



Village of Lemont
Historic Preservation Commission

418 Main Street · Lemont, Illinois 60439
phone 630-257-1595 · fax 630-257-1598

**HISTORIC PRESERVATION COMMISSION
Special Meeting
AGENDA**

September 3, 2015 – 6:30 p.m.

**LEMONT VILLAGE HALL
418 MAIN STREET**

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MINUTES: Meeting June 11, 2015**
- IV. CHAIRMAN'S REPORT**
- V. PUBLIC HEARINGS**
- VI. APPLICATIONS**
 - A. Certificate of Appropriateness for 6 windows and 2 doors at 80 Main St.
- VII. NEW BUSINESS**
- VIII. PLANNING & ECONOMIC DEVELOPMENT DIRECTOR COMMENTS**
- IX. AUDIENCE PARTICIPATION**
- X. ADJOURN**

**MINUTES
HISTORIC PRESERVATION COMMISSION**

June 11, 2015

I. CALL TO ORDER

The June meeting of the Historic Preservation Commission was called to order on Thursday, June 11, 2015 at 6:30 p.m. by Chairman Barbara Buschman.

II. ROLL CALL

Commissioners Buschman, Cummins, Roy, and Yates present. Commissioners Batistich, Flynn and Schwartz absent. Heather Milway, Village Planner, and Ron Stapleton, Trustee Liaison, were also present.

III. APPROVAL OF MINUTES

Motion by Ms. Roy, seconded by Mr. Cummins, to approve the minutes of the May 7, 2015 meeting. Voice vote: 4 ayes. Motion passed.

IV. CHAIRMAN'S REPORT

V. APPLICATIONS

**A. 06.15 – Certificate of Appropriateness – Replacement of Second Floor Windows
711 Singer Avenue**

Heather Milway presented the application for replacement of second floor windows at 711 Singer Avenue with Anderson Woodwright Perma-Shield clad wood insert windows. Replacement windows will be double hung 4 over 1 with permanent grilles with spacers between glass. Windows will be high performance low E4 glass with full screens (“TruScene”), with sandstone exterior window color and trim to match existing soffit material. Initially, commissioners were confused as to which of the presented window styles was being used, but a phone call to the applicant explained that the lights would be 4 over 1 with vertical grilles identical to the existing second floor windows. Motion by Mr. Cummins to approve a Certificate of Appropriateness for replacement of second floor windows per the application and materials submitted and dated 5/20/15, seconded by Ms. Roy. Voice vote: 4 ayes. Motion passed.

**B. 05.15 – Certificate of Appropriateness – Construction of 3 new residential buildings
508 Illinois Street**

In response to recommendations by the Planning & Zoning Commission following its hearing on May 20, a revised plan was submitted by the developer, Zen Dog Properties. Heather Milway presented the revisions. The Historic Preservation Commission had previously reviewed drawings of the proposed PUD development at its May 7 meeting. The revised plan replaces one of the 2 unit townhomes on Porter Street with a 2-story single family residence, 2-bedroom, 1200 s.f., with an attached 2-car garage at the front of the building. Front entry door to the home is on the west side. The 2-unit townhome on the adjoining lot has been re-designed to present a less imposing building mass, showing a 1-story, 2-unit frame building of traditional design with a decorative cupola. An attached 4-car garage has been re-located to the rear of the building. A wider shared driveway provides access to garages and Illinois Street properties.

The 2-story triplex unit on Illinois Street remains basically unchanged from the previous submission reviewed on May 7. Other concerns raised at the P&Z public hearing regarding parking were addressed in the revised plans.

Commissioners commented that the re-designed Porter Street buildings complemented the

surrounding neighborhood, and were an improvement over the original design. A motion was made by Mr. Cummins, seconded by Ms. Roy, to approve a Certificate of Appropriateness for the revised building drawings, pending approval of final materials. Voice vote: 4 ayes. Motion passed.

VI. PLANNING AND ECONOMIC DEVELOPMENT DIRECTOR COMMENTS

Heather Milway gave a brief update on the St. James Academy demolition application. The Archdiocese had scheduled a meeting with staff but then cancelled the meeting and it has not been re-scheduled. Charity Jones has completed a marketing brochure for the St. James building and is in process of forwarding to recommended development consultants. Ms. Milway also mentioned that the Park District's C-Spar agency is seeking a space for operations.

VII. AUDIENCE PARTICIPATION

VIII. ADJOURN

Motion by Mr. Cummins, seconded by Ms. Roy, to adjourn the meeting at 7:25 p.m. Voice vote: 4 ayes. Meeting adjourned.

Application for Certificate of Appropriateness

APPLICANT INFORMATION

Applicant's Name Englewood Construction Inc

Applicant's Address 80 Main Street Lemont IL 60439

Applicant's Telephone # 847 233 9200

Applicant's E-mail Address cdisanto@eci.build

CHECK ONE OF THE FOLLOWING:

- Applicant is the owner of the subject property and is the signer of this application.
- Applicant is the contract purchaser of the subject property.
- Applicant is acting on behalf of the beneficiary of a trust.
- Applicant is a tenant on the subject property.

PROPERTY INFORMATION

Address of Subject Property/Properties 80 Main Street Lemont IL 60439

Parcel Identification Number of Subject Property/Properties _____

PROJECT INFORMATION

Proposed Construction, Renovation, Demolition (check all that apply):

- | | |
|---|---|
| Change in height of structure _____ | Change in fenestration (window arrangement) _____ |
| Change in footprint of structure _____ | Replacement of windows, awnings _____ |
| Addition to structure _____ | Replacement of exterior details _____ |
| Change in exterior materials on a structure _____ | Installation or alteration of a fence _____ |
| Change in roofing materials _____ | Construction of new structure _____ |
| Additon of or change to a sign _____ | Demolition of s structure _____ |

Brief Statement of Proposed Work:

Installing six (6) new windows

SUPPORTING DOCUMENTS

Attach architectural elevations, sketches, drawings, plans, site plans, etc. as appropriate. SUBMIT 10 COPIES OF ALL DOCUMENTS. The submission of material samples is encouraged, and in some cases the Historic Preservation Commission may deny or postpone approval of the application without material samples. The applicant may submit material samples at the time of application or may present them to the Historic Preservation Commission at the Commission's public meeting.

FOR VILLAGE STAFF USE ONLY

Application received on: _____ By: _____
Project information (drawings, elevations, etc) received: _____

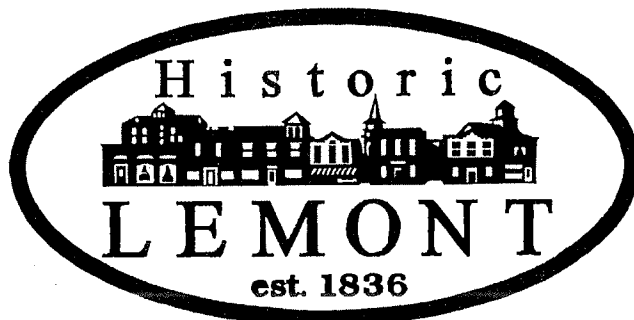
AFFIRMATION

I hereby affirm that I have full legal capacity to authorize the filing of this application and that all information, exhibits, and documents herewith submitted are true and correct to the best of my knowledge. I permit Village representatives to make all reasonable inspections and investigations of the subject property during the period of processing of this application. I understand that the submitted fee is non-refundable, and that prior to approval of grant reimbursement I will be expected to enter into an agreement with the Village of Lemont.

 _____ Date 08/07/15

Did you know....?

The Village of Lemont offers grants for the renovation of commercial property within the Lemont Historic District. Inquire with the Village's Planning & Economic Development Department or ask for a brochure and application.





30479
DANGER
Do not touch
this equipment

MORGA
3



80 MAIN



REMODELING FOR:
ENGLEWOOD CONSTRUCTION
80 WEST MAIN STREET
LEMONT, ILLINOIS 60439



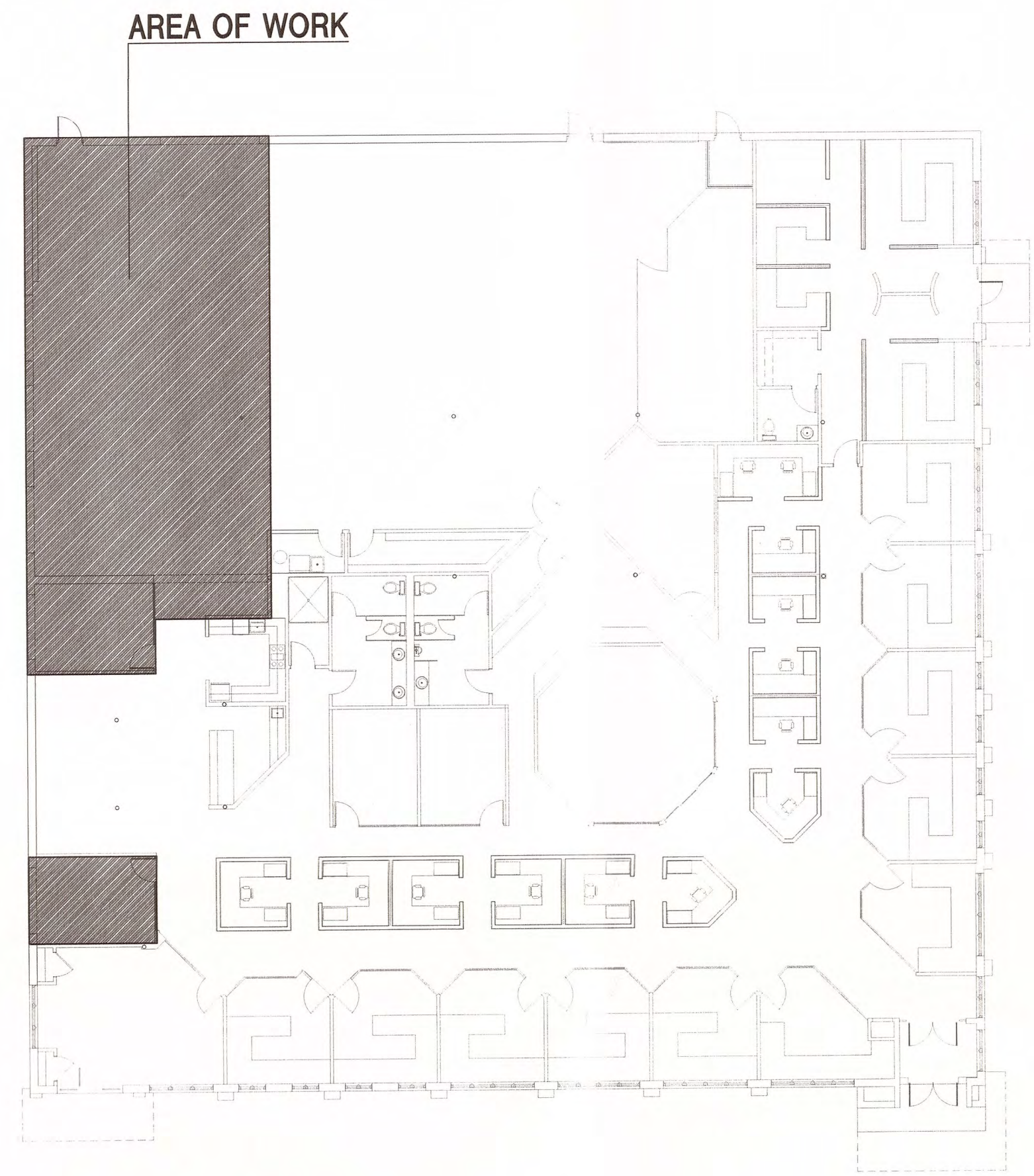
VILLAGE OF LEMONT
 APPROVED
 APPROVED AS NOTED
 NOT APPROVED

Date _____ Signature _____

VILLAGE OF LEMONT
 APPROVED
 APPROVED AS NOTED
 NOT APPROVED

Date _____ Signature _____

PROJECT DESCRIPTION
 INTERIOR REMODELING AND BUILD-OUT
 WINDOW/DOOR INSTALLATION
 RECONFIGURING EXISTING ELECTRICAL
 PANEL, NEW HVAC ROOF TOP UNIT &
 DIFFUSERS AND REGISTERS
 REQUIRED SEPARATION OF OCCUPANCIES
 2009 IBC TABLE 508.3.3 = 1 HOUR



KEY PLAN
 1/8"=1'-0"

INDEX OF DRAWINGS

RELEASER/PERMIT PLAN	
ADMINISTRATIVE	<ul style="list-style-type: none"> A-0 ALL SHEETS (PROJECT GENERAL NOTES) A-0.1 BUILDING GENERAL NOTES (GENERAL) A-0.2 OCCUPANCY STANDARDS AND DETAILS
ARCHITECTURAL	<ul style="list-style-type: none"> A-1 INTERIOR FLOOR FINISHES (GENERAL) A-2 WALLS, CEILING, FLOOR, DOOR AND WINDOW SCHEDULES, WINDOW SCHEDULES A-3 INTERIOR DETAILS AND FINISHES
STRUCTURAL	<ul style="list-style-type: none"> S-1 STRUCTURAL PLAN (SECTION 1.0)
ELECTRICAL	<ul style="list-style-type: none"> E-1 SYMBOLS AND SCHEDULES E-2 ELECTRICAL PANEL SCHEDULE, WIRING SCHEDULE AND PANELS
HVAC	<ul style="list-style-type: none"> M-0 MECHANICAL SCHEDULES (GENERAL) M-0.1 MECHANICAL DETAILS (GENERAL) M-1.0 MECHANICAL PLUMBING PLAN M-2.0 MECHANICAL EQUIPMENT

ZONING, BUILDING, CODE & SITE DATA

GENERAL SITE & BUILDING INFORMATION:
 COMMON NAME: 80 MAIN STREET, LLC
 STREET ADDRESS: 80 MAIN STREET, LEMONT, ILLINOIS
 PERMANENT TAX NUMBER: N/A
 USE GROUP: B BUSINESS-1 STORAGE
 CONSTRUCTION TYPE: TYPE I-B EXISTING (PROTECTED)

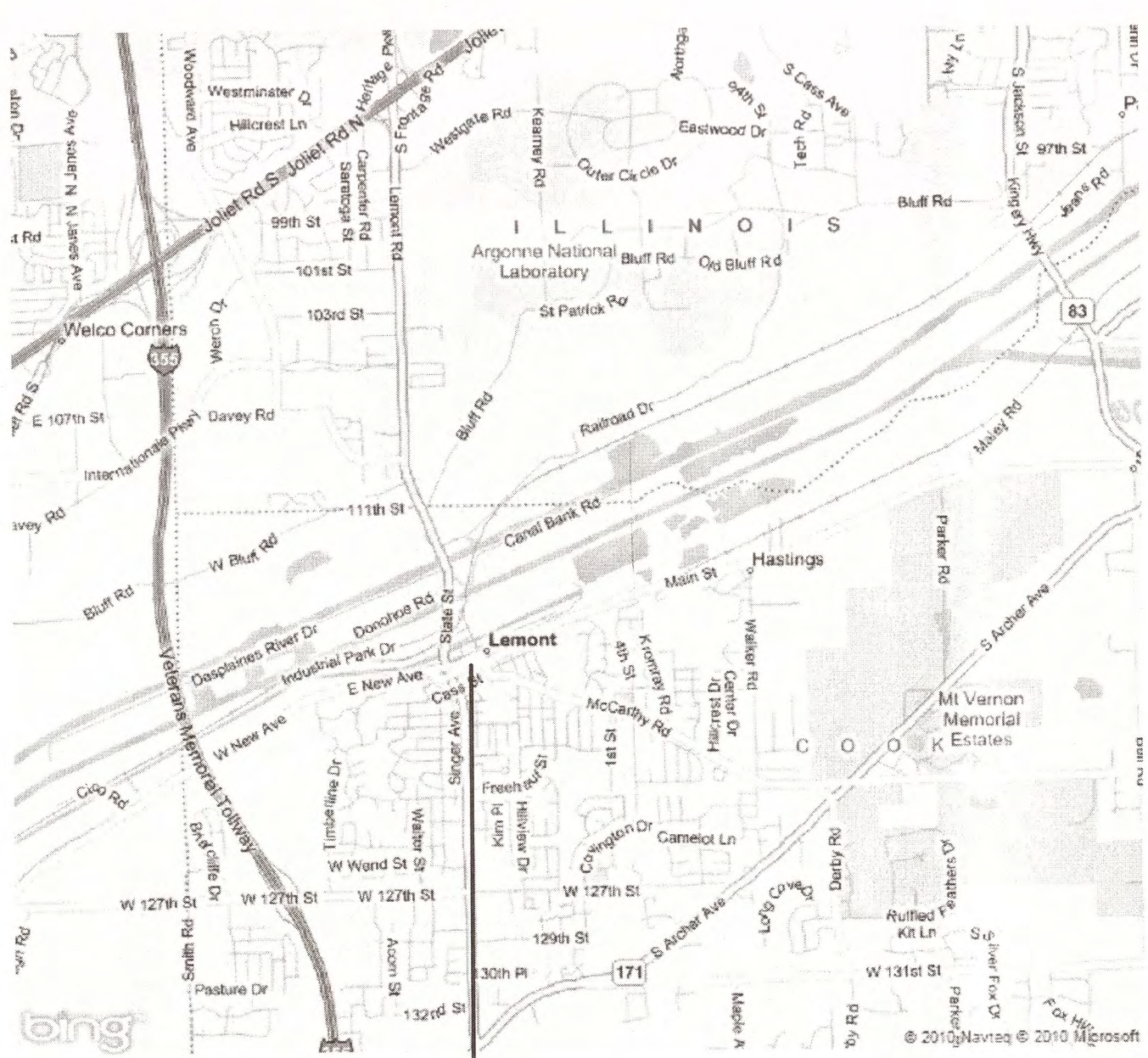
GOVERNING AGENCIES:
 BUILDING: VILLAGE OF LEMONT
 ELECTRIC: VILLAGE OF LEMONT
 PLUMBING: VILLAGE OF LEMONT
 MECHANICAL: VILLAGE OF LEMONT
 ACCESSIBILITY: VILLAGE OF LEMONT
 HEALTH: DUPage COUNTY HEALTH DEPT.
 FIRE PREVENTION: LEMONT FIRE PREVENTION DEPARTMENT
 SITE ENGINEERING: N/A
 WATER: VILLAGE OF LEMONT
 SANITARY: VILLAGE OF LEMONT

HIGHWAY COUNTY: N/A
HIGHWAY STATE: N/A
PRIMARY POWER: COMED
GAS: NICOR
TELEPHONE: SBC

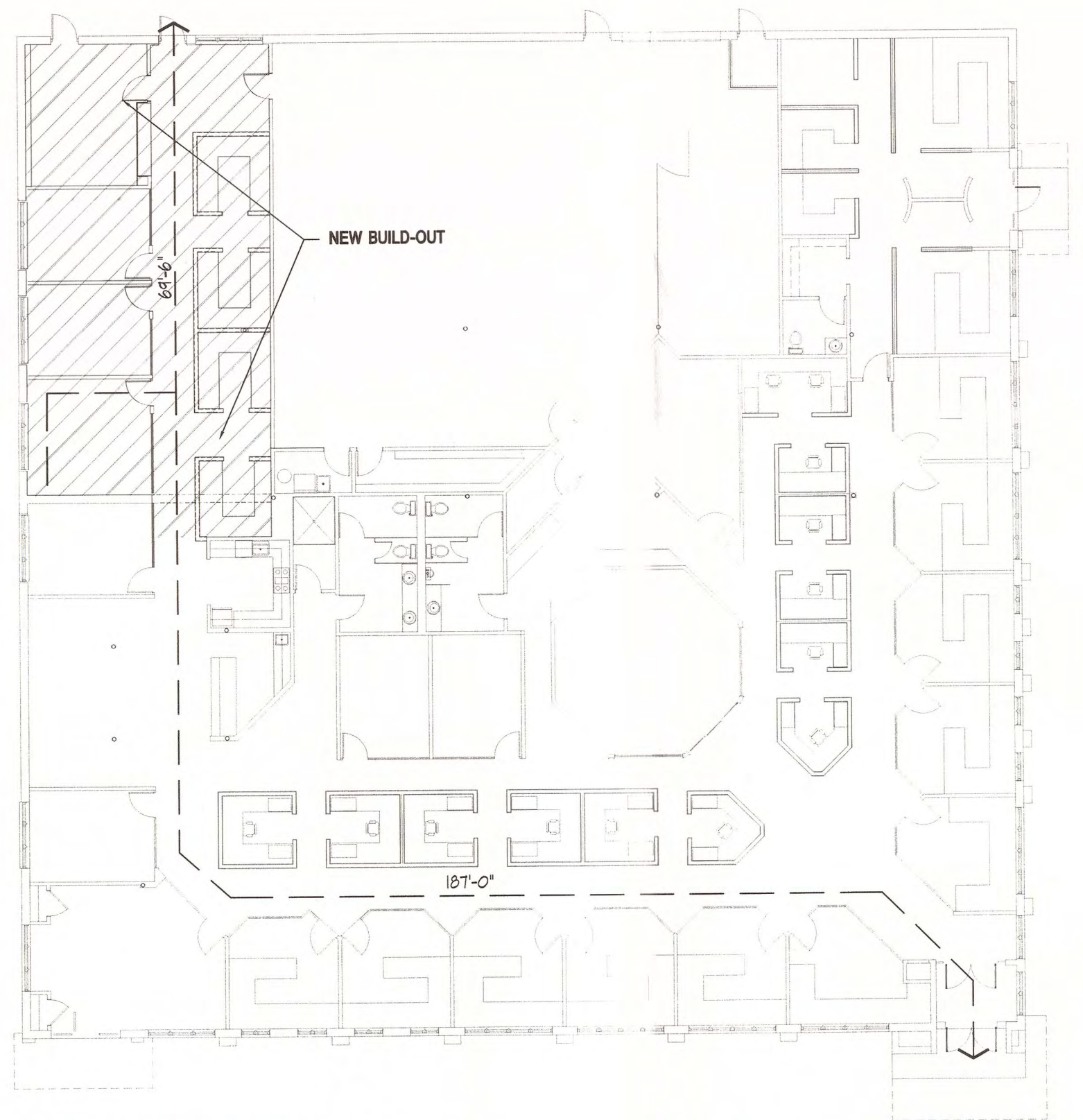
GOVERNING CODES:
 BUILDING CODE: 2009 INTERNATIONAL BUILDING CODE & TITLE 15
 ELECTRICAL CODE: 2009 NATIONAL ELECTRIC CODE
 PLUMBING CODE: 2014 ILLINOIS PLUMBING CODE
 MECHANICAL CODE: 2008 INTERNATIONAL MECHANICAL CODE
 2009 INTERNATIONAL ENERGY CODE
 2008 INTERNATIONAL FUEL GAS CODE
 2012 ILLINOIS ENERGY CONSERVATION CODE

ACCESSIBILITY CODE: ILLINOIS ADA 1997
 2008 INTERNATIONAL FIRE CODE
 (LOCAL AMENDMENTS IS APPLICABLE VIEW AT LEMONT FIRE.COM
 2007 NATIONAL FIRE ALARM CODE (NFPA 72)
 (DIRECT CONNECTION TO F.D. COMMUNICATIONS CENTER REQUIRED)
 2007 FIRE SPRINKLER INSTALLATION (NFPA 13)
 2008 INSPECTION, TESTING, & MAINTENANCE OF FIRE SUPPRESSION SYSTEMS
 (NFPA 25) APPLIES TO SPRINKLER SYSTEMS AND FIRE PUMPS
 2006 LIFE SAFETY CODE (NFPA 101)

ZONING ORDINANCE: VILLAGE OF LEMONT ZONING ORDINANCE
 NOTE: WHENEVER STATEMENT OF THE CODES ARE IN CONFLICT THE MORE STRINGENT REQUIREMENT GOVERNS



VICINITY MAP
 NO SCALE NORTH



EGRESS PLAN
 1/8"=1'-0"

NOTE:
 SEE POWER AND LIGHTING
 PLAN FOR EMERGENCY AND
 EXIT LIGHTING

STATEMENT OF COMPLIANCE

I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with all applicable building codes and ordinances of the Village of LEMONT, Illinois.

Signed: _____
 ILL. REGISTRATION #01-018559
 License Expires 11-30-2016

DATE: _____





RELEASED FOR PERMIT 8-6-2015

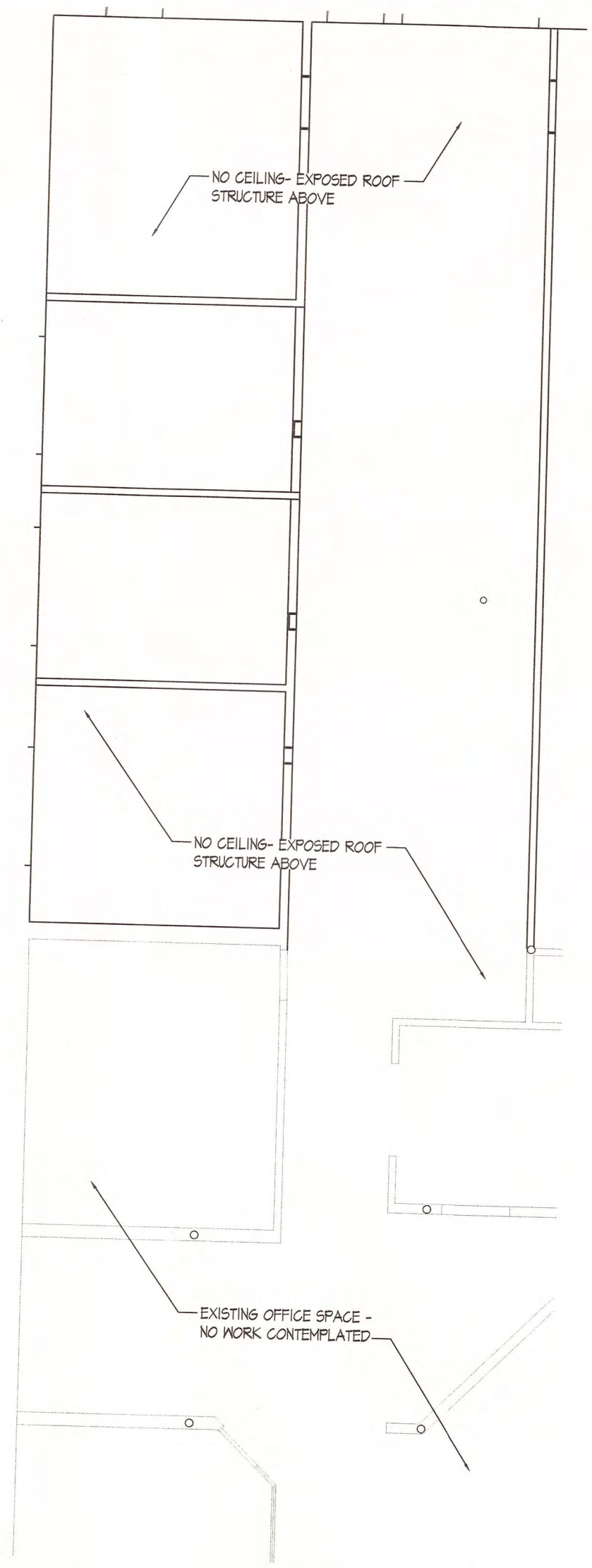
SCALE: _____ SHEET: **A-0**

PROJECT:
 INTERIOR REMODELING FOR:
ENGLEWOOD CONSTRUCTION
80 WEST MAIN STREET
LEMONT, ILLINOIS

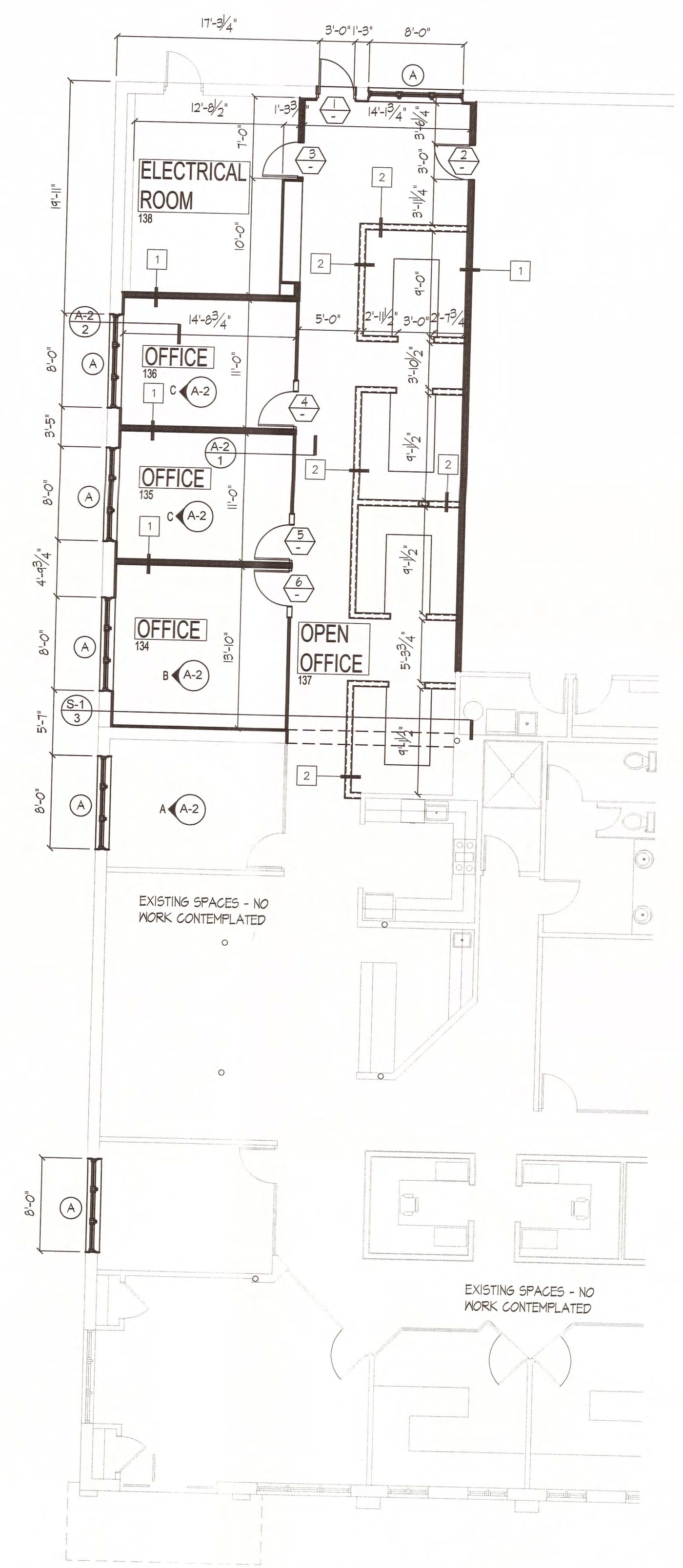
BVM ASSOCIATES, LLC
 ARCHITECTS
 DESIGNERS
 SPACE PLANNERS
 80 WEST MAIN STREET
 LEMONT, IL 60439
 630-968-6680
 EMAIL: bvm@bvmassociates.com
 bvm@bvmassociates.com
 MEMBER AMERICAN INSTITUTE OF ARCHITECTS
 ILLINOIS PROFESSIONAL DESIGN FIRM #04-00284
 © 2015 BVM ASSOCIATES, LLC

WALL LEGEND

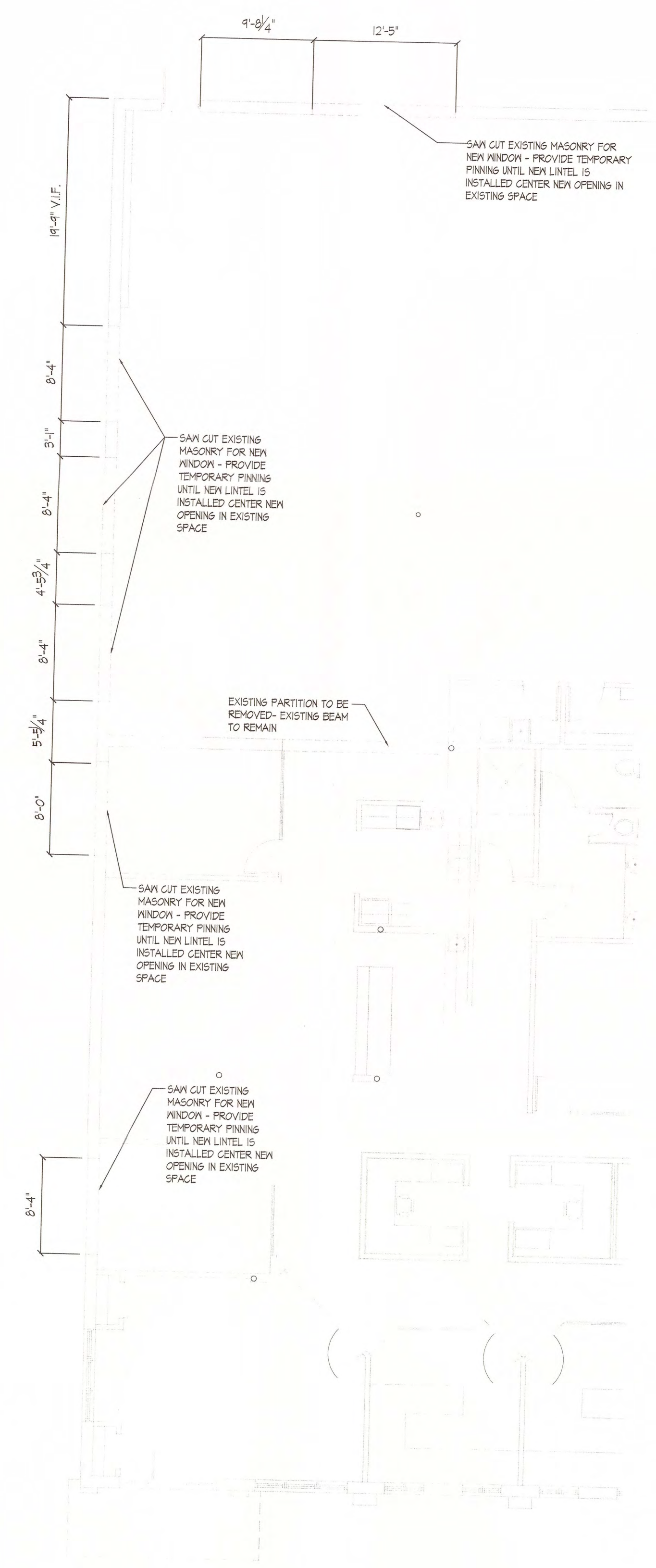
- 1  NEW INTERIOR NON-BEARING WALL PARTITION
-1/2" F.C. GYPSUM BOARD
-2x4 WOOD STUDS @ 16" O.C.
-1/2" F.C. GYPSUM BOARD
- 2  PARTIAL HEIGHT INTERIOR WALL PARTITION
-1/2" F.C. GYPSUM BOARD
-2x4 WOOD STUDS @ 16" O.C.
-1/2" F.C. GYPSUM BOARD
- 3  EXISTING WALL TO REMAIN
- 4  EXISTING WALL TO BE REMOVED



PARTIAL REFLECTED CEILING PLAN
1/8"=1'-0"



CONSTRUCTION PLAN
1/8"=1'-0"



DEMOLITION FLOOR PLAN
1/8"=1'-0"

PROJECT:
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80 WEST MAIN STREET
LEMONT, ILLINOIS

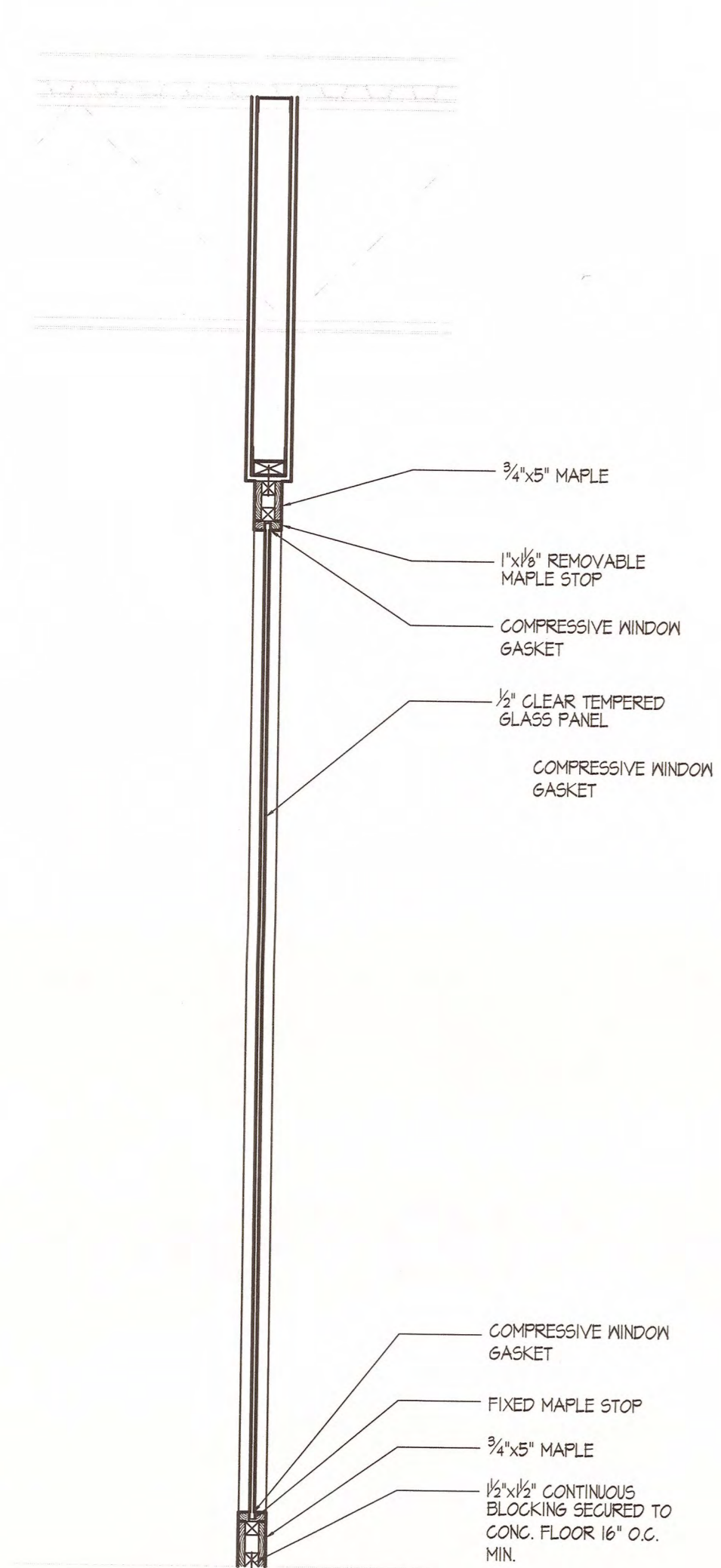
BVM
BVM ASSOCIATES, LLC
ARCHITECTS
DESIGNERS
SPACE PLANNERS
80 WEST MAIN STREET
LEMONT, IL 60548
630-468-6680
EMAIL: bill@bvmassociates.com
bvm@bvmassociates.com
HONOR AMERICAN INSTITUTE OF ARCHITECTS
ILLINOIS PROFESSIONAL DESIGN FIRM #6400264
© 2015 BVM ASSOCIATES, LLC

DATE:

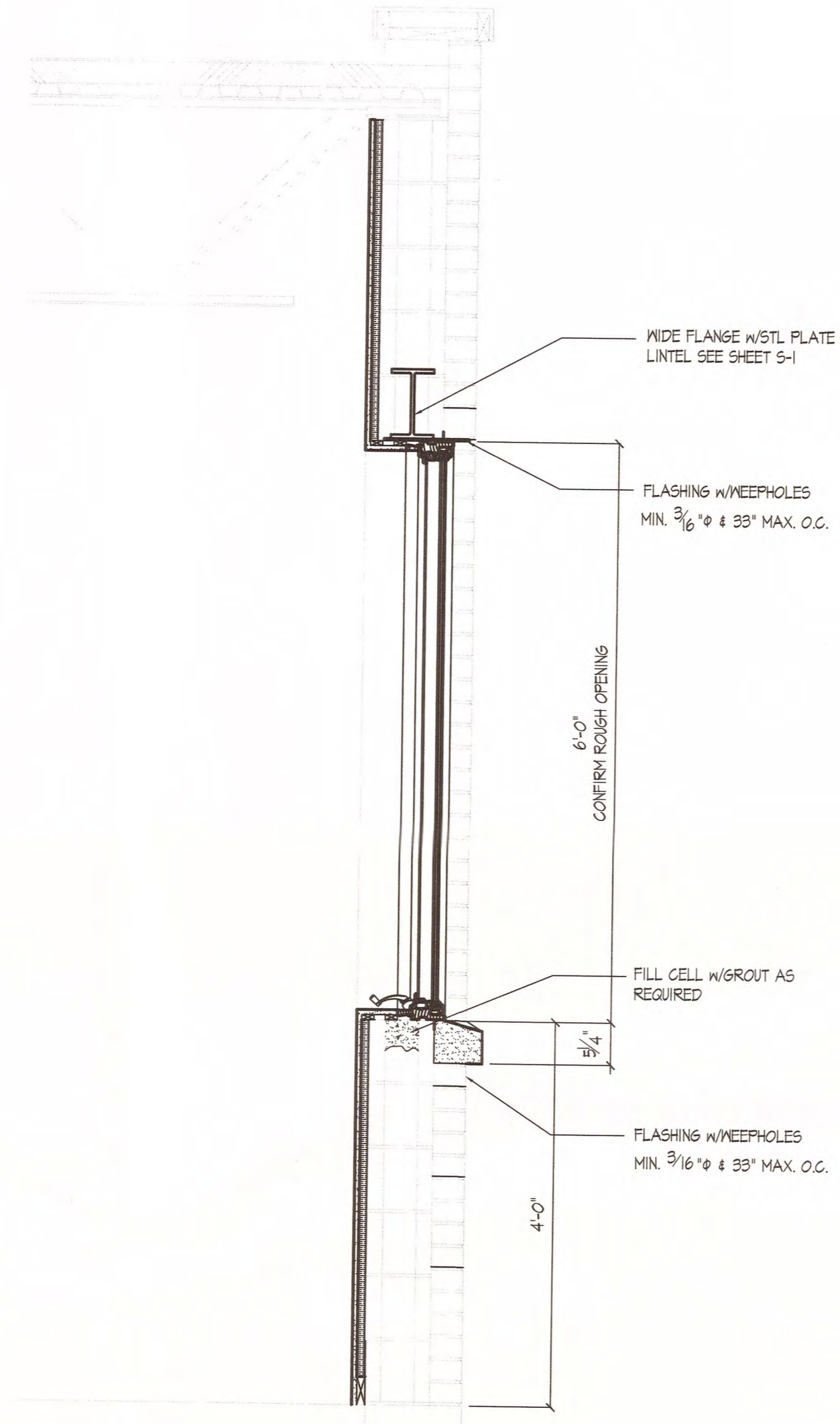
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SCALE:

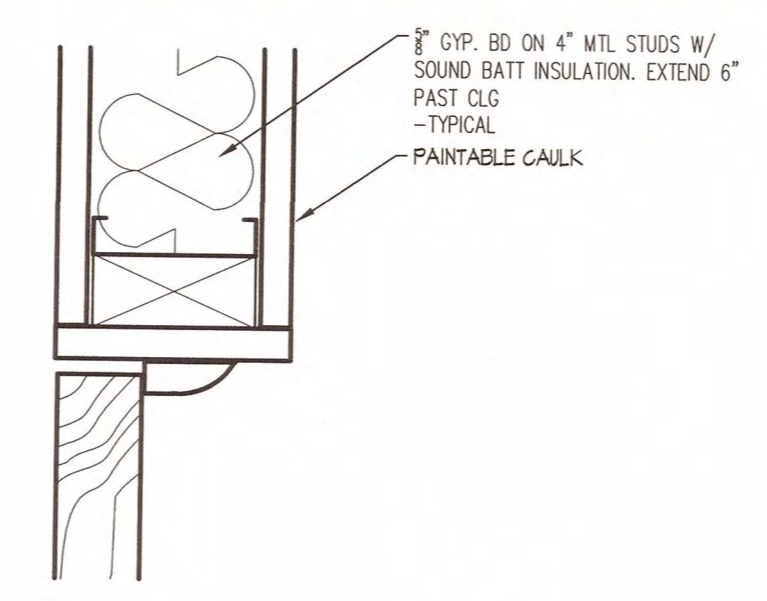
SHEET: A-1



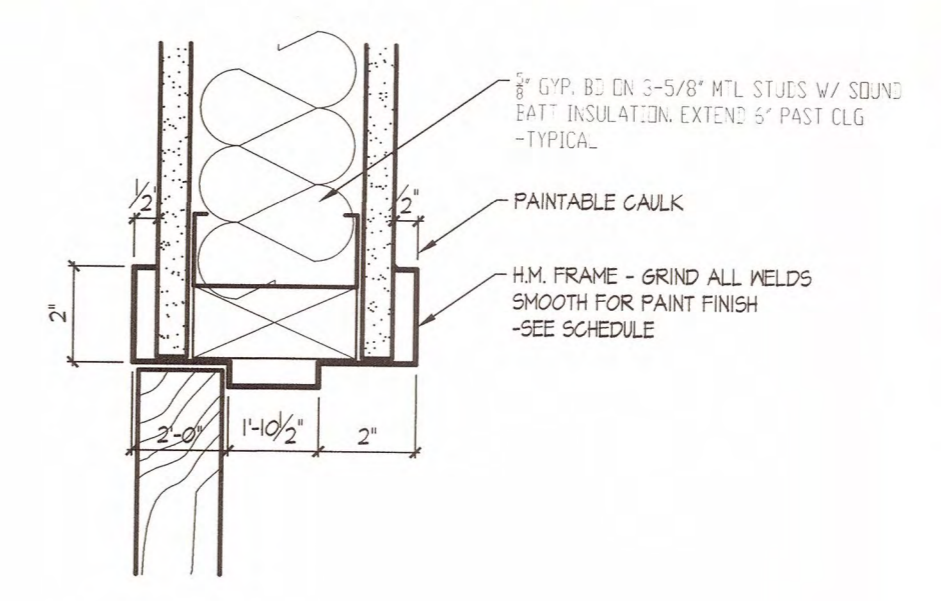
1 TYPICAL OFFICE WINDOW
3/4"x5"



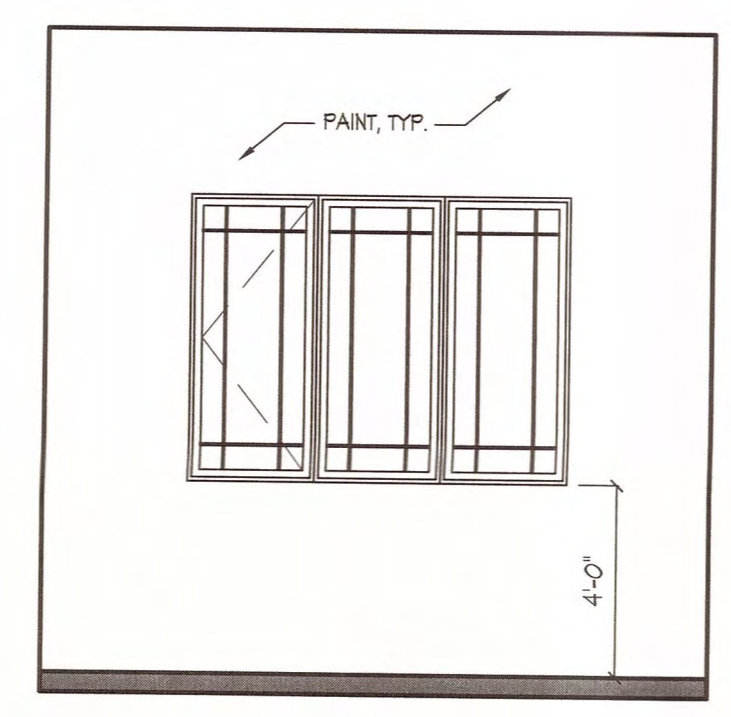
2 TYPICAL WALL/WINDOW SECTION
3/4"x5"



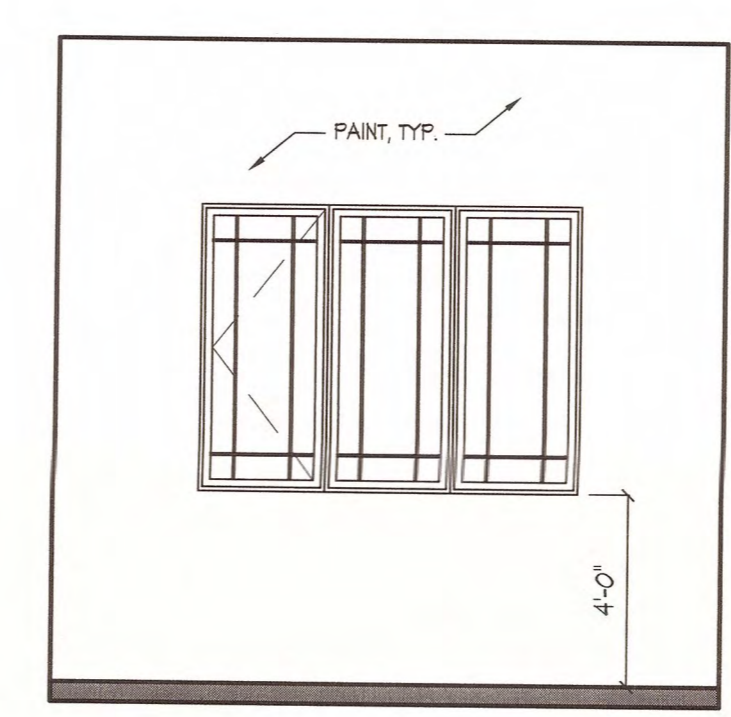
A WOOD HEAD DETAIL (JAMB SIM)
SCALE 3"x1'-0"



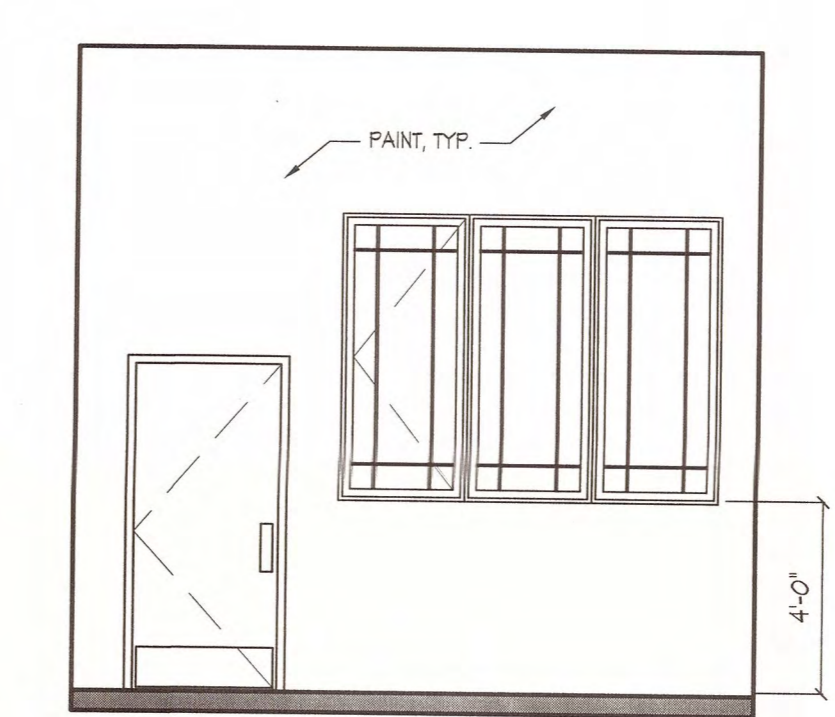
B H.M. HEAD DETAIL (JAMB SIM)
SCALE 3"x1'-0"



ELEVATION A
1/4"x4"



ELEVATION B
1/4"x4"



ELEVATION C
1/4"x4"

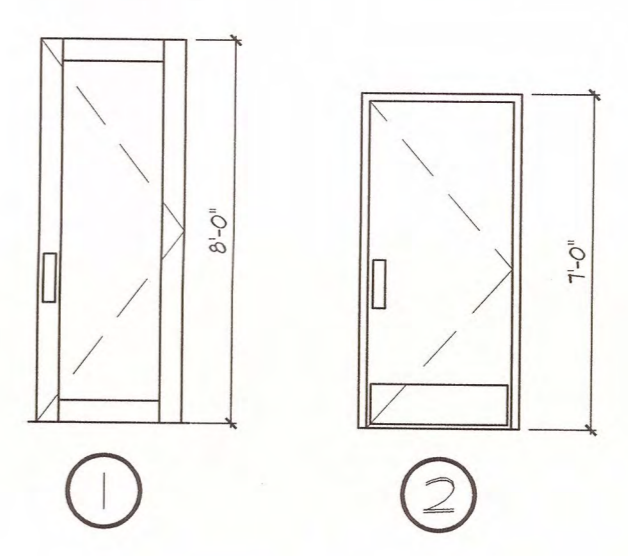
DOOR SCHEDULE												
REF#	DIMENSIONS		FLOOR	DOORS				FRAMES				REMARKS
	WIDTH	LENGTH		TYPE	FINISH	DETAIL	DETAIL	DETAIL	DETAIL			
1	3'-0"	7'-0"	1	H.METAL	PAINT	1	METAL	B	B	B	1	SELF CLOSING/SELF LATCHING
2	6'-0"	11'-0"	2	WOOD	GLAD	2	WOOD	C	C	C	2	
3												
4												
5												
6												

DOOR HARDWARE

1- OFFICE DOOR
 SCHLAGE L-SERIES OT LEVER HANDLE, S5 FINISH W/ #91L-F STD TRIM
 RIM EXIT DEVICE IN S.S. FINISH
 STANLEY FIVE KNUCKLE S.S. MORTISE HINGES - NRP
 NORTON SERIES #T500 PARALLEL ARM CLOSER, ALUMINUM FINISH
 PROVIDE DRIP-CAP, WEATHERSTRIPPING, AND SNEEP AT EXTERIOR LOCATIONS

2- OFFICE DOOR
 (3) 4-1/2" FDB HINGES
 SCHLAGE 'D' SERIES RHODES OFFICE LOCKSET, 626 FINISH, 2-3/4" BACKSET
 FRAME SILENCERS

ALL HARDWARE MAY BE SUBSTITUTED WITH EQUAL OR BETTER



400 SERIES CASEMENT WINDOWS



CX16-3
 ALL ASSEMBLIES (2,3,4 UNIT) TO HAVE MINIMUM ONE OPERABLE SASH.
 STANDARD GRILL PATTERN 'PRAIRIE A' STANDARD WIDTH, INSTALLED BETWEEN GLASS PANE
 EXTERIOR GLAD COLOR TO BE: SANDTONE
 INTERIOR WOOD TO BE: MAPLE

WINDOW PERFORMANCE SPECIFICATIONS	
U-FACTOR	SHGC
0.280	0.430

ROOM FINISH SCHEDULE										
REF#	ROOM	FLOOR		WALL FINISH				CEILING		REMARKS
		FLOOR	BASE	NORTH	SOUTH	EAST	WEST	TYPE	HEIGHT	
134	PROJECT MANAGER	CT	CT	PAINT	PAINT	PAINT	PAINT	NONE		
135	PROJECT MANAGER	CPT	WOOD							
136	PROJECT MANAGER									
137	OPEN OFFICE									
138	ELECTRICAL ROOM									

PROJECT:
 INTERIOR REMODELING FOR:

ENGLEWOOD CONSTRUCTION
 80 WEST MAIN STREET
 LEMONT, ILLINOIS

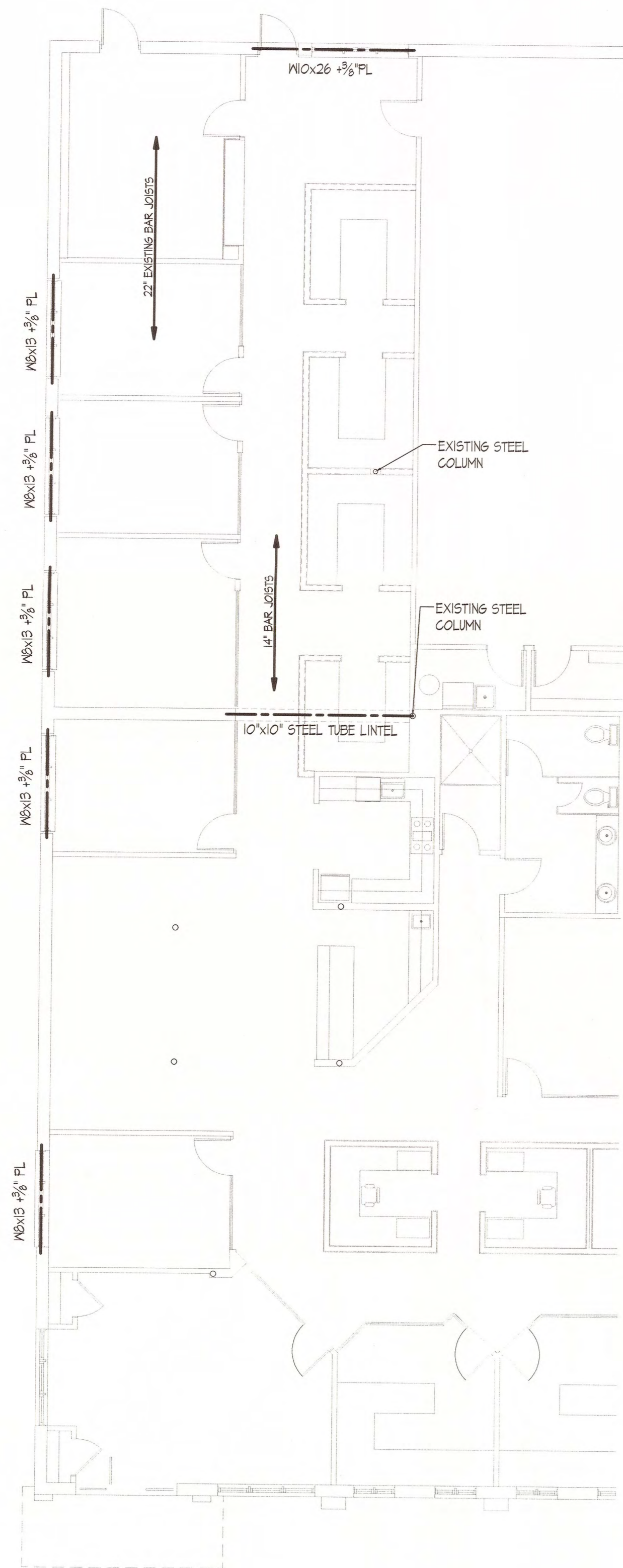
BVM ASSOCIATES, LLC
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 SPACE PLANNERS
 80 WEST MAIN STREET
 LEMONT, IL 60546
 630-968-6680
 EMAIL: bvm@bvmassociates.com
 bvm@bvmassociates.com
 MEMBER AMERICAN INSTITUTE OF ARCHITECTS
 LICENSED PROFESSIONAL DESIGNER #0420584
 ©2015 BVM ASSOCIATES, LLC

DATE:

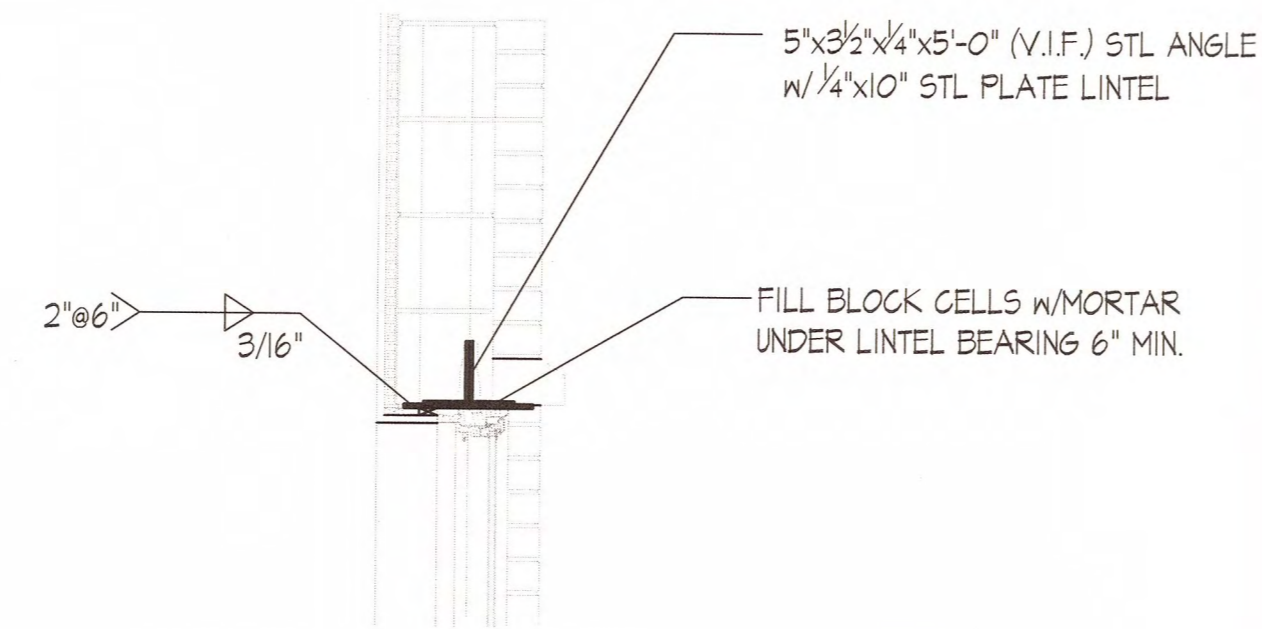
 RELEASED FOR PERMIT 8-6-2015

SCALE:

SHEET: A-2

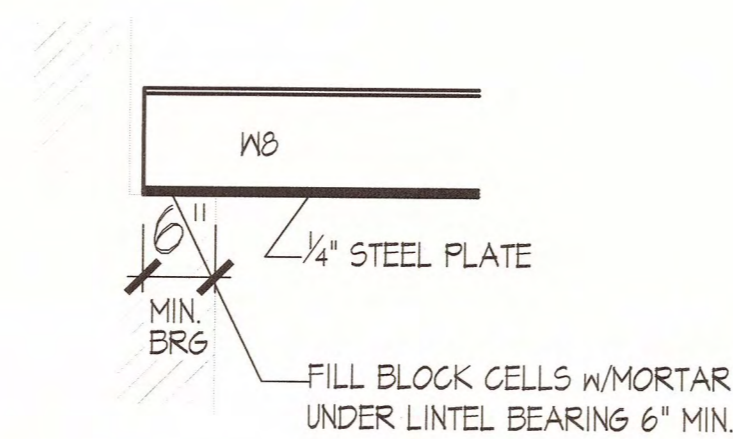


STRUCTURAL PLAN
1/8"-1"



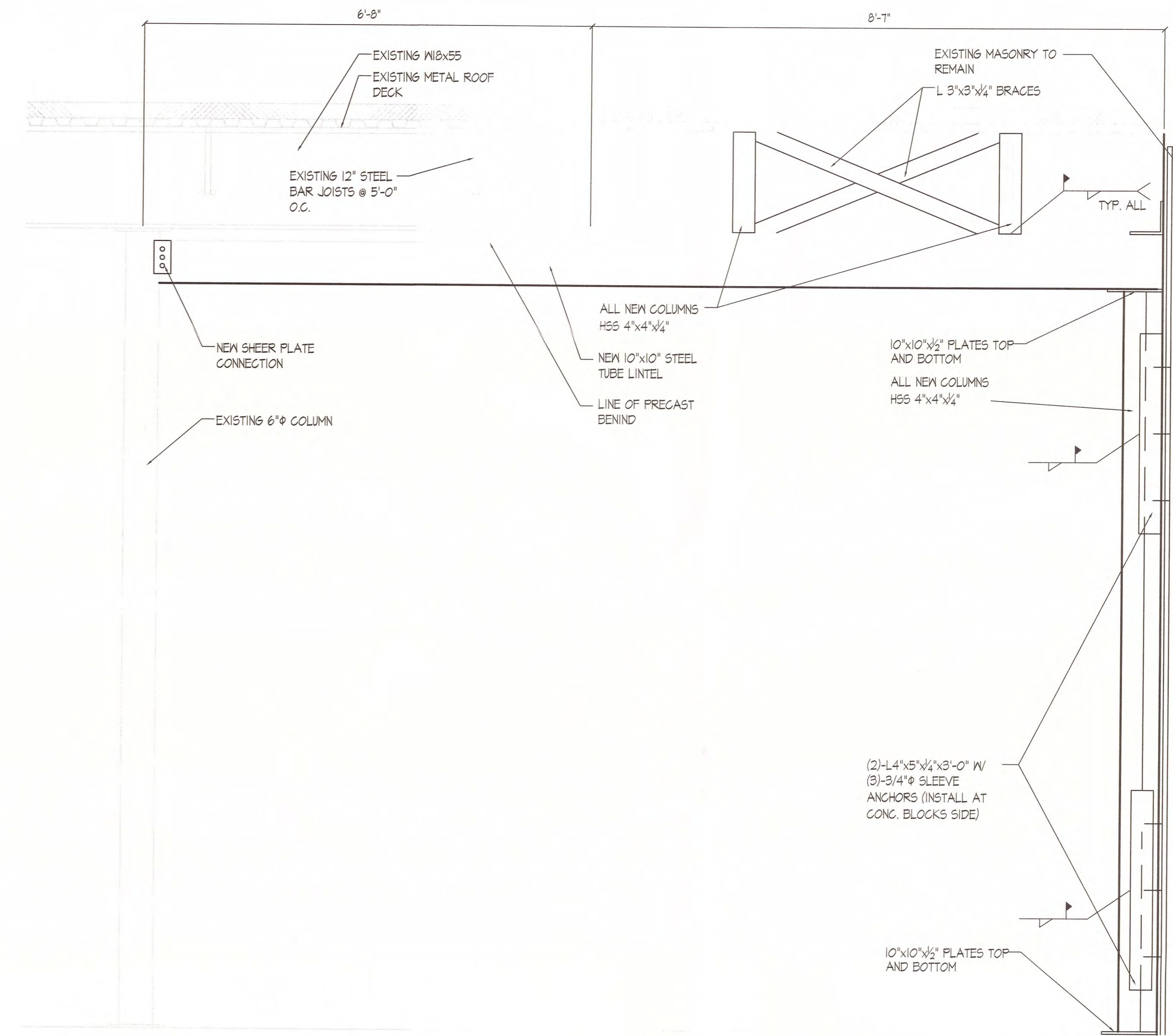
1 WINDOW LINTEL DETAIL
3/4"-1" (5'-0" & 3'-6" SPAN)

NEW LINTEL NOTES:
1. MIN. 8" BEARING AT ENDS
2. BEARING PLATE SIZE - 7/8" x 1 1/2" x 1/2"



2 TYPICAL BEARING DETAIL
3/4"-1" (ALL LINTELS)

STRUCTURAL DETAILS



3 WALL SECTION DETAIL AT NEW LINTEL
3/4"-1"

STRUCTURAL GENERAL NOTES

- ALL W SHAPES A992 STEEL
- ALL L'S, PLATES, C A36 STEEL
- BOLTS 3/4" A325-N
- WELDS E70XX ELECTRODES

DESIGN LOAD SPECIFICATIONS

SNOW LOAD 30# SQ. FT.
WIND LOAD 90 MPH

PROJECT:
INTERIOR REMODELING FOR:

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80 WEST MAIN STREET
LEMONT, ILLINOIS

EVM ASSOCIATES, LLC
ARCHITECTS
DESIGNERS
SPACE PLANNERS
80 WEST MAIN STREET
LEMONT, IL 60546
630-968-6680
EMAIL: bll@evmassociates.com
ben@evmassociates.com
MEMBER AMERICAN INSTITUTE OF ARCHITECTS
ILLINOIS PROFESSIONAL DESIGN FIRM #84-00584
© 2015 EVM ASSOCIATES, LLC

DATE:

RELEASED FOR PERMIT 8-6-2015

SCALE:

SHEET: S-1