



Village of Lemont  
*Planning and Zoning Commission*

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418 Main Street · Lemont, Illinois 60439  
phone 630-257-1595 · fax 630-257-1598

**PLANNING & ZONING COMMISSION**  
**Regular Meeting**  
**Wednesday, March 18, 2015**  
**6:30 p.m.**

**Planning and Zoning  
Commission**

Anthony Spinelli,  
Chairman

**Commission Members:**

Deb Arendziak  
Ryan Kwasneski  
David Maher  
Jerry McGleam  
Jason Sanderson  
Phil Sullivan

**Planning & Economic  
Development Department  
Staff**

Charity Jones, AICP, Director

- I. CALL TO ORDER
  - A. Pledge of Allegiance
  - B. Verify Quorum
  - C. Approval of Minutes February 18, 2015 meeting
- II. CHAIRMAN'S COMMENTS
- III. PUBLIC HEARINGS
  - A. 13-11 Birch Path Final PUD Plat/Plan Amendment. Request to reduce the number of lots from 19 to 17 single family lots.
- IV. ACTION ITEMS
- V. GENERAL DISCUSSION
- VI. AUDIENCE PARTICIPATION
- VII. ADJOURNMENT



Village of Lemont  
*Planning & Economic Development Department*

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418 Main Street · Lemont, Illinois 60439  
phone 630-257-1595 · fax 630-257-1598

TO: Planning and Zoning Commission

FROM: Martha M Glas, Village Planner  
Charity Jones, AICP, Planning & Economic Development Director

SUBJECT: Case 13-11 Birch Path Final PUD Plan/Plat Amendment

DATE: March 13, 2015

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## BACKGROUND

On December 8, 2014 the Village of Lemont approved a Final PUD Plan/Plat for a 19 unit detached single-family development. The development is located south of 127<sup>th</sup> street and east of Mayfair Estates.

The following items were part of the approvals:

- A. Side yard setback reduced to 10'.
- B. Front yard setback is 25' except for lots 8, 9, 16 and 17, setback is reduced to 20'.
- C. Rear yard setback is 20' except for lots 8, 9, 16 and 17, setback is reduced to 15'.
- D. Lot widths shall vary as indicated in the site plan.
- E. Lot sizes shall be as indicated in the site plan.

The applicant is requesting an amendment to the Final PUD Plan/Plat which includes reducing the subdivision from 19 lots to 17 lots. The reduction in the number of lots increases the lot widths and area of the remaining lots. With the proposed amendment, lot widths range up to 80' and lot area ranges from 6,091 sq. ft. to 14,347 sq. ft. Setback requests have remained unchanged.

The Village Engineer did not have any comments regarding the requested amendment. While staff finds the general request for the reduction in the number of lots to be acceptable, the reduction in lots does impact the anti-monotony standards. With the reduction to 17 lots, staff recommends the following changes to the previously approved PUD ordinance (deletions are stricken and additions are underlined):

- A) Anti-monotony.** Six home models (Labeled A-F) are identified in Exhibit D. The subdivision shall include one of each model's base elevation as shown in Exhibit D. The remaining lots shall be constructed with alternate front elevations of the six

models. Each model's alternate elevation must meet the standards of UDO §17.22.020, Design Variety in Residential Construction when compared against the base elevation of the model. Additionally, the following standards shall apply for the construction of the models included in Exhibit D:

- a. A specific model cannot be located immediately adjacent to the same specific model.
- b. If a model is proposed to be located within two lots of or across the street from the same model, it must be a differing elevation of the existing model (i.e. alternate elevation vs. base elevation).
- c. No one model, including its base elevation and alternate elevation, can be constructed on more than 7 6 lots.
- d. Models that are not included in Exhibit D or an alternate elevation of one of the 6 models contained in Exhibit D, but are comparable in architectural style to the approved residential designs shall be processed as a minor amendment to the PUD.

**B) Garages.**

- a. At least 6 homes shall be constructed with side-loaded garages. A reduction to the minimum number of required side-loaded garages can be requested and shall be evaluated as a minor amendment to the PUD.
- b. No more than 7 6 homes shall have front-loaded garages that protrude more than 10ft from the plane of the front elevation of the home, as defined in Figure 17-22-01 of the UDO.
- c. Windows shall be required on the garage doors of all front-loading garages.
- d. No more than 6 5 homes shall have a 3-car garage, regardless if such garage is a front or side loaded garage.

**C) Masonry**

- a. Masonry shall extend from grade to the lowest sill of the first floor windows on all sides of all single family units, but in no case shall be less than 3 feet.
- b. Brick and stone veneer shall be anchored veneer. Adhered brick and stone veneer systems shall not be permitted, except adhered natural stone veneer shall be permitted for porch columns.

**D) Other Exterior Materials & Features**

- a. Siding shall be cement fiber board, LP Smart Side® or a comparable product of similar style and quality as approved by the Village Planning & Economic Development Director.
- b. All windows shall include window trim. Windows that do not include shutters shall have a minimum 3.5" trim around the entire window.
- c. Shutters shall be the lesser of 15" wide or half the width of the adjacent window.
- d. Architectural elements such as shutters and window mullions that are present on the front elevation shall be included on all sides of the home unless the

inclusion of the element will detract from the architectural style of the home, as determined by the Village Planning & Economic Development Director.

**E) Homeowner's Association Establishment**

- a. The Petitioner shall establish a Homeowner's Association prior to the issuance of a site development permit.

Additionally, the amendment approval is contingent on the following changes to the submitted plans:

- 1) In the previously approved plans, the sidewalk around the western side of the northern cul-de-sac was shifted away from the eastern lot line in an effort to minimize the impact to the neighboring lot in Mayfair Estates. The sidewalk configuration should be reestablished as previously approved.
- 2) The note 1 on page 5 of 12 should be removed.
- 3) Note 27 on page 8 of 12 should be revised to read "Twenty-two (22) mitigation trees (6 swamp white oaks, 6 bur oaks, 6 red oaks and 4 white oaks) shall be planted in Outlots A, B & C as determined by Lemont's Arborist.

**CONCLUSIONS & RECOMMENDATIONS**

The approved smaller lot sizes in the original Birch Path PUD were intended to make feasible the development of a difficult site and increase diversity in Lemont's housing stock; allowing younger families an opportunity to purchase in the community and offering older residents a place to downsize without leaving Lemont. The proposed amendment increases the overall lot sizes, but still provides diversity in that the lots are less than the typical Lemont 12,500 sf residential lot. Additionally, all of the benefits of the original plan such as landscaping, open space, and quality architecture, remain. Therefore, staff recommends approval of the proposed amendment with the conditions noted.

**Attachments**

- 1. Applicant submittal package
- 2. O-76-14, An Ordinance Granting Final PUD Plan/Plat Approval for a 19 Lot Residential Subdivision Located South of 127<sup>th</sup> St and West of Interstate I-355 in Lemont, IL.



\* Amendment

Village of Lemont

**PUD Final Plan/Plat Application Form**

Planning & Economic Development Department  
418 Main Street Lemont, Illinois 60439  
phone (630) 257-1595  
fax (630) 257-1598

**APPLICANT INFORMATION**

JOHN M. FORD  
Applicant Name  
LEMONT 19 LLC  
Company/Organization  
11921 S. HOBART ST. PALOS PARK, IL. 60464  
Applicant Address  
708-751-2070  
Telephone & Fax  
FORD, JOHNMIKE@GMAIL.COM  
E-mail

**CHECK ONE OF THE FOLLOWING:**

- Applicant is the owner of the subject property and is the signer of this application.
- Applicant is the contract purchaser of the subject property.
- Applicant is acting on behalf of the beneficiary of a trust.
- Applicant is acting on behalf of the owner.

**PROPERTY INFORMATION**

STONEYBROOK DR. # 7-355  
Address of Subject Property/Properties  
22-31-200-006 6+ ACRES  
Parcel Identification Number of Subject Property/Properties      Size of Subject Property/Properties

**REQUIRED DOCUMENTS**

See Form 508-A, PUD Final Plan/Plat Application Checklist of Required Materials, for items that must accompany this application.

**FOR OFFICE USE ONLY**

Application received on: \_\_\_\_\_ By: \_\_\_\_\_  
Application deemed complete on: \_\_\_\_\_ By: \_\_\_\_\_  
Current Zoning: \_\_\_\_\_  
Fee Amount Enclosed: \_\_\_\_\_ Escrow Amount Enclosed: \_\_\_\_\_

# PUD Final Plan/Plat Application Form

Village of Lemont

## APPLICATION FEE & ESCROW

### Application Fee (only required if the PUD includes a final plat of subdivision):

- < 3 acres = \$300, plus \$25 per existing and/or proposed dwelling unit
- 3 to <5 acres = \$600, plus \$25 per existing and/or proposed dwelling unit
- 5 to <10 acres = \$1000, plus \$25 per existing and/or proposed dwelling unit
- 10 acres or more = \$1200, plus \$25 per existing and/or proposed dwelling unit

Fee is non-refundable.

### Required Escrow = \$2,000

At the time of application, the applicant shall submit a check for the establishment of an escrow account. The escrow money shall be used to defray costs of public notice, consultants, or other direct costs incurred by the Village in association with the PUD final plan/plat application. After completion of the review process, any unused portion of the escrow account will be refunded upon request.

## AFFIRMATION

I hereby affirm that I have full legal capacity to authorize the filing of this application and that all information and exhibits herewith submitted are true and correct to the best of my knowledge. I permit Village representatives to make all reasonable inspections and investigations of the subject property during the period of processing of this application. I understand that as part of this application I am required to establish an escrow account to pay for direct costs associated with the approval of this application, such as the fulfillment of public notice requirements, removal of the public notice sign, taking of minutes at the public hearing and fees for consultants hired by the Village to evaluate this application. I understand that the submitted fee is non-refundable and that any escrow amount leftover upon project completion will be refunded upon request.

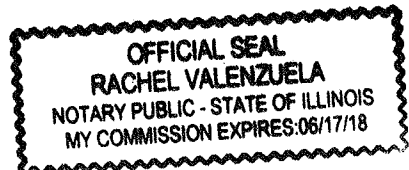
John M. Ford 2/17/15  
 Signature of Applicant Date  
ILLINOIS COOK  
 State County

I, the undersigned, a Notary Public in and for the aforesaid County and State, do hereby certify that John M. Ford is personally known to me to be the same person whose name is subscribed to the foregoing instrument, and that said person signed, sealed and delivered the above petition as a free and voluntary act for the uses and purposes set forth.

Rachel Valenzuela  
Notary Signature

Given under my hand and notary seal this 18<sup>th</sup> day of February A.D. 20 15.

My commission expires this 17<sup>th</sup> day of JUNE A.D. 20 18.



# BIRCH PATH PLANNED UNIT DEVELOPMENT



## INDEX

1. COVER
2. EXISTING TOPOGRAPHY
3. GEOMETRY PLAN
4. UTILITY PLAN
5. GRADING PLAN
6. PROFILE
7. EROSION CONTROL PLAN
8. LANDSCAPE PLAN
9. S.W.P.P.P.
10. NOTES & DETAILS
11. NOTES & DETAILS
12. NOTES & DETAILS

### PUBLIC UTILITY & DRAINAGE EASEMENT PROVISIONS

A NON-EXCLUSIVE PERPETUAL EASEMENT IS HEREBY RESERVED AND GRANTED TO THE VILLAGE OF LEMONT, COMED, AT&T, NICOR AND COMCAST, THEIR SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY, OVER ALL AREAS DESIGNATED PUBLIC UTILITY AND DRAINAGE EASEMENTS AND DESIGNATED "PU & DE" AND THE PROPERTY DEDICATED FOR STREET ON THE PLAT FOR THE CONSTRUCTION, RECONSTRUCTION, REPAIR, INSTALLATION, INSPECTION, MAINTENANCE, RELOCATION, RENEWAL AND REMOVAL OF WATER LINES, SANITARY SEWERS AND STORM SEWERS TOGETHER WITH ANY AND ALL NECESSARY VALVE VAULTS, FIRE HYDRANTS, MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES, OVERHEAD AND UNDERGROUND ELECTRIC AND COMMUNICATIONS CABLES AND APPURTENANCES, GAS MAINS AND APPURTENANCES, AND CABLE COMMUNICATION AND BROADCAST SIGNAL SYSTEMS IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN ON THE PLAT, TOGETHER WITH THE RIGHT OF ACCESS FOR NECESSARY LABOR, MATERIALS AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE, WITHOUT OBLIGATION TO RESTORE OR REPLACE ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, OTHER PLANTS, STRUCTURES OR IMPROVEMENTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF SUCH UTILITIES. NO BUILDING OR OTHER OBSTRUCTION SHALL BE PLACED OVER GRANTEE'S FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE PUBLIC UTILITY AND DRAINAGE EASEMENT WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEE, NOR SHALL ANY OTHER USE BE MADE THEREOF WHICH WILL INTERFERE WITH THE EASEMENTS RESERVED AND GRANTED HEREBY. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF. WHERE AN EASEMENT IS USED FOR BOTH SEWER AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE ORDINANCE OF THE VILLAGE OF LEMONT AND TO VILLAGE APPROVAL AS TO DESIGN AND LOCATION. PERPETUAL EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF LEMONT AND OTHER GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OF THE LAND, OVER THE ENTIRE EASEMENT AREA FOR INGRESS, EGRESS, AND THE PERFORMANCE OF MUNICIPAL AND OTHER GOVERNMENTAL SERVICES, INCLUDING WATER, STORM AND SANITARY SEWER SERVICE AND MAINTENANCE AND EMERGENCY AND ROUTINE POLICE, FIRE AND OTHER PUBLIC SAFETY RELATED SERVICES.

### DRAINAGE AND STORMWATER DETENTION EASEMENT

DECLARANT HEREBY RESERVES AND GRANTS TO THE VILLAGE OF LEMONT EASEMENTS IN, OVER, UNDER, THROUGH, AND UPON THOSE AREAS DESIGNATED ON THE PLAT AS "DRAINAGE AND STORMWATER DETENTION EASEMENT" FOR PURPOSES OF PROVIDING ADEQUATE STORMWATER DRAINAGE CONTROL, TOGETHER WITH REASONABLE ACCESS THERETO. SAID EASEMENTS SHALL BE PERPETUAL AND SHALL BE BINDING UPON THE DECLARANT, ITS SUCCESSORS, HEIRS, EXECUTORS AND ASSIGNS, TO ENSURE THE INTEGRITY OF THE STORMWATER FACILITIES, NO OBSTRUCTION SHALL BE PLACED, NOR ALTERATIONS MADE, INCLUDING ALTERATIONS IN THE FINAL TOPOGRAPHICAL GRADING PLAN, WHICH IN ANY MANNER IMPEDED OR DIMINISH STORMWATER DRAINAGE OF DETENTION IN, OVER, UNDER, THROUGH OR UPON SAID EASEMENT AREAS. IN THE EVENT SUCH OBSTRUCTION OR ALTERATIONS ARE FOUND TO EXIST, THE VILLAGE SHALL, UPON SEVENTY-TWO (72) HOURS PRIOR NOTICE TO THE PROPERTY OWNER, HAVE THE RIGHT, BUT NOT THE DUTY, TO PERFORM, OR HAVE PERFORMED ON ITS BEHALF, THE REMOVAL OF SAID OBSTRUCTION OR ALTERATIONS, OR TO PERFORM OTHER REPAIR, ALTERATION OR REPLACEMENT AS MY REASONABLY BE NECESSARY TO ENSURE THAT ADEQUATE STORMWATER STORAGE, STORM DRAINAGE, DETENTION AND RETENTION FACILITIES AND APPURTENANCES THERETO REMAIN FULLY OPERATIONAL AND THAT THE CONDITION OF SAID DRAINAGE EASEMENT COMPLIES WITH ALL APPLICABLE VILLAGE CODES. IN THE EVENT OF AN EMERGENCY SITUATION, AS DETERMINED BY THE VILLAGE, THE SEVENTY-TWO (72) HOURS PRIOR NOTICE REQUIREMENT SET FORTH ABOVE SHALL NOT APPLY, AND THE VILLAGE SHALL HAVE THE RIGHT, BUT NOT THE DUTY, TO PROCEED WITHOUT NOTICE TO THE PROPERTY OWNER. IN THE EVENT THE VILLAGE SHALL PERFORM, OR HAVE PERFORMED ON ITS BEHALF, REMOVAL OF ANY OBSTRUCTION OR ALTERATION TO OR UPON THE STORMWATER FACILITIES DRAINAGE EASEMENT, AS SET FORTH IN THIS EASEMENT, THE COST OF SUCH WORK SHALL, UPON RECORDATION OF NOTICE OF LIEN WITH THE RECORDER OF DEEDS OF COOK COUNTY, ILLINOIS, CONSTITUTE LIEN AGAINST THE ASSETS OF THE PROPERTY OWNER WHICH CAUSED SUCH OBSTRUCTION OR ALTERATION. THE COST OF THE WORK INCURRED BY THE VILLAGE SHALL INCLUDE ALL EXPENSES AND COSTS ASSOCIATED WITH PERFORMANCE OF SUCH WORK INCLUDING, BUT NOT LIMITED TO, REASONABLE ENGINEERING, CONSULTING AND ATTORNEYS' FEES RELATED TO THE PLANNING AND ACTUAL PERFORMANCE OF THE WORK.



### LOCATION MAP

CIVIL ENGINEER: LANDMARK ENGINEERING, LLC  
ATTN: BRAD E. HENSLEY, PE  
7808 W 103RD STREET  
PALOS HILLS, IL 60465  
PHONE: (708) 599-3737

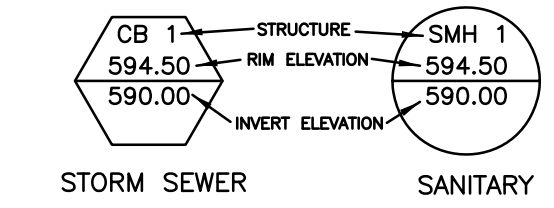
LAND SURVEYOR: LANDMARK ENGINEERING, LLC  
ATTN: MARK H. LANSTRAM, PLS  
7808 W 103RD STREET  
PALOS HILLS, IL 60465  
PHONE: (708) 599-3737

OWNER/DEVELOPER: TEMPO DEVELOPMENT, INC.  
ATTN: MIKE FORD  
11901 S. 92ND AVENUE  
PALOS PARK, IL 60464  
PHONE: (708) 751-2070

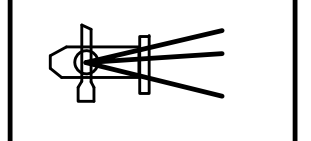
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THAT PART OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID EAST HALF; THENCE SOUTH 88 DEGREES 21 MINUTES 42 SECONDS WEST, ALONG THE SOUTH LINE OF SAID EAST HALF, 271.47 FEET TO A POINT OF BEGINNING; THENCE NORTH 16 DEGREES 31 MINUTES 47 SECONDS WEST 1504.79 FEET TO THE WEST LINE OF SAID EAST HALF; THENCE SOUTH 1 DEGREE 31 MINUTES 54 SECONDS EAST, ALONG SAID WEST LINE, 1454.25 FEET TO THE SOUTH LINE OF SAID EAST HALF; THENCE NORTH 88 DEGREES 21 MINUTES 42 SECONDS EAST, ALONG SAID SOUTH LINE, 389.42 FEET TO THE POINT OF BEGINNING; IN COOK COUNTY, ILLINOIS.

DATE	REVISIONS	REV. BY
3/10/14	ISSUED FOR REVIEW	T.G.
4/14/14	VILLAGE COMMENTS	T.G.
5/15/14	VILLAGE COMMENTS	T.G.
5/27/14	LEGAL DESCRIPTION	T.G.
6/13/14	VILLAGE ATTORNEY COMMENTS	T.G.
8/13/14	OWNER'S COMMENTS	T.G.
12/1/14	VILLAGE COMMENTS	M.L.
2/12/15	VILLAGE COMMENTS	M.L.

	EXISTING	PROPOSED
OVERHEAD TRANSMISSION LINE	— OTL —	— OTL —
STORM SEWER	— >> —	— )) —
SANITARY SEWER	— > —	— ) —
METAL FENCE	— □ —	— □ —
CHAIN LINK FENCE	— X —	— X —
SANITARY MANHOLE	⊙	⊙
MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
INLET	⊙	⊙
FLARED END SECTION	⊙	⊙
FIRE HYDRANT	⊙	⊙
WATER VALVE	⊙	⊙
LIGHT POLE	⊙	⊙
WATER MANHOLE	⊙	⊙
TELCO PEDESTAL	⊙	⊙
BOLLARD	⊙	⊙
AT&T HANDHOLE	⊙	⊙
TRANSFORMER	⊙	⊙
UTILITY POLE	⊙	⊙
SOIL BORING	⊙	⊙
TREE W/DIAMTER	⊙	⊙
TOP OF FOUNDATION	T/F: 700.00	T/F: 700.00
SPOT ELEVATION	x 870.20	x 870.20



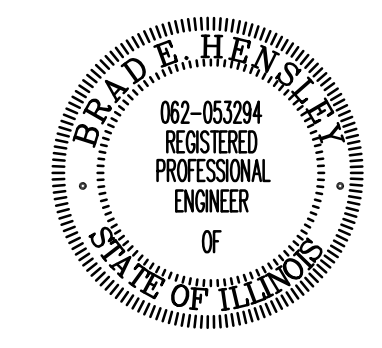
**LANDMARK**  
ENGINEERING, LLC  
DESIGN FIRM REGISTRATION NO. 184-005577  
7808 WEST 103RD STREET  
PALOS HILLS, ILLINOIS 60465-1529  
Phone: (708) 599-3737  
Fax: (708) 599-2281



BIRCH PATH P.U.D.  
127TH & I-355, LEMONT, IL  
COVER SHEET

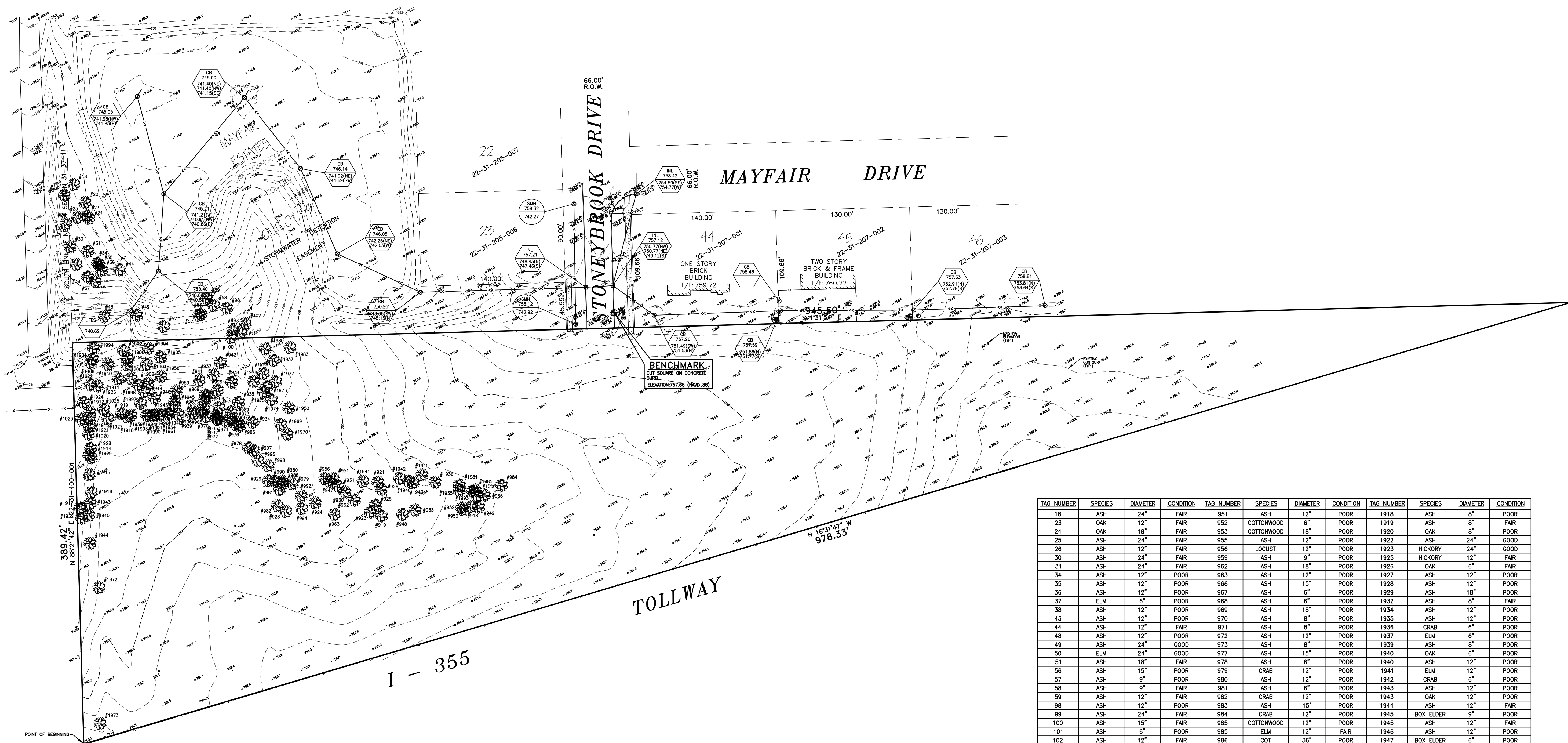
DRAWN BY: T.G.  
DESIGNED BY: B.H.  
CHECKED BY: M.L.

SHEET  
1 OF 12  
13-04-061



LAND PROFESSIONAL ENGINEER LICENSE NO. 067-053294  
EXPIRES 01/31/2018

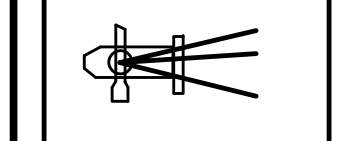




TAG NUMBER	SPECIES	DIAMETER	CONDITION	TAG NUMBER	SPECIES	DIAMETER	CONDITION	TAG NUMBER	SPECIES	DIAMETER	CONDITION
18	ASH	24"	FAIR	951	ASH	12"	POOR	1918	ASH	8"	POOR
23	OAK	12"	FAIR	952	COTTONWOOD	6"	POOR	1919	ASH	8"	FAIR
24	OAK	18"	FAIR	953	COTTONWOOD	18"	POOR	1920	OAK	8"	POOR
25	ASH	24"	FAIR	955	ASH	12"	POOR	1922	ASH	24"	GOOD
26	ASH	12"	FAIR	956	LOCUST	12"	POOR	1923	HICKORY	24"	GOOD
30	ASH	24"	FAIR	959	ASH	9"	FAIR	1925	HICKORY	12"	FAIR
31	ASH	24"	FAIR	962	ASH	18"	POOR	1926	OAK	6"	FAIR
34	ASH	12"	POOR	963	ASH	12"	POOR	1927	ASH	12"	POOR
35	ASH	12"	POOR	966	ASH	15"	POOR	1928	ASH	12"	POOR
36	ASH	12"	POOR	967	ASH	6"	POOR	1929	ASH	18"	POOR
37	ELM	6"	POOR	968	ASH	6"	POOR	1932	ASH	8"	FAIR
38	ASH	12"	POOR	969	ASH	18"	POOR	1934	ASH	12"	POOR
43	ASH	12"	POOR	970	ASH	8"	POOR	1935	ASH	12"	POOR
44	ASH	12"	FAIR	971	ASH	8"	POOR	1936	CRAB	6"	POOR
48	ASH	12"	POOR	972	ASH	12"	POOR	1937	ELM	6"	POOR
49	ASH	24"	GOOD	973	ASH	8"	POOR	1939	ASH	6"	POOR
50	ELM	24"	GOOD	977	ASH	15"	POOR	1940	OAK	6"	POOR
51	ASH	18"	FAIR	978	ASH	6"	POOR	1940	ASH	12"	POOR
56	ASH	15"	POOR	979	CRAB	12"	POOR	1941	ELM	12"	POOR
57	ASH	9"	POOR	980	ASH	12"	POOR	1942	CRAB	6"	POOR
58	ASH	9"	FAIR	981	ASH	6"	POOR	1943	ASH	12"	POOR
59	ASH	12"	FAIR	982	CRAB	12"	POOR	1943	OAK	12"	POOR
98	ASH	12"	POOR	983	ASH	15"	POOR	1944	ASH	12"	FAIR
99	ASH	24"	FAIR	984	CRAB	12"	POOR	1945	BOX ELDER	9"	POOR
100	ASH	15"	FAIR	985	COTTONWOOD	12"	POOR	1945	ASH	12"	FAIR
101	ASH	6"	POOR	985	ELM	12"	FAIR	1946	ASH	12"	POOR
102	ASH	12"	FAIR	986	COT	36"	POOR	1947	BOX ELDER	6"	POOR
919	COTTONWOOD	9"	POOR	988	ASH	9"	POOR	1950	ELM	8"	POOR
921	ASH	9"	POOR	989	ASH	12"	POOR	1954	ASH	12"	POOR
923	OAK	6"	POOR	992	CRAB	9"	POOR	1961	ASH	12"	FAIR
924	ASH	24"	POOR	994	ASH	9"	POOR	1969	ASH	12"	FAIR
925	CRAB	12"	FAIR	995	ELM	6"	POOR	1970	ASH	15"	FAIR
926	CRAB	12"	POOR	998	COTTONWOOD	12"	POOR	1972	ASH	8"	POOR
928	ASH	12"	POOR	1000	COTTONWOOD	24"	POOR	1974	ASH	18"	POOR
929	COTTONWOOD	24"	POOR	1900	HAWTHORN	12"	POOR	1975	ASH	9"	POOR
931	ASH	24"	POOR	1901	ELM	12"	FAIR	1979	ASH	6"	POOR
932	ASH	6"	POOR	1902	ASH	12"	POOR	1980	ASH	15"	FAIR
933	ASH	6"	POOR	1903	ASH	24"	POOR	1980	ASH	24"	POOR
935	ASH	24"	POOR	1904	CHERRY	9"	POOR	1983	ASH	6"	POOR
936	ASH	6"	POOR	1905	BOX ELDER	12"	POOR	1983	ASH	12"	POOR
937	ELM	12"	POOR	1907	ELM	24"	FAIR	1985	ASH	9"	FAIR
938	ASH	12"	POOR	1908	ASH	18"	FAIR	1990	ASH	6"	POOR
939	ASH	6"	POOR	1909	ASH	9"	POOR	1991	ASH	6"	POOR
941	ELM	12"	FAIR	1911	ASH	6"	POOR	1993	COTTONWOOD	12"	POOR
942	ELM	12"	POOR	1912	ELM	18"	POOR	1993	ASH	6"	POOR
944	ASH	6"	POOR	1913	ELM	12"	POOR	1994	HICKORY	12"	FAIR
946	ASH	18"	POOR	1914	OAK	12"	POOR	1996	ASH	6"	POOR
947	ASH	12"	POOR	1915	OAK	12"	POOR	1997	ASH	12"	POOR
948	COTTONWOOD	12"	POOR	1916	ASH	15"	GOOD	1997	ASH	24"	POOR
949	COTTONWOOD	12"	FAIR	1917	ASH	8"	POOR	1998	ELM	6"	POOR
950	ELM	6"	POOR	1918	COTTONWOOD	12"	FAIR	2000	OAK	6"	GOOD

DATE	REVISIONS	REV. BY
3/10/14	ISSUED FOR REVIEW	T.G.
4/14/14	VILLAGE COMMENTS	T.G.
5/5/14	VILLAGE COMMENTS	T.G.
5/27/14	LEGAL DESCRIPTION	T.G.
6/3/14	VILLAGE ATTORNEY COMMENTS	T.G.

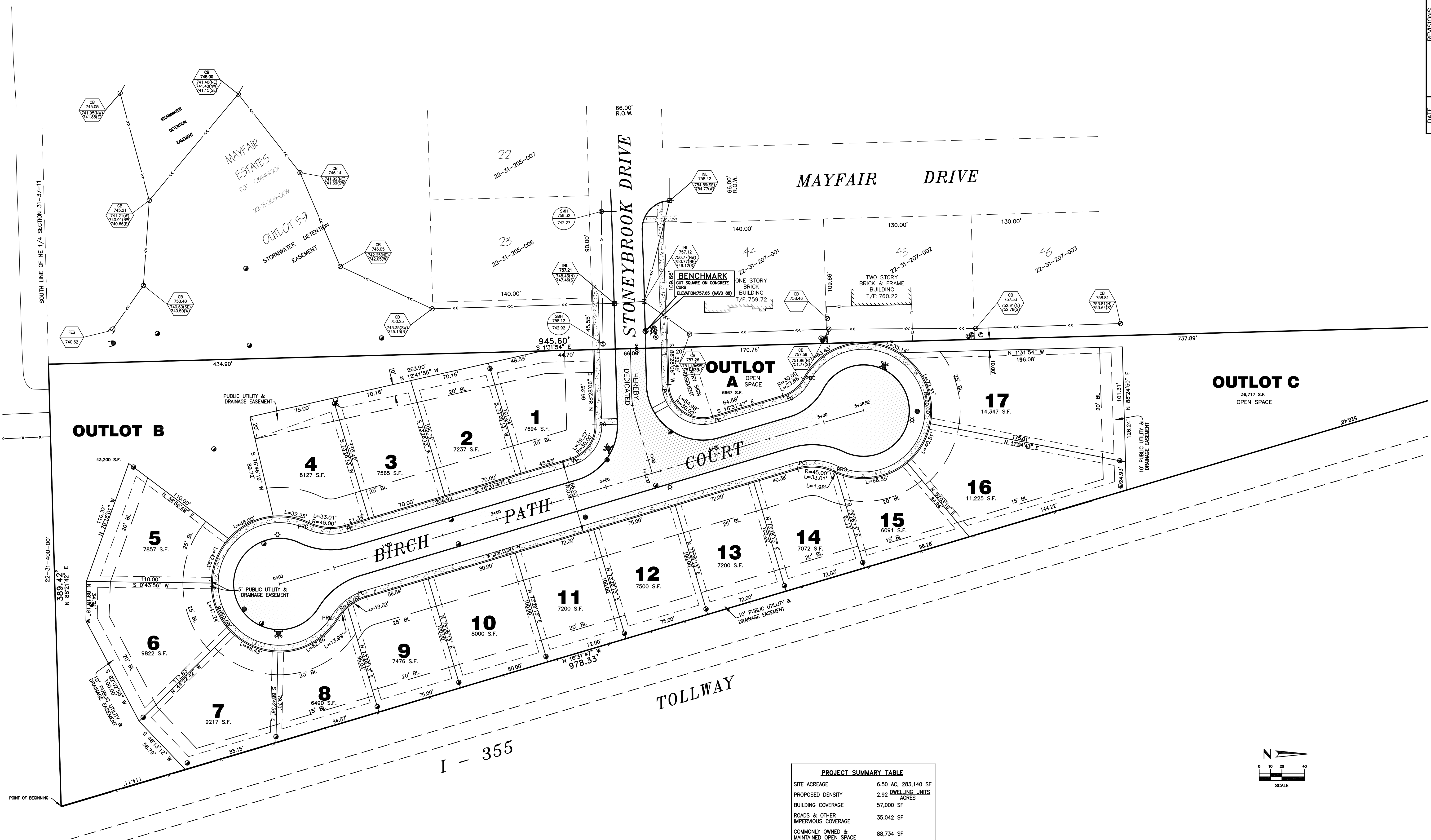
**LANDMARK**  
 ENGINEERING LLC  
 DESIGN FIRM REGISTRATION NO. 184-00577  
 7808 WEST 103RD STREET  
 PALOS HILLS, ILLINOIS 60465-1529  
 Phone: (708) 589-3737  
 Fax: (708) 589-2281



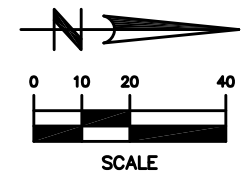
BIRCH PATH P.U.D.  
 127TH & I-355, LEMONT, IL  
 EXISTING TOPOGRAPHY

DRAWN BY: T.G.  
 DESIGNED BY: B.H.  
 CHECKED BY: M.L.

SHEET  
 2 of 12  
 13-04-061



PROJECT SUMMARY TABLE	
SITE ACREAGE	6.50 AC, 283,140 SF
PROPOSED DENSITY	2.92 DWELLING UNITS/ACRES
BUILDING COVERAGE	57,000 SF
ROADS & OTHER IMPERVIOUS COVERAGE	35,042 SF
COMMONLY OWNED & MAINTAINED OPEN SPACE	88,734 SF
OFF STREET PARKING	38 (MIN) SPACES



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12/1/14	VILLAGE COMMENTS	M.L.
2/12/15	VILLAGE COMMENTS	M.L.

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 Fax: (708) 589-2281

BIRCH PATH P.U.D.  
 127TH & I-355, LEMONT, IL  
 GEOMETRY PLAN

DRAWN BY: T.G.  
 DESIGNED BY: B.H.  
 CHECKED BY: M.L.

SHEET  
 3 OF 12  
 13-04-061



DATE	REVISIONS	REV. BY
3/10/14	ISSUED FOR REVIEW	T.G.
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5/15/14	VILLAGE COMMENTS	T.G.
5/27/14	LEGAL DESCRIPTION	T.G.
6/3/14	VILLAGE ATTORNEY COMMENTS	T.G.
8/31/14	OWNER'S COMMENTS	T.G.
12/1/14	VILLAGE COMMENTS	M.L.
2/12/15	VILLAGE COMMENTS	M.L.

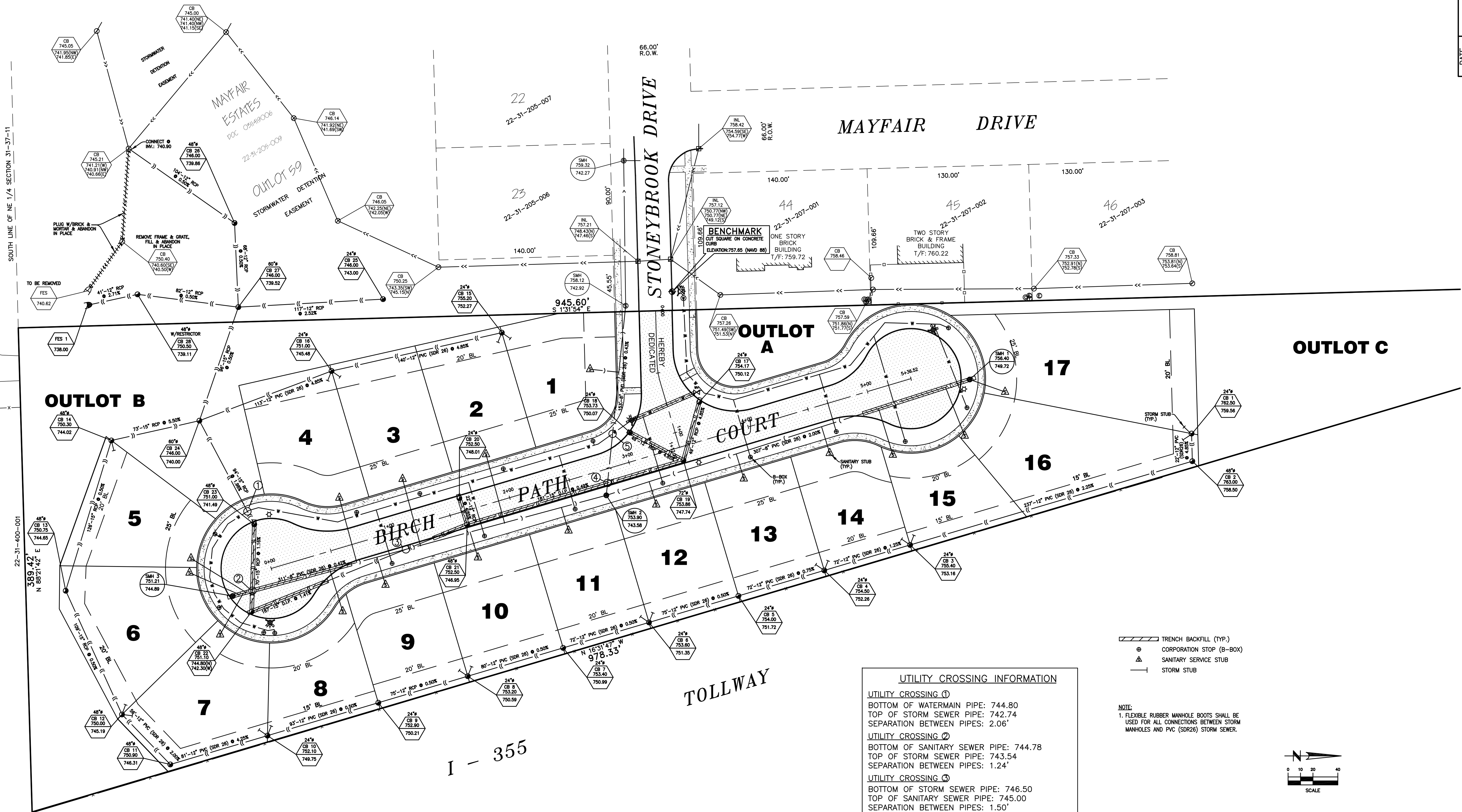
**LANDMARK**  
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 7808 WEST 103RD STREET  
 PALOS HILLS, ILLINOIS 60465-1529  
 Phone: (708) 589-5737  
 Fax: (708) 589-2281

BIRCH PATH P.U.D.  
 127TH & I-355, LEMONT, IL  
 UTILITY PLAN

DRAWN BY: T.G.  
 DESIGNED BY: B.H.  
 CHECKED BY: M.L.

SHEET

4 of 12  
 13-04-061



**FRAME & GRATE SPECIFICATIONS**

- MANHOLE FRAME AND COVER - E.J.I.W. NO. 1058 OR NEENAH R-1550 EMBOSSED "STORM" WITH TYPE A HEAVY DUTY COVER.
- ROLLED CURB AND GUTTER INLET - E.J.I.W. No. 7525, NEENAH R-3501 P.
- YARD INLET - E.J.I.W. No. 1020 WITH TYPE M2 FLAT GRATE, NEENAH-4340 B.

**UTILITY CROSSING INFORMATION**

**UTILITY CROSSING ①**  
 BOTTOM OF WATERMAIN PIPE: 744.80  
 TOP OF STORM SEWER PIPE: 742.74  
 SEPARATION BETWEEN PIPES: 2.06'

**UTILITY CROSSING ②**  
 BOTTOM OF SANITARY SEWER PIPE: 744.78  
 TOP OF STORM SEWER PIPE: 743.54  
 SEPARATION BETWEEN PIPES: 1.24'

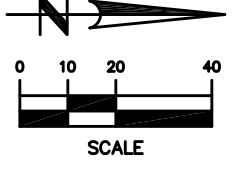
**UTILITY CROSSING ③**  
 BOTTOM OF STORM SEWER PIPE: 746.50  
 TOP OF SANITARY SEWER PIPE: 745.00  
 SEPARATION BETWEEN PIPES: 1.50'

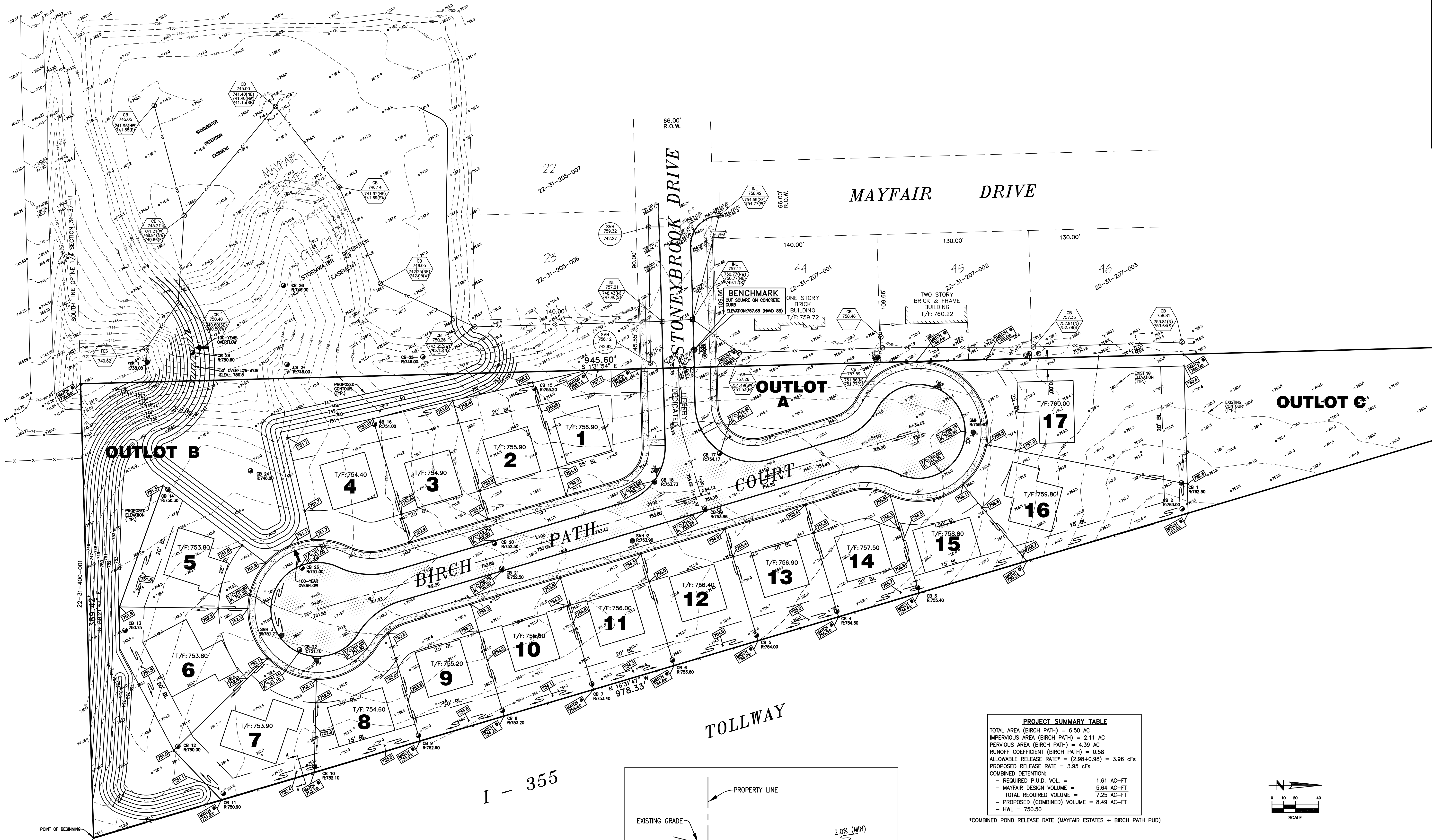
**UTILITY CROSSING ④**  
 BOTTOM OF STORM SEWER PIPE: 747.28  
 TOP OF SANITARY SEWER PIPE: 744.23  
 SEPARATION BETWEEN PIPES: 3.05'

**UTILITY CROSSING ⑤**  
 BOTTOM OF WATERMAIN PIPE: 748.53  
 TOP OF SANITARY SEWER PIPE: 744.06  
 SEPARATION BETWEEN PIPES: 4.47'

TRENCH BACKFILL (TYP.)  
 CORPORATION STOP (B-BOX)  
 SANITARY SERVICE STUB  
 STORM STUB

**NOTE:**  
 1. FLEXIBLE RUBBER MANHOLE BOOTS SHALL BE USED FOR ALL CONNECTIONS BETWEEN STORM MANHOLES AND PVC (SDR26) STORM SEWER.



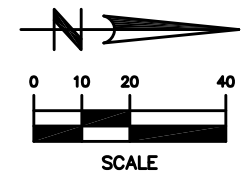
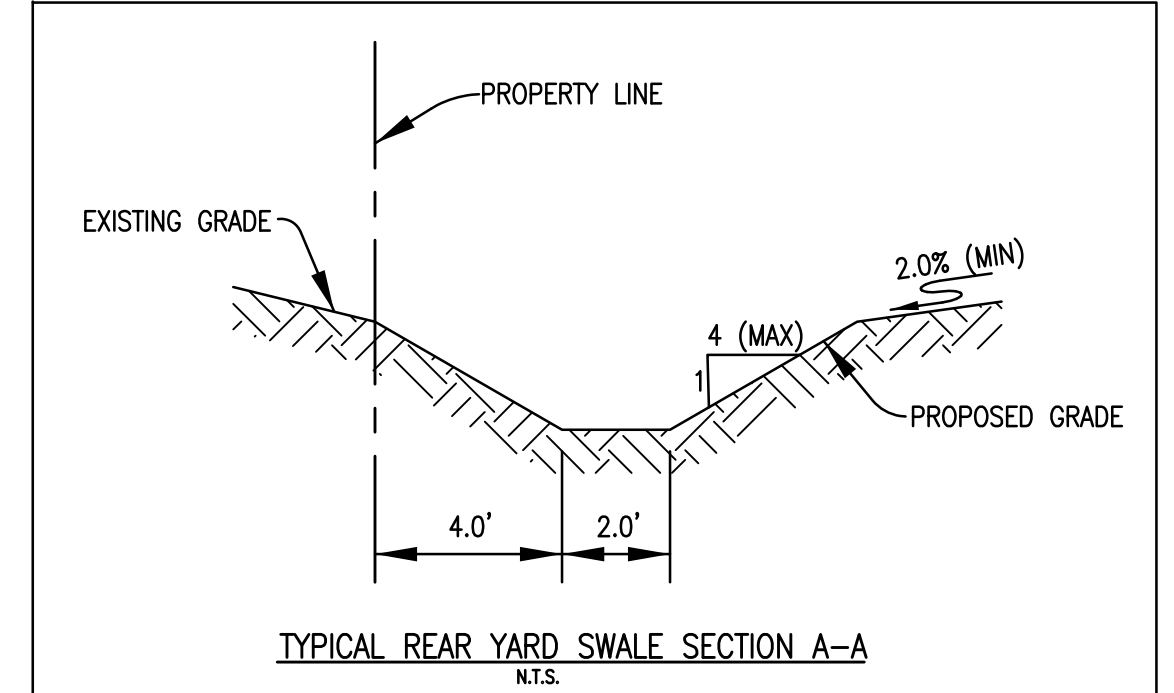


**PROJECT SUMMARY TABLE**

TOTAL AREA (BIRCH PATH) = 6.50 AC  
 IMPERVIOUS AREA (BIRCH PATH) = 2.11 AC  
 PERVIOUS AREA (BIRCH PATH) = 4.39 AC  
 RUNOFF COEFFICIENT (BIRCH PATH) = 0.58  
 ALLOWABLE RELEASE RATE\* = (2.98+0.98) = 3.96 cfs  
 PROPOSED RELEASE RATE = 3.95 cfs

COMBINED DETENTION:  
 - REQUIRED P.U.D. VOL. = 1.61 AC-FT  
 - MAYFAIR DESIGN VOLUME = 5.64 AC-FT  
 TOTAL REQUIRED VOLUME = 7.25 AC-FT  
 - PROPOSED (COMBINED) VOLUME = 8.49 AC-FT  
 - HWL = 750.50

\*COMBINED POND RELEASE RATE (MAYFAIR ESTATES + BIRCH PATH PUD)



**NOTE:**  
 1. TREE REPLACEMENT MITIGATION TO BE ENTIRELY CONTAINED WITHIN OUTLOTS A & B.  
 2. ALL ON-SITE PROPOSED GRADING SHALL BE AT LEAST 2% MINIMUM SLOPE AND NOT STEEPER THAN 4:1.

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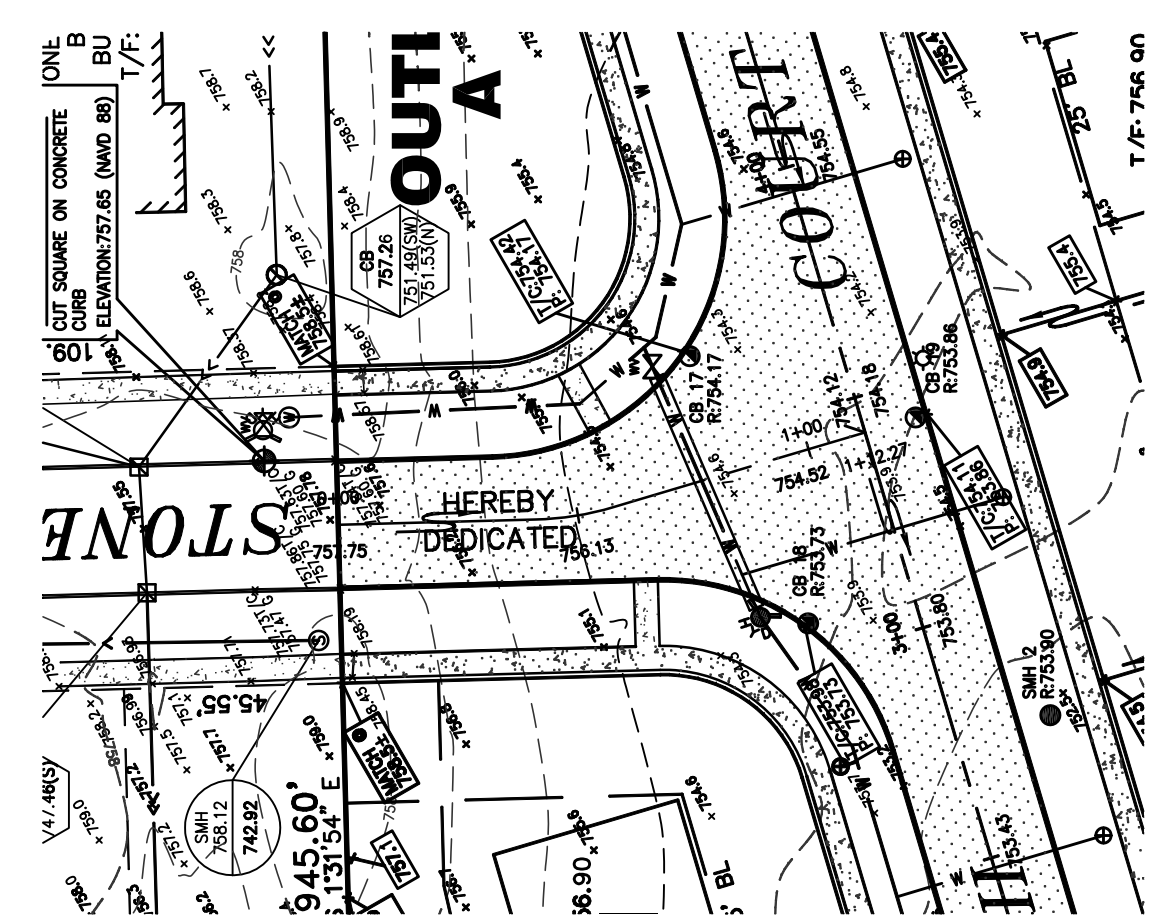
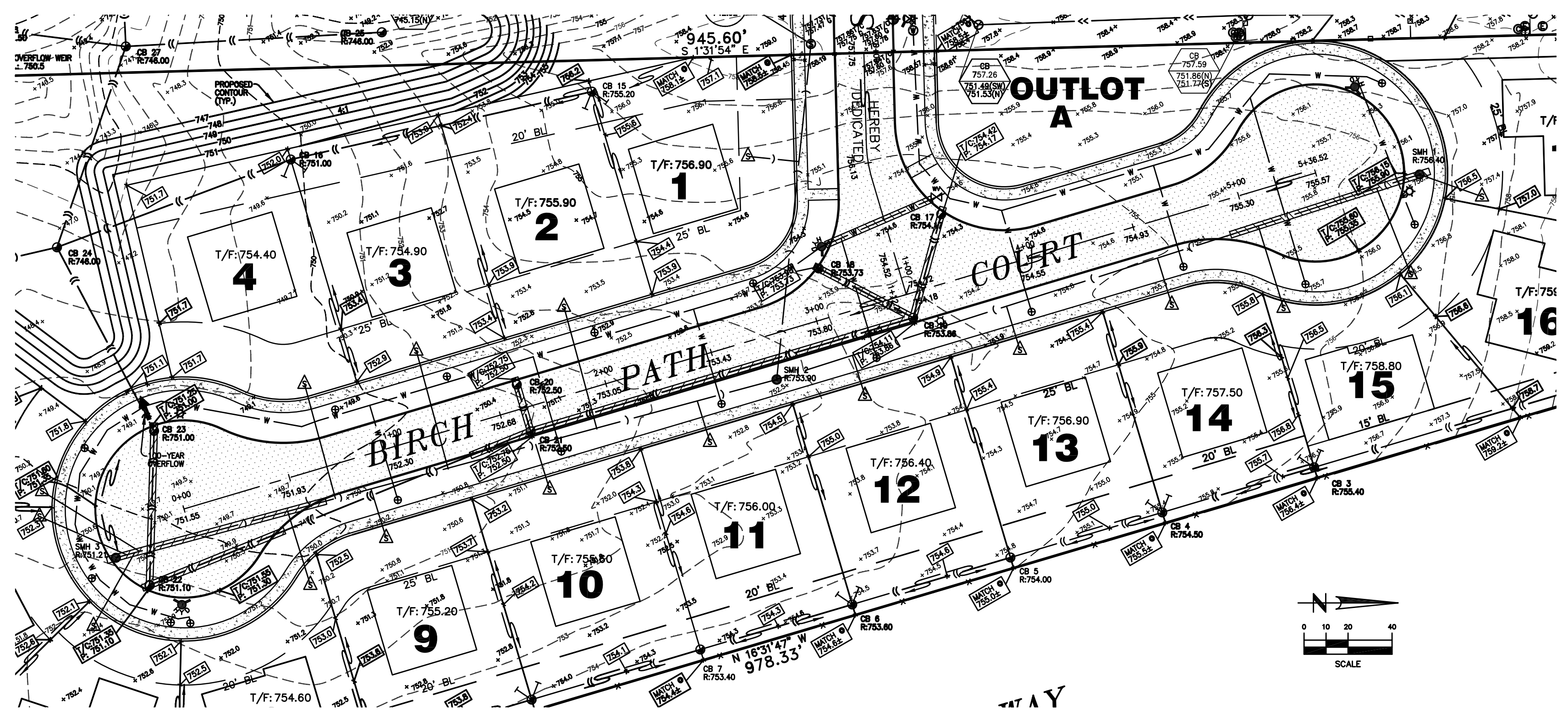
**LANDMARK**  
 ENGINEERING LLC  
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 7808 WEST 103RD STREET  
 PALOS HILLS, ILLINOIS 60465-1529  
 Phone: (708) 589-5737  
 Fax: (708) 589-2281

BIRCH PATH P.U.D.  
 127TH & I-355, LEMONT, IL  
 GRADING PLAN

DRAWN BY: T.G.  
 DESIGNED BY: B.H.  
 CHECKED BY: M.L.

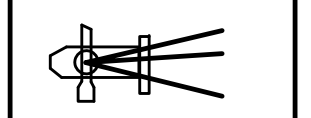
SHEET  
 5 of 12  
 13-04-061





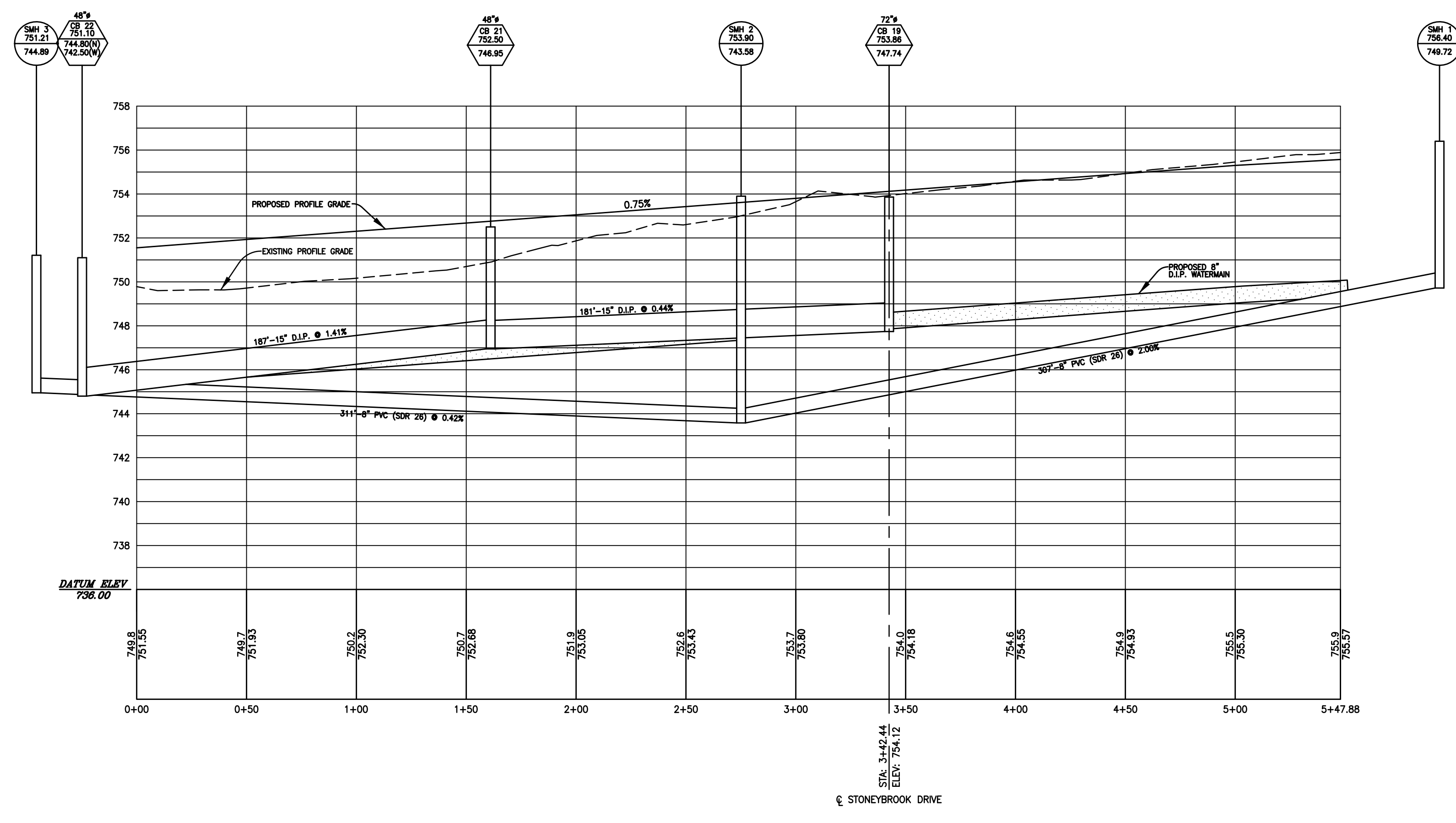
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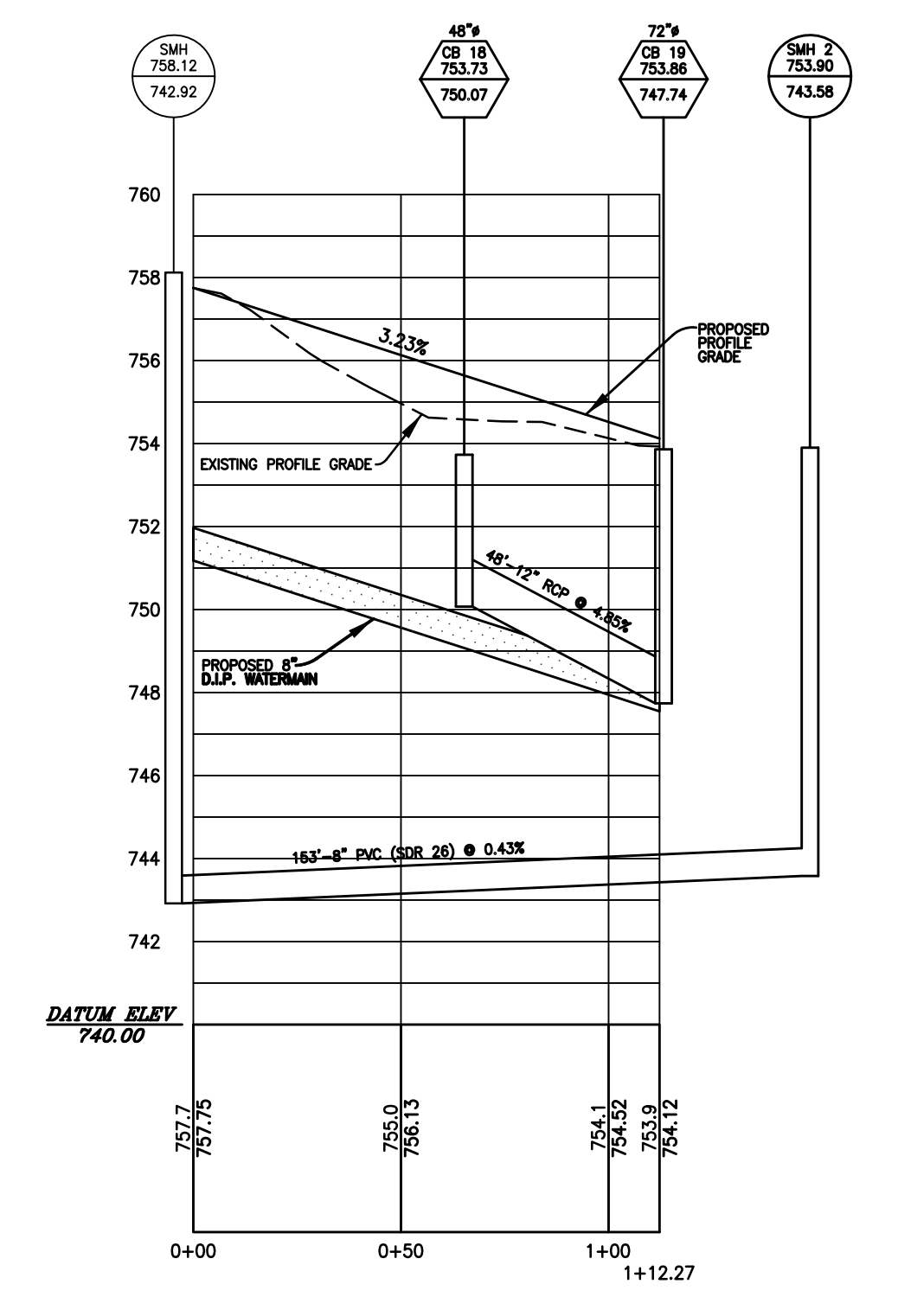


**BIRCH PATH P.U.D.**  
**127TH & I-355, LEMONT, IL**  
**PLAN & PROFILE**

DRAWN BY: T.G.  
 DESIGNED BY: B.H.  
 CHECKED BY: M.L.

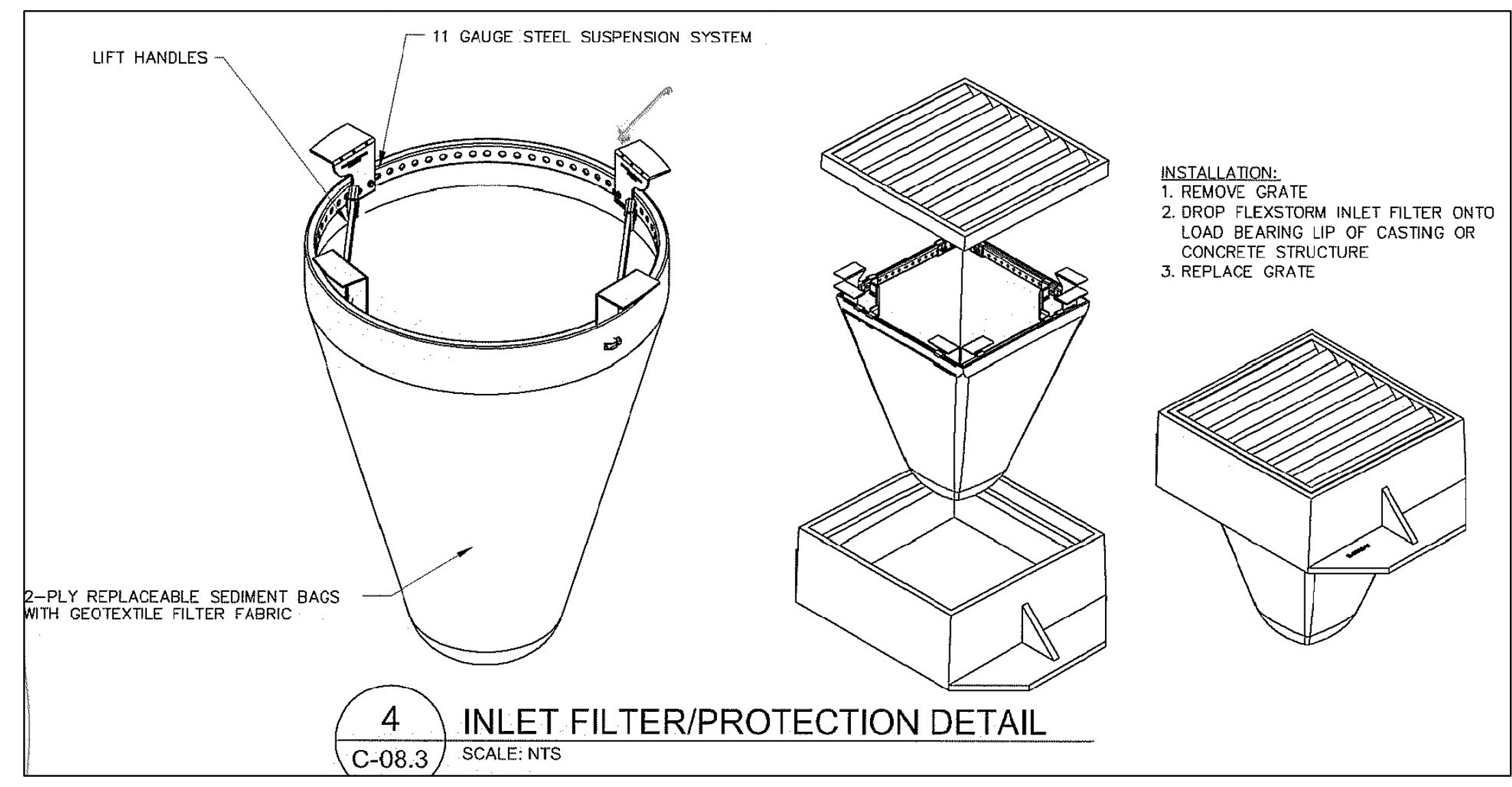
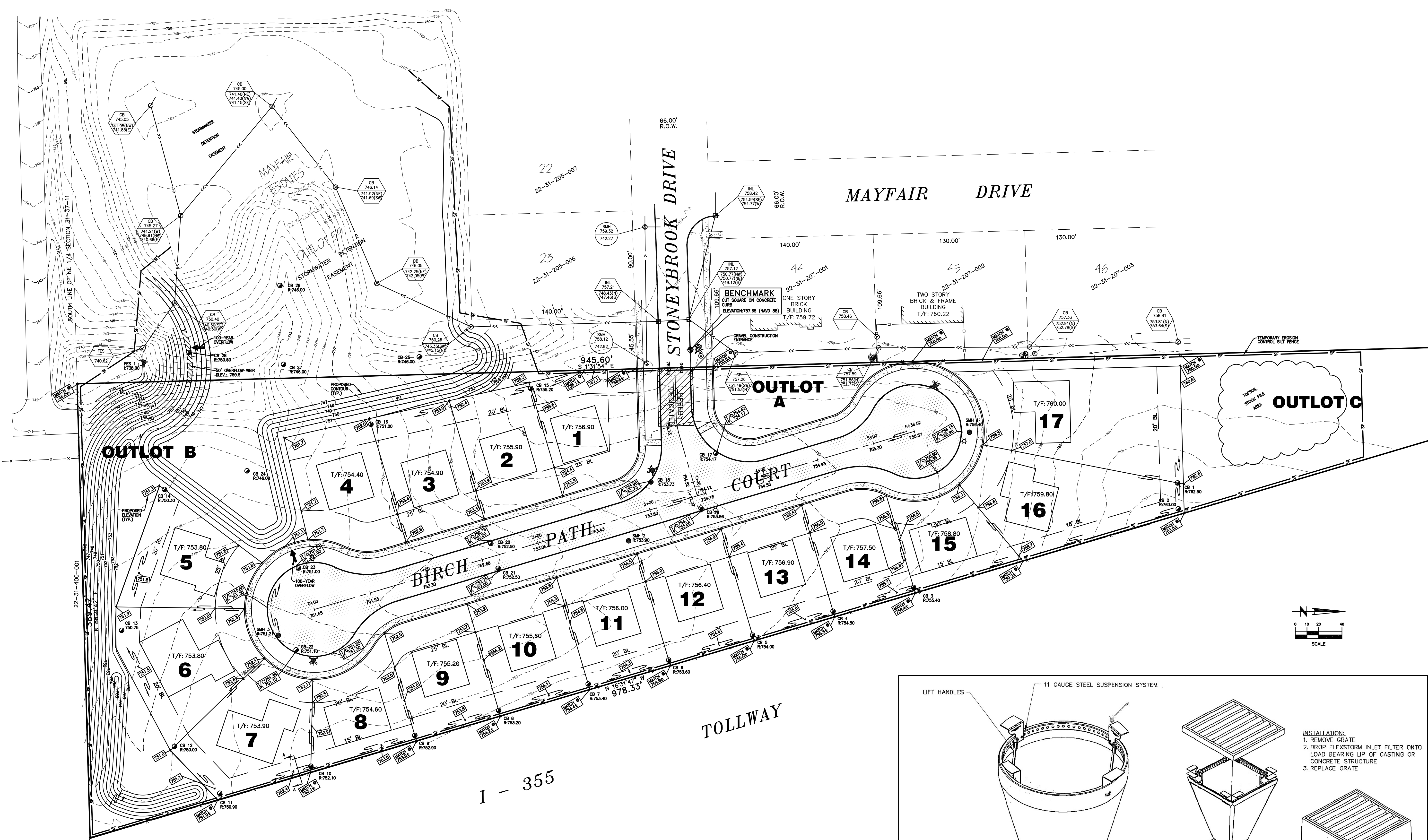


**BIRCH PATH COURT**  
 SCALE - HORIZ = 1" = 40'  
 VERT = 1" = 4'



**STONEBROOK DRIVE**  
 SCALE - HORIZ = 1" = 40'  
 VERT = 1" = 4'





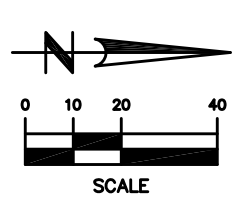
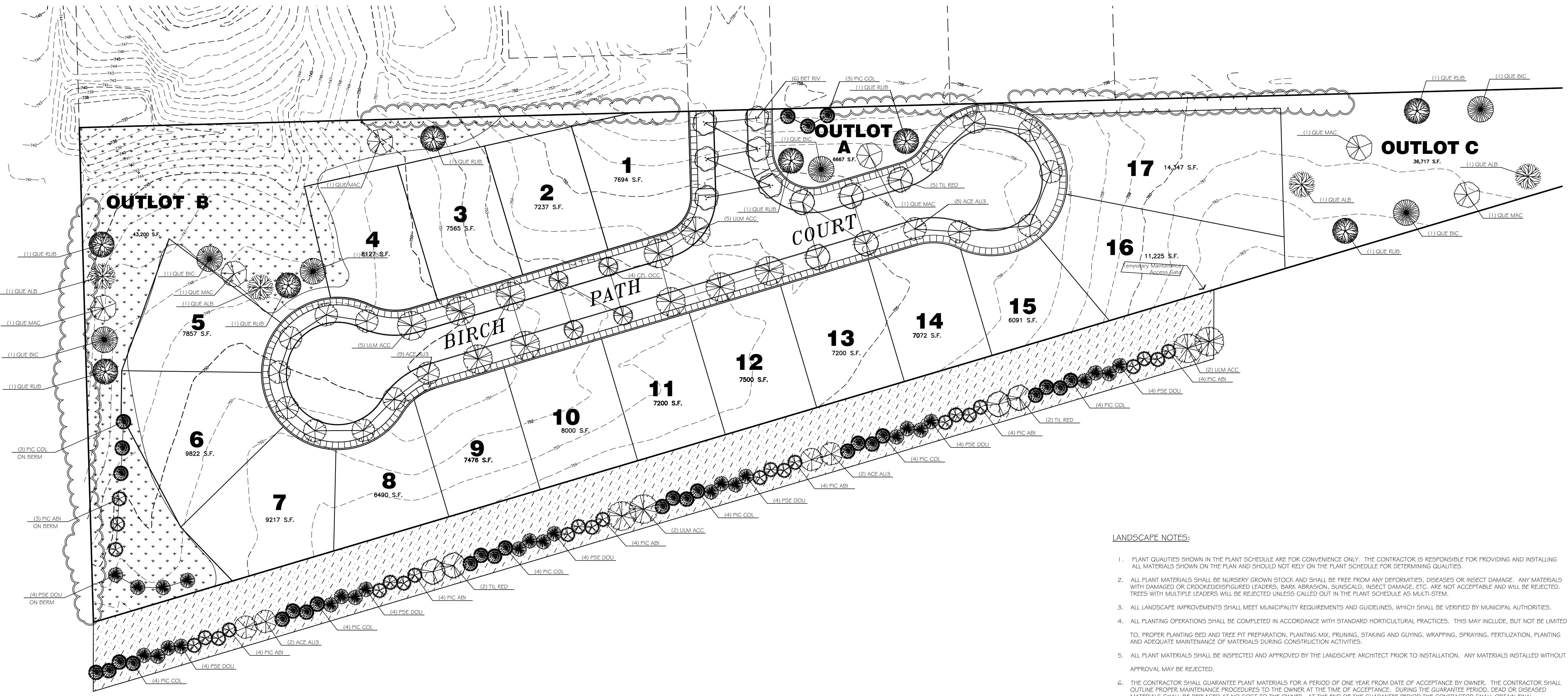
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BIRCH PATH P.U.D.  
127TH & I-355, LEMONT, IL  
EROSION CONTROL PLAN

DRAWN BY: T.G.  
DESIGNED BY: B.H.  
CHECKED BY: M.L.  
SHEET  
7 OF 12  
13-04-061





**PLANT SCHEDULE ISTHA R.O.W.**

CANOPY TREES	BOTANICAL NAME / COMMON NAME	CONDITION	SIZE	QTY
ACE AU3	ACER RUBRUM "AUTUMN BLAZE" / AUTUMN BLAZE RED MAPLE	B # B	3" CAL	4
TIL RED	TILIA AMERICANA "REDMOND" / REDMOND AMERICAN LINDEN	B # B	3" CAL	4
ULM ACC	ULMUS X "ACCOLADE" / ACCOLADE ELM	B # B	3" CAL	4
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONDITION	SIZE	QTY
PIC ABI	PICEA ABIES / NORWAY SPRUCE	B # B	6" - 8" HT.	24
PIC COL	PICEA PUNGENS "COLORADO GREEN" / BLUE SPRUCE	B # B	6" - 8" HT.	24
PSE DOU	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	B # B	6" - 8" HT.	24

**SEEDING SCHEDULE ISTHA R.O.W.**

	FESCUE PRAIRIE 47,984 SF
--	--------------------------

**PLANT SCHEDULE BIRCH PATH PROPERTY**

CANOPY TREES	BOTANICAL NAME / COMMON NAME	CONDITION	SIZE	QTY
ACE AU3	ACER RUBRUM "AUTUMN BLAZE" / AUTUMN BLAZE RED MAPLE	B # B	3" CAL	17
CEL OCC	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B # B	3" CAL	4
QUE ALB	QUERCUS ALBA / WHITE OAK	B # B	2.5" CAL	4
QUE BIC	QUERCUS BICOLOR / SWAMP WHITE OAK	B # B	2.5" CAL	6
QUE MAC	QUERCUS MACROCARPA / BUR OAK	B # B	2.5" CAL	6
QUE RUB	QUERCUS RUBRA / RED OAK	B # B	2.5" CAL	8
TIL RED	TILIA AMERICANA "REDMOND" / REDMOND AMERICAN LINDEN	B # B	3" CAL	5
ULM ACC	ULMUS X "ACCOLADE" / ACCOLADE ELM	B # B	3" CAL	10
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONDITION	SIZE	QTY
PIC ABI	PICEA ABIES / NORWAY SPRUCE	B # B	6" - 8" HT.	3
PIC COL	PICEA PUNGENS "COLORADO GREEN" / BLUE SPRUCE	B # B	6" - 8" HT.	6
PSE DOU	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	B # B	6" - 8" HT.	4
UNDERSTORY TREES	BOTANICAL NAME / COMMON NAME	CONDITION	SIZE	QTY
BET RIV	BETULA NIGRA / RIVER BIRCH (SINGLE STEM)	B # B	6" - 8" HT.	6

**SEEDING SCHEDULE BIRCH PATH PROPERTY**

	TURF SOD	72,108 SF
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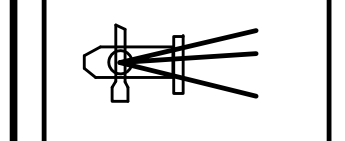
NOTE: NEW DETENTION AREA IS TO BE SODDED, PER VILLAGE CODE.

**LANDSCAPE NOTES:**

- PLANT QUALITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUALITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC., SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- ANY AREAS TO BE LOADED AND SEEDING WHICH HAVE NOT BEEN DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 1"-2" OF LOAM OVER SCARIFIED EXISTING SOILS. CARE SHOULD BE GIVEN TO NOT PLACE GREATER THAN 1" SOIL OVER EXPOSED ROOTS OF EXISTING TREES IN SUCH AREAS.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING SIZES AND FOOTPRINTS.
- REFER TO ENGINEERING PLANS FOR DETENTION CALCULATIONS, UTILITY LOCATIONS, TOPOGRAPHIC INFORMATION AND THE LIKE.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
- ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE SOD AS A GROUND COVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SOD UNLESS OTHERWISE NOTED.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
- ALL BEDS TO BE BERMED 12" TO 24" ABOVE GRADE AND MEET DRAINAGE REQUIREMENTS.
- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- A COMBINATION OF A TOTAL OF 24 RED OAK, WHITE OAK, SWAMP WHITE OAK & BUR OAK TREES, 2.5" CALIPER, SHALL BE LOCATED AROUND THE MAYFAIR ESTATES DETENTION POND. LOCATION TO BE DETERMINED BY LEMONT'S ARBORIST.
- NEW DETENTION AREA IS TO BE SODDED, PER VILLAGE CODE.
- OWNERSHIP & MAINTENANCE OF OUTLOTS A & C SHALL BE BY THE HOA.

REV. BY	REVISIONS	DATE
T.G.	LANDSCAPE PLAN	9/21/14
B.H.	VILLAGE COMMENTS	9/24/14
M.L.	VILLAGE COMMENTS	12/1/14
M.L.	VILLAGE COMMENTS	2/12/15

**LANDMARK**  
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 7808 WEST 103RD STREET  
 PALOS HILLS, ILLINOIS 60465-1529  
 Phone: (708) 589-3737  
 Fax: (708) 589-2281



BIRCH PATH P.U.D.  
 127TH & I-355, LEMONT, IL  
 LANDSCAPE PLAN (BY J.G.S. LANDSCAPE ARCHITECTS)

DRAWN BY: T.G.  
 DESIGNED BY: B.H.  
 CHECKED BY: M.L.



GENERAL SITE INFORMATION NOTES

THIS PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF THE GENERAL NPDES PERMIT NUMBER ILR10, ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FOR STORMWATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

1. SITE DESCRIPTION:

A. DESCRIPTION OF THE NATURE OF THE CONSTRUCTION ACTIVITY.

THE PROPOSED DEVELOPMENT CONSISTS OF A 6.50 AC., 19-LOT PLANNED UNIT DEVELOPMENT. CONSTRUCTION ACTIVITIES FOR SITE IMPROVEMENT INCLUDES MASS GRADING AS WELL AS CONSTRUCTION OF SIDEWALKS, ROADS, UTILITIES, STORMWATER MANAGEMENT MEASURES AND SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.

B. DESCRIPTION OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURB SOIL FOR MAJOR PORTIONS OF THE SITE (E.G. GRUBBING, EXCAVATION, GRADING)

THE PROPOSED SEQUENCE OF CONSTRUCTION ACTIVITIES IS AS FOLLOWS: 1) INSTALLATION OF SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE; 2) DEMOLITION; 3) MASS GRADING; 4) CONSTRUCTION OF SIDEWALKS, ROADS, UTILITIES AND STORMWATER MANAGEMENT MEASURES; 5) INSTALLATION OF PERMANENT EROSION CONTROL MEASURES. NOTE, EROSION CONTROL DEVICES SUCH AS INLET PROTECTION, ETC. WILL BE INSTALLED AS REQUIRED DURING CONSTRUCTION ACTIVITIES.

C. THE TOTAL AREA OF THE SITE IS 6.50 ACRES

THE TOTAL AREA OF THE SITE EXPECTED TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES IS APPROXIMATELY 6.50± ACRES.

D. THE ESTIMATE OF THE RUNOFF COEFFICIENT OF THE SITE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED AND EXISTING DATA DESCRIBING THE SOIL OR THE QUALITY OF ANY DISCHARGE FROM THE SITE.

THE CALCULATED RUNOFF COEFFICIENT OF THE SITE AFTER CONSTRUCTION IS 0.58.

E. A SITE MAP INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED BEFORE AND AFTER MAJOR GRADING ACTIVITIES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AND CONTROLS TO PREVENT OFF-SITE SEDIMENT TRACKING, AREAS OF SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORMWATER IS DISCHARGED TO SURFACE WATER

REFER TO THE ENGINEERING IMPROVEMENT PLANS BY LANDMARK ENGINEERING LLC DATED: 3/10/14

F. THE NAME OF THE RECEIVING WATERS AND THE ULTIMATE RECEIVING WATERS, AND AERIAL EXTENT OF WETLAND ACREAGE AT THE SITE.

SITE DRAINS TO AN ONSITE DETENTION POND & THEN TO A LARGE OFFSITE RAVINE. THERE ARE NO WETLANDS ON THE SITE.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF LEMONT'S BASIC DESIGN CRITERIA, LEMONT'S CONSTRUCTION STANDARDS FOR WORK IN THE PUBLIC WAY AND IDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION AND ALL ADDENDA.
- BEFORE STARTING CLEARING AND SITE GRADING WORK, A CONSTRUCTION ENTRANCE AND SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLANS.
- THE CONSTRUCTION ENTRANCE TO THE SITE SHALL BE STABILIZED WITH GRAVEL PRIOR TO BEGINNING ANY WORK ON THE SITE. THE ENTRANCE SHALL BE MAINTAINED PERIODICALLY FOR ITS EFFECTIVENESS TO REMOVE DIRT WHICH COULD LEAVE THE SITE BY CONSTRUCTION VEHICLES.
- SILT FILTER FENCE SHALL BE PLACED AS SHOWN ON THE PLANS AND AS DIRECTED BY THE VILLAGE'S ENGINEERING INSPECTOR TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- STAKED SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE INLETS AND CATCH BASINS AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER ANY STORM EVENT IN EXCESS OF 1/2" OR AN EQUIVALENT SNOWFALL. AN INSPECTION REPORT SHALL BE PREPARED FOR EACH INSPECTION AND SHALL BE RETAINED FOR A PERIOD OF THREE YEARS FOLLOWING THE INSPECTION.
- AT THE COMPLETION OF THE PROJECT, ALL STORM SEWER PIPES AND STRUCTURES SHALL BE CLEANED AND FREE OF DIRT AND DEBRIS. THE SEDIMENTATION SHALL BE REMOVED FROM THE STORM SEWER SYSTEM AND SHALL NOT BE WASHED OUT TO THE RECEIVING STREAM.
- THE TEMPORARY EROSION CONTROL MEASURES SHALL BE IN PLACE EFFECTIVELY UNTIL ALL THE PERMANENT EROSION CONTROL ITEMS ARE FULLY FUNCTIONAL.
- THE GUARANTEE PERIOD SHALL START AFTER ALL THE PERMANENT EROSION CONTROL MEASURES ARE FULLY FUNCTIONAL AND ACCEPTABLE TO OWNER OR HIS REPRESENTATIVE.
- STOCKPILES:
  - STOCKPILES OF ANY KIND SHALL NOT BE PLACED IN SPECIAL MANAGEMENT AREAS.
  - IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 14 DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.
- IF THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION, THEN PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM SUCH DEVELOPMENT SITES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION.
- STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION. THE CONTRACTOR SHALL CLEAN-OUT ALL SUMPS OF SUSPENDED SOLIDS AND OTHER POLLUTANTS UNTIL THE COUNTY ACCEPTS THE IMPROVEMENTS.
- THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 14 DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 14 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION. TEMPORARY COVER SHALL BE MAINTAINED CONTINUOUSLY UNTIL PERMANENT COVER IS ESTABLISHED.
- WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DRAINAGE, IRRIGATION, OR FIRE HYDRANT FLUSHING SHALL BE FILTERED PRIOR TO LEAVING PROJECT SITE.
- GRAVELLED ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLE WASHDOWN FACILITIES IF NECESSARY, SHALL BE PROVIDED TO PREVENT THE DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED CONTINUOUSLY.
- THE CONTRACTOR/DEVELOPER SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER, AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
- CONTRACTORS ARE TO PROVIDE A CONSTRUCTION SCHEDULE AT THE PRECONSTRUCTION MEETING.

Public Notice  
NPDES Permit No. IRL10

Public Notice Beginning Date: November 1, 2014

Public Notice Ending Date: December 1, 2014

National Pollutant Discharge Elimination System (NPDES) Permit Program

PUBLIC NOTICE/FACT SHEET

of Reissued General NPDES Permit to Discharge Storm Water From Construction Site Activities into Waters of the State

Public Notice/Fact Sheet Issued By:

Illinois EPA  
Division of Water Pollution Control  
Permit Section  
1021 North Grand Avenue East  
Post Office Box 19276  
Springfield, Illinois 62794-9276  
217-782-0610

The Illinois Environmental Protection Agency (IEPA) has made a tentative determination to reissue NPDES General Permit No. ILR10 for the discharge of storm water associated with industrial activity from construction sites into waters of the state for the following types of dischargers:

Coverage under this permit  
This Permit covers all areas of the State of Illinois

Eligibility

This permit shall authorize all discharges of storm water associated with industrial activity from construction sites that will result in the disturbance of one or more acres total land area, construction sites less than one acre of total land that is part of a larger common plan of development or site if the larger common plan will ultimately disturb one or more acres total land area or construction sites that are designated by the Agency that have the potential for contribution to a violation of water quality standard or significant contribution of pollutants to waters of the State, occurring after the effective date of this permit (including discharges occurring after the effective date of this permit where the construction activity was initiated before the effective date of this permit), except for discharges identified under paragraph I.B.3 (Limitations on Coverage).

This permit may only authorize a storm water discharge associated with industrial activity from a construction site that is mixed with a storm water discharge from an industrial source other than construction, where:  
the industrial source other than construction is located on the same site as the construction activity;  
storm water discharges associated with industrial activity from the areas of the site where construction activities are occurring are in compliance with the terms of this permit; and  
storm water discharges associated with industrial activity from the areas of the site where industrial activity other than construction are occurring (including storm water discharges from dedicated asphalt plants and dedicated concrete plants) are covered by a different NPDES general permit or individual permit authorizing such discharges.

Limitations on Coverage. The following storm water discharges from construction sites are not authorized by this permit:

- Storm water discharges associated with industrial activity that originate from the site after construction activities have been completed and the site has undergone final stabilization.
- Discharges that are mixed with sources of non-storm water other than discharges identified in Part III.A (Prohibition on Non-Storm Water Discharges) of this permit and in compliance with Part IV.D.5 (Non-Storm Water Discharges) of this permit.
- Storm water discharges associated with industrial activity that are subject to an existing NPDES individual or general permit or which are issued a permit in accordance with Part V.I.N (Requiring an Individual Permit or an Alternative General Permit) of this permit. Such discharges may be authorized under this permit after an existing permit expires provided the existing permit did not establish numeric limitations for such discharges.
- Storm water discharges from construction sites that the Agency has determined to be or may reasonably be expected to be contributing to a violation of a water quality standard.
- Storm water discharges that the Agency, at its discretion, determines are not appropriately authorized or controlled by this general permit.

Final Conditions

Length of Permit: Approximately 5 Years  
Classification of Receiving Waters: All surface waters of the State  
Discharge No(s): Various Locations  
Type of Waste: Storm Water Runoff  
Flow Rate: Varies

Pollution Prevention Plan

The Pollution Prevention Plan is considered to be the most important requirement of the General Permit. Each construction activity covered by the general permit must develop a Plan, tailored to the site specific conditions, and designed with the goal to control the amount of pollutants in storm water discharges from the site.

Components of the Plan -- The permit requires that the Plan contain a site description, and a description of the measures and controls to prevent or minimize pollution of storm water. The site description must include:

- A description of the nature of the construction activity
- A sequence of major construction activities
- An estimate of the total area of the site and of the area to be disturbed
- An estimate of the runoff coefficient of the site after construction is complete
- Any existing data on the quality of storm water discharge from the site
- The name of the receiving water
- A site map indicating: drainage patterns and slopes before and after grading activities are complete, areas of soil disturbance, the outline of the area to be disturbed, the location of stabilization measures and controls, surface waters at the discharge points
- Contractors certifications as to their understanding of the plan
- Measures and Controls -- Measures and controls to prevent or minimize pollution of storm water must include three different types of controls: erosion and sediment controls, storm water management controls and other controls.

Erosion and Sediment Controls -- Stabilization (seeding, mulching, etc.) -- Disturbed areas where construction has temporarily ceased must be stabilized within 14 days of the last disturbance. (Areas which will be redisturbed within 21 days do not have to be stabilized).  
Storm Water Management Controls -- Where construction results in an increase in the storm water discharged from the construction site, the permittee shall consider measures (storm water detention structures, infiltration measures, etc.) to control pollutants after construction is complete. Velocity dissipation devices must be installed in outfall channels to prevent erosive conditions if conditions warrant.  
Other Controls -- The plan must insure that solid waste materials are not carried by storm water into the receiving waters. The owner must comply with State and/or local sanitary sewer or septic system regulations.  
Local Programs -- Where Local programs for sediment and erosion control, storm water management or site permits exist, the pollution prevention plan should certify that their plan reflects the requirements of the local program. If local programs require plan approval, then the approved plan must be included in the Pollution Prevention Plan.

Inspection/Maintenance -- Personnel must inspect the construction site at least once every 7 days and within 24 hours of a rainfall of 0.5 inches or more. The inspector must prepare a report documenting his/her findings on the conditions of the controls and stabilized areas.

Deadlines -- The plan must be completed prior to the start of the construction to be covered under the permit and be updated as appropriate. The construction project must comply with the provisions of the plan throughout the construction period.

Signature -- The plan must be signed by a responsible official such as the owner, president, vice president or general partner.

Plan Review -- The plan is to be kept at the construction facility during the entire construction period. The plan should be submitted for review only when requested by IEPA.

Title 35: Environmental Protection, Subtitle C: Water Pollution, Chapter I: Illinois Pollution Control Board Rules and Regulations and the Clean Water Act were applied in determining the applicable standards, limitations and conditions contained in the draft permit.

A general permit is a single permit issued to cover discharges from a number of facilities in a specified geographic area which involve the same or substantially similar types of operations. The facilities must discharge the "same type of wastes" which has been interpreted to mean the waste streams need not be identical but must be sufficiently similar that the same permit conditions are appropriate. A determination by the IEPA must be made that the discharges are more appropriately covered under a general permit than under individual permits.

A general permit is the equivalent of an individual permit in terms of effluent limitations, water quality standards, monitoring and reporting requirements, and enforceability. The effluent limits would be based on the more stringent of either technology-based or water quality-based requirements. Since the permit would be applicable to discharges into any receiving stream, no dilution or mixing will be allowed to meet water quality standards.

An applicant would be required to submit the same application information, using the required Federal forms, as for an individual permit or Notice of Intent (NOI). No application or NOI will be required from the owners or operators of dischargers who are currently covered under the previous general permit. These dischargers would be automatically covered under the re-issued general permit. Any owner or operator of these dischargers may request to be excluded from the coverage of the general permit by submitting an application for individual permit with reasons supporting the request. IEPA will review the application and make a determination as to whether or not the general permit is appropriate to regulate the discharge. If the conclusion is that it would, the discharger will be notified of our decision to include him under the general permit. The IEPA's decision is appealable to the Pollution Control Board.

The general permit does not name any Permittees, nor does it authorize any person to discharge. The authorization to discharge under a general permit will be by separate letter, issued to a specific applicant. The letters can be issued at any time while the Permit is in effect.

Interested persons are invited to submit written comments on the draft permits to the IEPA at the above address. The NPDES permit number(s) must appear on each comment page. Any interested person may submit a written request for a public hearing on a draft permit, stating his or her name and address, the nature of the issues proposed to be raised and the evidence proposed to be presented with regards to those issues.


The Public Notice, Fact Sheet, draft permit, comments received, and other documents are available for inspection and may be copied at the IEPA between 9:30 a.m. and 3:30 p.m. Monday through Friday.

All comments on the draft permit and requests for hearing must be received by the IEPA not later than 30 days from the date of this publication. If written comments or requests indicate a significant degree of public interest in the draft permit, the permitting authority may, at its discretion, hold a public hearing. Public notice will be given 30 days before any public hearing.

For further information call the Public Notice Clerk at 217-782-0610.

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION."

PROJECT NAME: BIRCH PATH P.U.D.

SIGNATURE: 

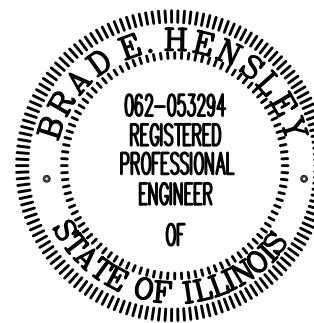
NAME: BRAD E. HENSLEY, P.E.

TITLE: ENGINEER/OWNER'S REP.

COMPANY NAME: LANDMARK ENGINEERING LLC

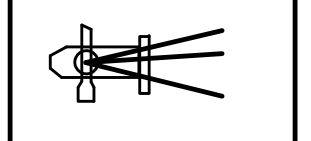
COMPANY ADDRESS: 7808 W. 103rd ST., PALOS HILLS, IL 60465

COMPANY TELEPHONE NO: (708) 599-3737



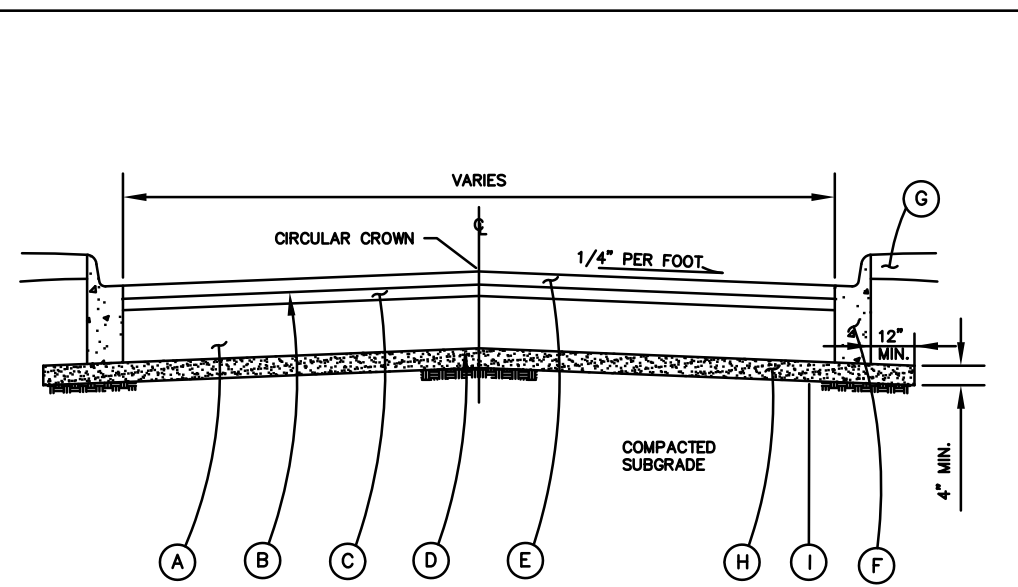
REV. BY	DATE	REVISIONS
T.G.	3/10/14	ISSUED FOR REVIEW
T.G.	4/14/14	VILLAGE COMMENTS
T.G.	5/5/14	VILLAGE COMMENTS
T.G.	5/27/14	LEGAL DESCRIPTION
T.G.	6/23/14	VILLAGE ATTORNEY COMMENTS

**LANDMARK**  
ENGINEERING LLC  
DESIGN FIRM REGISTRATION NO. 184-00577  
7808 WEST 103RD STREET  
PALOS HILLS, ILLINOIS 60465-1529  
Phone: (708) 599-3737  
Fax: (708) 599-2291



BIRCH PATH P.U.D.  
127TH & I-355, LEMONT, IL  
STORM WATER POLLUTION PROTECTION PLAN

DRAWN BY: T.G.  
DESIGNED BY: B.H.  
CHECKED BY: M.L.



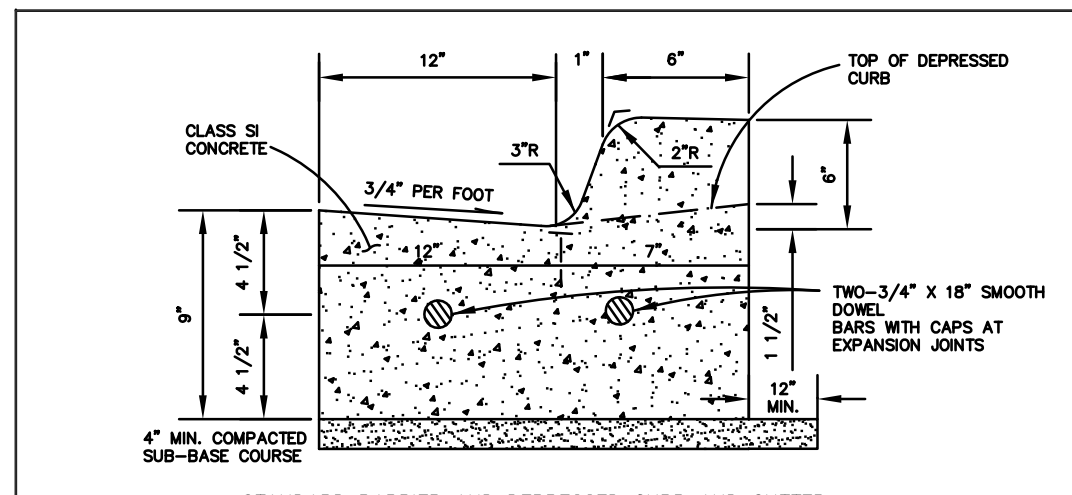
FLEXIBLE PAVEMENT SECTION

SCHEDULE

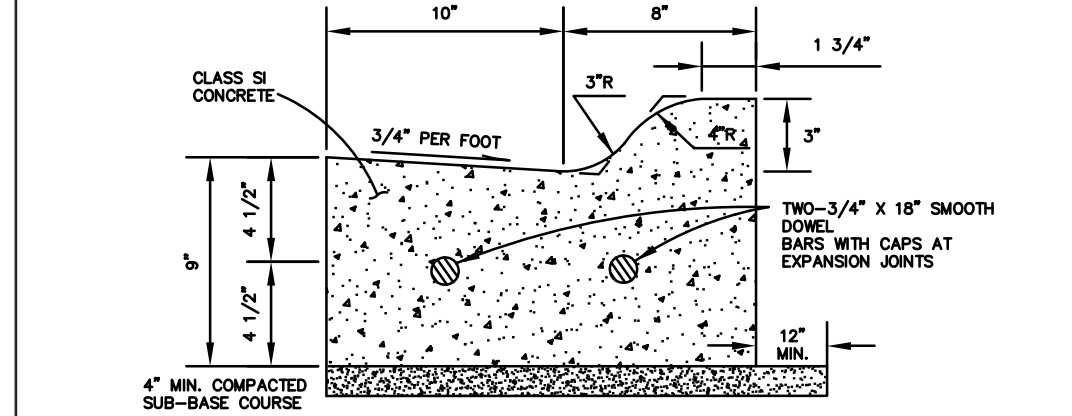
- A HOT MIX ASPHALT BASE COURSE, IL-19.0mm, N50
- B HOT MIX ASPHALT PRIME COAT (0.10 GAL./S.Y.)
- C HOT MIX ASPHALT BINDER COURSE, IL-19.0mm, N50
- D HOT MIX ASPHALT PRIME COAT (0.15 GAL./S.Y.)
- E HOT MIX ASPHALT SURFACE COURSE, MIX D, IL-9.5mm, N50
- F PORTLAND CEMENT CONCRETE CURB AND GUTTER (SEE DETAIL LS-2)
- G TOPSOIL (4" MINIMUM)
- H SUBGRADE GRANULAR MATERIAL, TYPE B, 4"
- I GEOTECHNICAL FABRIC FOR SOIL STABILIZATION

SEE STANDARDS LS-18 FOR PAVEMENT THICKNESS

VILLAGE OF LEMONT			
TYPICAL PAVEMENT SECTION			
REV. 4/09/14	12/10/01	NO. LS-1a	REV. 4
REV. 6/23/08	12/10/01	NO. LS-1a	REV. 4



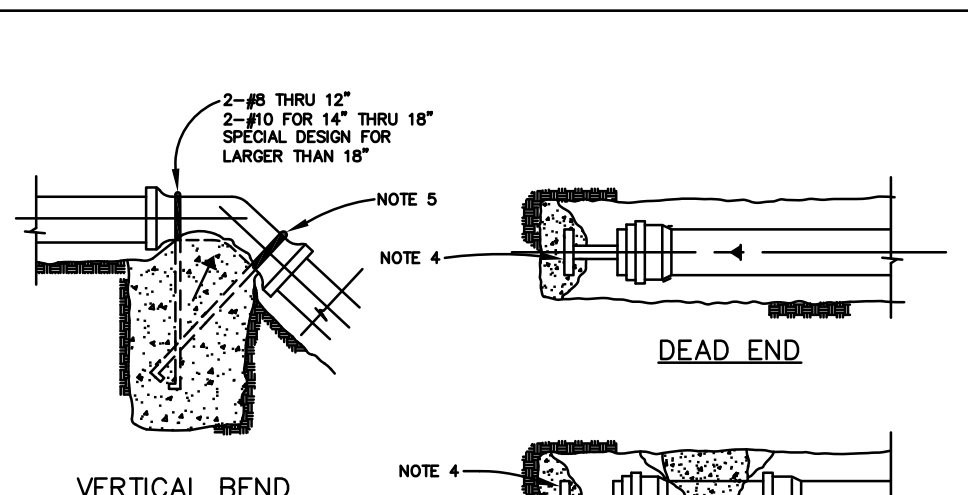
STANDARD BARRIER AND DEPRESSED CURB AND GUTTER



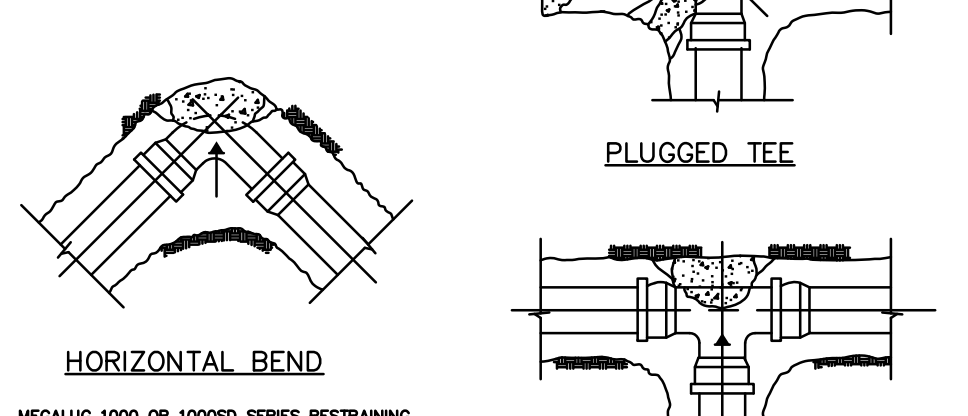
TYPICAL ROLLED CURB AND GUTTER

- NOTES:
- CONSTRUCT CONTRACTION JOINTS AT 20' MAXIMUM SPACING
  - CONSTRUCT EXPANSION JOINS AND CONTRACTION JOINTS ACCORDING TO IDOT STANDARD SPECIFICATIONS, LATEST EDITION
  - EXPANSION JOINTS SHALL BE PROVIDED AT POINTS OF CURVATURE ON ALL CURVES
  - CURING AND SEALING COMPOUND SHALL BE W.R. MEADOWS INC. "LIN-SEAL" EMULSION, OR APPROVED EQUAL

VILLAGE OF LEMONT			
CURB AND GUTTER			
REV. 6/23/08	12/10/01	NO. LS-2	REV. 3
REV. 6/23/08	12/10/01	NO. LS-2	REV. 3



VERTICAL BEND

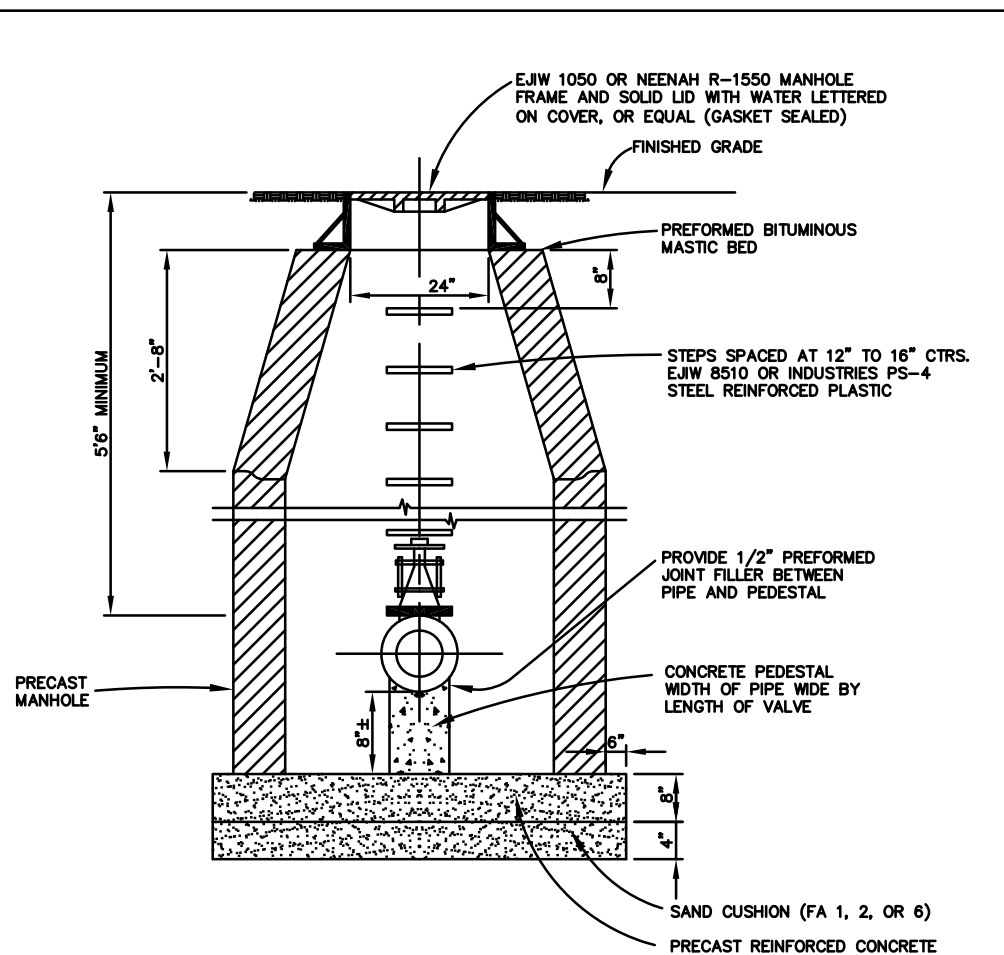


HORIZONTAL BEND

METALGR 1000 OR 1000SD SERIES RESTRAINING SYSTEM SHALL ALSO BE REQUIRED AT ALL THURST BLOCK LOCATIONS, AS SUPPLEMENTAL PROTECTION

- NOTES:
- ALL BLOCKS TO BE SOLID CAST-IN-PLACE CONCRETE EXCEPT AT VERTICAL BEND.
  - ALL BLOCKS TO BEAR AGAINST UNDISTURBED EARTH, AND BE 12" MINIMUM THICKNESS
  - ARROWS INDICATE DIRECTION OF THRUST.
  - 3" STANDARD WEIGHT STEEL PIPE W/ 3/8"x6"x70"-6 STEEL PLATES.
  - COAT EXPOSED PORTION OF BARS WITH BITUMASTIC COMPOUND.

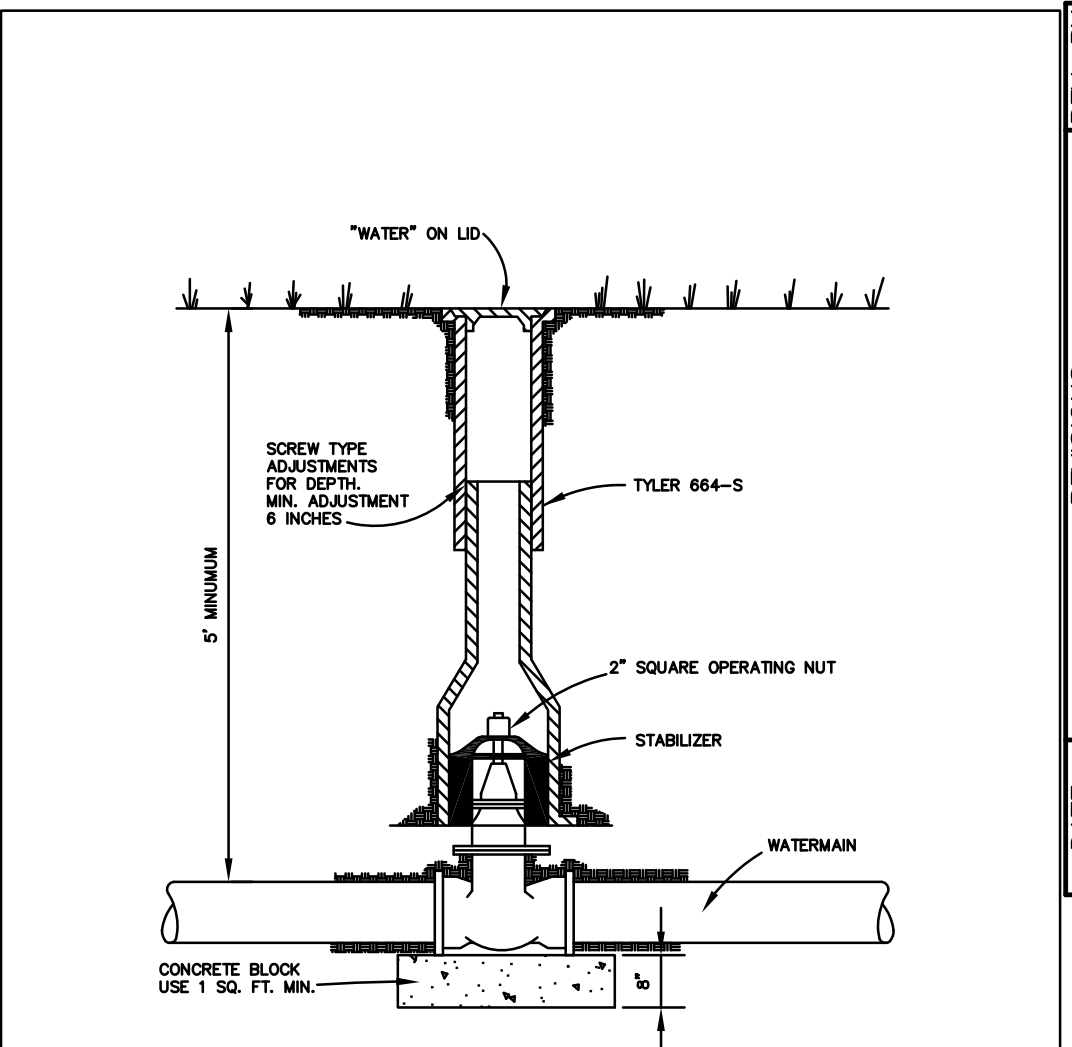
VILLAGE OF LEMONT			
THRUST BLOCKS			
REV. 6/23/08	12/10/01	NO. LS-21	REV. 2
REV. 6/23/08	12/10/01	NO. LS-21	REV. 2



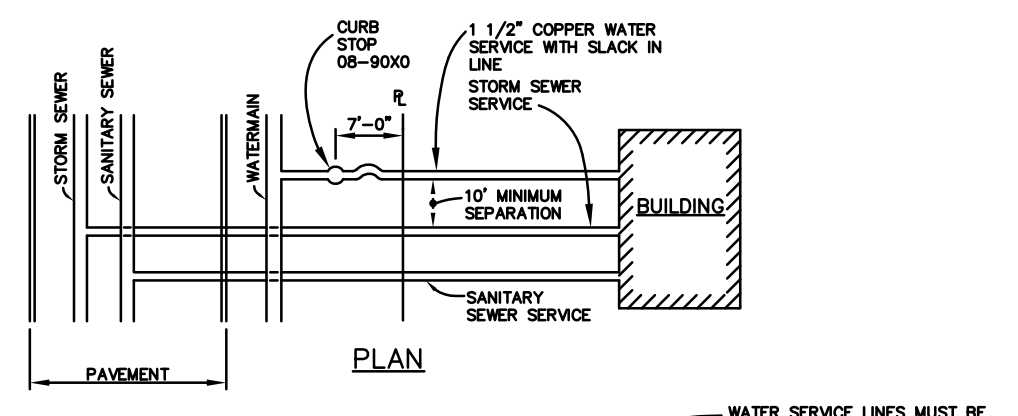
NOTES:

- NO MORE THAN TWO ADJUSTING RINGS FOR A TOTAL 6" OF ADJUSTMENT MAY BE USED
- VALVES MUST ALIGN WITH CENTER OF VAULT OPENING
- VALVE VAULT DIAMETER SHALL BE 5 FOOT FOR 12" VALVES AND PRESSURE CONNECTIONS OF 8" DIAMETER AND LARGER
- CONES MUST BE CONCENTRIC

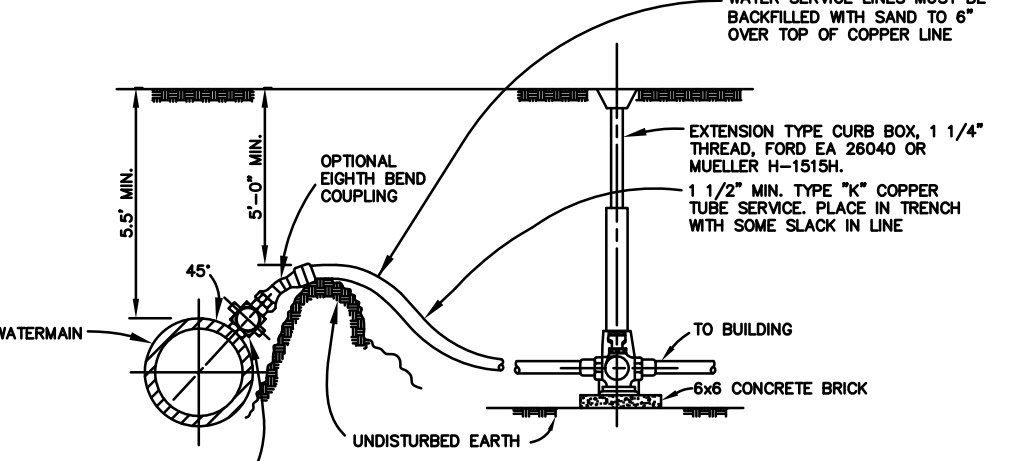
VILLAGE OF LEMONT			
WATER VALVE VAULT			
REV. 6/23/08	12/10/01	NO. LS-22	REV. 1
REV. 6/23/08	12/10/01	NO. LS-22	REV. 1



VILLAGE OF LEMONT			
VALVE BOX			
REV. 6/23/08	12/10/01	NO. LS-23	REV. 2
REV. 6/23/08	12/10/01	NO. LS-23	REV. 2

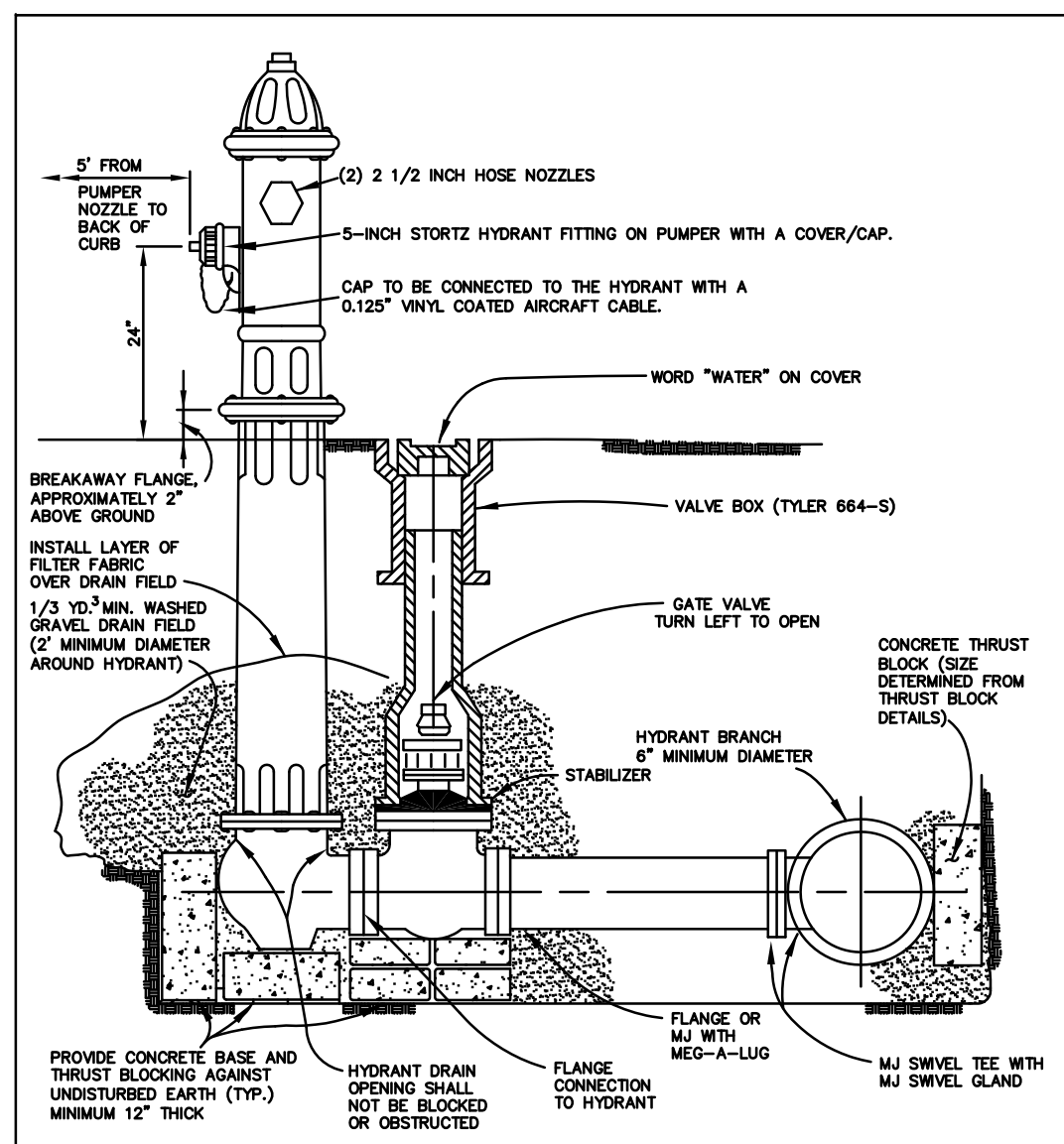


PLAN



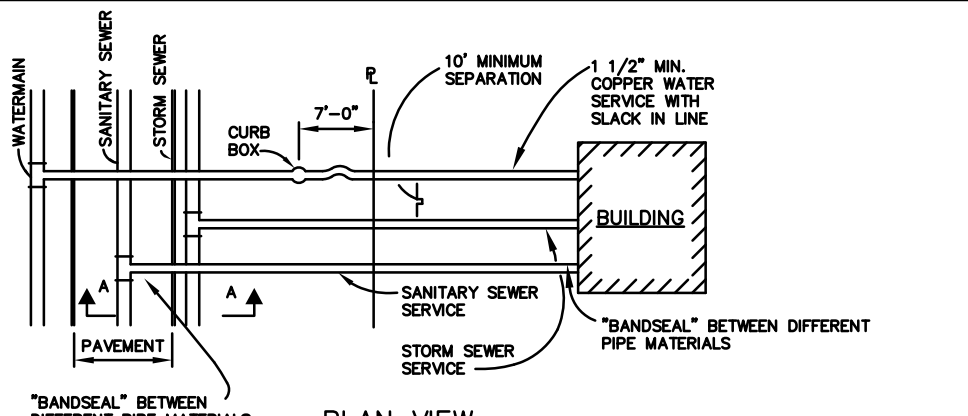
- NOTES:
- TAPS AT ANGLES UP TO 90° WILL BE PERMITTED IF CONDITIONS DO NOT ALLOW TAPPING AT 45°.
  - TAPS MUST BE MADE 3 FEET FROM THE BELL OF THE PIPE WHERE TWO OR MORE TAPS ARE MADE, THEY MUST BE 18" APART.
  - SEWER SEPARATION REQUIREMENTS MUST BE SATISFIED IN ALL CASES.
  - CURB STOP SHALL NOT BE IN DRIVEWAY.
  - CURB STOP IS WITH COMPRESSION COUPLING FORD 844-444 FOR 1 1/2" FLARED COPPER, OR MUELLER EQUAL.
  - CURB STOP LID HAS 1 1/2" THREADED BRASS PENTAGON PLUG WITH WORD "WATER" IN RAISED LETTERS.

VILLAGE OF LEMONT			
WATER SERVICE CONNECTION			
REV. 6/23/08	12/10/01	NO. LS-24	REV. 2
REV. 6/23/08	12/10/01	NO. LS-24	REV. 2

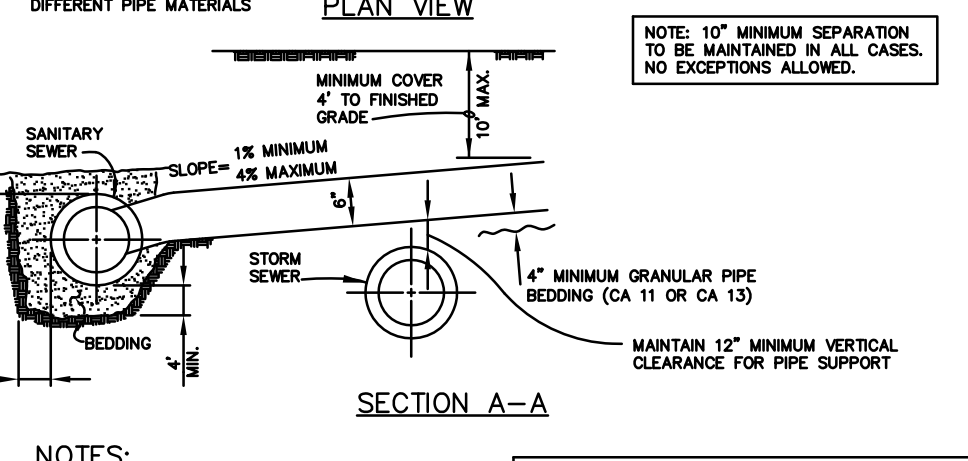


- NOTES:
- HYDRANT TO HAVE A BREAKAWAY FLANGE
  - HYDRANT TO BE PAINTED TRIMEC GLOSS SAFETY GREEN
  - CONFORM TO AWWA C-502
  - EAST JORDAN 58R-250, OR CLOW MEDALLION
  - HYDRANT VALVE TO BE SAME MANUFACTURER AS HYDRANT

VILLAGE OF LEMONT			
HYDRANT AND VALVE			
REV. 4/07/14	12/10/01	NO. LS-25	REV. 4
REV. 1/08/10	12/10/01	NO. LS-25	REV. 4
REV. 6/23/08	12/10/01	NO. LS-25	REV. 4



PLAN VIEW

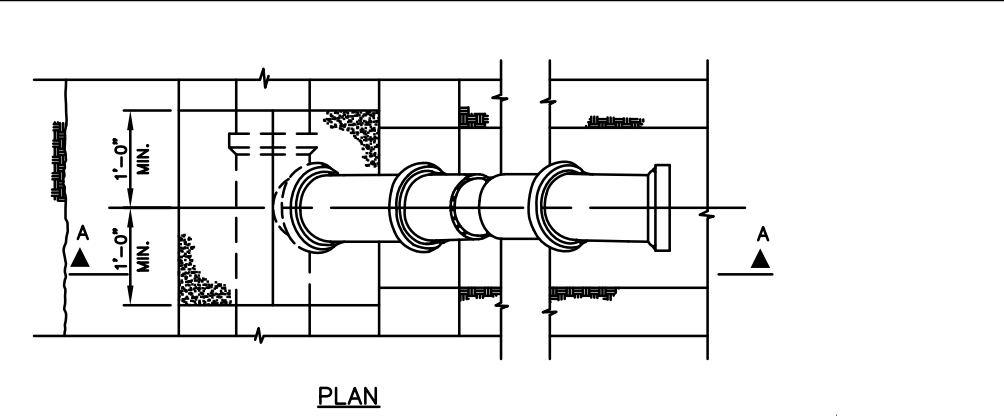


SECTION A-A

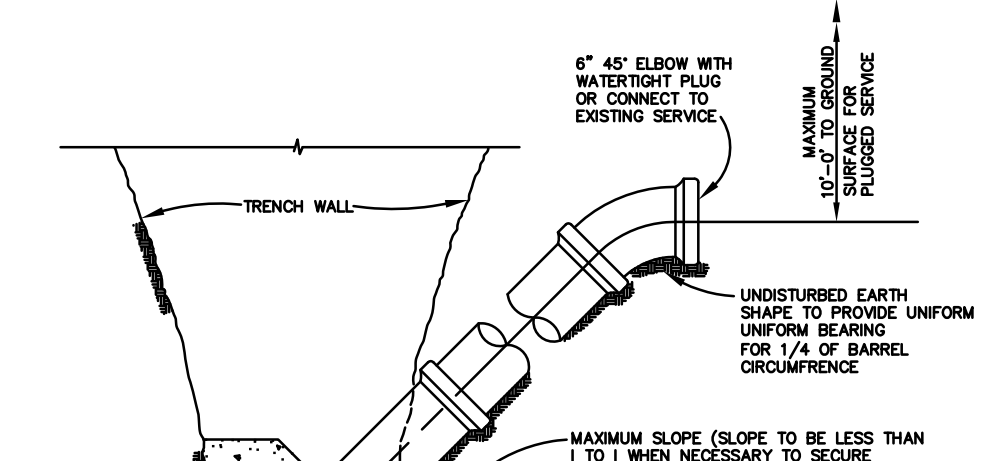
- NOTES:
- NO SEWER CONNECTION THAT WOULD INTRODUCE STORM WATER, RAIN WATER, SURFACE OR ROOF RUNOFF, GROUND WATER SEEPAGE FROM FILE DRAIN, LIQUID PETROLEUM PRODUCTS OR FLAMMABLE LIQUIDS INTO THE SANITARY SEWER WILL BE ALLOWED.
  - ALL CROSSINGS OF WATER AND SEWER MUST BE IN ACCORDANCE WITH SEWER AND WATER SEPARATION REQUIREMENTS OF THE ILLINOIS DPA.
  - TRENCH CUTS TO BE RESTORED TO EXISTING CONDITIONS, DRIVEWAY, STREET OR SIDEWALK CROSSINGS TO BE FLEED TO THE SURFACE WITH COMPACTED GRANULAR MATERIAL, CAR. SEE TRENCH CUT RESTORATION DETAIL.
  - CONNECTION TO MAIN BY WYE OR SEWER TAP WITH METAL SLEEVE.
  - FERRIC (OR EQUAL) TYPE COUPLING SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR MATERIALS.

MATERIAL ALLOWED			
MATERIAL	PIPE SPEC.	JOINT SPEC.	
6" P.V.C. PIPE SDR 26, PR	ASTM D-2241	ASTM D-3139	
6" DUCTILE IRON PIPE CLASS 50, COATED OR CEMENT LINED	AWWA C151	AWWA C-111	

VILLAGE OF LEMONT			
SANITARY SEWER SERVICE CONNECTION			
REV. 6/23/08	12/10/01	NO. LS-40	REV. 2
REV. 6/23/08	12/10/01	NO. LS-40	REV. 2



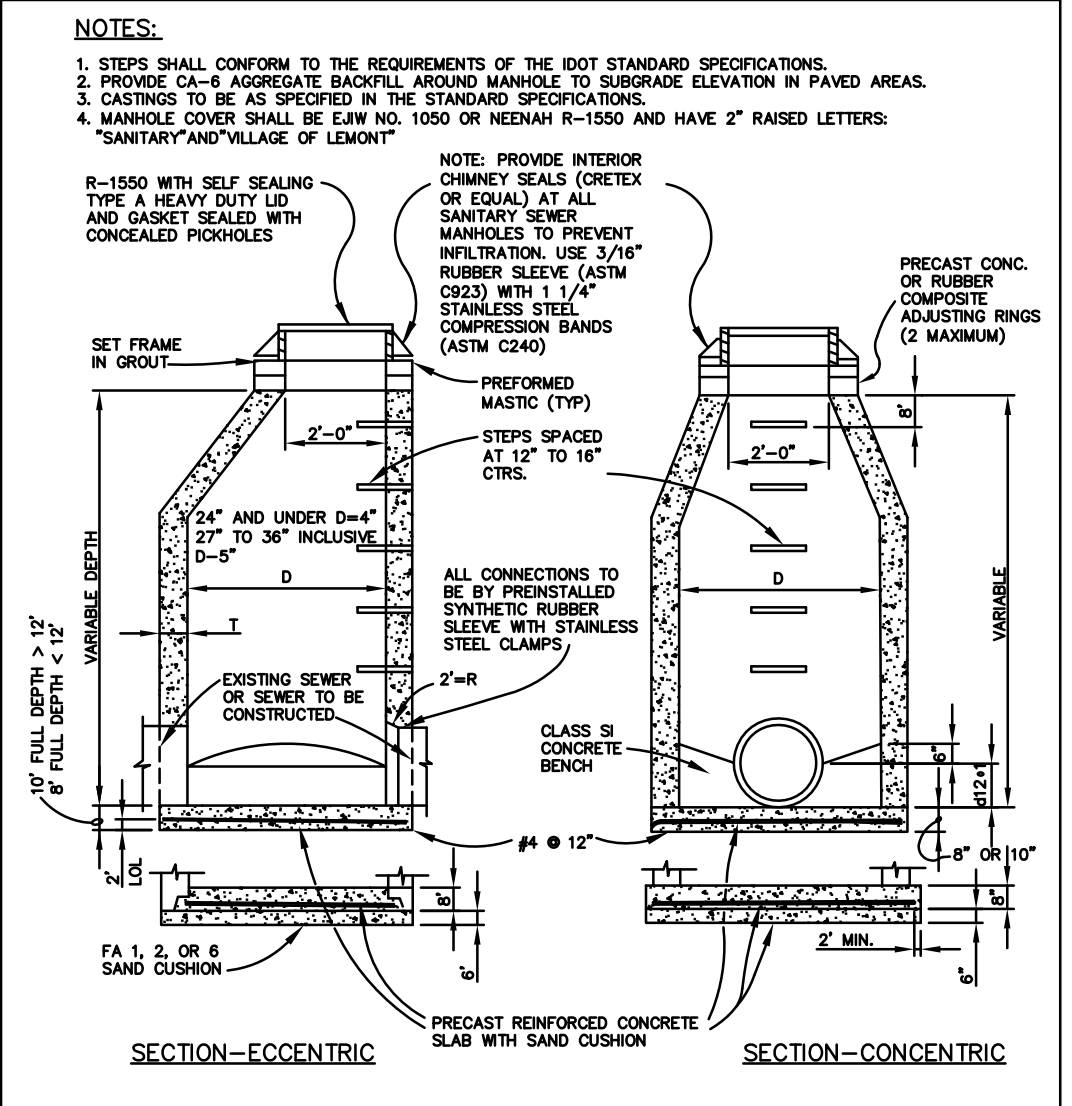
PLAN



SECTION A-A

- NOTES:
- NO SEWER CONNECTION THAT WOULD INTRODUCE STORM WATER, RAIN WATER, SURFACE OR ROOF RUNOFF, GROUND WATER SEEPAGE FROM FILE DRAIN, LIQUID PETROLEUM PRODUCTS OR FLAMMABLE LIQUIDS INTO THE SANITARY SEWER WILL BE ALLOWED.
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  - CONNECTION TO MAIN BY WYE OR SEWER TAP WITH METAL SLEEVE.
  - FERRIC (OR EQUAL) TYPE COUPLING SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR MATERIALS.

VILLAGE OF LEMONT			
SANITARY MANHOLE			
REV. 6/23/08	12/10/01	NO. LS-41	REV. 1
REV. 6/23/08	12/10/01	NO. LS-41	REV. 1

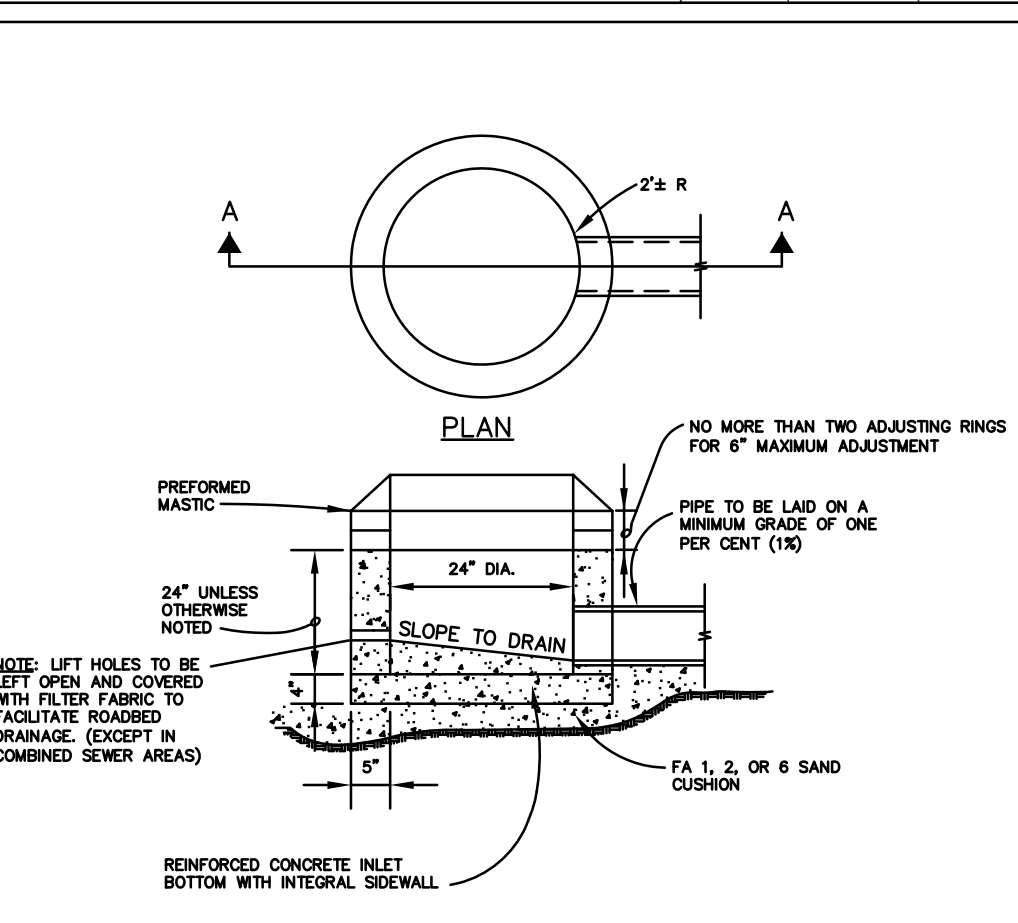


SECTION-ECCENTRIC

SECTION-CONCENTRIC

- NOTES:
- STEPS SHALL CONFORM TO THE REQUIREMENTS OF THE IDOT STANDARD SPECIFICATIONS.
  - PROVIDE CA-8 AGGREGATE BACKFILL AROUND MANHOLE TO SUBGRADE ELEVATION IN PAVED AREAS.
  - CASTINGS TO BE AS SPECIFIED IN THE STANDARD SPECIFICATIONS.
  - MANHOLE COVER SHALL BE ESW NO. 1050 OR NEDNAH R-1550 AND HAVE 2" RAISED LETTERS "SANITARY" AND "VILLAGE OF LEMONT"

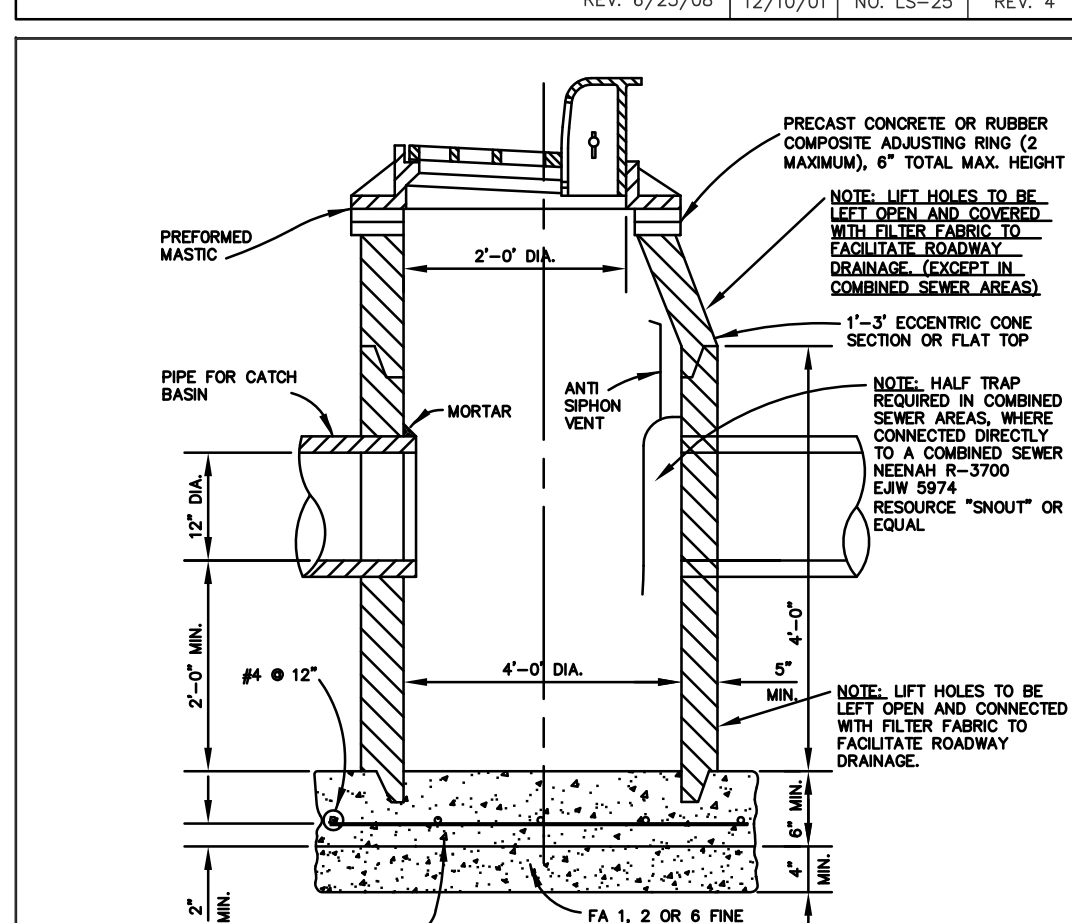
VILLAGE OF LEMONT			
SANITARY MANHOLE			
REV. 6/23/08	12/10/01	NO. LS-42	REV. 2
REV. 6/23/08	12/10/01	NO. LS-42	REV. 2



SECTION A-A

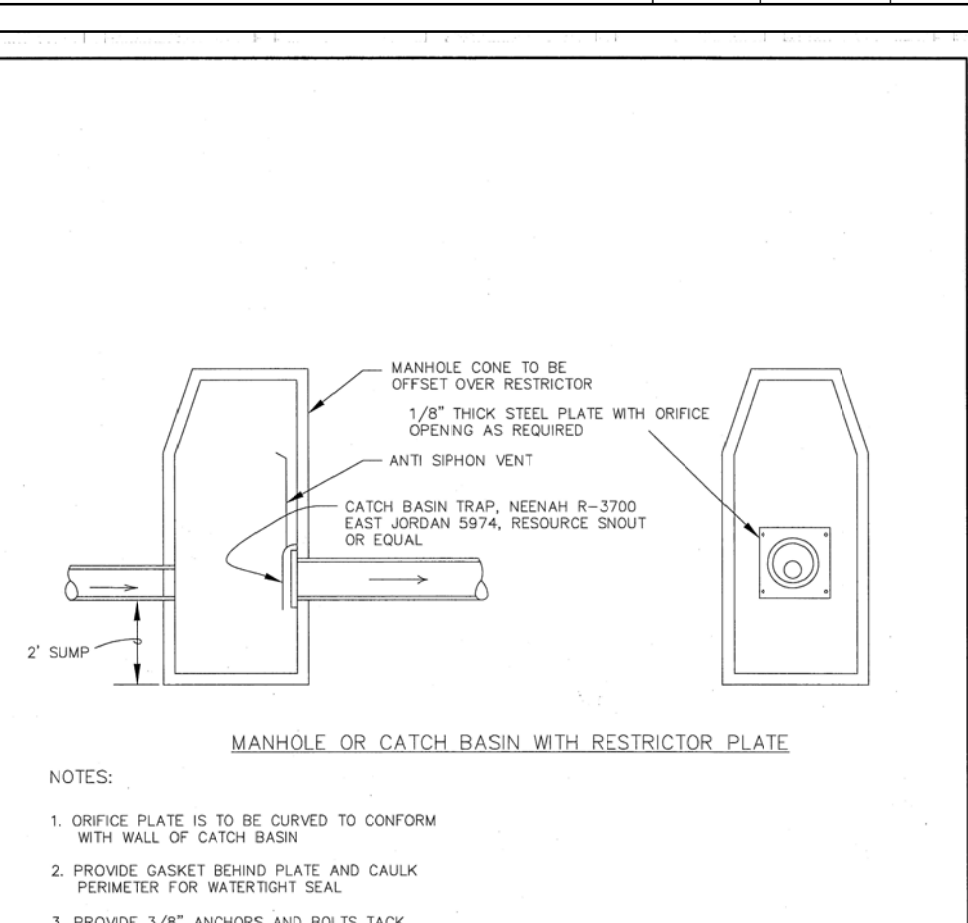
- NOTE:
- PROVIDE CA-8 AGGREGATE BACKFILL AROUND INLET TO SUBGRADE ELEVATION IN PAVED AREAS AND DETENTION AREAS
  - ALL CASTINGS SHALL INCORPORATE THE "DRAINS TO RIVERS" LOGO PER STANDARD NO. LS-71 OR LS-73 (OR APPLICABLE)

VILLAGE OF LEMONT			
INLET, TYPE A			
REV. 6/23/08	12/10/01	NO. LS-60	REV. 2
REV. 6/23/08	12/10/01	NO. LS-60	REV. 2



- NOTES:
- PROVIDE CA-8 AGGREGATE BACKFILL AROUND CATCH BASIN TO SUBGRADE ELEVATION
  - CATCH BASIN ARE TO BE USED IN PAVED AREAS ONLY. FOR PRECAST REINFORCING FOR FLAT SLAB TOPS SEE I.D.O.T. STANDARD 2364-
  - FRAME AND GRATE EAST JORDAN 7210, NEDNAH R-3281 A OR EQUAL, FOR STANDARD BARRIER CURB AND EAST JORDAN 7525 OR NEDNAH R-3501 P, OR EQUAL, FOR ROLLED CURB. NEDNAH R-3281-A, FOR VANEED GRATE USE.
  - ALL CASTINGS SHALL INCORPORATE THE "DRAINS TO RIVERS" LOGO PER STANDARD NO. LS-71

VILLAGE OF LEMONT			
CATCH BASIN TYPE A			
REV. 6/23/08	12/10/01	NO. LS-61	REV. 1
REV. 6/23/08	12/10/01	NO. LS-61	REV. 1

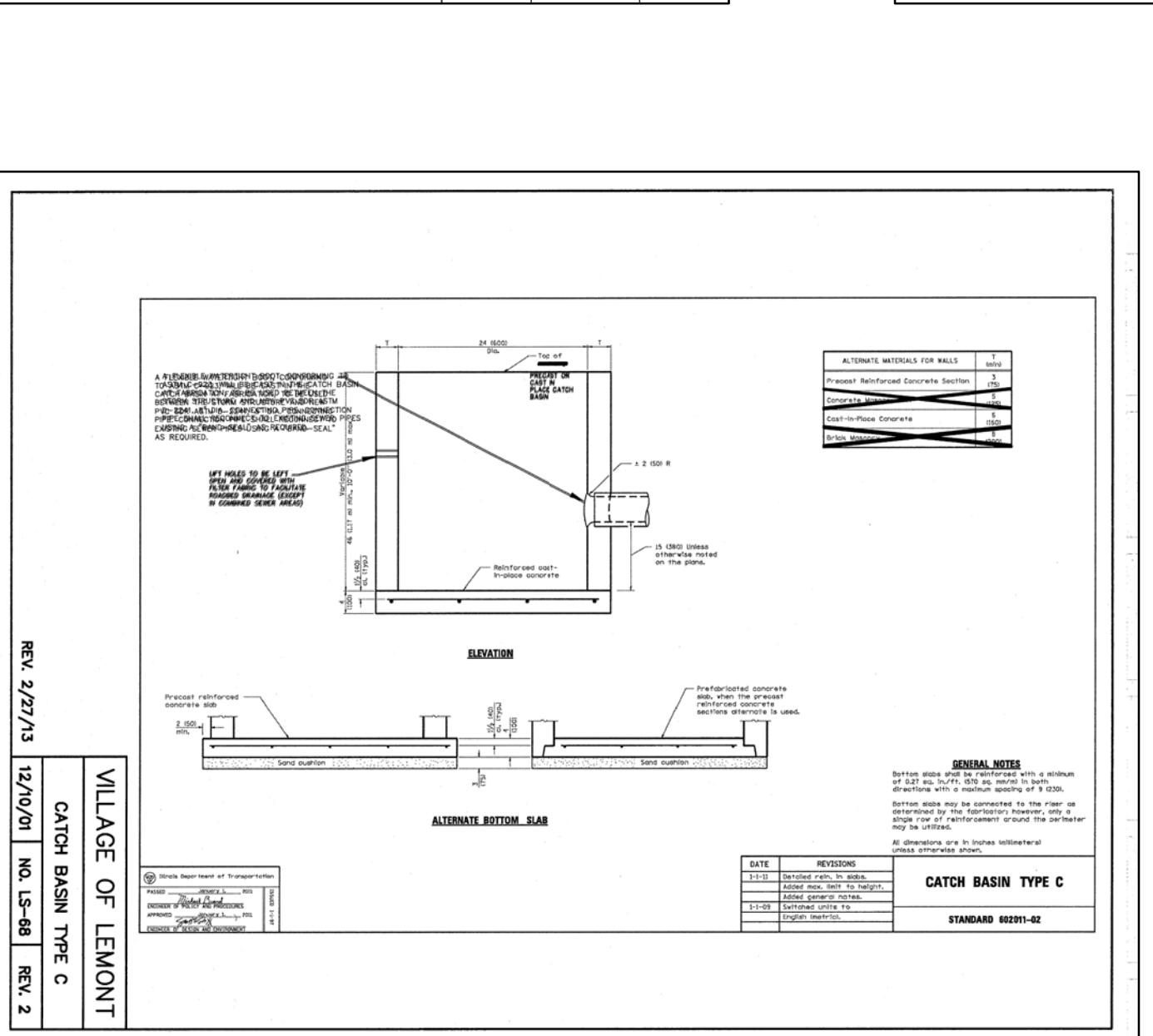


MANHOLE OR CATCH BASIN WITH RESTRICTOR PLATE

- NOTES:
- ORIFICE PLATE IS TO BE CURVED TO CONFORM WITH WALL OF CATCH BASIN
  - PROVIDE GASKET BEHIND PLATE AND CAULK PERIMETER FOR WATER TIGHT SEAL
  - PROVIDE 3/8" ANCHORS AND BOLTS TACK WELDED TO ORIFICE PLATE
  - RESTRICTORS MAY NOT BE INSTALLED IN FLARED END SECTION

RESTRICTOR SIZE = 6.75"ø

VILLAGE OF LEMONT			
STHW 11			
STORM WATER RESTRICTOR			
REV. 6/23/08	12/10/01	NO. LS-65	REV. 1
REV. 6/23/08	12/10/01	NO. LS-65	REV. 1



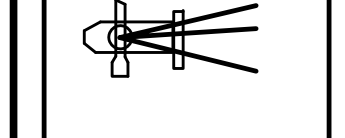
VILLAGE OF LEMONT

CATCH BASIN TYPE C

VILLAGE OF LEMONT			
CATCH BASIN TYPE C			
REV. 2/27/13	12/10/01	NO. LS-68	REV. 2
REV. 2/27/13	12/10/01	NO. LS-68	REV. 2

REV. BY	DATE	REVISIONS	T.G.
T.G.	3/10/14	ISSUED FOR REVIEW	T.G.
T.G.	4/14/14	VILLAGE COMMENTS	T.G.
T.G.	5/15/14	VILLAGE COMMENTS	T.G.
T.G.	5/27/14	LEGAL DESCRIPTION	T.G.
T.G.	6/3/14	VILLAGE ATTORNEY COMMENTS	T.G.
M.L.	2/12/15	VILLAGE COMMENTS	M.L.

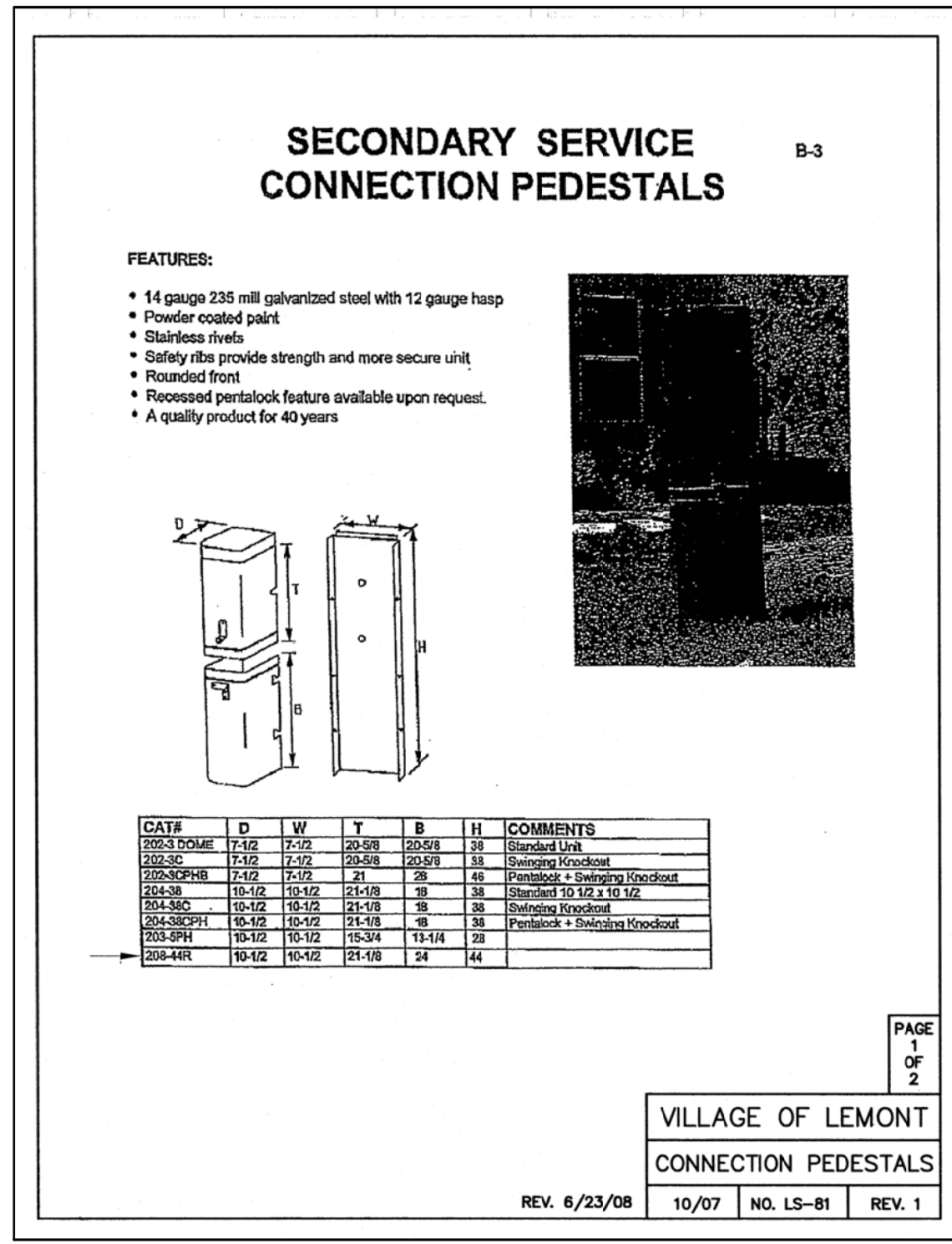
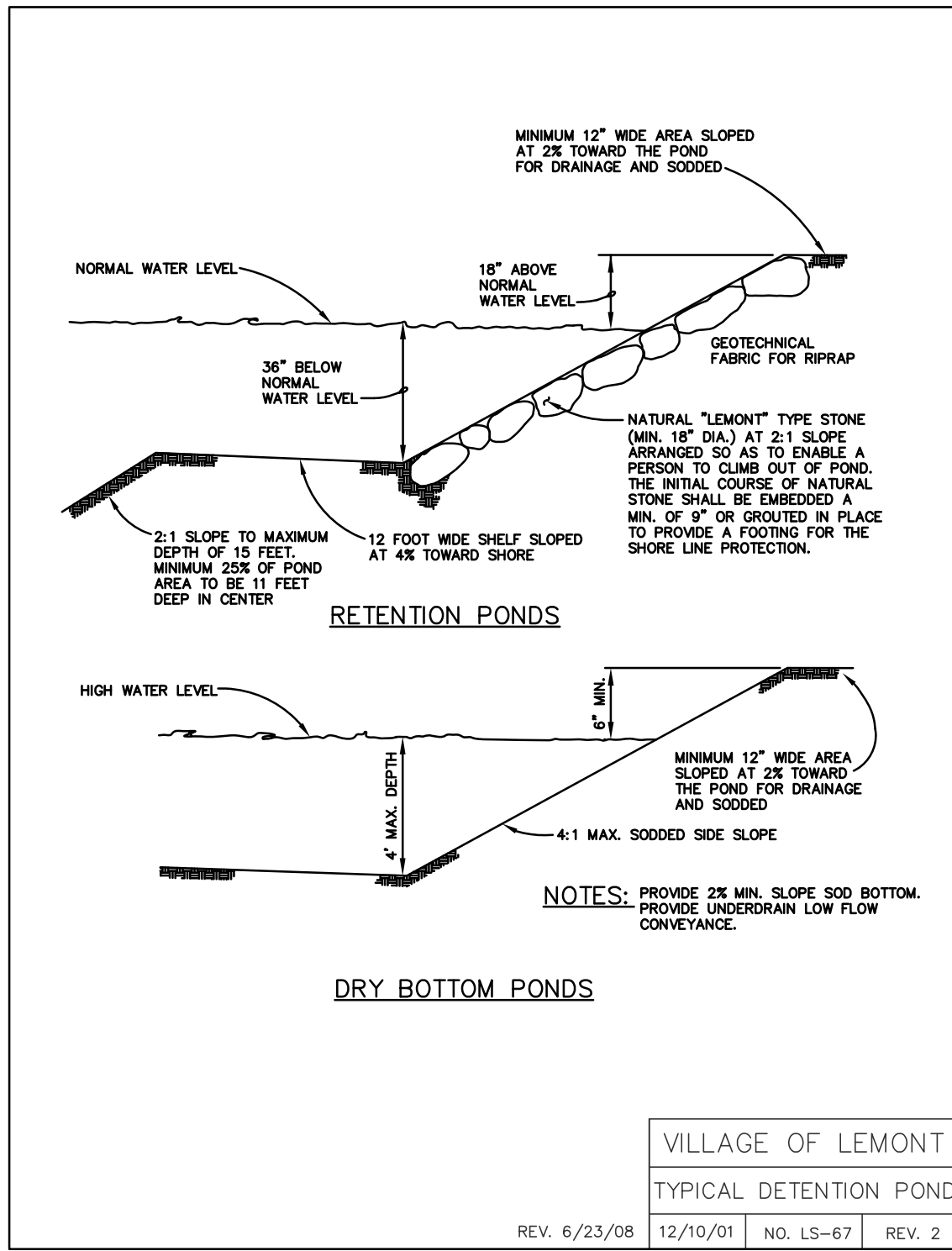
**LANDMARK**  
ENGINEERING LLC  
DESIGN FIRM REGISTRATION NO. 184-00577  
7808 WEST 103RD STREET  
PALOS HILLS, ILLINOIS 60465-1529  
Phone: (708) 589-3737  
Fax: (708) 589-2281



BIRCH PATH P.U.D.  
127TH & I-355, LEMONT, IL  
NOTES & DETAILS

DRAWN BY: T.G.  
DESIGNED BY: B.H.  
CHECKED BY: M.L.







**GENERAL NOTES**

- AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF ALL PHASES OF WORK, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING:  
VILLAGE OF LEMONT: (630) 257-1580  
LANDMARK ENGINEERING: (708) 599-3737
- UTILITY INFORMATION IS BASED UPON FIELD MEASUREMENTS AND THE BEST AVAILABLE RECORDS. FIELD DATA IS LIMITED TO THAT OF WHICH IS VISIBLE AND CAN BE MEASURED. THIS DOES NOT PRECLUDE THE EXISTENCE OF OTHER UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY J.U.L.L.E. (1-800-892-0123) 48 HOURS PRIOR TO ANY EXCAVATION WORK TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES.
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING DOCUMENTS:  
"STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS", ILLINOIS DEPARTMENT OF TRANSPORTATION.  
"STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS".  
"STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", ILLINOIS ENVIRONMENTAL PROTECTION AGENCY DIVISION OF WATER POLLUTION CONTROL.  
"LEMONT SUBDIVISION DEVELOPMENT ORDINANCE".
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC. THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AS ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION, CURRENT EDITION, SHALL BE CONSULTED. APPROPRIATE CONTROL METHODS SHALL BE APPLIED TO THE SPECIFIC SITUATIONS AND TYPES OF CONSTRUCTION OPERATIONS BEING PERFORMED.
- NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY ON A HOLIDAY, WEEKEND, OR AFTER 3 P.M. ON THE DAY PRECEDING A HOLIDAY OR A WEEKEND.
- THE CONTRACTOR SHALL ESTABLISH THE NECESSARY PERFORMANCE BONDS REQUIRED. PERMITS SHALL BE OBTAINED FROM ALL OUTSIDE GOVERNMENTAL AGENCIES HAVING JURISDICTION PRIOR TO INITIATION OF CONSTRUCTION ACTIVITY.
- THE CONTRACTOR IS RESPONSIBLE FOR HAVING THE MOST RECENT SET OF THE "APPROVED" FINAL ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
- CONTRACTOR SHALL RESTORE OFF-SITE SURFACES TO ORIGINAL CONDITION IF DAMAGED BY CONSTRUCTION.
- THE DEVELOPER IS TO PROVIDE THE VILLAGE ENGINEER WITH RECORD DRAWINGS OF ALL UTILITIES SHOWING LOCATIONS OF ALL SEWER PIPE, MAINS, SERVICE STUBS AND STRUCTURES.
- THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS AND PROGRAMS INCIDENT THERETO, AND THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONTRACTOR'S FAILURE TO PERFORM OR FURNISH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE ENGINEER WARRANTS THE DESIGN, RECOMMENDATIONS AND SPECIFICATIONS TO HAVE BEEN PROMULGATED ON CONDITIONS GENERALLY ENCOUNTERED IN THE INDUSTRY. THE ENGINEER ASSUMES NO RESPONSIBILITY WHATSOEVER, WITH RESPECT TO THE DESIGN RECOMMENDATIONS OR SPECIFICATIONS, FOR COMPLEX OR UNUSUAL SOIL CONDITIONS ENCOUNTERED ON THE PROJECT. IT SHALL BE THE OWNERS/BIDDERS RESPONSIBILITY TO ASCERTAIN THE EXACT NATURE OF SUBSURFACE CONDITIONS PRIOR TO THE CONSTRUCTION OF THE IMPROVEMENT.
- ALL TRENCHES CAUSED BY THE CONSTRUCTION OF SEWERS, WATERMANS, WATER SERVICE PIPES AND IN EXCAVATIONS AROUND CATCH BASINS, MANHOLES, INLETS, AND OTHER APPEARANCES WHICH OCCUR WITHIN TWO FEET OF THE LIMITS OF EXISTING AND PROPOSED PAVEMENTS, SIDEWALKS AND CURBS AND GUTTERS SHALL BE BACKFILLED WITH TRENCH BACKFILL (AS DEFINED IN SECTION 210 I.D.O.T. STANDARD SPECIFICATIONS).
- STREET SIGNS SHALL BE ERRECTED AT EACH STREET INTERSECTION. THE TYPE OF SIGN AND LOCATION THEREOF SHALL BE SUBJECT TO THE APPROVAL AND DIRECTION OF THE DEPARTMENT OF PUBLIC WORKS.
- LANDSCAPE PLAN ON PAGE 8 OF 11 WAS TAKEN DIRECTLY FROM J.G.S. LANDSCAPE ARCHITECTS. NO CONSTRUCTION WAS MADE BY LANDMARK ENGINEERING AND SAID PLAN IS SUBJECT TO APPROVALS.
- ALL SANITARY AND STORM SEWERS SHALL BE CLEANED AND TELEVISED, PRIOR TO ACCEPTANCE.

**WATERMAIN**

- WATER SYSTEM CONSTRUCTION SHALL, IN ALL RESPECTS, BE IN ACCORDANCE WITH THE REGULATIONS OF THE ENVIRONMENTAL PROTECTION AGENCY OF THE STATE OF ILLINOIS. WATER SERVICES MUST COMPLY WITH I.E.P.A. TITLE 35, SECTION 653.119. NO CONSTRUCTION SHALL COMMENCE UNTIL A COPY OF A PERMIT FROM THIS AGENCY IS FILED WITH THE VILLAGE AND VILLAGE ENGINEER.
- ALL WATERMAIN SHALL BE DUCTILE IRON MECHANICAL JOINT, CLASS 52, CEMENT LINED, CONFORMING AWMA C-151, OR AS REQUIRED BY AWMA C-150 FOR VARIOUS DEPTHS. JOINTS SHALL BE PUSH-ON AND MECHANICAL CONFORMING TO AWMA C-111. FITTINGS SHALL BE CAST OR DUCTILE IRON CONFORMING TO AWMA C-110 AND AWMA C-111. STAINLESS STEEL BOLTS AND ACCESSORIES ARE REQUIRED ON ALL WATERMAIN FITTINGS.
- THE MINIMUM DEPTH OF WATERMAIN FROM THE TOP OF THE PIPE TO THE FINISHED GRADE SHALL BE FIVE AND A HALF (5.5) FEET.
- POLYVINYL WRAPPING OF ALL WATERMAIN IS REQUIRED FOR ALL DUCTILE IRON PIPE.
- VALVES SHALL BE EPOXY COATED CLOW-RESILIENT WEDGE WITH NON-RISING STEM GATE VALVES, COUNTER-CLOCKWISE TO OPEN, IN FULL CONFORMANCE WITH AWMA C-509 WITH MECHANICAL JOINT ENDS.
- ALL VALVES UP TO 8" SHALL BE INSTALLED IN BOXES UNLESS IN PAVEMENT. VALVE VAULTS SHALL HAVE A 48" INSIDE DIAMETER FOR 8" DIAMETER VALVES. PRESSURE CONNECTIONS SHALL BE INSTALLED IN 60" INSIDE DIAMETER VAULTS. VALVE VAULTS SHALL BE PRECAST REINFORCED CONCRETE CONFORMING TO ASTM C-478.
- VALVE VAULTS REQUIRING OFFSET CONES SHALL BE POSITIONED SO THAT NEITHER THE INSIDE OF THE CONE NOR THE MANHOLE STEPS WILL INTERFERE WITH THE OPERATION OF THE VALVE.
- VAULTS SHALL NOT HAVE MORE THAN TWO (2) PRECAST CONCRETE ADJUSTING RINGS WITH A TWELVE INCH MAXIMUM TOTAL HEIGHT ADJUSTMENT.
- CASTINGS SHALL HAVE "WATER" STAMPED ON THE LIDS. CASTINGS SHALL BE NEEHAW R-1689 WITH "WATER" EMBOSSED ON THE LID. MANHOLE STEPS SHALL BE E.J.I.W. 8518 OR STEEL REINFORCED PLASTIC CONFORMING TO O.S.H.A. STANDARDS.
- BEDDING IS NOT REQUIRED FOR DUCTILE IRON WATERMAIN UNLESS UNSUITABLE SOILS ARE ENCOUNTERED. BEDDING IN THE TRENCH BASE SHALL BE PROVIDED TO FIT THE BELL OF EACH PIPE SECTION. THE TRENCH BASE SHALL BE GRADED TO PROVIDE FULL BEARING SUPPORT ALONG THE ENTIRE LENGTH OF WATERMAIN.
- ELEVATIONS SHOWN AT FIRE HYDRANTS ARE GROUND ELEVATIONS.
- ALL DOMESTIC WATER SERVICE SHALL BE CONSTRUCTED OF TYPE K COPPER PIPE, HAVING A MINIMUM INTERNAL DIAMETER OF ONE INCH. SUCH SERVICES SHALL BE EQUIPPED WITH COPPERATION STOP, CURB STOPS AND OTHER NECESSARY FITTINGS IN ACCORDANCE WITH VILLAGE STANDARDS. A CURB STOP AND BOX SHALL BE INSTALLED BETWEEN SEVEN AND EIGHT FEET FROM THE PROPERTY LINE, WITHIN THE PUBLIC RIGHT-OF-WAY, FOR EACH LOT. ALL WATER SERVICE LINES SHALL BE LOCATED AT THE APPROXIMATE CENTER OF EACH LOT AT A MINIMUM DEPTH OF FIVE FEET. THE END OF THE SERVICE LINE SHALL BE MARKED WITH A 4 x 4 WOODEN STAKE PAINTED BLUE.
- PROVIDE MECHANICAL JOINT THRUST RESTRAINTS AT ALL FITTING AND VALVES MEQA-LUG BY EBMA IRON.
- CONCRETE THRUST RESTRAINTS SHALL BE PRECAST OR POURED CONCRETE AND PROVIDED AT ALL TEES, PLUGGED ENDS, HYDRANTS AND BENDS BETWEEN 11.25 DEGREES AND 90 DEGREES. CARE SHOULD BE TAKEN WHEN POURING CONCRETE SO THAT THE MIX WILL NOT INTERFERE WITH ACCESS TO JOINTS OR WITH HYDRANT DRAINAGE.
- CASING PIPES SHALL BE STEEL CONFORMING TO ASTM A-120 WITH 0.375 INCH MINIMUM THICKNESS.
- WHENEVER A SEWER CROSSES OVER A WATERMAIN, THE SEWER SHALL HAVE JOINTS AND JOINT MATERIALS MEETING SPECIFICATIONS C-443 (RCP) AND C-425 (CLAY) FOR A MINIMUM OF 10 FEET ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATERMAIN. A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED. THE SEWER SHALL BE SUPPORTED TO PREVENT SETTLING AND BREAKING THE WATERMAIN.
- HORIZONTAL SEPARATION:  
A) A WATERMAIN SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED STORM OR SANITARY SEWER LINE.  
B) SHOULD LOCAL CONDITIONS PREVAIL WHICH WOULD PREVENT A LATERAL SEPARATION OF TEN (10) FEET, A WATERMAIN MAY BE LAID CLOSER THAN TEN (10) FEET PROVIDED THAT THE MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER AND AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATERMAIN IS AT LEAST EIGHTEEN INCHES ABOVE THE TOP OF THE SEWER. IN SUCH CASES, WATERMAIN SHALL BE LAID WITH AS MUCH HORIZONTAL CLEARANCE FROM THE SEWER AS POSSIBLE.  
C) IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED IN SUBSECTIONS (A) OR (B) ABOVE, BOTH THE WATERMAIN AND THE LENGTH OF SEWER BETWEEN ADJACENT MANHOLES SHALL BE CONSTRUCTED OF PUSH-ON OR MECHANICAL JOINT DUCTILE IRON PIPE, OR PRESTRESSED CONCRETE PIPE, AND SHALL BE PRESSURE-TESTED TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.

**VERTICAL SEPARATION:**

- WHENEVER A WATERMAIN MUST CROSS HOUSE SEWERS, STORM DRAINS OR SANITARY SEWER, THE WATERMAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATERMAIN IS EIGHTEEN (18) INCHES ABOVE THE TOP OF THE DRAIN OR SEWER. THIS VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN (10) FEET, HORIZONTALLY, OF ANY SEWER OR DRAIN CROSSED. SAID TEN (10) FEET IS TO BE MEASURED HORIZONTALLY FROM THE WATERMAIN TO THE DRAIN OR SEWER.
  - WHERE CONDITIONS EXIST THAT THE MINIMUM VERTICAL SEPARATION SET FORTH IN A SUBSECTION ABOVE CANNOT BE MAINTAINED, OR IT IS NECESSARY FOR THE WATERMAIN TO PASS UNDER A SEWER OR DRAIN, THE FOLLOWING MEASURE MUST BE TAKEN:  
1.) THE STORM SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING (SEE WATERMAIN NOTE #2 FOR SPECIFICATIONS).
- INSTALLED WATERMAIN SHALL BE PRESSURE TESTED AND CHLORINATED UNDER THE DIRECTION OF THE DEPARTMENT OF PUBLIC WORKS PRIOR TO FINAL ACCEPTANCE.
  - ALL WATER VALVE VAULTS SHALL HAVE INF-SHIELD SEALS (EXTERIOR).
  - BACKFILLING OF THE TRENCH SHALL BE ACCOMPLISHED BY CAREFUL REPLACEMENT OF THE EXCAVATED MATERIAL AFTER THE PIPE, BEDDING, AND THE COVER MATERIAL HAVE BEEN INSTALLED. ANY PIPE INSTALLED UNDER OR WITHIN TWO (2) FEET OF A PAVEMENT EDGE, CURB AND GUTTER, OR SIDEWALK SHALL BE BACKFILLED TO THE TOP OF THE TRENCH WITH CA-7 MATERIAL.

**STORM SEWER**

- REINFORCED CONCRETE PIPE STORM SEWER SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C-76 CLASS IV. DUCTILE IRON PIPE STORM SEWER SHALL MEET OR EXCEED THE REQUIREMENTS OF ASA A21.51, CLASS 52 CEMENT-LINED, POLYVINYL CHLORIDE PIPE STORM SEWER SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM D-2241.
- SEWER PIPE JOINTS SHALL BE BELL AND SPIGOT TYPE WITH "O" RING GASKETS - ASTM C-443 FOR RCP AND SHALL BE PUSH-ON (BELL-TITE) FOR DUCTILE IRON PIPE.
- MANHOLES AND CATCH BASINS SHALL BE PRECAST REINFORCED CONCRETE - ASTM C-478 CONFORMING TO THE FOLLOWING MINIMUM SIZE CRITERIA UNLESS SPECIFIED OTHERWISE:  
\* FOR SEWER EIGHTEEN (18) INCH DIAMETER OR LESS, MANHOLE SHALL HAVE A FORTY-EIGHT (48) INCH INSIDE DIAMETER UNLESS OTHERWISE NOTED.  
\* FOR SEWER TWENTY-ONE (21) INCH TO FORTY-TWO (42) INCH DIAMETER, MANHOLE SHALL HAVE A SIXTY (60) INCH INSIDE DIAMETER.  
\* FOR SEWER GREATER THAN FORTY-TWO (42) INCH DIAMETER, MANHOLE SHALL HAVE A SEVENTY-TWO (72) INCH INSIDE DIAMETER.
- NO MORE THAN TWO PRECAST ADJUSTING RINGS WITH A TWELVE INCH MAXIMUM HEIGHT ADJUSTMENT SHALL BE ALLOWED.
- STORM SEWER MANHOLE JOINTS SHALL BE SEALED WITH PORTLAND CEMENT MORTAR, "O" RING GASKETS, OR MASTIC MATERIAL.
- MANHOLE FRAME AND COVER CASTINGS SHALL BE E.J.I.W. NO. 1058 OR NEEHAW R-1550, EMBOSSED "STORM" ON A TYPE A HEAVY DUTY COVER. ROLLED CURB & GUTTER INLET CASTINGS SHALL BE E.J.I.W. NO. 7525 OR NEEHAW R-3501-P. INLETS AND CATCH BASIN CASTINGS IN GRASSY AREAS SHALL BE NEEHAW R-4340-B "BEEHIVE" GRATE.
- MANHOLE STEPS SHALL BE SIXTEEN (16) INCHES ON CENTER, CAST IN PLACE, E.J.I.W. 8518, OR STEEL REINFORCED PLASTIC CONFORMING TO O.S.H.A. STANDARDS.
- INLETS SHALL BE TWENTY-FOUR (24) INCH DIAMETER PRECAST REINFORCED CONCRETE CONFORMING ASTM C-478.
- SEE MWRD NOTE #6 FOR BEDDING CONDITIONS.
- RIM GRADES IN CURB AND GUTTER ARE EDGE OF PAVEMENT ELEVATIONS.
- ALL EXISTING FIELD TILE AND/OR DRAIN PIPES ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. IF THIS CANNOT BE ACCOMPLISHED THEN IT SHALL BE REPAIRED WITH A NEW PIPE OF SIMILAR IN SIZE AND MATERIAL TO THE ORIGINAL LINE AND GRADE AND PUT INTO AN ACCEPTABLE OPERATION CONDITION. A RECORD OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER ON COMPLETION OF THE PROJECT. THE COST OF THIS WORK IS CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
- ALL FOOTING DRAINS AND DOWNSPOUTS SHALL DISCHARGE TO THE STORM SYSTEM OR OVER GROUND.
- ANY PIPES OR MANHOLES CONTAINING DEBRIS OR SEDIMENT SHALL BE CLEANED PRIOR TO ACCEPTANCE.
- ALL STORM SEWER STRUCTURES SHALL HAVE INF-SHIELD SEALS (EXTERIOR).
- ALL PIPE CONNECTION OPENINGS (AT MANHOLES, CATCH BASINS AND INLETS) SHALL BE PRECAST WITH RESILIENT RUBBER WATER-TIGHT PIPE TO MANHOLE SLEEVES OR SEALS, PER ASTM C-923.
- BACKFILLING OF THE TRENCH SHALL BE ACCOMPLISHED BY CAREFUL REPLACEMENT OF THE EXCAVATED MATERIAL AFTER THE PIPE, BEDDING, AND THE COVER MATERIAL HAVE BEEN INSTALLED. ANY PIPE INSTALLED UNDER OR WITHIN TWO (2) FEET OF A PAVEMENT EDGE, CURB AND GUTTER, OR SIDEWALK SHALL BE BACKFILLED TO THE TOP OF THE TRENCH WITH CA-7 MATERIAL.

**PAVEMENT, SIDEWALK AND CURB & GUTTER**

- PAVEMENT THICKNESS SHALL COMPLY WITH THE VILLAGE OF LEMONT REQUIREMENTS.
- SIDEWALK SHALL BE 5" PORTLAND CEMENT CONCRETE, FIVE (5) FEET WIDE, AND INSTALLED ONE (1) FOOT OFF OF THE RIGHT OF WAY LINE WITHIN THE PUBLIC RIGHT OF WAY.
- HANDICAPPED RAMPS AND DEPRESSED CURBS SHALL BE PROVIDED WHEREVER SIDEWALK INTERSECTS CURB IN ACCORDANCE WITH IDOT SPECIFICATIONS.
- THE CURB & GUTTER BASE COURSE SHALL BE CA-8, TRIMMED OR FILLED AS NECESSARY TO PROVIDE A FULL DEPTH CURB & GUTTER. PRIOR TO CONCRETE PLACEMENT, THE BASE SHALL BE COMPACTED AND PROOF - ROLLED.
- EXPANSION JOINTS SHALL BE PLACED, AS A MINIMUM, AT ALL CURB RADIUS POINTS AND ALL CONSTRUCTION JOINTS IN THE CURB, AND SHALL CONSIST OF 3/4 INCH THICK PREFORMED EXPANSION JOINT FILLER AND DOWELS WITH END CAPS.
- CONTRACTION JOINTS SHALL BE SAW CUT AT 20 FOOT MAXIMUM INTERVALS TO A DEPTH OF 2 INCHES. CONTRACTION JOINT SPACES SHALL BE SEALED WITH A COLD POURED JOINT COMPOUND. CONCRETE CURING COMPOUND SHALL BE APPLIED AS FINISHING WORK PROCEEDS.
- THE CONTRACTOR SHALL BACKFILL CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO PLACEMENT OF BASE COURSE MATERIALS. THE CURB IS TO BE SAW CUT WITHIN 24 HOURS AFTER PLACEMENT. GUTTER FITTER SHALL BE REVERSED WHERE APPROPRIATE FOR DRAINAGE.
- ALL CURBS CONSTRUCTED OVER A UTILITY TRENCH SHALL BE REINFORCED WITH TWO #4 REBARS FOR A LENGTH OF 20 FEET CENTERED OVER THE TRENCH. SIDEWALKS SHALL BE TREATED IN THE SAME MANNER USING THREE #6 REBARS.
- PRIOR TO PLACING ANY PAVEMENT MATERIAL, THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY PREPARING AND COMPACTING THE SUBGRADE. BOTH THE CURB & GUTTER AND PAVEMENT BASE COURSE SHALL BE PROOF ROLLED WITH A FULLY LOADED DUMP TRUCK. THE ENGINEER SHALL BE NOTIFIED AT LEAST 24 HOURS BEFORE PROOF ROLLING. ADDITIONAL PROOF ROLLS MAY BE NECESSARY TO VERIFY THAT ANY UNSTABLE AREAS HAVE BEEN REPAIRED. NO PACEMENT MATERIAL IS TO BE PLACED ON A WET OR SOFT SUBGRADE.
- ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO A NEAT EDGE ALONG LIMITS OF PROPOSED REMOVAL BEFORE REMOVAL OPERATION BEGINS.
- THE CONTRACTOR SHALL CONTACT PUBLIC WORKS AT (630) 257-2532 48 HOURS PRIOR TO:  
1. COMMENCING CONSTRUCTION;  
2. ANY UNDERCUTTING AND UNSUITABLE EXCAVATION AND REPLACEMENT;  
3. THE INSTALLATION OF THE AGGREGATE BASE COURSE SO THAT THE SUBGRADE COMPACTON MAY BE TESTED FOR COMPLIANCE WITH THE SPECIFICATIONS. NO AGGREGATE COURSE SHALL BE PLACED WITHOUT APPROVAL;  
4. THE INSTALLATION OF THE BITUMINOUS CONCRETE BINDER COURSE SO THAT THE AGGREGATE BASE MAY BE CHECKED. THE BINDER SHALL NOT BE PLACED UNTIL APPROVAL IS OBTAINED;  
5. THE INSTALLATION OF THE BITUMINOUS CONCRETE SURFACE COURSE SO THAT THE BINDER COURSE MAY BE CHECKED. THIS WORK SHALL NOT BE COMPLETED UNTIL 80% OF THE HOMES ARE DEVELOPED AND APPROVAL IS OBTAINED.

**SITE GRADING**

- EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS MAY REQUIRE EARTH EXCAVATION AND COMPACTED EARTH FILL MATERIAL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS.
- PLACEMENT OF THE EXCAVATED MATERIAL SHALL BE IN AREAS DESIGNATED BY THE OWNER FOR FUTURE USE, WITHIN AREAS TO BE LANDSCAPED, AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL.
- COMPACTON OF THE EXCAVATED MATERIAL PLACED IN AREAS NOT REQUIRING STRUCTURAL FILL SHALL BE MODERATE.
- EXCESS MATERIALS, IF NOT UTILIZED AS FILL OR IF NOT STOCKPILED FOR FUTURE LANDSCAPING, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF BY THE CONTRACTOR.
- EXCAVATION OF EARTH AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL: THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.3" +/- OF THE PLAN SUBGRADE ELEVATIONS. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIAL SHALL BALANCE AS PART OF THE FINE GRADING OPERATION.
- PLACEMENT AND COMPACTON OF THE MATERIALS SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATIONS.
- THE CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
- PAYMENT FOR THE REMOVAL OF UNSUITABLE MATERIAL (EXCLUDING TOPSOIL EXCAVATION) SHALL BE BASED ON THE QUANTITIES AS FIELD MEASURED BY THE ENGINEER. THE CONTRACTOR SHALL PROVIDE AS PART OF HIS BID A UNIT PRICE PER CUBIC YARD FOR THE REMOVAL OF UNSUITABLE MATERIAL. SAID UNIT PRICE SHALL INCLUDE THE COMPLETE REMOVAL OF THE MATERIAL, REPLACEMENT WITH A SUITABLE MATERIAL OBTAINED BY THE CONTRACTOR FROM A BORROW SOURCE, AND COMPACTON TO THE REQUIRED SPECIFICATION OF THE VILLAGE.

**MWRDGC NOTES:**

- THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055).
- ELEVATION DATUM IS NAVD 88.
- ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
- ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
- ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO:

PIPE MATERIAL SPEC.	JOINT SPEC.
VITRIFIED CLAY PIPE	
VCP C-700	C-425
VCP (NO-BEL) C-700	C-425
COLLAR	D-1784
CONCRETE PIPE C-14	C-443
RCP C-78	C-443
ACP C-428	D-1869
ABS SEWER PIPE	
SOLID WALL 6" DIA. SDR. 23.5	
ABS D-2751	D-2751
ABS COMPOSITE/TRUSS PIPE	
8"-15" DIA.	
ABS D-2680	D-2680
PVC GRAVITY SEWER PIPE	
6"-15" DIA. SDR 26	
ASTM D-2241	D-3139
18"-27" DIA. F/DY=46	
F-679	D-3212 OR D-2855
CISP A-74	C-564
DIP A-2151	A-2111

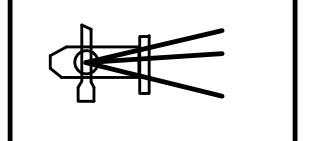
(NOTE: THE DISTRICT HAS APPROVED LESS COMMON PIPE MATERIALS ON A QUALIFIED BASIS IN ADDITION TO THOSE ABOVE. PLEASE CONTACT THE DISTRICT IF CONSIDERING USING PIPE NOT LISTED ABOVE.)

- ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
- "BAND SEAL" OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR MATERIALS.
- WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:  
1. CURCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-WYE SADDLE OR HUB-TEE SADDLE.  
2. REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.  
3. WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
- WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMANS SHALL BE MAINTAINED UNLESS THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED ABOVE CAN NOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATERMAIN, THE SEWER SHALL BE CONSTRUCTED TO WATERMAIN STANDARDS.
- ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
- ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE. ALL INLET & OUTLET PIPES OF SANITARY MANHOLES & OTHER UNDERGROUND STRUCTURES (AND IN COMBINED SEWER AREAS, ALSO ALL COMBINED/STORM SEWER MANHOLES, CATCH BASINS, INLETS & UNDERGROUND DETENTION STORAGE STRUCTURES) SHALL BE JOINED WITH WATERIGHT FLEXIBLE RUBBER CONNECTIONS, CONFORMING TO A.S.T.M. C-443 & C-923 WITH STAINLESS STEEL BAND.
- ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED WITH CONCRETE/ MORTAR NON-SHEDDING GROUT OF TWO FEET LONG FROM BOTH ENDS OF THE PIPE.

REV. BY	REVISIONS	ISSUED FOR REVIEW	T.G.
		VILLAGE COMMENTS	T.G.
		VILLAGE COMMENTS	T.G.
		LEGAL DESCRIPTION	T.G.
		VILLAGE ATTORNEY COMMENTS	T.G.
		VILLAGE COMMENTS	M.L.
		VILLAGE COMMENTS	M.L.

DATE	REVISED	T.G.
3/10/14		T.G.
4/14/14		T.G.
5/5/14		T.G.
5/27/14		T.G.
6/3/14		T.G.
12/1/14		M.L.
2/12/15		M.L.

**LANDMARK ENGINEERING LLC**  
 DESIGN FIRM REGISTRATION NO. 184-005577  
 7808 WEST 103RD STREET  
 PALOS HILLS, ILLINOIS 60465-1529  
 Phone: (708) 599-3737  
 Fax: (708) 599-2291



**BIRCH PATH P.U.D.**  
 127TH & I-355, LEMONT, IL  
 NOTES & DETAILS

DRAWN BY: T.G.  
 DESIGNED BY: B.H.  
 CHECKED BY: M.L.

VILLAGE OF LEMONT  
ORDINANCE NO. 0-76-14

**AN ORDINANCE GRANTING FINAL PUD PLAN/PLAT APPROVAL FOR A  
NINETEEN-LOT RESIDENTIAL SUBDIVISION LOCATED SOUTH OF 127<sup>th</sup>  
STREET AND WEST OF INTERSTATE 355 IN LEMONT, IL.**

**(Birch Path)**

**ADOPTED BY THE  
PRESIDENT AND BOARD OF TRUSTEES  
OF THE VILLAGE OF LEMONT  
THIS 8<sup>th</sup> DAY OF DECEMBER, 2014**

**PUBLISHED IN PAMPHLET FORM BY  
AUTHORITY OF THE PRESIDENT AND  
BOARD OF TRUSTEES OF THE VILLAGE  
OF LEMONT, COOK, WILL AND DUPAGE  
COUNTIES, ILLINOIS,  
THIS 8<sup>th</sup> DAY OF DECEMBER 2014**

ORDINANCE NO. 0-76-14

**AN ORDINANCE GRANTING FINAL PUD PLAN/PLAT APPROVAL FOR A NINETEEN-LOT RESIDENTIAL SUBDIVISION LOCATED SOUTH OF 127<sup>th</sup> STREET AND WEST OF INTERSTATE 355 IN LEMONT, IL.**

**(Birch Path)**

**WHEREAS**, Lemont 19, LLC (hereinafter referred to as “Petitioner”) is the owner of the subject property covering approximately 6.5 acres located south of 127<sup>th</sup> St, west of Interstate 355 (PIN# 22-31-200-007) which is legally described and depicted in the Final Plat of Subdivision titled “Birch Path Planned Unit Development” attached hereto and incorporated herein as Exhibit A; and

**WHEREAS**, the Petitioner applied for preliminary plan/plat approval, special use for a planned unit development, and zoning map amendment to Lemont R-4 Single-family Residential District for a planned unit development consisting of a 19 unit single-family detached residential subdivision; and

**WHEREAS**, said application was reviewed in accordance with the Lemont Unified Development Ordinance of 2008 (Chapter 17 of the Lemont, Illinois Municipal Code) (hereinafter referred to as “UDO”) and approved by the Village Board of Trustees on June 9, 2014; and

**WHEREAS**, the Petitioner has submitted a PUD Final Plan/Plat consisting of the following (hereinafter referred to as “Birch Path PUD Final Plan/Plat”):

1. Birch Path Grading Plan, prepared by Landmark Engineering, LLC. and dated 12/1/14, attached hereto and incorporated herein as Exhibit B; and
2. Birch Path Final Landscape Plan prepared by Landmark Engineering, LLC. and dated 12/1/14, attached hereto and incorporated herein as Exhibit C; and
3. Residential Plans consisting of 6 base models, attached hereto and incorporated herein as Exhibit D; and

**WHEREAS**, the Planning & Zoning Commission (PZC) held a hearing for this matter on October 15, 2014 and reviewed the Birch Path PUD Final Plan/Plat and found the documents to be in substantial compliance with the approved PUD Preliminary Plan/Plat.



**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE, AND WILL, ILLINOIS:**

**SECTION 1: Incorporation of Recitals.** The foregoing findings and recitals are hereby adopted as Section 1 of this Ordinance and are incorporated by reference as if set forth verbatim herein.

**SECTION 2: Plat Approval.** Subject to the conditions set forth in this Ordinance, the Village Board shall and does hereby approve the Birch Path PUD Final Plan/Plat

**SECTION 3: Conditions.** The approvals set forth in this Ordinance are contingent upon the following conditions:

1. **General Conditions.** Unless otherwise approved by the Village Board the Subject Property shall be maintained in accordance with Village Code, the approved plans, the Annexation Agreement pertaining to the Subject Property and the exhibits to this Ordinance.
2. **Specific Conditions.** The following specific conditions shall apply to the entire development and all single family units to be constructed, unless otherwise limited below.
  - A) **Anti-monotony.** Six home models (Labeled A-F) are identified in Exhibit D. The subdivision shall include one of each model's base elevation as shown in Exhibit D. The remaining lots shall be constructed with alternate front elevations of the six models. Each model's alternate elevation must meet the standards of UDO §17.22.020, Design Variety in Residential Construction when compared against the base elevation of the model. Additionally, the following standards shall apply for the construction of the models included in Exhibit D:
    - a. A specific model cannot be located immediately adjacent to the same specific model.
    - b. If a model is proposed to be located within two lots of or across the street from the same model, it must be a differing elevation of the existing model (i.e. alternate elevation vs. base elevation).
    - c. No one model, including its base elevation and alternate elevation, can be constructed on more than 7 lots.

Models that are not included in Exhibit D or an alternate elevation of one of the 6 models contained in Exhibit D, but are comparable in architectural style to the approved residential designs shall be processed as a minor amendment to the PUD.

**B) Garages.**

- a. At least 6 homes shall be constructed with side-loaded garages. A reduction to the minimum number of required side-loaded garages can be requested and shall be evaluated as a minor amendment to the PUD.
- b. No more than 7 homes shall have front-loaded garages that protrude more than 10ft from the plane of the front elevation of the home, as defined in Figure 17-22-01 of the UDO.
- c. Windows shall be required on the garage doors of all front-loading garages.
- d. No more than 6 homes shall have a 3-car garage, regardless if such garage is a front or side loaded garage.

**C) Masonry**

- a. Masonry shall extend from grade to the lowest sill of the first floor windows on all sides of all single family units, but in no case shall be less than 3 feet.
- b. Brick and stone veneer shall be anchored veneer. Adhered brick and stone veneer systems shall not be permitted, except adhered natural stone veneer shall be permitted for porch columns.

**D) Other Exterior Materials & Features**

- a. Siding shall be cement fiber board, LP Smart Side® or a comparable product of similar style and quality as approved by the Village Planning & Economic Development Director.
- b. All windows shall include window trim. Windows that do not include shutters shall have a minimum 3.5” trim around the entire window.
- c. Shutters shall be the lesser of 15” wide or half the width of the adjacent window.
- d. Architectural elements such as shutters and window mullions that are present on the front elevation shall be included on all sides of the home unless the inclusion of the element will detract from the architectural style of the home, as determined by the Village Planning & Economic Development Director.

**E) Homeowner’s Association Establishment**

- a. The Petitioner shall establish a Homeowner’s Association prior to the issuance of a site development permit.

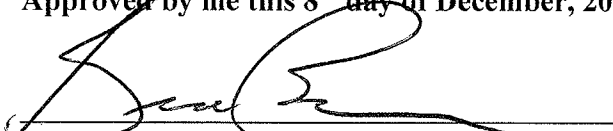
**SECTION 4:** That the Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

**SECTION 5:** That this Ordinance shall be in full force and effect from and after its passage, approval and publication provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE AND WILL, ILLINOIS, ON THIS 8<sup>th</sup> DAY OF DECEMBER, 2014.

	<u>AYES</u>	<u>NAYS</u>	<u>ABSENT</u>	<u>ABSTAIN</u>
Debby Blatzer	✓			
Paul Chialdikas	✓			
Clifford Miklos	✓			
Ron Stapleton	✓			
Rick Sniegowski	✓			
Jeanette Virgilio			✓	

Approved by me this 8<sup>th</sup> day of December, 2014

  
BRIAN K. REAVES, Village President

Attest:

  
CHARLENE M. SMOLLEN, Village Clerk Deputy Clerk

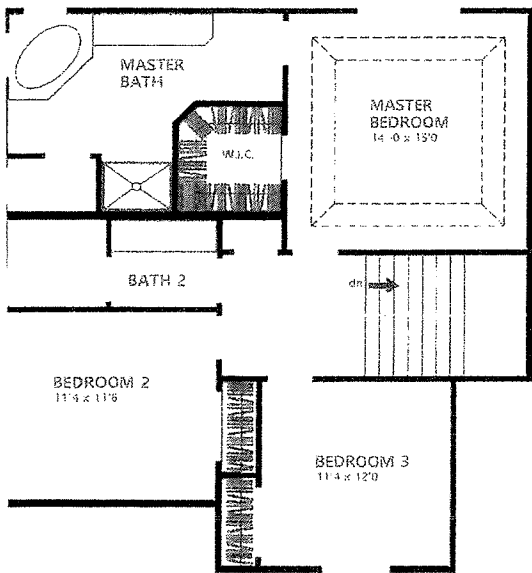




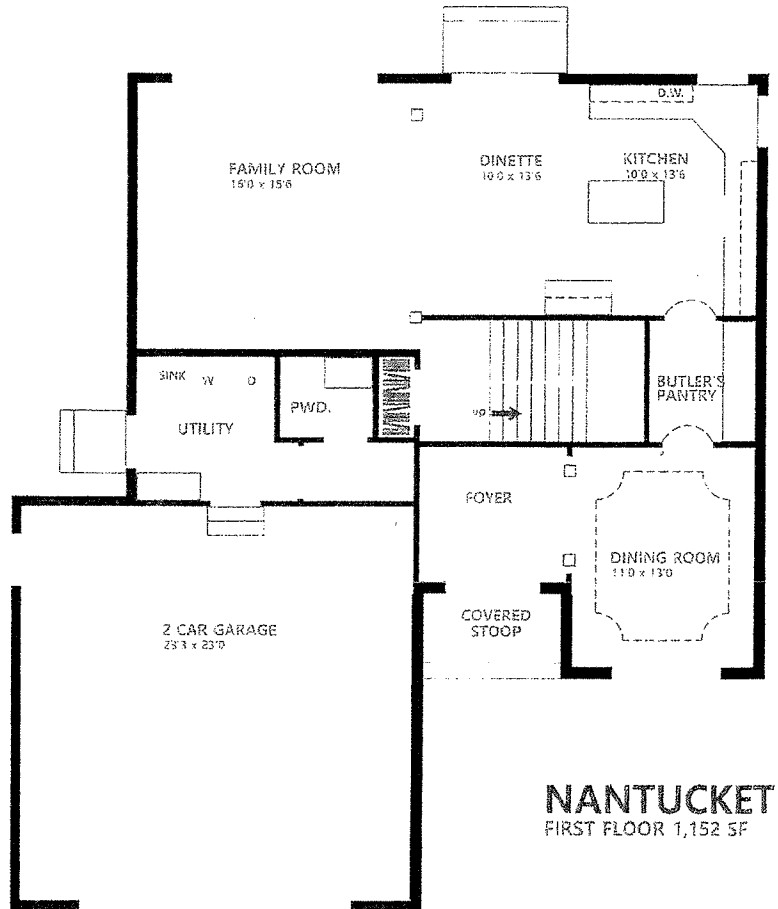


EXHIBIT D  
MODEL A





SECOND FLOOR 870 SF



**NANTUCKET**  
FIRST FLOOR 1,152 SF



MODEL B

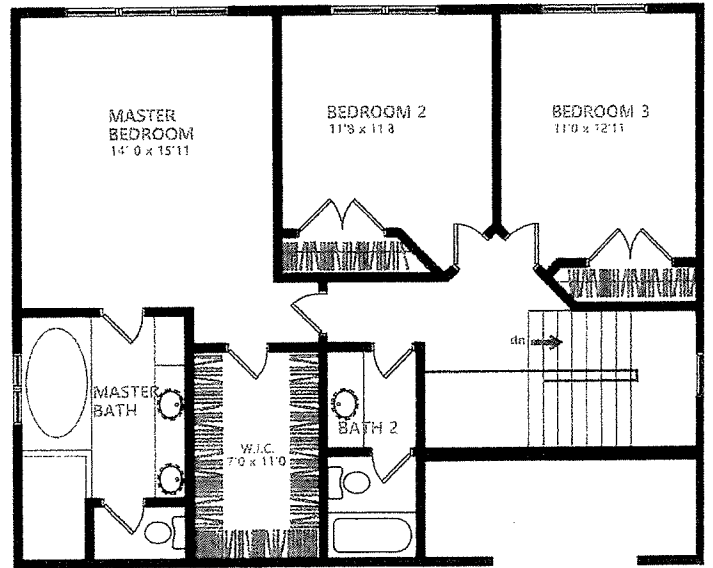
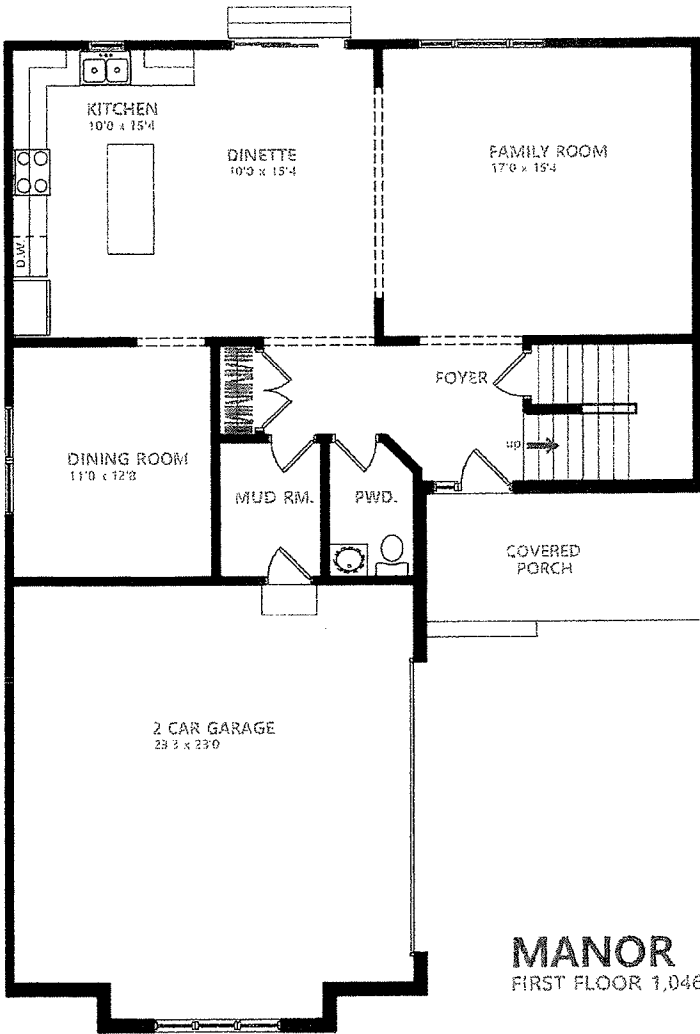




**PATRIOT**  
 6,641 SF

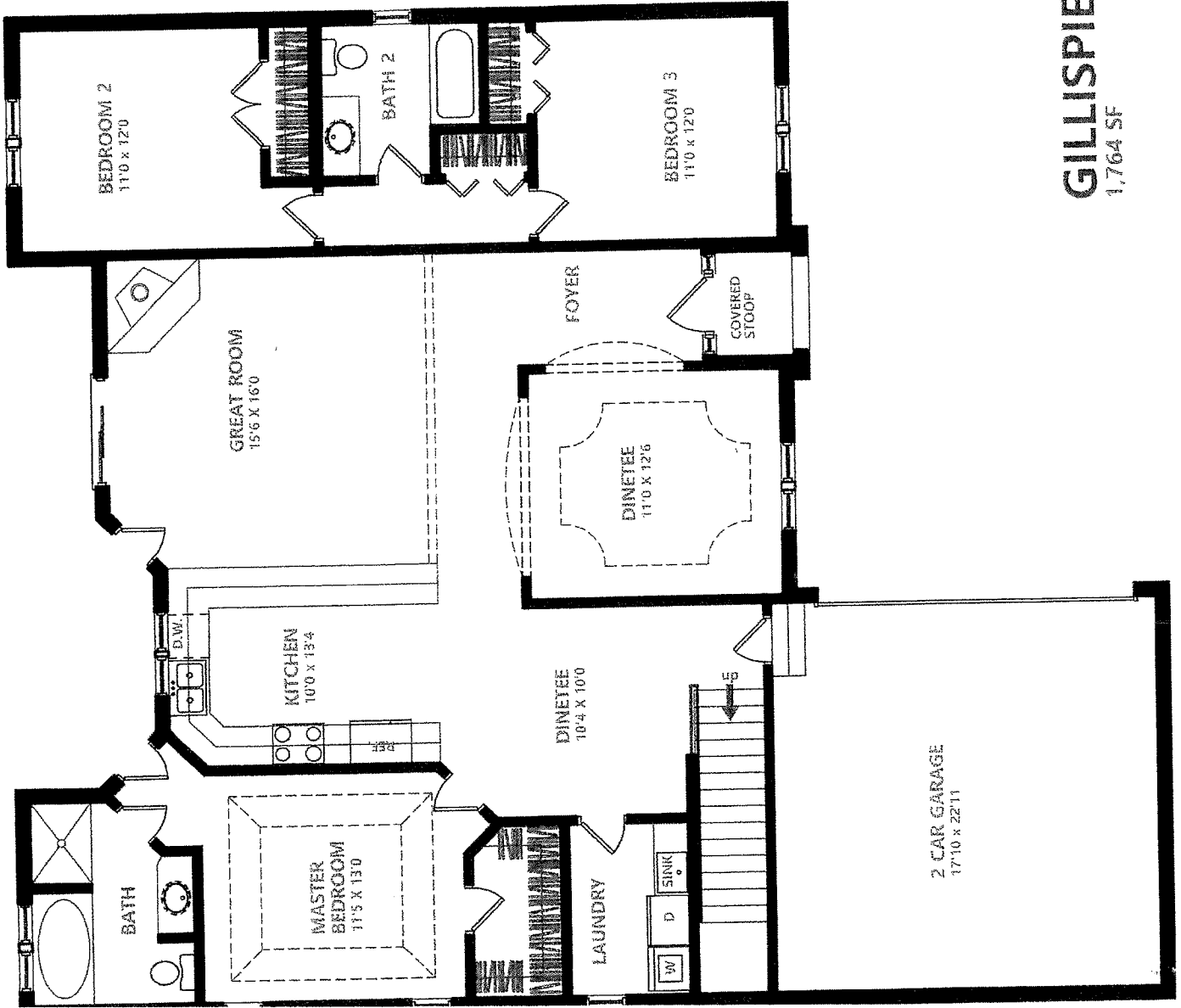
MODEL C





MODEL D



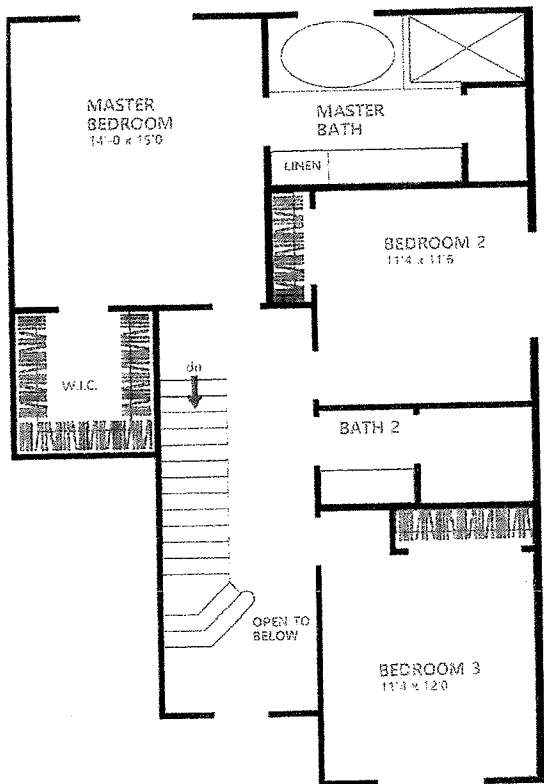


**GILLISPIE**  
1,764 SF

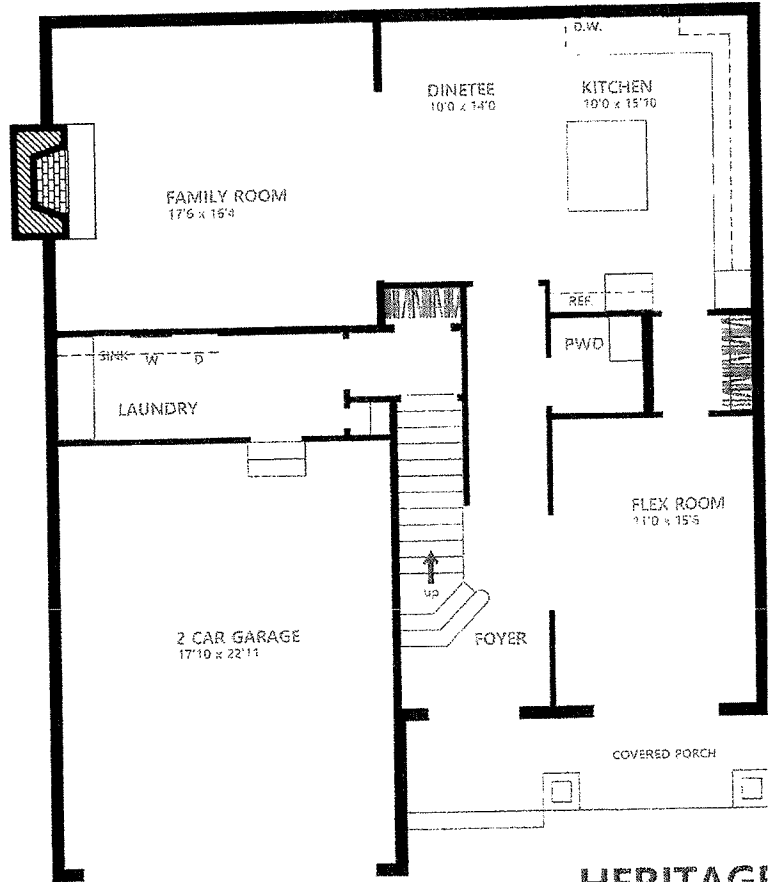


MODEL E





SECOND FLOOR 915 SF



**HERITAGE**  
FIRST FLOOR 1,238



MODEL F



