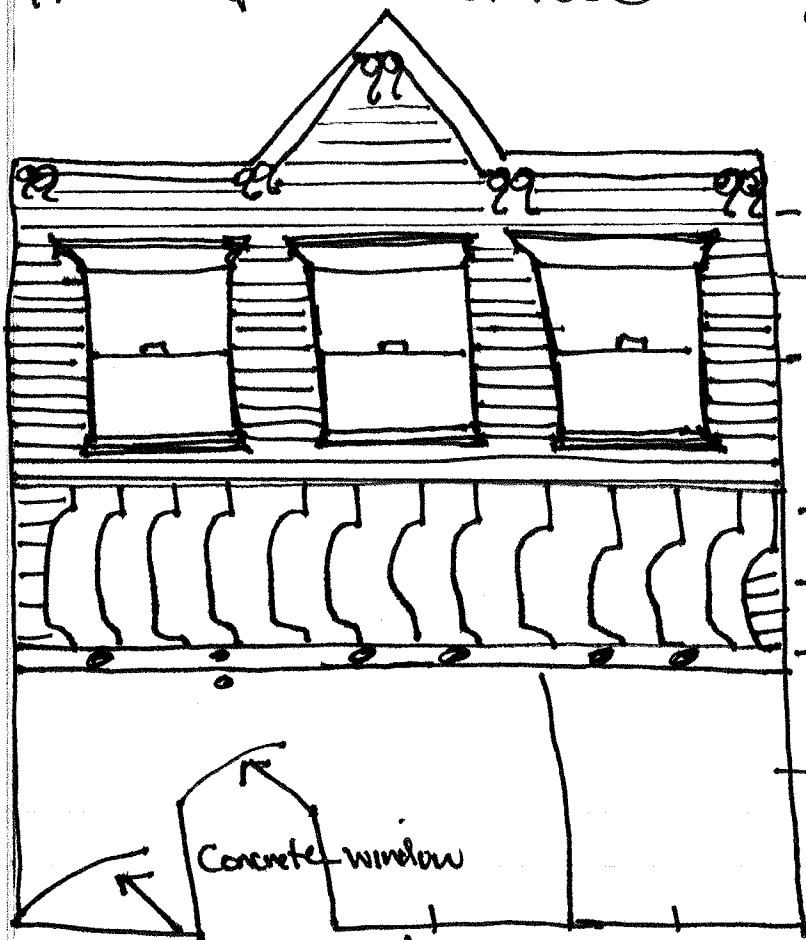
“...From the mid to late nineteenth century, Canal, Main, and Stephen Streets were lined with saloons and bordellos. Because of the crime and the notoriety, this area became known as “Smokey Row”. In addition to serving a permanent clientele comprised of workers from the limestone quarries and the aluminum factory, the saloons served a large itinerant population made up of canal workers, railroad workers, and canal bargemen. During the boom town years of the 1890s brought on by the construction of the Sanitary and Ship Canal (1892-1897), the number of saloons in Lemont burgeoned to eighty-four...Forzely’s General Merchandise Store was founded at this location in 1926 by Sam (Salim) Forzley. Forzley immigrated to the United States from Lebanon in 1908; worked as a peddler from 1912-1926. He operated this store from 1926 to 1956, when his son, Richard, took over the business.”

HABS Significance:

“Historically significant for its nineteenth century association with Smokey Row as well as for its twentieth century association with Forzley’s, a local clothing store, at this location since 1926.”

114 Stephen Advised Exterior

☺☺ - New Decorative
gables



- New Crown molding

- New Siding

- New Double hung S

- New Raw Iron Rails

- New Can lights

- window

Concrete window

window

window

Door
To Apt.
Upstairs

114 Original Exterior
Stephen

