



Village of Lemont  
***Planning & Economic Development Department***

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418 Main Street · Lemont, Illinois 60439  
phone 630-257-1595 · fax 630-257-1598

TO: Planning & Zoning Commission  
FROM: Heather Milway, Village Planner  
THUR: Charity Jones, AICP, Planning & Economic Development Director  
SUBJECT: Case 15-08 Estates of Montefiori Preliminary Planned Unit Development  
DATE: June 11<sup>th</sup>, 2015

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**SUMMARY**

Walter Rebenson, on behalf of Ascend Real Estate Group, LLC, contract purchaser of the subject property, has requested a preliminary planned unit development (PUD) approval for 52 townhomes and 32 single family homes and rezoning to R-4 and R-5. Staff recommends approval with conditions.



**PROPOSAL INFORMATION**

Case No. 15-08  
Project Name Estates of Montefiori Preliminary PUD and Rezoning

<b>General Information</b>	
Applicant	Walter Rebenson, Ascend Real Estate Group, LLC
Status of Applicant	Contract purchaser
Requested Actions:	Preliminary PUD Approval and rezoning
Purpose for Requests	52 townhomes and 35 single family homes and R-4 zoning
Site Location	11250 Archer & 12900 Main Street (PINs: 22-14-402-003, 004, 22-14-402-013, 22-23-203-003, 004, 22-23-203-008 and 015)
Existing Zoning	B-3 Arterial Commercial District and R-1 Single Family Detached District
Size	30.58 acres
Existing Land Use	Vacant outdoor banquet facility, and single family home(s)
Surrounding Land Use/Zoning	North: M-3 General Manufacturing District (vacant)
	South: Single Family Residential (residential) and B-3 (forest open area)
	East: R-1 Single Family Residential (residential)
	West: Single Family Residential (Com Ed Utility Access Area and Cog Hill Golf Course and Country Club)
Lemont 2030 Comprehensive Plan	The Comprehensive Plan map designates this area Community Retail (CR)

**BACKGROUND**

**Previous Development Proposals.** The majority of the subject property was used for more than 25 years for a banquet facility for special occasions such as weddings. The banquet facility made use of a historic mansion on the site for indoor weddings and other events. In 2005 the property owner requested a special use to operate an outdoor banquet facility with permanent tents. The special use was granted and the banquet facility functioned for another seven years. In 2012 the facility closed and has remained vacant. The historic mansion still sits on the site, now in a state of despair. The remaining five properties are large lot single family homes.

**Technical Review Committee.** Prior to submitting a formal application, the applicant submitted plans to the Technical Review Committee (TRC) on April 23<sup>rd</sup>, 2013. At that time, the applicant presented a concept plan that included 54 townhomes and 38 single family homes. A portion of the property is zoned B-3 Comprehensive Plan designates this area for commercial uses; the applicant requested that the property be rezoned for residential uses. The TRC recommended that the applicant prepare a market analysis to support the proposed change in land use.

The TRC raised also concerns over the site access and recommend a second full access or stub road for connectivity and emergency access. The Fire Protection District advised that if a second full access to the subdivision could not be achieved then the applicant should work with Com Ed to develop an easement for emergency access. The applicant also proposed a reduced rear yard setback for the townhomes along the Com Ed ROW. The TRC recommended that the applicant explore a reduced front yard setback to preserve as much buffer as possible between the proposed townhomes and the Com Ed

lines. The applicant also proposed reduced side yard setbacks on the detached single family lots. Staff was amenable to this deviation if the reduced side yards accomplished other goals, such a higher percentage of side load garages. The last area of concern was a tree preservation plan. The Environmental Advisory Commission indicated that there are any mature trees on-site and requested that the applicant consider working with the existing natural features to the maximum extent possible, including tree preservation.

**Application.** Following the TRC, the applicant redesigned the site's road layout to place a stub street on the east side of the property for a future access to Bell Road. The applicant requested a reduced front yard setback for the townhomes along the Com Ed ROW to allow for a larger buffer area between the townhomes and the power lines. The applicant provided single family architectural plans including four elevation types with side load garages.

The applicant provided a brief summary of evidence to support residential rather than commercial development on the subject site.

**DEPARTURES FROM ZONING STANDARDS**

Section 17.08.010 of the Unified Development Ordinance [UDO] describes the purpose of PUDs: “Within the framework of a PUD normal zoning standards may be modified. The resulting flexibility is intended to encourage a development that is more environmentally sensitive, economically viable, and aesthetically pleasing than might otherwise be possible under strict adherence to the underlying zoning district’s standards.” The table below illustrates how the application deviates from the current standards of the UDO. Below is a summary of current UDO standards, how the proposed PUD differs from those standards, and staff’s recommendations related to those deviations.

<b>UDO Section</b>	<b>UDO Standard</b>	<b>Proposed PUD</b>	<b>Staff Comments</b>
<b>17.07.010</b>	15 ft minimum interior side yard setbacks in R-5	The proposal includes 10 ft interior side yard setbacks on all R-5 lots.	Staff finds the deviation acceptable if the reduced side yard setback allows for open space or accommodates a common amenity.
<b>17.07.010</b>	25 ft minimum corner side yard setbacks in R-5	The proposal includes 10 ft corner side yard setbacks on 2 of the proposed corner lots	Staff recommends that the applicant redesign the corner lots to have a minimum 15 foot corner side setback on Lot 1 as it is at the entrance of the development. Lot 35 has a proposed corner side setback of only 10 feet. Staff recommends that the applicant allow for a 25 foot corner side setback since the lot is adjacent to the frontage of a single family home.
<b>17.07.010</b>	25 ft minimum front yard setback in R-5	The proposed front yard setback is 20ft for Lots 35, 34, 33, 32, 31, 30, 29, 28, 27, 26, and 25 . Lots 1-3 have proposed setback of 10ft	Staff finds the deviation acceptable for Lots 30, 29, 28, 27, 26, and 25, which back up to the ComEd right of way. Staff would prefer the reduced setback in the front rather than the rear yard to allow for a buffer for the lots abutting the Com Ed ROW.
<b>17.08.030.D</b>	All PUDs with a residential component must	The common open space is not displayed on the preliminary	Staff recommends that the applicant designate the open space area prior to final PUD. With the limited area for

	include 15% open space for the benefit of residents within the PUD.	PUD document.	open space staff would find a deviation less than %15 acceptable if a common amenity (e.g. benches, gazebo, flower garden, etc.) is placed at the subject property.
<b>17.07.01 (Table)</b>	Minimum lot size is 12,500 sf for R-4.	The typical proposed single family lots are 11,700 sf.	Staff finds the deviation acceptable given that the average lot size is 14,200 sf. Lots 50 is irregularly shaped and should be considered for common open space amenity.
<b>17.07.01 (Table)</b>	The minimum interior side setback is 15 feet for R-4 districts.	The lots proposed have interior side setbacks of 9ft.	Staff finds the deviation unacceptable. Staff would find the deviation acceptable if the applicant increased the number of home types with side load garages to 5 and designate 50% of the lots to be constructed with side load garages.
<b>17.07.01 (Table)</b>	The minimum corner side set back is 25feet	The lots proposed have corner side setbacks of 20ft.	Staff finds the deviation un acceptable. Staff would find the deviation acceptable if the applicant increased the number of home types with side load garages to 5 designate 50% of the lots to be constructed with side load garages.
<b>17.20.130</b>	All applicants for development shall identify and make a special effort to preserve trees which are noteworthy due to their size, age and historic, cultural or aesthetic value.	A tree survey and landscape plans were submitted. The plan shows preserving a significant number of existing trees. The applicant is additionally seeking a waiver for tree preservation on the subject property.	Staff finds the waiver request unacceptable. Staff recommends that the applicant utilize the landscape plan which was submitted with application with revisions to preserve more of the existing trees. The submitted landscape plan shows The applicant should also work to preserve more of the existing trees by preserving existing trees and relocating them to the rear of lots 25-31 to more effectively screen the Com Ed ROW and townhomes from single family lots.

## STANDARDS FOR REZONING

Illinois courts have used an established set of criteria when evaluating the validity of zoning changes. The criteria are known as the LaSalle factors, as they were established in a 1957 lawsuit between LaSalle National Bank and Cook County. Additionally, the eight "LaSalle factors" serve as a useful guide to planners and appointed and elected officials who are contemplating zoning changes. The LaSalle factors that are not addressed elsewhere in this report are as follows:

1. The extent to which property values are diminished by the particular zoning;

**Analysis:** Rezoning would not diminish the property value of the subject parcel; the current commercial zoning has not been successful for typical commercial uses. The banquet facility was relatively successful; however the facility took advantage of the topography and natural features of the site for a low intensity commercial use. The feasibility of additional commercial space in this area is low. A market analysis completed by the Village for the property directly north of the site found that the limited population density in the area, the availability of other commercial development sites,



and the lack of retail gravity in this area contribute to a modest demand for new retail or office development. The report found that this demand could feasibly be met through development of the Village-owned property to the north. Thus the B-3 zoned property will likely not redevelop under its current zoning, unless another unique commercial use like another banquet facility /event center wished to purchase it.

The R-1 properties require a minimum lot size of 130,680 sf. The ability to create multiple homes on the subject site would be difficult and do not meet the current desired characteristics for single family homes.

2. The extent to which the destruction of property values of the complaining party benefits the health, safety, or general welfare of the public;

**Analysis:** The applicant's property values would be lower as residential property than as commercial. However, as noted above, with commercial zoning, the property is likely to remain vacant for a longer period, which depresses property value. The property values of nearby properties are generally not expected to be impacted due the property's history low intensity commercial use.

The R-1 zoned properties are not expected to diminish in value as they are still classified and single family. The majority of the neighboring properties are zoned single family, thus it would not affect their property values.

3. The relative gain to the public as compared to the hardship imposed on the individual property owner;

**Analysis:** There is no hardship upon the property owner of the subject site, as the requested rezoning will allow him to redevelop the property.

4. The public need for the proposed use;

**Analysis:** The proposed use would allow development in an area that is vacant. As stated previously both the subject site and the property to the north are vacant. Development in the area with the current zoning is unlikely. The proposal could spur future development in the area. The area to the south of the subject site is not currently served by water and sewer, which has hindered development in the past. The extension of the utilities and the increased number of residences could encourage an underdeveloped area near major arterial roads to develop. The occupancy of the site is seen as an improvement to the public.

## **GENERAL ANALYSIS**

**Incentive and Fee Waiver Request.** Incentive and fee waiver requests were made by the applicant; however, they are not reviewed in or included this report. The requests will not be considered by the Planning and Zoning Commission at this time, but will be addressed by the Village Board and staff.

**Consistency with Lemont 2030 and Previous Comprehensive Plans.** The Comprehensive Plan map designates this area as community retail commercial land use. Per Lemont 2030, the community retail district is:

“characterized by general retail uses, in addition to the convenience-oriented uses also found in the neighborhood retail districts. Local residents still form the primary customer base for businesses in this district, but the businesses draw from a slightly larger population... Developments in this district are generally multi-tenant shopping centers. Shopping centers in this district rely on the population within 3-6 miles for the majority of their customers. Community shopping centers may have one or two anchor tenants.”

The proposed development is inconsistent with the goals of the Lemont 2030 Comprehensive Plan. The applicant did not submit a full market analysis; however, the village had recently completed an analysis for the neighboring property to the north. The analysis evaluated the site suitability for a number of market-driven uses. The evaluated uses included retail, restaurant, destination entertainment, office, hotel, multifamily apartments, and condominiums/ townhouses. The traffic counts and visibility of the area indicate that a retail commercial use could be successful in the area; however the limited population density in the area results in modest demand for new retail commercial space. The report also noted that an office use would need to be developed with a specific tenant in mind as the area would not be marketable for general speculative office development.

Residential uses were shown in the analysis as being appropriate for the area. Townhomes were identified as a particularly well suited use for the area. Single family homes are in demand in the Village. However, the report noted for the Village's site, its location along a high traffic street with high speed limits made the site less desirable compared to other residential development sites in the area.

The applicant's proposed residential development does not achieve the goals of the 2030 plan, but the designation of the future community retail use appears to be not supported by current market conditions.

**Consistency with PUD Objectives.** UDO Section 17.08.010.C lists 11 different objectives to be achieved through planned unit developments. Staff finds that the proposed PUD supports objective #2, providing a more desirable living environment by preserving the natural and environmental landscape features of the property in to land development; the proposed grading of the site maintains the natural topography of the site that Lemont is known for. The proposed PUD supports objective #4, to encourage and stimulate economic development within the Village; the site is in an area that is largely undeveloped and vacant for a number of years.

**Compatibility with Existing Land Uses.** The properties to the south, and east are single family residential homes on larger lots, as the area is unincorporated Cook County. The property to the west of the ComEd ROW is a golf course and country club, which will likely remain as such. The area to the north is vacant and Village owned and, as discussed earlier, will be redeveloped in the near future. The applicant is proposing a higher residential density than the properties to the east but the single-family detached homes are aligned along the east half of the property, which minimizes any compatibility issues. Additionally the property to the east, which is zoned R-1, is likely to be the subject of future development at some point. The area to the south has primarily been

developed as large rural lot single family homes. The proposed development is also higher density than the residences to the south, but those properties are separated from the subject site by Archer Ave. Staff sees no compatibility issues.

**Traffic & Site Access.** The site is proposed to be access from Archer Ave; the location of the proposed access on Archer is generally in the same location as the existing curb cut for the property's current access. The applicant placed a stub street for access to a future development and emergency purposes. The stub street should be redesigned as a hammerhead turnaround.

The applicant provided a traffic analysis showing that the current infrastructure can support the proposed development. Note that the traffic analysis was done for 54 townhome units and 38 single family homes. The applicant is now proposing 52 townhome units and 35 single family lots. The results show that the proposed street layout will allow for adequate inbound and outbound traffic from Archer and circulation within the development. The additional traffic created by the development will not significantly affect the level of service or travel times of nearby roads. Main St. currently operates at a level of service (LOS) C; the development would not affect the LOS. Bell Rd. currently operates at a LOS D during morning peak travel times and B during evening peak times. The traffic analysis does indicate that the combination of future conditions and the proposed development will reduce the morning peak LOS from D to E and evening from B to C. The proposed development would only account for 3% of the total intersection volumes during peak hours; the remaining 97% is the predicted increase from existing traffic patterns. The Archer Ave. analysis does show that a left turn lane into the development is warranted. A right hand turn lane is not warranted. Staff recommends that the developer work with IDOT to create a left turn lane for efficient access into the site.

**Landscaping.** The Village Arborist has reviewed the proposed plans and comments that the tree survey was not complete and thus the request for a tree preservation waiver cannot be reviewed as the condition, age, and species of the existing trees cannot be examined to determine which are suitable to preserve or be mitigated for, if removed. Additionally staff recommends that tree preservation be used to achieve the goal screening the ComEd ROW from the townhomes and town homes from single family on lots 25-31. The landscape plan was also not complete and could not be reviewed for consistency with the UDO. The landscape plan and tree survey must be resubmitted to be fully evaluated. The Village Arborist's full comments are attached.

The applicant has requested a reduced front yard setback to allow for a 30 foot rear yard to buffer the townhomes from the Com Ed ROW. The applicant discussed installing a berm and vegetation to screen the townhomes from the Com Ed area at the TRC. However, there is little vegetation or trees proposed to screen the area in the submitted landscape plan. Staff recommends that the applicant redesign the landscape plan to include more trees and vegetation in the area. This could be an opportunity to preserve more of the existing trees or by relocating existing trees to help improve the townhomes' viewshed.

**Building Design.** Aesthetically, the applicant has provided a logical site design The proposed buildings are constructed with the Village's residential standards in mind. Staff's concerns are limited to the facades of the townhomes, the screening along the Com Ed

ROW, the number of side load garages for the single family homes, and the materials proposed for the single family homes.

The plan proposes seven four-unit buildings and eight three-unit buildings for the townhomes; the proposed building sizes are consistent with other townhome developments in the Village. The developer proposes front load garages for the both the three and four-unit buildings. Garages will be the principal façade for “Tuscany Lane” and the south portion of “Rosa Lane”. Rear load garages are difficult with this site so staff recommends the developer redesign the building elevations to minimize the garage appearance by varying the articulation of the townhome garage facades.

The building elevations for the single family homes include four home designs that utilize side load garages. The remaining five home designs are front load garages. The applicant should also increase the number of home designs with side load garages from four to five and designate 50% of the single family lots to be constructed with side load garages.

While the submitted plans for the single family homes show a substantial amount of brick, the applicant requests the flexibility to substitute siding for all brick. Staff finds this acceptable for house types 391001, which is similar to a craftsman style home that would traditionally have wood siding. The substitution of siding for the remaining house may be appropriate, but staff does not have enough information on the proposed design of the homes at this point to make a determination. Staff recommends that the applicant prepare elevations of each of the house types with siding to allow for a more thorough review of the appropriateness of all siding.

**Engineering Comments & Stormwater Management.** The Village Engineer’s comments are attached. The Village Engineer commented that the detention basin in Outlot C appears to have unrestricted drainage release to Main St., which may require the use of MWRDGC detention method calculation. Additionally, the access indicated on Archer is a non-perpendicular alignment and needs to be corrected.

There are a number of existing ponds on the site which also may require wetland delineation per the Cook County watershed management ordinance (WMO).

**Fire District Comments.** The Fire Marshal’s comments are attached; he approved the submitted plans as noted.

## **CONCLUSIONS & RECOMMENDATIONS**

Overall, the proposed development is well designed and complies with most requirements of the Unified Development Ordinance. The proposal falls short of executing the vision of Lemont 2030 but as discussed earlier, the CR future land use would be difficult to support given current and near-term anticipated market conditions. Therefore, staff recommends approval with the following conditions:

1. Revise the site plan to show a 15 foot corner side setback on Lot 1 and 25 foot corner side setback on lot 35.
2. Revise the site plans to comply with the 15% PUD open space requirement. If 15% cannot be attained, less than 15% can be acceptable if a common amenity (e.g.

benches, gazebo, flower garden, etc.) is placed at the property. Consider Lot 50 for this open space amenity.

3. If Lot 50 is to be developed as a residential lot, it shall be reconfigured to more closely conform to a typical lot configuration.
4. Increase the number of single family home designs with side load garages from four to five and designate 50% of the single family lots to be constructed with side load garages.
5. Revise the landscape plan to include proposed tree preservation measures. Additionally, include more landscaping behind the proposed townhomes on "Tuscany Ln" to screen the units from the Com Ed right of way.
6. The townhomes architectural plans should be altered to stagger the articulation of the front facades to reduce the appearance of the garages. This could be accomplished by shifting the single door garages back 5 to 10 feet and shifting the pedestrian entrances forward 5 to 10 feet to break up the façade and reduce the dominance of garage doors.
7. The applicant will submit the single family house types with siding substitutions to allow for comparison between the proposed brick and siding facades.
8. Consider utilizing the limestone from the historic mansion for common areas and entrances; possibly utilizing the stone for the subdivision entry sign.
9. Develop an easement with Com Ed to allow for an emergency access point in case the Archer access point would be impassable, per the comments of the Fire Marshal.
10. Provide necessary improvements along Archer Ave. per IDOT requirements.
11. Revise the covenants, conditions, and restrictions must be altered to remove Dryvit from the acceptable materials for single family homes as they are not permitted by the UDO.
12. Prior to ordinance approval, the applicant should work with staff to clarify the anti-monotony standards that will be applied to the site, whether the standard UDO requirements or a site specific plan.
13. Address any additional outstanding issues as noted by the Village Arborist, Village Engineer, and Fire Marshal.

As a note the applicant must correctly label all proposed setback lines for townhomes and single family homes. Examples: side setback lines not shown for lots, 2-9, 12-21, 23-24, 26-30, 36-47, and 49. Please remove the existing conditions data from the site plan. Additionally correct the label of 20 foot setback for lots 31-35 as the measured distance is 30 feet. All of these comments should be incorporated in the next set of submitted plans.

## **ATTACHMENTS**

1. Site Photographs
2. Village Arborist review
3. Village Engineer review
4. Fire Marshal review
5. Application package

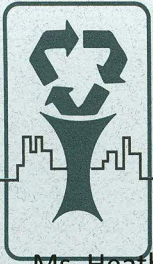


**Figure 1 Existing access to Montefiori property**



**Figure 2 The reminisce of the outdoor banquet facility**





## Urban Forest Management, Inc.

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Ms. Heather Milway  
Village Planner  
Village of Lemont  
418 Main Street  
Lemont, IL 60439

June 11, 2015

RE: Land Use Application Review #1  
Estates of Montefiori - Case 15-08

Dear Ms. Milway:

As requested, I have reviewed the PUD Preliminary Plat Submittal Package by Ascend Real Estate Group. The focus of my review was on Exhibits B, C, L, and M. The following comments summarize this review:

### Exhibit B

This exhibit includes a project summary. The summary indicates that the Lemont Technical Review Committee comments resulted in reducing the front yard setback for the townhome lots to 20 feet to increase buffering along the Commonwealth Edison right-of-way. The Preliminary Landscape Plan is conceptual at this point and it does not include landscape information for the lots.

The project summary includes numerous variances from the requirements of the Village of Lemont Development Ordinances which would be included within the PUD agreement and Ordinance. One of these variances is a full waiver for the preservation of trees on the property. If the goal is to increase buffering along the Commonwealth Edison right-of-way then some consideration should be given to keeping the existing trees in this area and including language in the final agreement that addresses the landscaping that is to be installed in the buffer area.

The project summary also includes a request for the Village to take ownership and maintain storm water detention areas per plans. If this variance is to be granted, then the Village should have specific input to the design of the landscape for these locations (Outlots A, B, and C). The design for these areas will have a significant impact on the cost of maintaining the landscape. Outlots A and B are relatively small compared to Outlot C. Outlot C contains an area behind lots 19 – 22 that is not going to be graded. If the Village is going to include the ungraded area in the variance, then this area will also have to be addressed on the landscape plan.

It appears that the only access to Outlot C will be from Main Street, so final plans should make sure that this access is suitable for Village equipment and that the access point is secured.



Ms. Heather Milway  
Village Planner  
Land Use Application Review #1  
Estates of Montefiori  
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Exhibit C

This exhibit includes comments on Restrictions & Covenants. These restrictions and covenants will include the dedication of the storm water detention facilities to the Village of Lemont. If the Village does not accept these facilities, then the HOA should provide a maintenance plan for the facilities.

Exhibit L

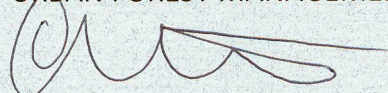
The Landscape Plan by Wingren Landscape dated 5.19.15 is a Preliminary Plan. It does, however, include some of the existing trees that are to be saved. The plan includes this Note: "Final decision of existing trees to remain will be based on health, species, and condition of the tree as well as final engineering". This comment is more in line with Chapter 17.20 of the Lemont Unified Development Ordinance. This approach is certainly more appropriate at this stage of the process than a "full waiver for the preservation of trees on the property".

The detailed landscape plan that will be provided as the process moves forward should follow all of the requirements of Chapter 17.20 of the Lemont Unified Development Ordinance. It should include design input from the Village if the Village grants the variance request for the Village to own and maintain the storm water detention facilities.

Exhibit M

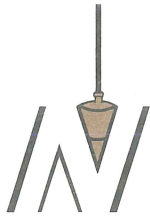
This exhibit is titled "Tree Preservation Plan". There is no Tree Preservation Plan. There is an Existing Tree Survey that includes tag numbers from 191 through 3263. The tree survey also includes a tree data listing format for tree species, size, and condition. The survey includes this data information for about 7% of the 3,702 trees that were tagged. This lack of information is another indication that a "full waiver for the preservation of trees on the property" is not appropriate at this stage of the process.

Sincerely,  
URBAN FOREST MANAGEMENT



Charles A. Stewart  
Vice President





# Frank Novotny & Associates, Inc.

895 Midway Drive ♦ Willowbrook, IL ♦ 60527 ♦ Telephone: (630) 887-8640 ♦ Fax: (630) 887-0132

Civil Engineers/  
Municipal Consultants

June 10, 2015

Ms. Heather Milway  
Planner  
Village of Lemont  
418 Main Street  
Lemont, Illinois 60439

Re: Estates of Montefiore  
Case 15-08

Dear Heather:

I have reviewed the Preliminary Engineering Plans for the Estates of Montefiore and have the following comments.

1. The following Permits are needed:

Agency	For
MWRDGC – WMO	Sanitary Sewer & Stormwater Control
IEPA – DWPC	Sanitary Sewer
IEPA – DPWS	Water Main
IDOT	Archer Avenue access and possible Main Street stormwater discharge review
IEPA – NOI	Land Disturbance – Erosion Control

2. Sanitary Sewer and Water Main:

Both an 8-inch diameter gravity sanitary sewer and a 12-inch diameter water main exist on the north side of Main Street for the point of connection. The on-site sanitary sewer and water main plan appears acceptable, with a 12-inch water main extended through the site from Main Street to Archer Avenue, for future possible extension south on Bell Road. (It should be noted that any future sanitary sewer and water main extensions south of Archer Avenue are controlled and limited by the Sanitary Sewer & Water Main Easement Agreement between the Village of Lemont and Cog Hill Golf Club, which allowed for the sanitary sewer and water extension on Main Street, from Maley Road to IL Route 83, back in 2009).

3. Stormwater Detention and Cook County Watershed Management Ordinance (WMO) Permitting:

Stormwater detention is provided in three (3) basins on Outlots. The stormwater volume that is to be provided appears adequate.

The detention basin on Outlot C is 5-feet deep, which is acceptable to this office. However, on the slope down to Main Street to the north of this basin, there is a substantial amount of “unrestricted drainage release” to Main Street, which may cause the MWRDGC detention method to be more strict than the Village of Lemont method. The Developer needs to calculate detention for Outlot C using the MWRDGC Method, taking into account the unrestricted release area.

Ms. Heather Milway  
Village of Lemont  
June 10, 2015  
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Slopes to the north of Outlot C basin are at 3:1 slope, in lieu of 4:1. Since the basin will be professionally maintained by the HOA, I have no objection to this slope.

The site has existing miscellaneous ponds which may require a wetland delineation for the Cook County WMO.

4. Site Access:

Site access for Archer Avenue is indicated to line up with un-opened Woodlawn Avenue across the street. The proposed non-perpendicular alignment with Archer Avenue seems unnecessary, and correctable.

Dead end roadway stubs need some type of hammerhead turnaround.

Roadway slopes are acceptable.

The Engineering Plan does not show the required Archer Avenue eastbound to northbound left-turn lane.

5. Other:

Locations of fire hydrants and street lights will be reviewed at a later date, as well as the individual lot grading.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,

**FRANK NOVOTNY & ASSOCIATES, INC.**



James L. Cainkar, P.E., P.L.S.

JLC/dn

cc: Mr. George Schafer, Administrator  
Ms. Charity Jones, Director of Planning & Econ Devel.  
File No. 15109

15109 HMillway re Eng Plan Review



**LEMONT FIRE PROTECTION DISTRICT**

**BUREAU OF FIRE PREVENTION**

15900 New Avenue  
Lemont, IL 60439  
Business: (630)257-0191  
Fax : (630) 257-5318  
[lemontfire.com](http://lemontfire.com)

June 10, 2015

Ms. Heather Milway  
Village Planner  
Village of Lemont  
418 Main St.  
Lemont, IL 60439

Re: Revised Land Use Application-508 Illinois Street

Dear Mr. Milway;

This Department is in receipt of the plans for the above mentioned project. The 2006 edition of the International Fire Code with local amendments were used for this review.

- 1) The address for the properties shall be permanently displayed, either on a sign or on the building. The type and size of the address a minimum four inches (4") - shall be in compliance with Lemont Fire Protection District Ordinance #14-02, and International Fire Code, 2006 Edition (Section 505).
- 2) An approved fire alarm system shall be installed throughout this occupancy. The fire alarm system shall be designed and installed in accordance with N.F.P.A. Standard #72, 2007 Edition and Lemont Fire Protection District Ordinance #14-02 (Section 907). A complete set of fire alarm shop/working drawings, and the appropriate equipment specification sheets, shall be submitted to the Bureau of Fire Prevention for review and approval prior to installation and in accordance with the Lemont Fire Protection District Ordinance #14-02 (Section 907), and International Fire Code, 2006 Edition, (Section 907.1.1).

**NOTE:** This comment applies to the 3 unit apartment (R-2 Occupancy) only.

Upon further review of the above noted revised plans for this P.U.D., the Lemont Fire Protection District offers the following comments:

As our current ordinance is written, none of the above subject properties are required to have an automatic fire sprinkler systems installed within them. With that being stated, we are of the opinion that from a prudent proactive fire protection/life safety aspect that all of the subject properties should have approved residential automatic fire sprinkler systems installed within them for the following reasons:

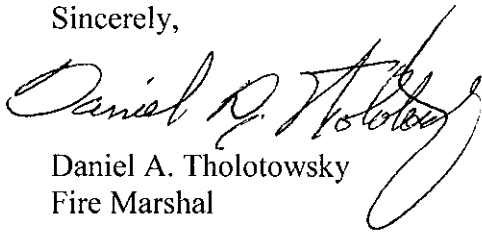
- As a P.U.D. additional requirements can be stipulated to the overall project or development.
- Being new construction, it is more cost effective and economically feasible to install fire/life safety features into occupancies and this would be the prudent thing to do.
- These buildings appear to be constructed as ordinary or wood frame type with exterior combustible siding. Such structures are usually designed as lightweight construction and utilize non-dimensional lumber, a recipe for rapid fire spread and quick structural collapse under fire conditions. In addition to the type of construction featured each building contains a multi vehicle attached garage with a close proximity to each other on very limited lot sizing. Once again, the installation of residential fire sprinkler systems within these occupancies, provided that they are properly installed and maintained will by their design prevent a fire from reaching this level of intensity thus avoiding a potential conflagration.
- The obvious life safety benefits afforded to the occupants as a result of the installation of these state of the art fire protection systems.
- By the current design proposed all of these occupancies indicate only one single means of egress (exit) from each level and those not on grade are indirect exits. The installation of residential fire sprinkler systems will provide the occupants with the required protection necessary to safely evacuate the buildings should a fire occur.
- The Lemont Fire Protection District is currently in the process of updating and re-visiting its fire prevention and life safety ordinances. With respect to that these occupancies all of which would be required to have the automatic fire sprinklers installed within them.

The review of these drawings does not relieve the contractor or building owner from designing and installing and completing this project per all code and standard requirements. Fire code and standard requirements not necessarily noted on these plans, in the plan review letter, or noted during inspections are still required to be provided and installed in full compliance with all

Page 3 (cont'd)  
Land Use Application  
508 Illinois St.

adopted codes standards and ordinances. I will recommend approval of these plans with the stipulation that the above items are addressed and complied with. This **APPROVAL AS NOTED** with noted requirements of the Codes and Standards for the submitted project is not to be construed as final approval. This can only be granted after construction and occupancy inspections. If you should have any further questions please don't hesitate to contact me.

Sincerely,

A handwritten signature in cursive script, appearing to read "Daniel A. Tholotowsky". The signature is written in black ink and is positioned to the right of the typed name.

Daniel A. Tholotowsky  
Fire Marshal

File #112

# PUD Preliminary Plan/Plat Application Form

## APPLICANT INFORMATION

Walter Rebenson, CEO

Applicant Name

Ascend Real Estate Group LLC

Company/Organization

912 West Lake Street, Chicago, IL 60607

Applicant Address

T: 312-252-9222 F: 312-284-4548

Telephone & Fax

wrebenson@aregllc.com

E-mail

## CHECK ONE OF THE FOLLOWING:

- Applicant is the owner of the subject property and is the signer of this application.
- Applicant is the contract purchaser of the subject property.
- Applicant is acting on behalf of the beneficiary of a trust.
- Applicant is acting on behalf of the owner.

## PROPERTY INFORMATION

11250 Archer Avenue & 12900 Main Street

Address of Subject Property/Properties

22-14-402-003-0000; 22-14-402-013-0000; 22-23-203-003-0000; 22-23-203-004-0000; 22-23-203-008-0000;

Parcel Identification Number of Subject Property/Properties

22-14-402-004-0000

30.58 acres

Size of Subject Property/Properties

## REQUIRED DOCUMENTS

See Form 507-A, *PUD Preliminary Plan/Plat Application Checklist of Required Materials*, for items that must accompany this application.

## FOR OFFICE USE ONLY

Application received on: \_\_\_\_\_

By: \_\_\_\_\_

Application deemed complete on: \_\_\_\_\_

By: \_\_\_\_\_

Current Zoning: \_\_\_\_\_

Fee Amount Enclosed: \_\_\_\_\_

Escrow Amount Enclosed: \_\_\_\_\_



# PUD Preliminary Plan/Plat Application Form

Village of Lemont

## APPLICATION FEE & ESCROW

### Application Fee:

\$500 for properties less than 10 acres, \$750 for properties 10 acres or larger

AND

If the PUD includes a preliminary plat of subdivision, the following fee applies (based on size of property and number of proposed and/or existing dwelling units):

< 3 acres = \$300, plus \$50 per existing and/or proposed dwelling unit

3 to <5 acres = \$600, plus \$50 per existing and/or proposed dwelling unit

5 to <10 acres = \$1000, plus \$50 per existing and/or proposed dwelling unit

10 acres or more = \$1200, plus \$50 per existing and/or proposed dwelling unit

Fee is non-refundable.

### Required Escrow = \$2,000

At the time of application, the applicant shall submit a check for the establishment of an escrow account. The escrow money shall be used to defray costs of public notice, consultants, or other direct costs incurred by the Village in association with the PUD preliminary plan/plat application. After completion of the review process, any unused portion of the escrow account will be refunded upon request.

## AFFIRMATION

I hereby affirm that I have full legal capacity to authorize the filing of this application and that all information and exhibits herewith submitted are true and correct to the best of my knowledge. I permit Village representatives to make all reasonable inspections and investigations of the subject property during the period of processing of this application. I understand that as part of this application I am required to establish an escrow account to pay for direct costs associated with the approval of this application, such as the fulfillment of public notice requirements, removal of the public notice sign, taking of minutes at the public hearing and fees for consultants hired by the Village to evaluate this application. I understand that the submitted fee is non-refundable and that any escrow amount leftover upon project completion will be refunded upon request.

Signature of Applicant

Date

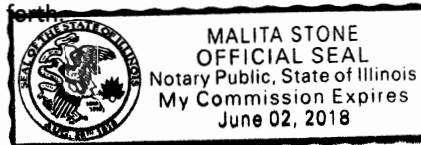
State

County

I, the undersigned, a Notary Public in and for the aforesaid County and State, do hereby certify that

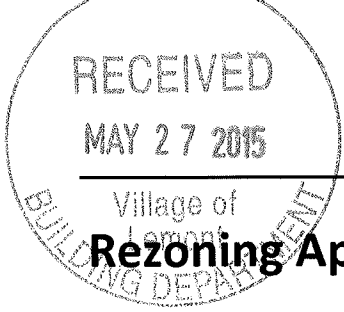
Walter A. Reberson is personally known to me to be the same person whose name is subscribed to the foregoing instrument, and that said person signed, sealed and delivered the above petition as a free and voluntary act for the uses and purposes set forth.

Notary Signature



Given under my hand and notary seal this 20 day of MAY A.D. 20 15.

My commission expires this 2 day of June A.D. 20 18.



Village of Lemont

Planning & Economic Development Department

418 Main Street Lemont, Illinois 60439

phone (630) 257-1595

fax (630) 257-1598

# Rezoning Application Form

## APPLICANT INFORMATION

Applicant Name: WALTER A. REBENSON

Company/Organization: ASCEND REAL ESTATE GROUP LLC

Applicant Address: 912 W LAKE STREET CHICAGO, IL 60607

Telephone & Fax: 312-252-9270

E-mail: WREBENSON@AREG.LLC.COM

## CHECK ONE OF THE FOLLOWING:

- Applicant is the owner of the subject property and is the signer of this application.
- Applicant is the contract purchaser of the subject property.
- Applicant is acting on behalf of the beneficiary of a trust.
- Applicant is acting on behalf of the owner.

## PROPERTY INFORMATION

Address of Subject Property/Properties: 11250 ARCHER AVE & 12900 S. MAIN ST

Parcel Identification Number of Subject Property/Properties: 22-23-203-008-0000, 22-14-402-003-0000, 22-14-402-013-0000, 22-23-203-003-0000, 22-23-203-004-0000

Size of Subject Property/Properties: 30.58 ACRES

## DESCRIPTION OF REQUEST

Requested Zoning: R4 & RS SEE ATTACHED SUMMARY

## REQUIRED DOCUMENTS

See Form 502-A, *Rezoning Application Checklist of Required Materials*, for items that must accompany this application.

## FOR OFFICE USE ONLY

Application received on: \_\_\_\_\_

By: \_\_\_\_\_

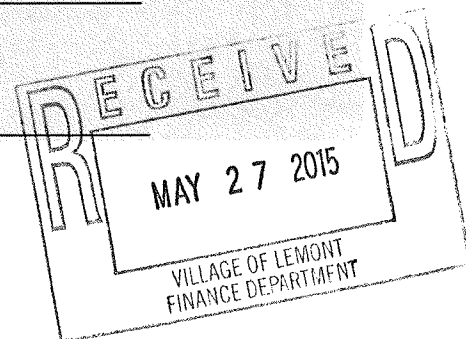
Application deemed complete on: \_\_\_\_\_

By: \_\_\_\_\_

Current Zoning: \_\_\_\_\_

Fee Amount Enclosed: \_\_\_\_\_

Escrow Amount Enclosed: \_\_\_\_\_



# Rezoning Application Form

Village of Lemont

## APPLICATION FEE & ESCROW

### Application Fee (based on size of property to be rezoned):

< 2 acres = \$300	10 to < 20 acres = \$1,000
2 to < 5 acres = \$500	20 acres or more = \$1,250
5 to < 10 acres = \$750	

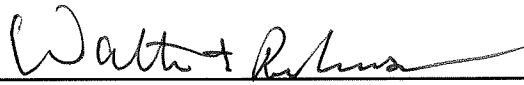
Fee is non-refundable.

### Required Escrow = \$500

At the time of application, the applicant shall submit a check for the establishment of an escrow account. The escrow money shall be used to defray costs of public notice, consultants, or other direct costs incurred by the Village in association with the rezoning application. Additionally, should the applicant fail to remove the required public notice sign in a timely manner, the escrow account may be used to defray the costs of the sign's removal. After completion of the rezoning review process, any unused portion of the escrow account will be refunded upon request.

## AFFIRMATION

I hereby affirm that I have full legal capacity to authorize the filing of this application and that all information and exhibits herewith submitted are true and correct to the best of my knowledge. I permit Village representatives to make all reasonable inspections and investigations of the subject property during the period of processing of this application. I understand that as part of this application I am required to establish an escrow account to pay for direct costs associated with the approval of this application, such as the fulfillment of public notice requirements, removal of the public notice sign, taking of minutes at the public hearing and fees for consultants hired by the Village to evaluate this application. I understand that the submitted fee is non-refundable and that any escrow amount leftover upon project completion will be refunded upon request. I understand that I am responsible for the posting of a public hearing sign and for the mailing of legal notice to all surrounding property owners as required by Village ordinances and state law.

	5-24-15
Signature of Applicant	Date
ILLINOIS	COOK
State	County

I, the undersigned, a Notary Public in and for the aforesaid County and State, do hereby certify that \_\_\_\_\_ is personally known to me to be the same person whose name is subscribed to the foregoing instrument, and that said person signed, sealed and delivered the above petition as a free and voluntary act for the uses and purposes set forth.

### Notary Signature

Given under my hand and notary seal this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20 \_\_\_\_\_.

My commission expires this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20 \_\_\_\_\_.

## REZONING APPLICATION

### VILLAGE OF LEMONT

### MONTEFIORI PROPERTY

The current zoning for the combined property is B-3 and R-1. The current zoning was part of the annexation of the main Montefiori property when owned by the Marchetti entity and run as an outdoor, tent based banquet facility. Only approximately 9.3 acres of the 30.58 acres is zoned B-3. That section of the Property runs from Archer north along the ComEd power line on the western side of the property, and is a long and narrow area as currently zoned.

The Montefiori banquet facility has been closed for several years and was not feasible to continue to be run as a banquet facility. Most of the landscaping and annual plantings are gone and the site is in disrepair.

The R-1 section of the property encompasses the old Marchetti home on the northern and eastern sections of the property. The 2.4 acre Bowman property fronting on Main Street has been residential for many decades.

The applicant believes the proposed zoning and PUD with 35 single family homes and 52 townhouses is the highest and best use of the property.

1. Retail uses under the B-3 current zoning does not work for many reasons, including the following:
2. The current B-3 section of the property is long and narrow along only the western portion of the property and is not conducive to retail or business designs.
3. The previous banquet facility use did not succeed and its "outdoor" design provides too short of a season for banquet uses.
4. The property has limited frontage exposure on Archer and is also "mid-block" and not located at a major intersection.
5. Due to the large sections of forest preserves to the east of the property, most retailers would not want to locate at this property.
6. The topography of the site would make it more difficult to create a large "pad" areas needed for retail uses and required parking lots.
7. Archer is a main artery that is used more by neighboring communities and residents to "pass-through" this area. Archer located retail uses, unless at a main intersection, have not done well.
8. There are sufficient shopping areas for Lemont residents at Archer/McCarthy, Archer/State Street, 127<sup>th</sup>/State Street, Chipain's shopping center on State, and downtown Lemont. In addition, the Village owned property at Main and Archer is planned for future retail and will add additional shopping for

residents of Lemont. There are additional retail uses already planned in more appropriate areas of the Village including around the 127<sup>th</sup> and I355 intersections.

9. Retail rents in the Village do not justify the costs of building new retail buildings, unless a national retail will provide the “anchor” traffic to justify higher rents in new shopping centers.
10. There is growing demographic demand for more townhouse products in Lemont, including larger higher priced products.
11. There are not enough higher priced single family subdivisions in Lemont. Briar Cliff is finally building out after the recession as was the most current higher end subdivision in Lemont. Most of the product in Equestrian Estates is older and on large lots. Many empty nester couples prefer single family but not a large lot or 4,000 sqft plus size home.
12. The proposed mixed uses of single family and townhouse products will meet demand and provide housing for different age and income buyers.
13. Donven has proven the larger higher end townhouse demand with the absorption of Ashbury West and Woodmere subdivisions. Their product should be sold out in the next 12 months or less.
14. The other land uses surrounding the site: to the West – Cog Hill, to the north- mix of industrial and village planned retail, to the East – single family, to the South – mix of single family, townhouse and some commercial/retail centered at McCarthy and Archer.
15. If the current Ascend rezoning and PUD and plans are not approved, Ascend has been told the current Montefiori land owner will sit on the land, unused, for a least 10 plus years, and will separately seek to remove the B-3 zoning.

## Project Summary

The Developer is Ascend Real Estate Group LLC (Walt Rebenson) and will be named Estates of Montefiori and is a proposed townhome and single family residential development on approximately 30.6 acres located west of Bell Road, between Main Street and Archer Avenue in the Village of Lemont. The following is a brief summary of the development:

### Development Size

Total Area (acres):	30.58
Roadway Area (acres):	5.74 (18.8%)
Detention Area (acres):	6.92 (22.6%)
Single Family Area (acres):	11.39 (37.2%)
Townhome Area (acres):	6.53 (21.4%)

### Single Family Details:

Lots:	35
Minimum Lot Size (sq ft):	11,700
Minimum Lot Width (ft):	90
Typical Lot Depth (ft):	130
Typical Lot Size (sq ft):	11,700
Average Lot Size (sq ft):	14,200

### Townhome Details:

3-Unit Lots:	8
4-Unit Lots:	7
Townhome Units:	52

### Density

Total Dwelling Units:	87
Density:	2.8 units/acre

The Lemont Technical Review Committee met on April 23, 2015 to review the concept plans and provided written comments on April 26, 2015. The development plan was revised, where feasible, to incorporate these comments, including, but not limited to the following: a stub street was provided to the eastern boundary of the site, to provide connectivity to future development; the front yard setback for the townhome lots was reduced to 20 feet to provide increase buffering along the Commonwealth Edison right-of-way; the traffic study analyzed the proposed Archer Avenue entrance to ensure the needs of the Fire Protection District could be met.

The Developer is requesting a number of variances from the requirements of the Village of Lemont Development Ordinances which would be included within the PUD agreement and Ordinance:

- Increase the maximum rise in water level for a storm water detention facility from 4-feet to 5-feet.
- Reduce the minimum lot area for an R-4 District from 12,500 square feet to 11,700 square feet.
- Reduce the minimum interior side yard setback in an R-4 District, for lot with widths of 80 feet or greater, from 15-feet to 9-feet.
- Reduce the minimum front yard setback in an R-5 District from 25-feet to 20-feet.
- Reduce the required brick/stone coverage on the first floor residential structure from 100% to 0%.
- A full waiver for the preservation of trees on the property.

The Developer is requesting the following waivers or agreements to be included in the PUD agreement and Ordinance:

- Full waiver of sewer and water tap in fees for each home and townhome.
- Reduce the SSA#1 charge to the property at its initial charge when established at no more than \$40,000 per year.
- Establish a recapture agreement whereby any additional properties added to said SSA water and sewer lines there is a recapture fee paid to the developer equal to the amount of SSA charges paid since inception and through 2024 full payment of SSA bonds.
- A 25% reduction in the total Impact Fees charged per the plan and current ordinances.
- A reimbursement to the Developer of any public improvements required for increasing the water lines from 8" to 12" and any improvements required on Archer Avenue.
- Village will take ownership and maintain storm water detention areas per plans.
- Agreement to start model homes and townhomes before all land infrastructures is completed.



## Restrictions & Covenants

A Homeowner's Association will be created for both the single family and townhome portions of the development. Protective restrictions and covenants will be prepared for the Association and are anticipated to include:

- Minimum 2,4000 square feet for a single family ranch home
- Minimum 2,8000 square feet for a single family 1-1/2 or 2 story home
- Architectural review to ensure diversity of materials and elevations
- Rear yard fence limitations
- Dedication of storm water detention facilities to the Village of Lemont

### Declaration of Easements

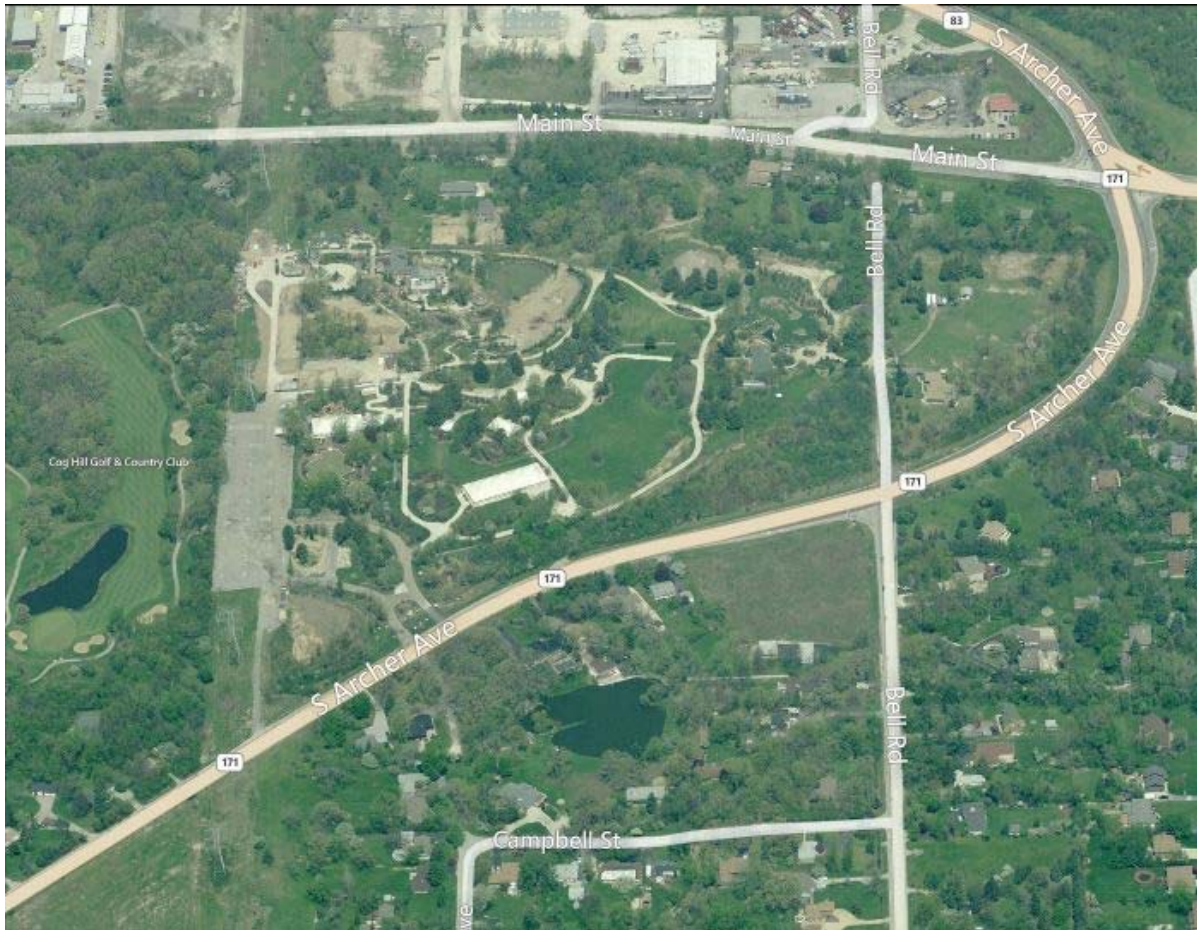
Off-site easements are not required to extend public utilities or other improvements to serve the site. Public improvements proposed for the development will be provided within public right-of-way and/or easements. These will be dedicated by the Plat of Subdivision, to be recorded after final engineering plans have been approved by the Village.

# Traffic Impact Study

For A

## Proposed Residential Development

Lemont, Illinois



Prepared By



May 19, 2015

# 1. Introduction

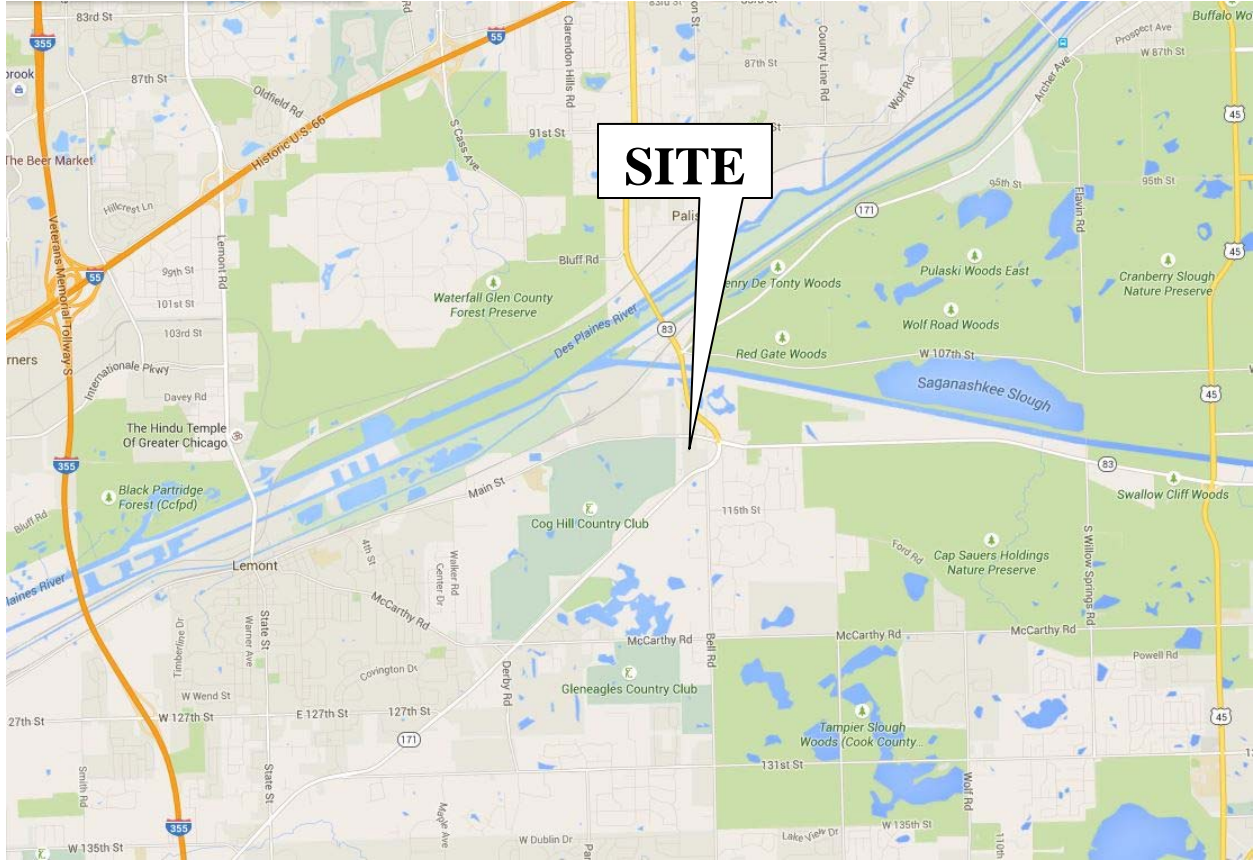
This report summarizes the methodologies, results and findings of a traffic impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for a proposed residential development to be located in Lemont, Illinois. The site is located on the north side of IL 171 (Archer Avenue) and is bordered by Cog Hill Golf and Country Club on the west, Main Street on the north, and residential developments with frontage on Bell Road on the east. As proposed, the site will be developed with 54 townhome units and 38 single family units. Access will be provided via a full movement access drive on IL 171 located approximately 975 feet west of Bell Road.

**Figure 1** shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site area.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed residential development will have on traffic conditions in the area and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed residential development.

The sections of this report present the following.

- Existing roadway conditions
- A description of the proposed residential development
- Directional distribution of the residential development traffic
- Vehicle trip generation for the residential development
- Future traffic conditions including access to the development
- Traffic analyses for the weekday morning and evening peak hours
- Recommendations with respect to adequacy of the site access system and adjacent roadway system



**Site Location**

**Figure 1**





**Aerial View of Site Location**

**Figure 2**

## 2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on a field visit conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices and existing peak hour traffic volumes.

### Site Location

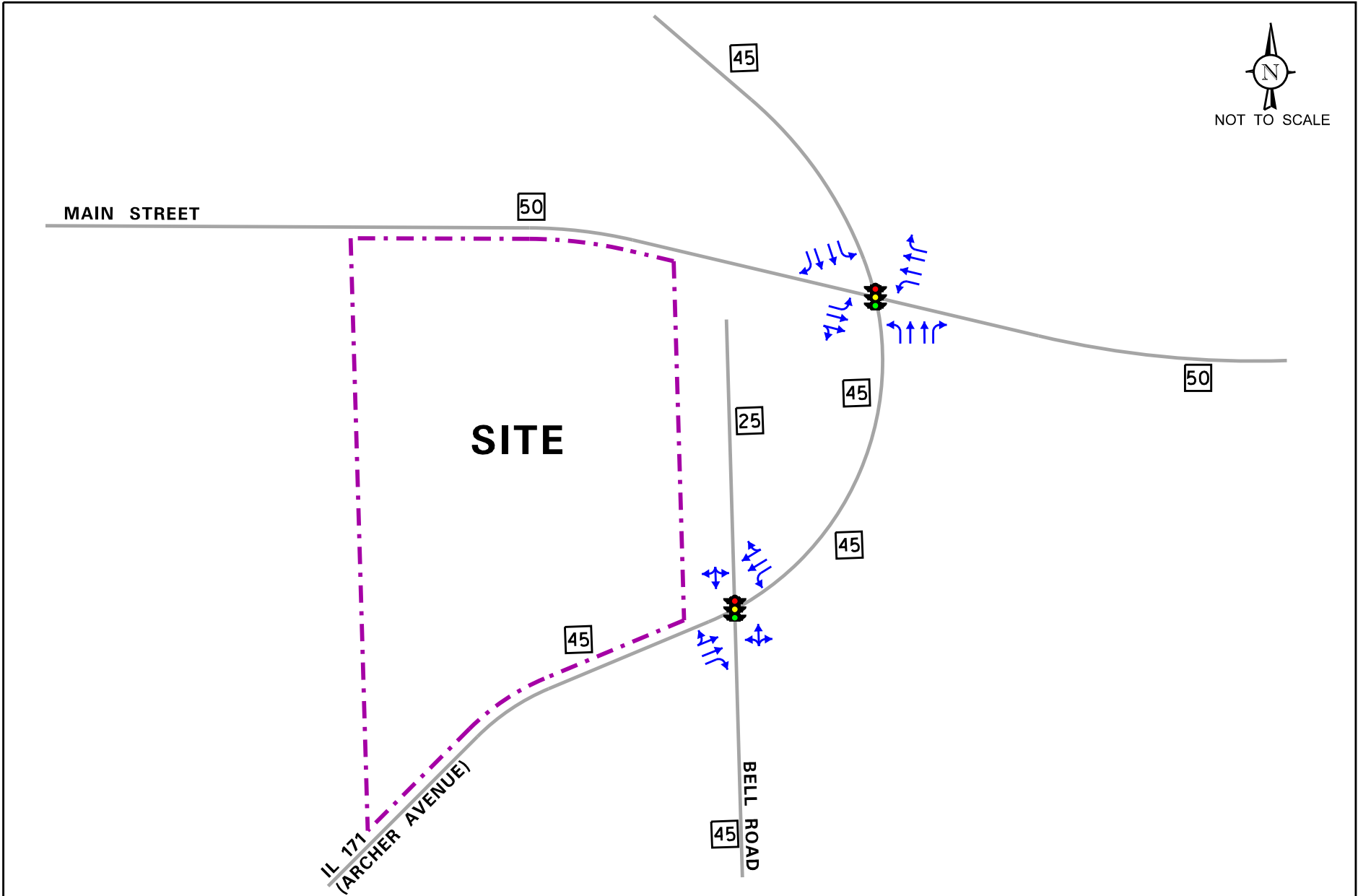
The site is located on the north side of IL 171 (Archer Avenue) and is bordered by Cog Hill Golf and Country Club on the west, Main Street on the north, and residential developments with frontage on Bell Road on the east. Land uses in the vicinity of the include the Cog Hill Golf and Country Club to the west, residential homes to the south and east, Sagawau Canyon Nature Preserve to the northeast, and industrial developments to the north.

### Existing Roadway System Characteristics

The characteristics of the existing roadways near the development are described below. **Figure 3** illustrates the existing roadway characteristics.

*IL 171 (Archer Avenue)* within the vicinity of the site is an east-west roadway that generally provides one lane in each direction. East of Bell Road, IL 171 curves into a north-south direction that provides two lanes in each direction. At its signalized intersection with Main Street/IL 83 (Calumet Sag Road/111<sup>th</sup> Street), IL 171 provides an exclusive left-turn lane, two exclusive through lanes, and an exclusive right-turn lane on both approaches. The north leg of this intersection is designated as IL 171 (Archer Avenue) and IL 83 (Kingery Highway). At its signalized intersection with Bell Road, IL 171 provides a shared left-turn/through lane, an exclusive through lane and an exclusive right-turn lane on the west leg of the intersection and an exclusive left-turn lane, an exclusive through lane and a shared through/right-turn lane on the east leg. It should be noted that these signals are part of a three signal coordinated system that extends along IL 171 from Bell Road north to 107<sup>th</sup> Street. IL 171 is under the jurisdiction of the Illinois Department of Transportation and is designated as a Strategic Regional Arterial (SRA) east of Bell Road. IL 171 carries an average daily traffic (ADT) of 23,700 vehicles east of Bell Road and an ADT of 12,300 west of Bell Road and has a posted speed limit of 45 miles per hour.





PROJECT:  
 Proposed Residential  
 Development  
 Lemont, Illinois

TITLE:  
 Existing Roadway Characteristics

**KLOA**  
 Job No: 15-071  
 Figure: 3

*Main Street* is an east-west roadway that in the vicinity of the site provides one lane in each direction. At its signalized intersection with IL 171, Main Street widens to provide an exclusive left-turn lane, an exclusive through lane and a shared through/right-turn lane on the west leg of the intersection. The east leg of this intersection is designated as IL 83 (Calumet Sag Road/111<sup>th</sup> Street) and provides an exclusive left-turn lane, two exclusive through lanes, and an exclusive right-turn lane on the westbound approach. Main Street is under the jurisdiction of IDOT, carries an ADT of 7,850 and 14,100 vehicles east and west of IL 171, respectively and has a posted speed limit of 50 miles per hour.

*Bell Road* is a north-south roadway that provides one lane in each direction. At its signalized intersection with IL 171, Bell Road provides a shared left/through/right-turn lane on both approaches. Bell Road is under the jurisdiction of the Cook County Highway Department (CCHD), is designated as a SRA, carries an ADT of 10,900 vehicles and has a posted speed limit of 45 miles per hour.

### **Existing Traffic Volumes**

In order to determine current traffic conditions in the vicinity of the site, KLOA, Inc. conducted manual peak period traffic counts on Wednesday, April 22, 2015 during the weekday morning (6:30 A.M. to 9:00 A.M.) and weekday evening (4:00 P.M. to 6:30 P.M.) peak periods at the intersections of IL 171 with Main Street and Bell Road. The results of the traffic counts showed that the weekday morning peak hour of traffic occurs from 6:30 A.M. to 7:30 A.M. and the evening peak hour of traffic occurs from 4:30 P.M. to 5:30 P.M. **Figure 4** illustrates the existing peak hour traffic volumes. Copies of the traffic count summary sheets are included in the Appendix.

### **Accident Data**

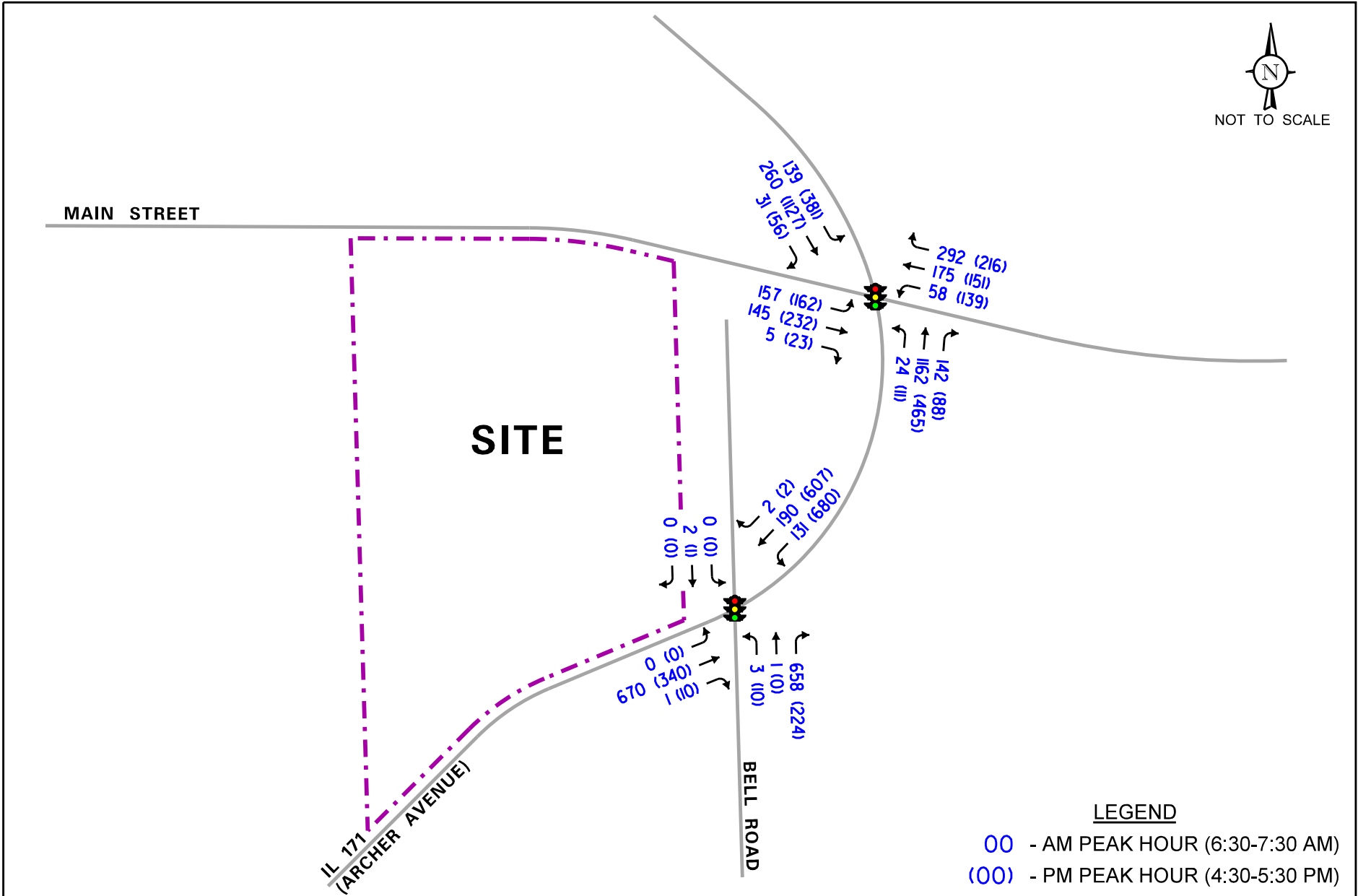
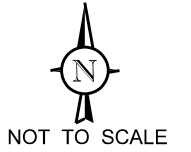
KLOA, Inc. obtained accident data for the past five years (2009 to 2013) for the intersections of IL 171 with Main Street and Bell Road and the data is summarized in **Tables 1** and **2**, respectively. A review of the accident data indicated that there were no fatalities reported. Furthermore, the intersection is not listed in IDOT's Statewide or Local Five Percent Report which presents the five percent of state, county, township and municipal roadway segments and intersections exhibiting the most pressing safety needs.

Table 1  
 IL 171 WITH MAIN STREET ACCIDENT SUMMARY

Year	Type of Accident Frequency						Total
	Angle	Object	Rear End	Sideswipe	Turning	Other	
2009	2	2	21	3	7	0	35
2010	1	0	21	2	7	2	33
2011	1	2	27	2	12	0	44
2012	1	0	16	0	9	0	26
2013	2	3	21	2	9	0	37
<b>Total</b>	7	7	106	9	44	2	175
<b>Average/Year</b>	1.4	1.4	21.2	1.8	8.8	<1	35

Table 2  
 IL 171 WITH BELL ROAD ACCIDENT SUMMARY

Year	Type of Accident Frequency						Total
	Angle	Object	Rear End	Sideswipe	Turning	Other	
2009	0	1	5	3	2	0	11
2010	0	0	12	2	2	1	17
2011	1	0	7	2	2	0	12
2012	0	0	3	0	0	0	3
2013	0	1	4	0	0	0	5
<b>Total</b>	1	2	31	7	6	1	48
<b>Average/Year</b>	<1	<1	6.2	1.4	1.2	<1	9.6




**LEGEND**

- 00 - AM PEAK HOUR (6:30-7:30 AM)
- (00) - PM PEAK HOUR (4:30-5:30 PM)

PROJECT:  
Proposed Residential  
Development  
Lemont, Illinois

TITLE:  
Existing Traffic Volumes



Job No: 15-071

Figure: 4

### 3.

## Traffic Characteristics of the The Proposed Residential Development

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed development, including the directional distribution and volumes of traffic that it will generate.

### Proposed Site and Development Plan

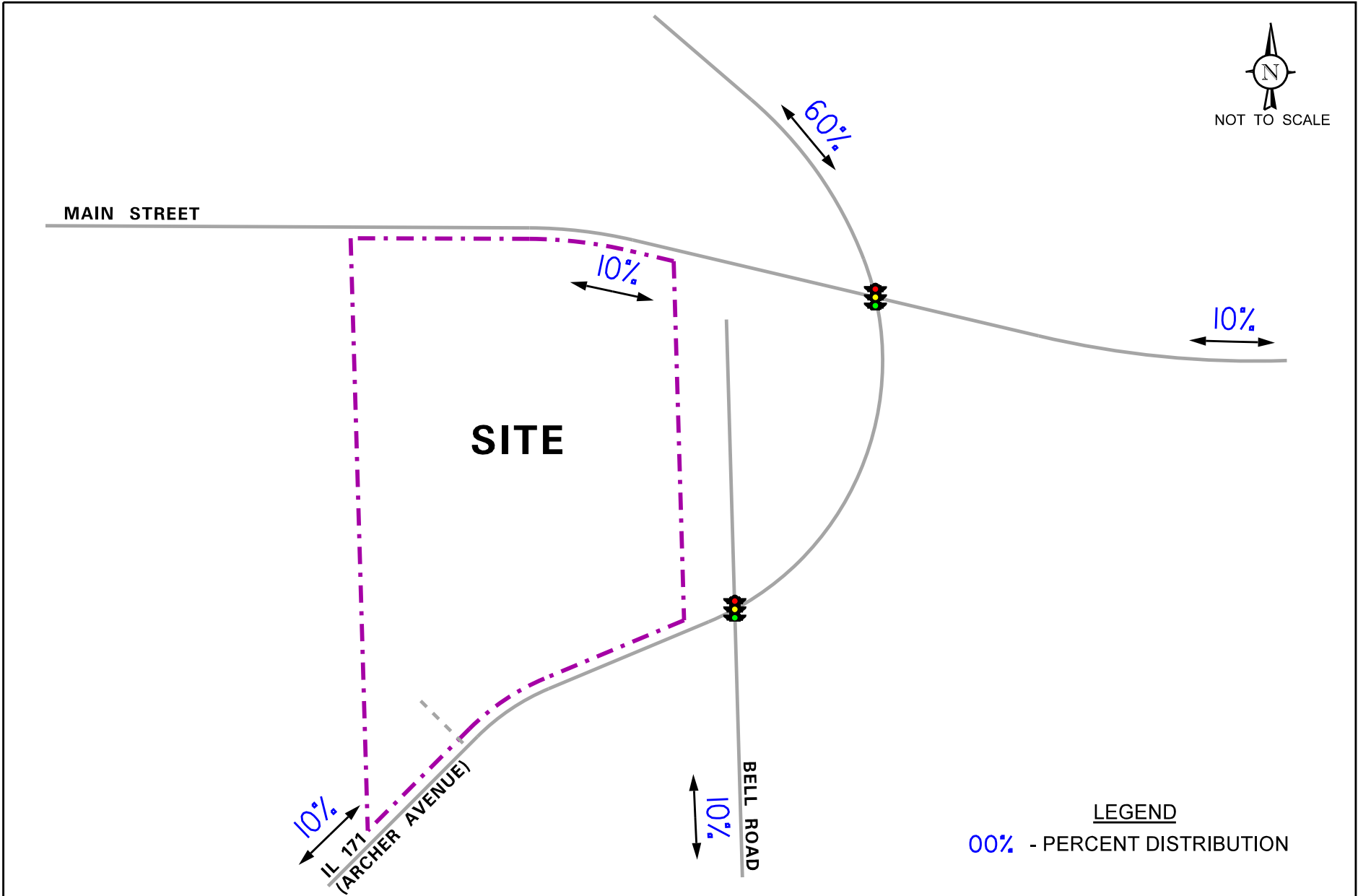
As proposed, the plans call for developing the site with 54 townhome units and 38 single family units. Access will be provided via a full movement access drive on IL 171 located approximately 975 feet west of Bell Road. The proposed access road will provide a 16-foot inbound lane and two 12-foot outbound lanes. Inbound and outbound movements will be separated by a 10-foot landscaped median and outbound movements will be under stop sign control. Although no emergency access is provided, the width of the access road will allow for access for emergency vehicles even in the event of a blockage due to a disabled vehicle or an accident. Furthermore, the provision of a loop internal road system ensures that homes can be accessed from two directions.

### Directional Distribution

The directional distribution of future site-generated trips on the roadway system is a function of several variables, including the operational characteristics of the roadway system and the ease with which drivers can travel over various sections of the roadway system without encountering congestion. The directions from which residents of the development will approach and depart the site were estimated based on existing travel patterns, as determined from the traffic counts. **Figure 5** illustrates the directional distribution of traffic.

### Estimated Site Traffic Generation

The volume of traffic generated by a development is based on the type of land use and the size of the development. The number of peak hour vehicle trips estimated to be generated by the proposed development of single family homes is based on vehicle trip generation rates contained in *Trip Generation*, 9<sup>th</sup> Edition, published by the Institute of Transportation Engineers (ITE). **Table 3** shows the site-generated traffic volumes for the proposed development.



PROJECT:  
Proposed Residential  
Development  
Lemont, Illinois

TITLE:  
Estimated Directional Distribution

**KLOA**  
Job No: 15-071  
Figure: 5

Table 3  
SITE-GENERATED TRAFFIC VOLUMES

ITE Land-Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Two-Way Daily Trips	
		In	Out	Total	In	Out	Total	In	Out
210	Single Family Detached Housing (38 units)	9	27	36	28	16	44	216	216
230	Residential Townhouse (54 Units)	<u>5</u>	<u>27</u>	<u>32</u>	<u>24</u>	<u>12</u>	<u>36</u>	<u>188</u>	<u>188</u>
	<b>Total</b>	<b>14</b>	<b>54</b>	<b>68</b>	<b>52</b>	<b>28</b>	<b>80</b>	<b>404</b>	<b>404</b>

## 4. Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to growth and the traffic estimated to be generated by the proposed subject development.

### **Development Traffic Assignment**

The estimated weekday morning and evening peak hour traffic volumes that will be generated by the proposed development were assigned to the roadway system in accordance with the previously described directional distribution (Figure 5) and are illustrated in **Figure 6**.

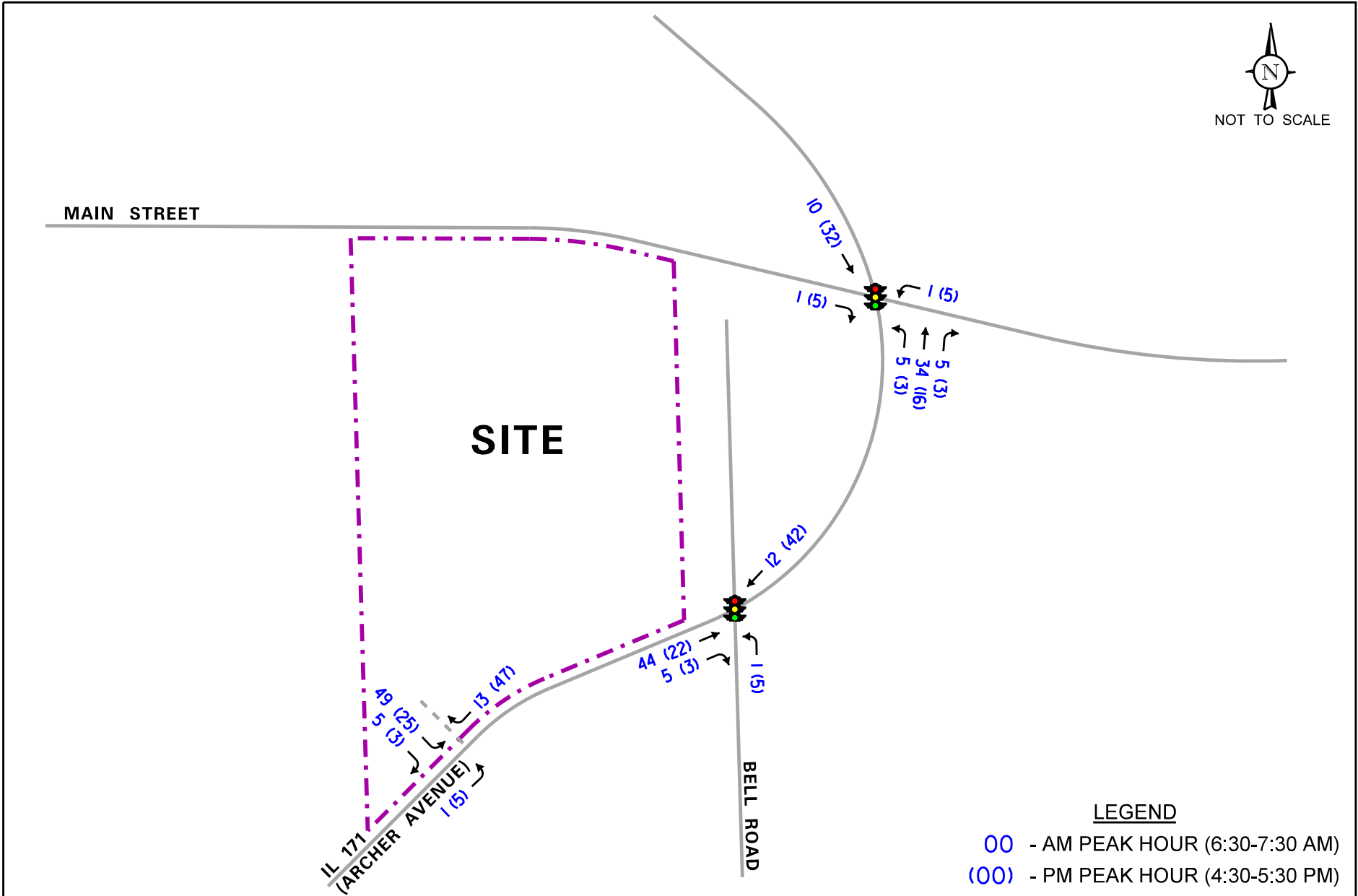
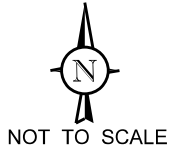
### **Background Traffic Conditions**

The existing traffic volumes (Figure 4) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any particular planned development). Based on the Chicago Metropolitan Agency for Planning (CMAP) *2040 Forecast of Population, Households and Employment* an increase of eight percent over six years (buildout year plus five) was applied to project Year 2021 conditions.

### **Total Projected Traffic Volumes**

The addition of development generated traffic to the existing traffic volumes without background growth is illustrated in **Figure 7**. The addition of the development generated traffic to the existing traffic volumes accounting for background growth, to determine the Year 2021 total projected traffic volumes, are shown in **Figure 8**.





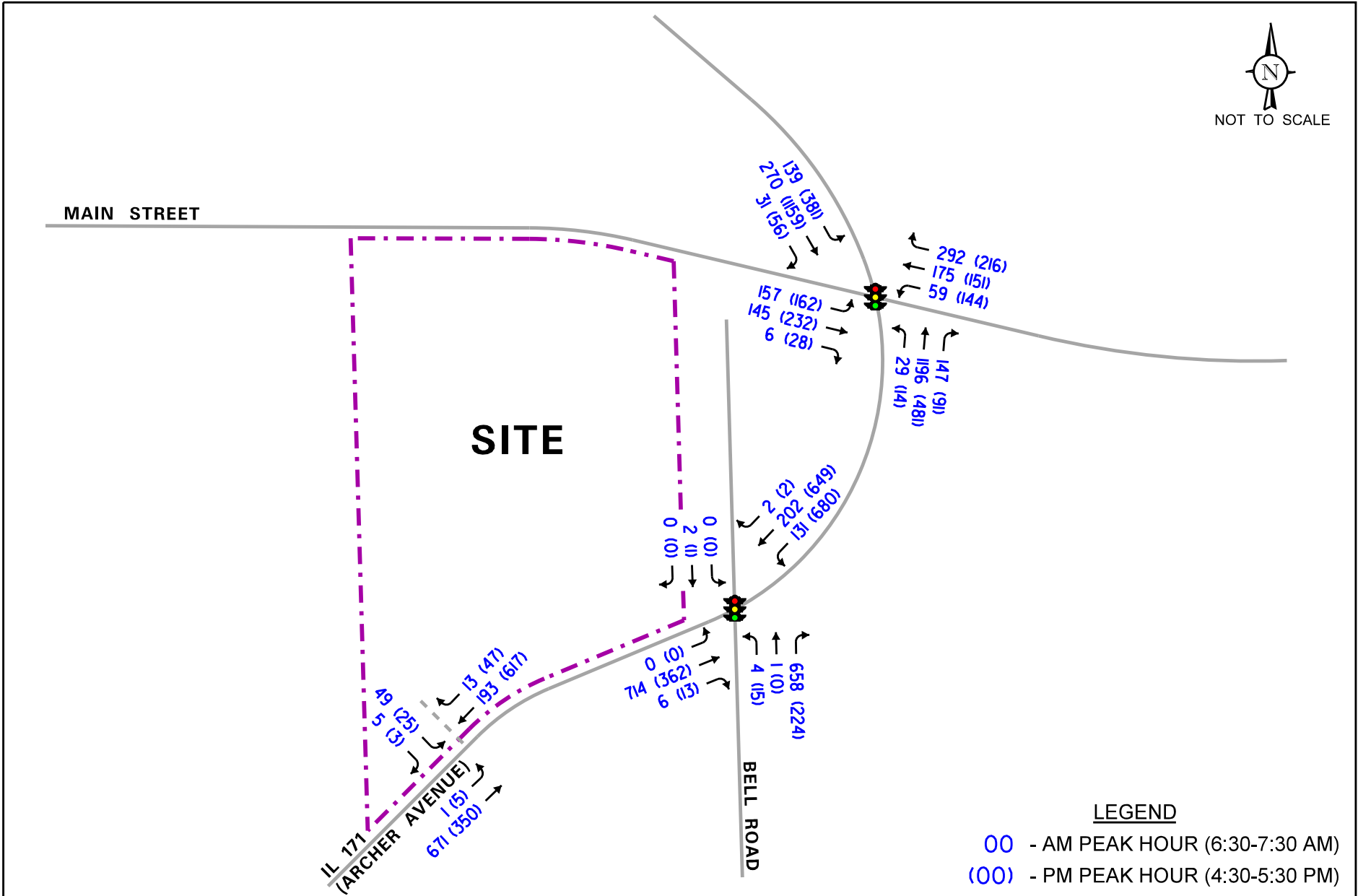
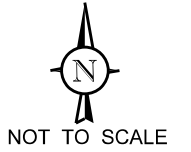
**LEGEND**

- 00 - AM PEAK HOUR (6:30-7:30 AM)
- (00) - PM PEAK HOUR (4:30-5:30 PM)

PROJECT:  
Proposed Residential  
Development  
Lemont, Illinois

TITLE:  
Estimated Site Traffic Assignment

**KLOA**  
Job No: 15-071  
Figure: 6




**LEGEND**

- 00 - AM PEAK HOUR (6:30-7:30 AM)
- (00) - PM PEAK HOUR (4:30-5:30 PM)

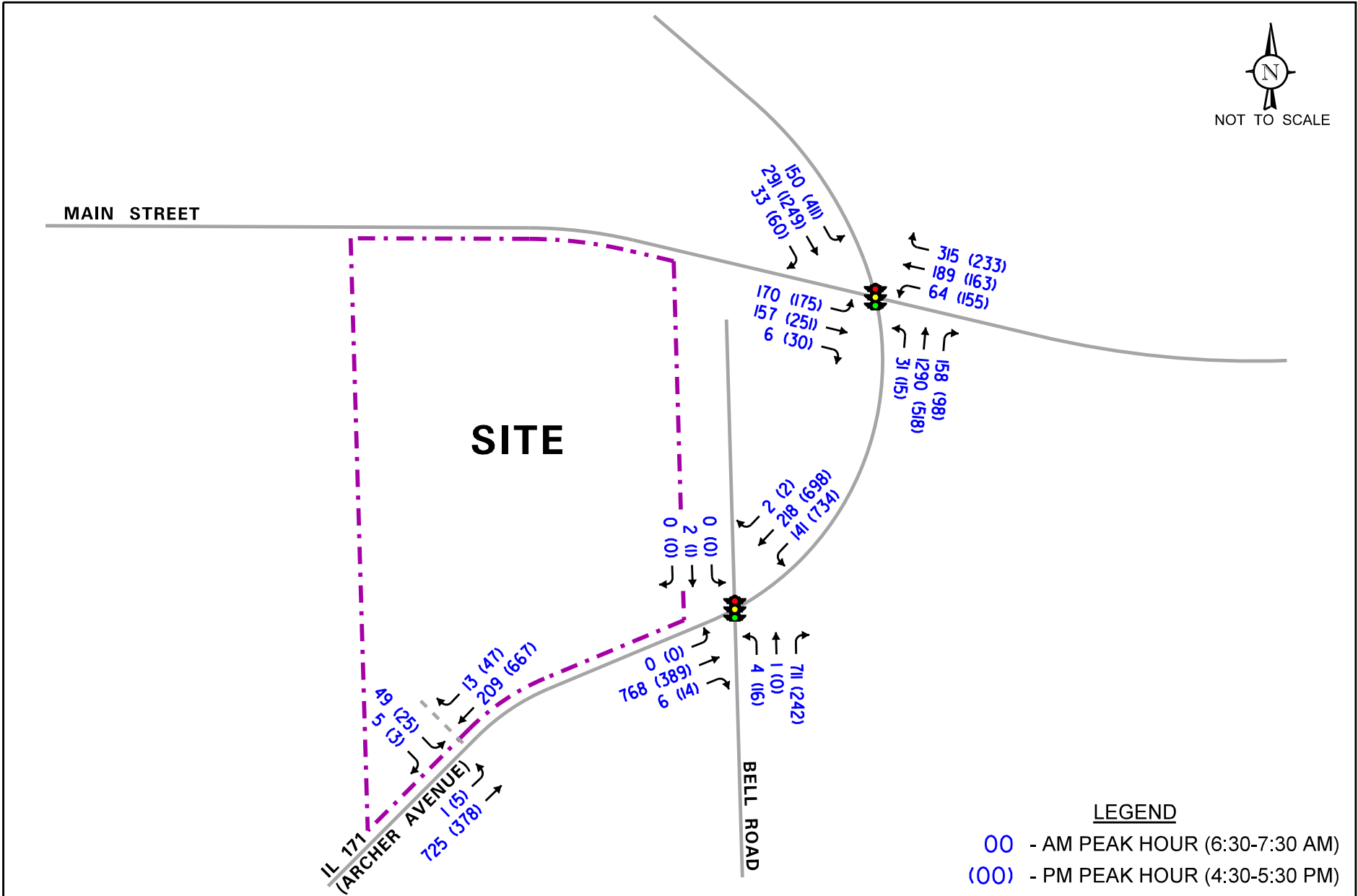
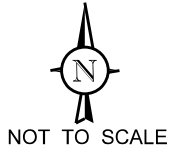
PROJECT:  
Proposed Residential  
Development  
Lemont, Illinois

TITLE:  
Existing Plus Site-Generated Traffic Volumes



Job No: 15-071

Figure: 7



**LEGEND**

- 00 - AM PEAK HOUR (6:30-7:30 AM)
- (00) - PM PEAK HOUR (4:30-5:30 PM)

PROJECT:  
Proposed Residential  
Development  
Lemont, Illinois

TITLE:  
Year 2021 Total Projected Traffic Volumes

Job No: 15-071

Figure: 8

## 5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and weekday evening peak hour periods. The analysis includes conducting capacity analyses to determine how well the roadway system and access drives are projected to operate and whether any roadway improvements or modification are required.

### Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and weekday evening peak hour periods for the existing (Year 2015) and future projected (Year 2021) traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM), 2010* and analyzed using the HCS 2010 software. The analysis for the traffic-signal controlled intersections were accomplished using actual cycle lengths, phasings, and offsets to determine the average overall vehicle delay and levels of service.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the existing, existing plus site, and Year 2021 total projected conditions are presented in **Tables 4, 5 and 6**, respectively. A discussion of the intersections follows. Summary sheets for the capacity analyses are included in the Appendix.

Table 4  
CAPACITY ANALYSIS RESULTS – EXISTING TRAFFIC VOLUMES

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
IL 171 with Main Street <sup>1</sup>				
• Overall	C	25.0	C	23.4
• Northbound Approach	B	12.3	B	14.2
• Southbound Approach	A	9.8	A	9.3
• Eastbound Approach	D	48.0	D	54.8
• Westbound Approach	E	56.1	D	51.1
IL 171 with Bell Road <sup>1</sup>				
• Overall	D	49.3	B	19.2
• Northbound Approach	F	80.5	E	73.5
• Southbound Approach	C	24.7	D	49.0
• Eastbound Approach	C	33.5	C	23.2
• Westbound Approach	B	18.3	A	8.2
LOS = Level of Service Delay is measured in seconds. 1-Signalized Intersection 2-Unsignalized Intersection				

Table 5  
 CAPACITY ANALYSIS RESULTS – EXISTING PLUS SITE TRAFFIC VOLUMES

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
IL 171 with Main Street <sup>1</sup>				
• Overall	C	24.9	C	23.4
• Northbound Approach	B	12.5	B	14.3
• Southbound Approach	A	9.9	A	9.4
• Eastbound Approach	D	48.1	D	55.3
• Westbound Approach	E	56.0	D	51.1
IL 171 with Bell Road <sup>1</sup>				
• Overall	D	49.0	B	19.6
• Northbound Approach	F	80.9	E	73.5
• Southbound Approach	C	24.7	D	48.5
• Eastbound Approach	C	34.1	C	24.0
• Westbound Approach	B	18.3	A	8.7
IL 171 with Access Roadway <sup>2</sup>				
• Southbound Approach	C	20.2	C	22.1
• Eastbound Lefts	A	7.7	A	9.0

LOS = Level of Service  
 Delay is measured in seconds.  
 1-Signalized Intersection  
 2-Unsignalized Intersection

Table 6  
 CAPACITY ANALYSIS RESULTS - PROJECTED YEAR 2021 TRAFFIC VOLUMES

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
IL 171 with Main Street <sup>1</sup>				
• Overall	C	26.1	C	24.2
• Northbound Approach	B	14.3	B	15.9
• Southbound Approach	B	11.2	B	10.5
• Eastbound Approach	D	48.5	E	56.1
• Westbound Approach	E	56.3	D	50.4
IL 171 with Bell Road <sup>1</sup>				
• Overall	E	59.4	C	23.9
• Northbound Approach	F	106.0	E	73.9
• Southbound Approach	C	24.7	D	46.9
• Eastbound Approach	D	35.4	C	29.4
• Westbound Approach	B	18.8	B	13.3
IL 171 with Access Roadway <sup>2</sup>				
• Southbound Approach	C	22.4	C	24.5
• Eastbound Lefts	A	7.7	A	9.2

LOS = Level of Service  
 Delay is measured in seconds.  
 1-Signalized Intersection  
 2-Unsignalized Intersection



## Discussion and Recommendations

The following summarizes how the intersections are projected to operate and identify any roadway and traffic control improvements to accommodate the development traffic.

### *IL 171 with Main Street*

The results of the capacity analysis indicate that overall this intersection currently operates at Level of Service C during the morning and evening peak hours. Under existing plus site conditions, this intersection is projected to continue operating at Level of Service C with minimal increases in delay. Furthermore, each approach is projected to maintain its Level of Service with increases in delay of less than one second. Assuming future conditions, this intersection is projected to continue operating at Level of Service C during both peak hours with an increase in delay of approximately one second during both peak hours. As such, the site generated traffic will not have a significant impact on the operations of this intersection and roadway improvements or signal modification will not be necessary.

### *IL 171 with Bell Road*

The results of the capacity analysis indicate that overall this intersection currently operates at Level of Service D during the morning peak hour and at Level of Service B during the evening peak hour. It should be noted that the northbound approach currently operates at Level of Service F during the morning peak hour. This is primarily due to the high northbound right-turning movements. When analyzed with the provision of a northbound right-turn lane with a right-turn overlap signal phase, the northbound approach will operate at Level of Service D with average delays of approximately 50 seconds. Under existing plus site conditions, the intersection overall and each of the approaches are projected to maintain their respective Level of Service during the peak hours with increases in delay of one second or less. Assuming future conditions, this intersection is projected to operate at Level of Service E during the morning peak hour and at Level of Service C during the evening peak hour with increases in delay of approximately ten seconds and five seconds, respectively. As such, the site generated traffic will not have a significant impact on the operations of this intersection as it is only approximately three percent of the total intersection volumes during the morning and evening peak hour and less than one percent of the northbound traffic on Bell Road during the morning peak hour.

*IL 171 with Access Roadway*

The results of the capacity analysis indicate that the access roadway is projected to operate at Level of Service C during the morning and evening peak hour. Furthermore, the eastbound left-turn movements from IL 171 onto the access roadway are projected to operate at Level of Service A during both peak hours. As such, this access roadway will be adequate in accommodating the projected site generated traffic and will provide efficient access to the development. When comparing the projected traffic volumes to the turn-lane guidelines published in Chapter 36 of the IDOT *Bureau of Design and Environment (BDE) Manual*, it is determined that the widening of IL 171 to provide an exclusive left-turn lane will be warranted during the peak hours. However, widening IL 171 to provide an exclusive right-turn lane will not be warranted.

## 6. Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been made:

- The development generated traffic will not have a significant impact on area roadways.
- The proposed access system with one inbound lane and two outbound lanes will be adequate in accommodating the site generated traffic and will provide efficient and flexible access to the development.
- The design of the access road and the internal circulation will ensure that adequate access is provided for emergency vehicles.
- An eastbound to northbound left-turn lane is warranted on IL 171 at the access road based on Chapter 36 of the IDOT BDE Manual.

## Market Research Study

A shopping center development is not proposed, therefore the market research report is not applicable.

## Market Analysis

The property is currently split zoned, with a parcel along the Commonwealth Edison right-of-way zoned B-3 Arterial Commercial and the remainder of the site zoned R-1 Single Family. Although the Comprehensive Plan identifies commercial zoning for these parcels, the proposed residential use is appropriate given:

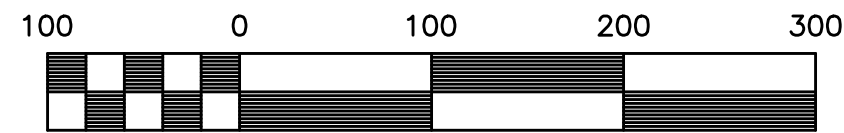
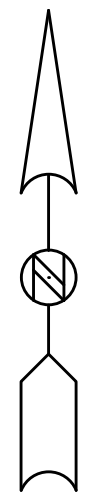
- Previous uses for the property included unsuccessful business/commercial uses.
- There are adequate commercial uses currently provided within the Village along the State Street Corridor.
- A need exists within the market for additional single family and townhome units.
- The site has fairly limited frontage along Archer Avenue due to the recent roadway re-alignment and has limited exposure due to topographic constraints. Both factors would limit the site for commercial development.





P.I.N. 22-14-402-003  
 22-14-402-004  
 22-14-402-013  
 22-23-203-003  
 22-23-203-004  
 22-23-203-008

# EXISTING CONDITIONS / TOPOGRAPHIC MAP



Scale: 1" = 100'

## LEGAL DESCRIPTION:

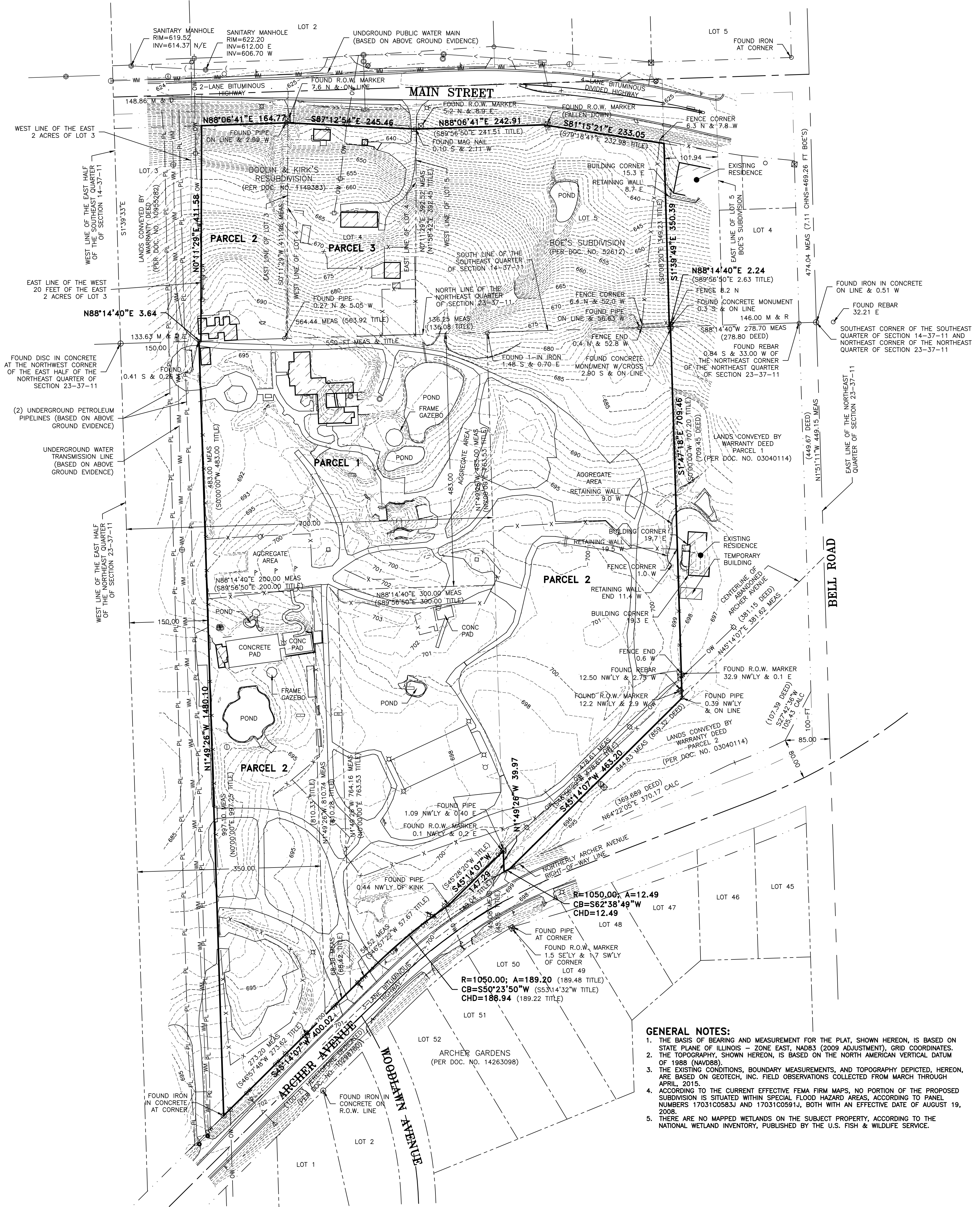
**PARCEL 1:**  
 A PARCEL OF LAND IN THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: MEASURE FROM THE NORTH SECTION LINE FROM THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION, A DISTANCE OF 150 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SECTION LINE A DISTANCE OF 550 FEET; THENCE SOUTH ALONG A LINE PARALLEL WITH AND 700 FEET EAST OF THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION, 483 FEET; THENCE WEST PARALLEL WITH SAID NORTH LINE OF SAID SECTION, 300 FEET; THENCE SOUTH PARALLEL WITH SAID WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER, 763.58 FEET TO THE NORTHWESTERLY RIGHT-OF-WAY OF ARCHER AVENUE (STATE AID ROUTE 4A); THENCE SOUTHWESTERLY ALONG SAID RIGHT-OF-WAY LINE 68.42 FEET TO A POINT ON A LINE 350 FEET EAST OF SAID WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23; THENCE NORTH OF SAID LINE 810.28 FEET; THENCE WEST 200 FEET; THENCE NORTH 483 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

**PARCEL 2:**  
 THAT PART OF LOT 5 IN CHRISTIAN BOE'S SUBDIVISION IN THE SOUTHWEST PART OF THE SOUTHEAST QUARTER OF SECTION 14 AND PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, ALL IN TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 5 IN CHRISTIAN BOE'S SUBDIVISION AFORESAID, SAID CORNER BEING DISTANT 89 DEGREES 56 MINUTES 50 SECONDS EAST 563.92 FEET FROM THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 01 DEGREES 58 MINUTES 42 SECONDS EAST ALONG THE WEST LINE OF SAID LOT 5, A DISTANCE OF 392.45 FEET TO A POINT ON THE SOUTH LINE OF CHICAGO-JOLIET ROAD AS WIDENED; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST ALONG SAID SOUTH LINE 241.51 FEET TO AN ANGLE POINT IN SAID SOUTH LINE; THENCE SOUTH 79 DEGREES 18 MINUTES 41 SECONDS EAST ALONG SAID SOUTH LINE 232.98 FEET TO A POINT DISTANT 101.94 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID LOT 5; THENCE SOUTH 00 DEGREES 08 MINUTES 20 SECONDS EAST 349.23 FEET TO A POINT IN THE SOUTH LINE OF SAID LOT 5, BEING ALSO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST 2.63 FEET ALONG SAID NORTH LINE; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 707.20 FEET TO THE CENTERLINE OF A ROAD (ARCHER AVENUE); THENCE SOUTH 46 DEGREES 56 MINUTES 29 SECONDS WEST ALONG SAID CENTERLINE 478.61 FEET, MORE OR LESS TO A POINT WHICH IS 700.00 FEET EAST OF THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 45.15 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF ARCHER AVENUE (STATE AID ROUTE 4A HIGHWAY); THENCE SOUTH 46 DEGREES 28 MINUTES 20 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE 149.04 FEET TO A POINT ON A CURVE; THENCE SOUTHWESTERLY 188.48 FEET ALONG SAID NORTHERLY RIGHT OF WAY LINE, HAVING A RADIUS OF 1050.00 FEET CHORD BEARING SOUTH 53 DEGREES 14 MINUTES 32 SECONDS WEST 189.22 FEET; THENCE SOUTH 46 DEGREES 57 MINUTES 22 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE 57.67 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 763.53 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 300.00 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, A DISTANCE OF 483.00 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 56 MINUTES 50 SECONDS WEST 136.08 FEET TO THE POINT OF BEGINNING.

**ALSO:**  
 THE EAST 2 ACRES OF LOT 3 (EXCEPT THE WEST 20 FEET THEREOF) IN DOOLIN AND KIRK'S RESUBDIVISION OF THE EAST 404.7 FEET TO THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER AND OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL (EXCEPT LOTS 1 TO 5 OF BOE'S SUBDIVISION OF PART THEREOF) IN COOK COUNTY, ILLINOIS (EXCEPT PART TAKEN FOR HIGHWAY PURPOSES IN CHICAGO-JOLIET ROAD).

**ALSO:**  
 THAT PART OF THE EAST HALF OF THE NORTHEAST HALF OF SECTION 23, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23 AFORESAID; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 150.00 FEET TO A POINT ON A LINE PARALLEL WITH AND 150.00 FEET EAST OF THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE SOUTH 00 DEGREES 00 SECONDS WEST 483.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST 200.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 810.33 FEET TO A POINT ON THE NORTHWESTERLY RIGHT OF WAY LINE OF ARCHER AVENUE (STATE ROUTE 4A HIGHWAY); THENCE SOUTH 46 DEGREES 57 MINUTES 48 SECONDS WEST ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE 273.62 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 997.25 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

**PARCEL 3:**  
 LOT 4 (EXCEPTING THEREFROM THAT PART OF SAID LOT TAKEN FOR RIGHT-OF-WAY FOR MAIN STREET, FORMERLY CHICAGO-JOLIET ROAD) IN DOOLIN AND KIRK'S RESUBDIVISION OF THE EAST 404.7 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER TOGETHER WITH THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THERE RECORDED AUGUST 30, 1889 AS DOCUMENT 1149383 IN BOOK 37 OF PLATS, PAGE 18, IN COOK COUNTY, ILLINOIS.



**GENERAL NOTES:**

1. THE BASIS OF BEARING AND MEASUREMENT FOR THE PLAT, SHOWN HEREON, IS BASED ON STATE PLANE OF ILLINOIS - ZONE EAST, NAD83 (2009 ADJUSTMENT), GRID COORDINATES.
2. THE TOPOGRAPHY, SHOWN HEREON, IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
3. THE EXISTING CONDITIONS, BOUNDARY MEASUREMENTS, AND TOPOGRAPHY DEPICTED, HEREON, ARE BASED ON GEOTECH, INC. FIELD OBSERVATIONS COLLECTED FROM MARCH THROUGH APRIL, 2015.
4. ACCORDING TO THE CURRENT EFFECTIVE FEMA FIRM MAPS, NO PORTION OF THE PROPOSED SUBDIVISION IS SITUATED WITHIN SPECIAL FLOOD HAZARD AREAS, ACCORDING TO PANEL NUMBERS 1703100583J AND 1703100581J, BOTH WITH AN EFFECTIVE DATE OF AUGUST 19, 2008.
5. THERE ARE NO MAPPED WETLANDS ON THE SUBJECT PROPERTY, ACCORDING TO THE NATIONAL WETLAND INVENTORY, PUBLISHED BY THE U.S. FISH & WILDLIFE SERVICE.

**GEOTECH INC.**  
 CONSULTING ENGINEERS - LAND SURVEYORS  
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

**PART OF SECTION 14-37-11 AND SECTION 23-37-11**

ORDERED BY:  
 ASCEND REAL ESTATE GROUP  
 912 WEST LAKE STREET  
 CHICAGO, ILLINOIS 60607

DRAWN BY: CJT  
 CHECKED BY: CMP

JOB # GJN19203  
 DATE: 05/21/2015

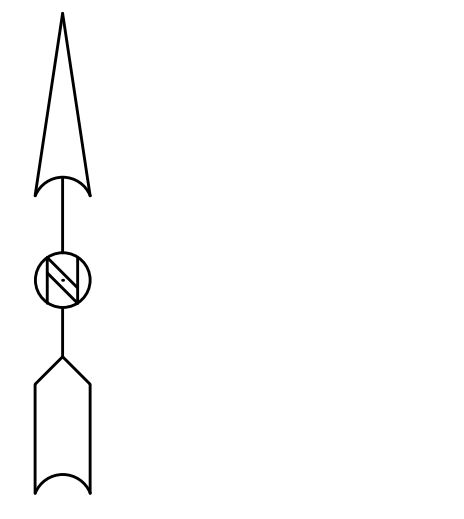
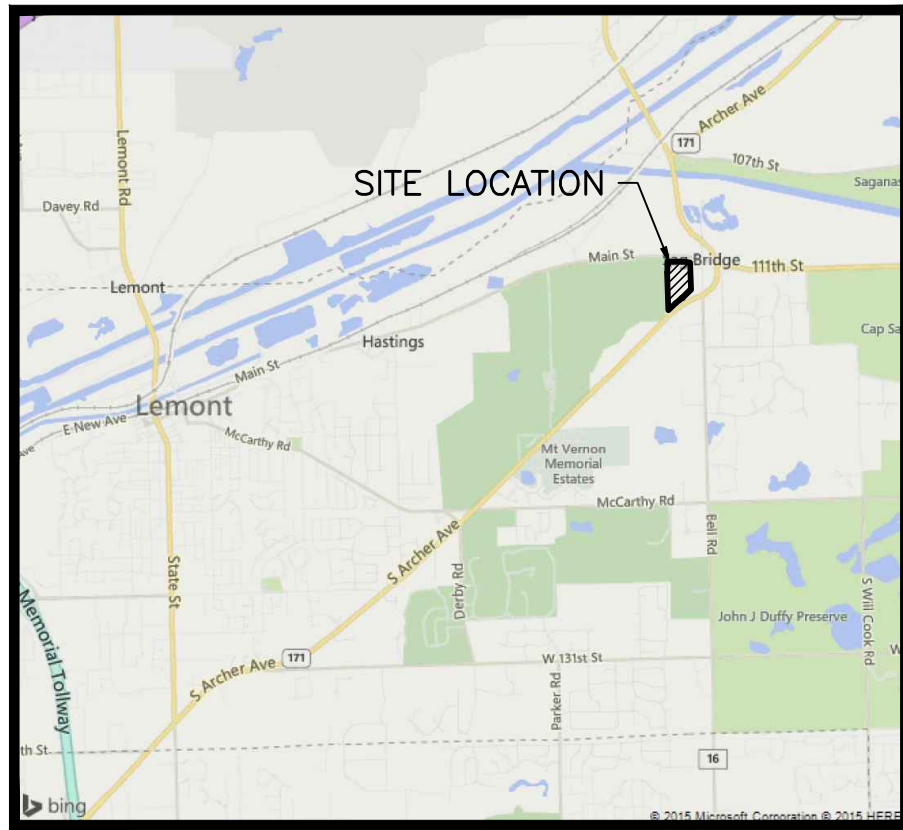
DATE BY REVISION



# PRELIMINARY P.U.D. PLAT OF THE ESTATES OF MONTEFIORI SUBDIVISION

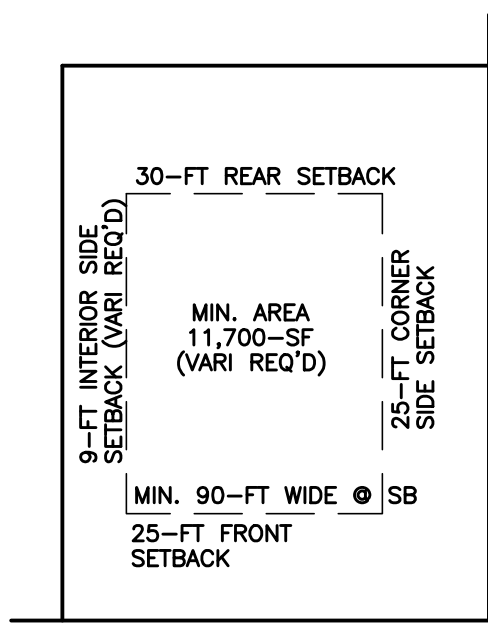
BEING PART OF THE SOUTHEAST QUARTER OF SECTION 14 AND PART OF THE  
NORTHEAST QUARTER OF SECTION 23 IN TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE  
THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

### VICINITY MAP

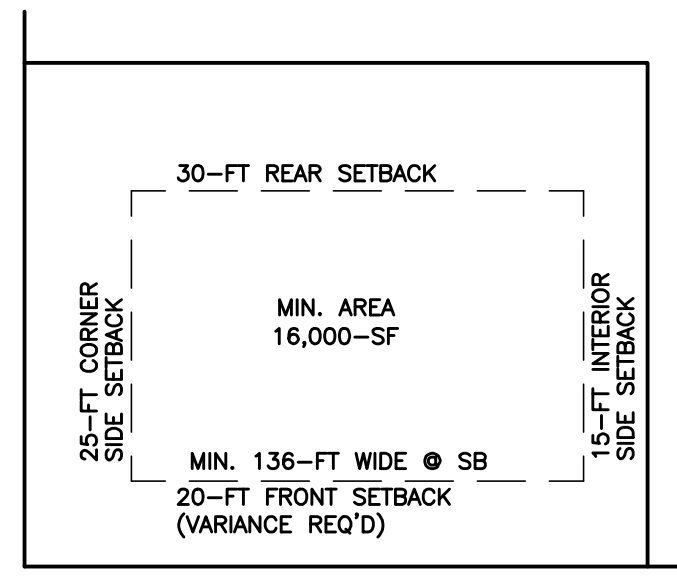


Scale 1" = 100'

TYPICAL R-4 LOT  
(SINGLE FAMILY)



TYPICAL R-5 LOT  
(TOWNHOMES)



### SCOPE OF DEVELOPMENT

TOTAL AREA	= 30.58 ACRES (100%)
ROADWAY AREA	= 5.74 ACRES (18.8%)
DETENTION AREA	= 6.92 ACRES (22.6%)
DETENTION LOTS	= 17.92 ACRES (58.6%)
TOTAL RESIDENTIAL AREA	= 11.39 ACRES (37.2%)
SINGLE-FAMILY AREA	= 35 LOTS
SINGLE-FAMILY LOTS	= 11,700 SF (90-FT X 130-FT)
MINIMUM LOT SIZE	= 90-FT AT 25-FT BUILDING SETBACK LINE
MINIMUM LOT WIDTH	= 14,200 SF (11.05 AC/34 LOTS)
AVERAGE LOT SIZE	
TOWNHOUSE AREA	= 6.53 ACRES (21.4%)
TOWNHOUSE LOTS	= 15 LOTS
3-UNIT LOTS	= 8 LOTS
4-UNIT LOTS	= 7 LOTS
TOWNHOUSE UNITS	= 52 DWELLING UNITS
TOTAL DWELLING UNITS	= 87 UNITS
DENSITY	= 2.8 UNITS/ACRE (87 DU/30.58 AC)

### LEGAL DESCRIPTION:

**PARCEL 1:**  
A PARCEL OF LAND IN THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: MEASURE ALONG THE NORTH SECTION LINE FROM THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION, A DISTANCE OF 150 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SECTION LINE A DISTANCE OF 550 FEET; THENCE SOUTH ALONG A LINE PARALLEL WITH AND 700 FEET EAST OF THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION, 483 FEET; THENCE WEST PARALLEL WITH SAID NORTH LINE OF SAID SECTION, 300 FEET; THENCE SOUTH PARALLEL WITH SAID WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER, 763.58 FEET TO THE NORTHWESTERLY RIGHT-OF-WAY OF ARCHER AVENUE (STATE AID ROUTE 4A); THENCE SOUTHWESTERLY ALONG SAID RIGHT-OF-WAY LINE 68.42 FEET TO A POINT ON A LINE 350 FEET EAST OF SAID WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, THENCE NORTH OF SAID LINE, 810.28 FEET; THENCE WEST 200 FEET; THENCE NORTH 483 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

**PARCEL 2:**  
THAT PART OF LOT 5 IN CHRISTIAN BOE'S SUBDIVISION IN THE SOUTHEAST PART OF THE SOUTHWEST QUARTER OF SECTION 14 AND PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, ALL IN TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 5 IN CHRISTIAN BOE'S SUBDIVISION AFORESAID, SAID CORNER BEING DISTANT SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST 563.92 FEET FROM THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 01 DEGREES 58 MINUTES 42 SECONDS EAST ALONG THE WEST LINE OF SAID LOT 5, A DISTANCE OF 392.45 FEET TO A POINT ON THE SOUTH LINE OF CHICAGO-JOLIET ROAD AS WIDENED; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST ALONG SAID SOUTH LINE 241.51 FEET TO AN ANGLE POINT IN SAID SOUTH LINE; THENCE SOUTH 79 DEGREES 18 MINUTES 41 SECONDS EAST ALONG SAID SOUTH LINE 232.98 FEET TO A POINT DISTANT 101.94 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID LOT 5; THENCE SOUTH 00 DEGREES 00 MINUTES 20 SECONDS EAST 349.23 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 5, BEING ALSO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST 2.63 FEET ALONG SAID NORTH LINE; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 707.20 FEET TO THE CENTERLINE OF A ROAD (ARCHER AVENUE); THENCE SOUTH 46 DEGREES 58 MINUTES 29 SECONDS WEST ALONG SAID CENTERLINE 478.61 FEET, MORE OR LESS TO A POINT WHICH IS 700.00 FEET EAST OF THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 45.15 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF ARCHER AVENUE (STATE AID ROUTE 4A HIGHWAY); THENCE SOUTH 45 DEGREES 28 MINUTES 20 SECONDS WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE 149.04 FEET TO A POINT ON A CURVE; THENCE SOUTHWESTERLY 189.48 FEET ALONG SAID NORTHERLY RIGHT OF WAY LINE, HAVING A RADIUS OF 1050.00 FEET CHORD BEARING SOUTH 53 DEGREES 14 MINUTES 32 SECONDS WEST 189.22 FEET; THENCE SOUTH 46 DEGREES 57 MINUTES 22 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE 57.67 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 763.53 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 300.00 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 483.00 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 56 MINUTES 50 SECONDS WEST 136.08 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

**PARCEL 3:**  
THE EAST 2 ACRES OF LOT 3 (EXCEPT THE WEST 20 FEET THEREOF) IN DOOLIN AND KIRK'S RESUBDIVISION OF THE EAST 404.7 FEET TO THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14 AND PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT LOTS 1 TO 5 OF BOE'S SUBDIVISION OF PART THEREOF) IN COOK COUNTY, ILLINOIS (EXCEPT PART TAKEN FOR HIGHWAY PURPOSES IN CHICAGO-JOLIET ROAD) ALSO:  
THAT PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23 AFORESAID; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 150.00 FEET TO A POINT ON A LINE PARALLEL WITH AND 150.00 FEET EAST OF THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 483.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 483.00 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS WEST 200.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 810.33 FEET TO A POINT ON THE NORTHWESTERLY RIGHT OF WAY LINE OF ARCHER AVENUE (STATE AID ROUTE 4A HIGHWAY); THENCE SOUTH 46 DEGREES 57 MINUTES 22 SECONDS WEST ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE 273.62 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 997.25 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

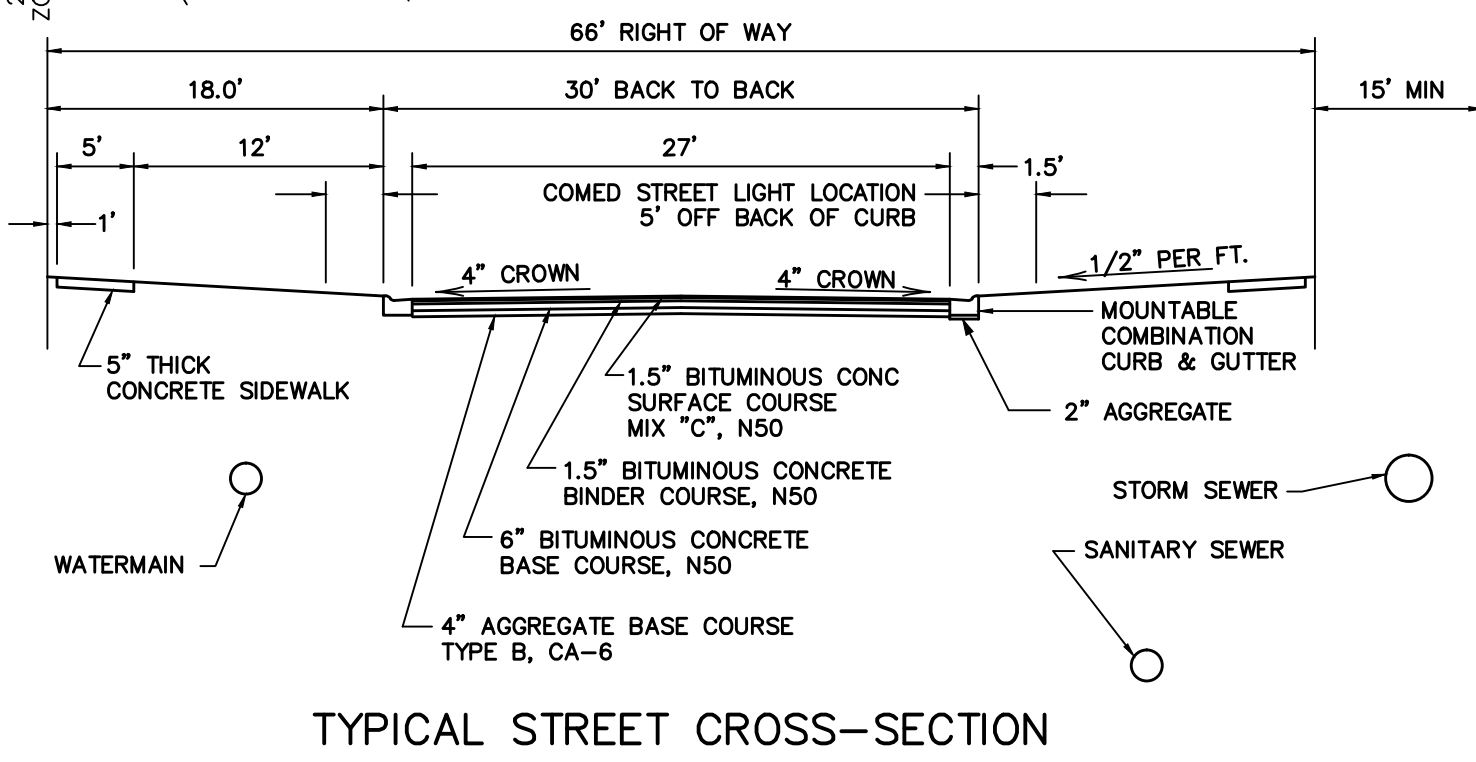
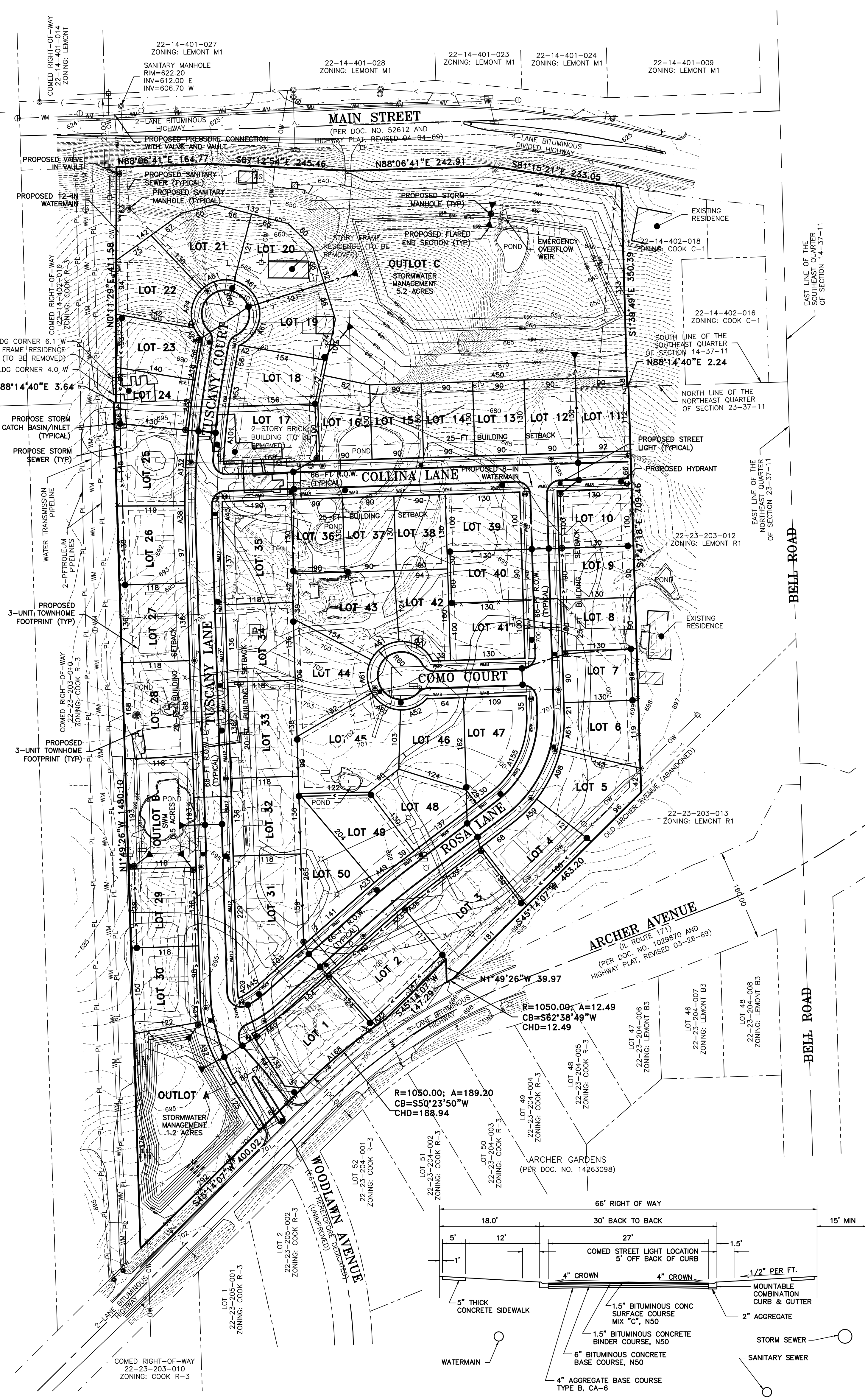
### GENERAL NOTES:

- THE BASIS OF BEARING AND MEASUREMENT FOR THE PLAT, SHOWN HEREON, IS BASED ON STATE PLANE OF ILLINOIS - ZONE EAST, NAD83 (2009 ADJUSTMENT), GRID COORDINATES.
- EXISTING CONCRETE, BOUNDARY MEASUREMENTS, AND TOPOGRAPHY DEPICTED, HEREON, ARE BASED ON GEOTECH, INC. FIELD OBSERVATIONS COLLECTED FROM MARCH THROUGH APRIL, 2015.
- DE = DENOTES DRAINAGE EASEMENT.
- PLU = DENOTES PUBLIC UTILITY EASEMENT.
- PU&D = DENOTES PUBLIC UTILITY & DRAINAGE EASEMENT.
- SWD = DENOTES STORM WATER DETENTION.
- BSL = DENOTES BUILDING SETBACK LINE.
- A PORTION OF THE SUBJECT PROPERTY IS PRESENTLY CLASSIFIED IN A VILLAGE OF LEMONT R1 (SINGLE FAMILY DETACHED) ZONING DISTRICT.
- A PORTION OF THE SUBJECT PROPERTY IS PRESENTLY CLASSIFIED IN A VILLAGE OF LEMONT B3 (ARTERIAL COMMERCIAL) ZONING DISTRICT.
- A PORTION OF THE SUBJECT PROPERTY SHALL BE RE-CLASSIFIED TO A VILLAGE OF LEMONT R4 (SINGLE FAMILY DETACHED) ZONING DISTRICT.
- A PORTION OF THE SUBJECT PROPERTY SHALL BE RE-CLASSIFIED TO A VILLAGE OF LEMONT R5 (SINGLE FAMILY ATTACHED) ZONING DISTRICT.
- ACCORDING TO THE CURRENT EFFECTIVE FEMA FIRM MAPS, NO PORTION OF THE PROPOSED SUBDIVISION IS SITUATED WITHIN SPECIAL FLOOD HAZARD AREAS, ACCORDING TO PANEL NUMBERS 17031C0058J AND 17031C0059J, BOTH WITH AN EFFECTIVE DATE OF AUGUST 19, 2008.
- THERE ARE NO MAPPED WETLANDS ON THE SUBJECT PROPERTY, ACCORDING TO THE NATIONAL WETLAND INVENTORY, PUBLISHED BY THE U.S. FISH & WILDLIFE SERVICE.
- UNLESS OTHERWISE NOTED, ALL OF THE PROPOSED RIGHTS-OF-WAY SHALL BE 66-FT WIDE.
- UNLESS OTHERWISE NOTED, ALL CUL-DE-SACS SHALL BE NO LONGER THAN 300-FT FROM THE CENTER OF THE CUL-DE-SAC TO THE CENTERLINE OF THE INTERSECTING RIGHT-OF-WAY.
- UNLESS OTHERWISE NOTED, ALL CUL-DE-SAC RADI SHALL BE 60-FT.
- UNLESS OTHERWISE NOTED, ALL EASEMENTS ABUTTING A RIGHT-OF-WAY SHALL BE 15-FT WIDE.
- UNLESS OTHERWISE NOTED, ALL SIDE YARD EASEMENTS SHALL BE 15-FT WIDE, CENTERED ON TWO ADJOINING LOTS.
- UNLESS OTHERWISE NOTED, ALL REAR YARD EASEMENTS SHALL BE 20-FT WIDE, CENTERED ON TWO ADJOINING LOTS.
- OUTLOT 'A' SHALL BE COVERED ENTIRELY BY A PUBLIC UTILITY, DRAINAGE, LANDSCAPE, AND STORM WATER DETENTION EASEMENT.
- OUTLOT 'B' SHALL BE COVERED ENTIRELY BY A PUBLIC UTILITY, DRAINAGE, LANDSCAPE, AND STORM WATER DETENTION EASEMENT.
- OUTLOT 'C' SHALL BE COVERED ENTIRELY BY A PUBLIC UTILITY, DRAINAGE, LANDSCAPE, AND STORM WATER DETENTION EASEMENT.
- BEST MANAGEMENT PRACTICES SHALL BE PROVIDED IN THE STORM WATER DETENTION SYSTEMS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, VEGETATED SWALES, THE INFLOW AND OUTFLOW STORM SEWERS, NATIVE PLANTINGS/WETLAND PLANTINGS AROUND THE PERIMETER OF THE DETENTION BASINS, ETC.
- THE STORM WATER DETENTION FACILITIES SHALL BE CONSTRUCTED ACCORDING TO SECTION 605.1C(S) 9-115.1 OF THE ILLINOIS HIGHWAY CODE IN REGARDS TO THE PROXIMITY TO THE RIGHT OF WAY OF THE DETENTION BASIN.
- A VARIANCE IS HEREBY REQUESTED TO INCREASE THE MAXIMUM RISE OF THE STORMWATER DETENTION FACILITIES FROM 4-FT TO 5-FT.
- A VARIANCE IS HEREBY REQUESTED FOR THE MINIMUM LOT AREA IN A R-4 DISTRICT FROM 12,500-SF TO 11,700-SF.
- A VARIANCE IS HEREBY REQUESTED FOR THE MINIMUM INTERIOR SIDE YARD SETBACK IN A R-4 DISTRICT WHERE THE LOT WIDTH IS 80-FT OR GREATER FROM 15-FT TO 9-FT.
- A VARIANCE IS HEREBY REQUESTED FOR THE MINIMUM FRONT YARD SETBACK IN A R-5 DISTRICT FROM 25-FT TO 20-FT.
- A VARIANCE IS HEREBY REQUESTED REGARDING THE REQUIRED BRICK COVERAGE ON THE FIRST FLOOR OF A RESIDENTIAL STRUCTURE TO 0%.
- A WAIVER IS HEREBY REQUESTED FOR TREE PRESERVATION ON THE SUBJECT PROPERTY.
- ALL OF THE PROPOSED RIGHTS-OF-WAY WILL BE DEDICATED TO THE VILLAGE OF LEMONT.
- OUTLOT 'A' WILL BE DEDICATED TO THE VILLAGE OF LEMONT.
- OUTLOT 'B' WILL BE DEDICATED TO THE VILLAGE OF LEMONT.
- OUTLOT 'C' WILL BE DEDICATED TO THE VILLAGE OF LEMONT.

STATE OF ILLINOIS) SS  
COUNTY OF COOK) SS  
APPROVED AND ACCEPTED APPROVED BY THE VILLAGE OF LEMONT PLAN COMMISSION ON  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BY: \_\_\_\_\_  
CHAIRPERSON  
ATTEST: \_\_\_\_\_  
SECRETARY  
STATE OF ILLINOIS) SS  
COUNTY OF COOK) SS  
APPROVED AND ACCEPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT,  
COOK COUNTY, ILLINOIS AT A PUBLIC MEETING HELD:  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BY: \_\_\_\_\_  
PRESIDENT  
ATTEST: \_\_\_\_\_  
VILLAGE CLERK

PREPARED BY:  
CHRISTOPHER M. PAPESH, I.P.L.S. NO. 3369  
LICENSE EXPIRATION DATE: 11/30/2016

DATE: May 21, 2015



**GEOTECH INC.**  
CONSULTING ENGINEERS - LAND SURVEYORS  
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

**ESTATES OF MONTEFIORI  
SUBDIVISION**

**PRELIMINARY P.U.D.  
PLAT**  
DRAWN BY: CJT  
CHECKED BY: CMP  
JOB # GJN19203  
DATE: 05/21/2015

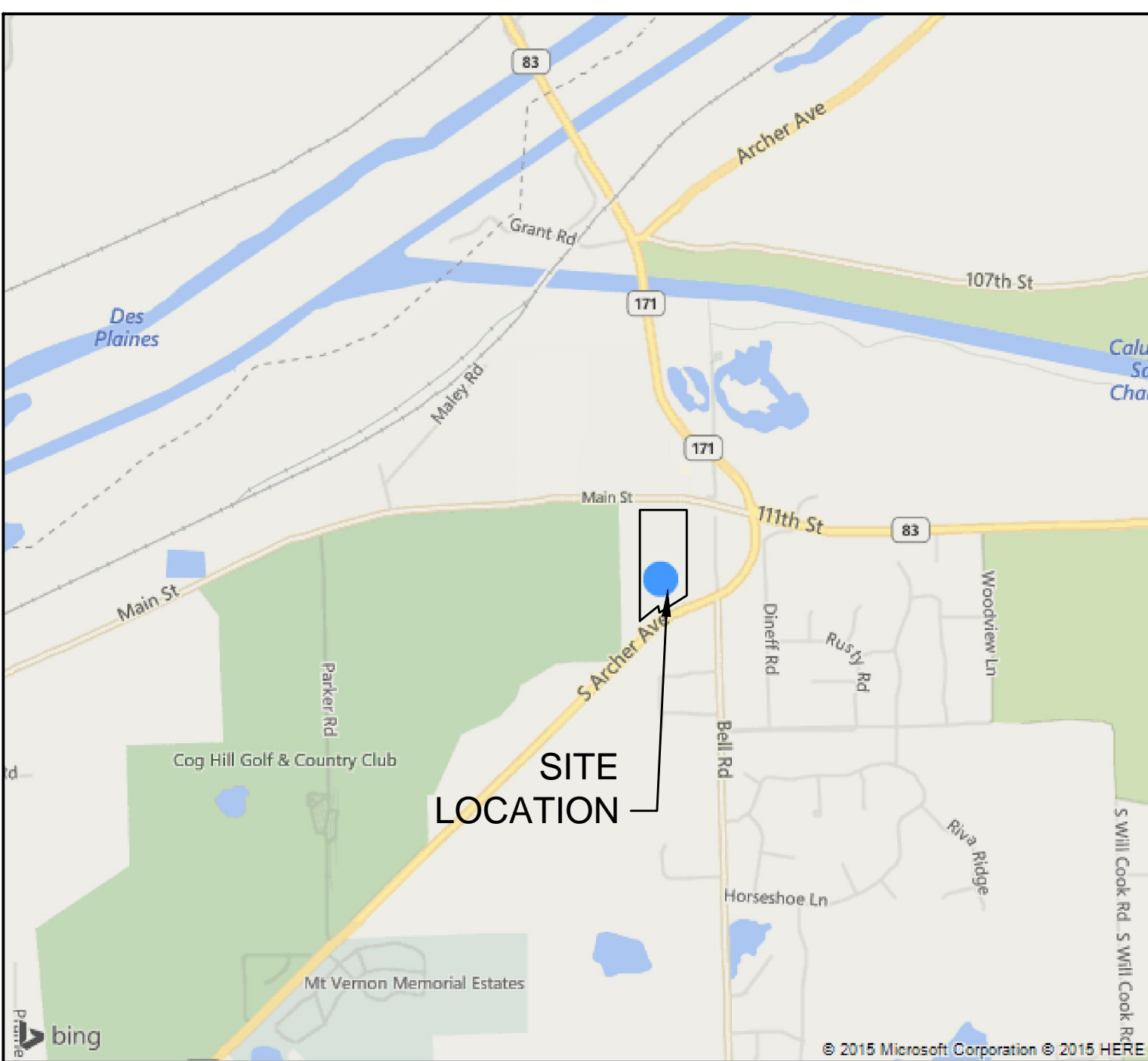
DATE BY REVISION



# PRELIMINARY IMPROVEMENT PLANS FOR ESTATES OF MONTEFIORI

**BENCHMARKS:**  
 REFERENCE: BRASS DISK ON CENTER OF HEADWALL, NORTH SIDE OF ROUTE 83 EAST. APPROXIMATELY 110' EAST FROM CENTERLINE ROUTE 83 NORTH. ELEVATION: 632.94 (NAVD88)

LEGAL: PART OF SECTION 14-37-11 AND PART OF SECTION 23-37-11  
 TAX P.I.N. 22-14-402-003; 22-14-402-013; 22-23-203-003; 22-23-203-008; 22-14-402-004  
 ADDRESS: 11250 ARCHER AVENUE, LEMONT, IL 60439



VICINITY MAP

**INDEX OF SHEETS**

1. TITLE SHEET
2. GEOMETRIC PLAN 1
3. GEOMETRIC PLAN 2
4. GEOMETRIC PLAN 3
5. GRADING PLAN 1
6. GRADING PLAN 2
7. GRADING PLAN 3
8. UTILITY PLAN 1
9. UTILITY PLAN 2
10. UTILITY PLAN 3

**CONTACT INFORMATION**  
 MUNICIPALITY:  
 VILLAGE OF LEMONT  
 418 MAIN STREET  
 PHONE: 630-257-1580

**OWNER/DEVELOPER:**  
 ASCEND REAL ESTATE GROUP  
 CONTACT: WALTER REBENSON  
 912 WEST LAKE STREET, CHICAGO, IL 60607  
 PHONE: 312-252-9222  
 FAX: 312-284-4548  
 CELL: 630-373-7081

WARNING



CALL BEFORE  
YOU DIG

EXISTING	LEGEND	PROPOSED
	STORM SEWER	
	SANITARY SEWER	
	WATER MAIN	
	FIRE HYDRANT	
	VALVE VAULT	
	VALVE BOX	
	STORM SEWER MANHOLE	
	CATCH BASIN	
	INLET	
	FLARED END SECTION	
	SANITARY SEWER MANHOLE	
	STREET LIGHT	

**DRAINAGE & ENGINEER CERTIFICATE**

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE IMPROVEMENTS OR ANY PART THEREOF, OR; THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DISCHARGE OF SURFACE WATERS INTO PUBLIC OR PRIVATE AREAS AND/OR DRAINS WHICH THE DEVELOPER HAS THE RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

FURTHERMORE, I, THOMAS CARROLL, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY AFFIRM THAT THESE DOCUMENTS HAVE BEEN PREPARED BY OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DOCUMENTS HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING STANDARDS AND PRACTICES AND COMPLY WITH APPLICABLE LAWS, CODES AND ORDINANCES.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

ILLINOIS P.E. #062-052783  
 LICENSE EXPIRES 11-30-2015

DATE \_\_\_\_\_ REVISION \_\_\_\_\_

TITLE SHEET  
 DRAWN BY: MC  
 CHECKED BY: TC  
 JOB: 19203  
 DATE: 5/08/15

ESTATES OF MONTEFIORI  
 LEMONT, ILLINOIS

GEOTECH INC.  
 CONSULTING ENGINEERS - LAND SURVEYORS  
 1207 CEDARWOOD DRIVE  
 CREST HILL, ILLINOIS 60403  
 815/730-1010

19203

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 Plot Date: 5/21/2015 10:15 AM Layout: TITLE SHEET







- NOTES:
1. ALL STREETS SHALL BE 30' BACK OF CURB TO BACK OF CURB (B-B) UNLESS OTHERWISE NOTED.
  2. ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH DEPRESSED CURB, HANDICAP RAMPS AND DETECTABLE WARNING SURFACES.
  3. SEE DETAIL SHEET FOR TYPICAL PAVEMENT SECTIONS AND TYPE OF CURB AND GUTTER.
  4. ALL CURB RADI AT INTERSECTIONS TO BE 23.5' UNLESS OTHERWISE NOTED.
  5. ALL STREET DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
  6. ALL CONNECTIONS TO EXISTING PAVEMENT SHALL BE PROVIDED WITH A BUTT JOINT PER TYPICAL DETAIL.
  7. ALL LOT DIMENSIONS, SETBACKS, EASEMENTS, ETC. ARE APPROXIMATE, SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.
  8. STREET SIGNS SHALL BE PROVIDED AT EACH INTERSECTION.

ARCHER AVENUE  
 (11 ROUTE 171)  
 1029870 AND  
 03-26-69

DATE REVISION

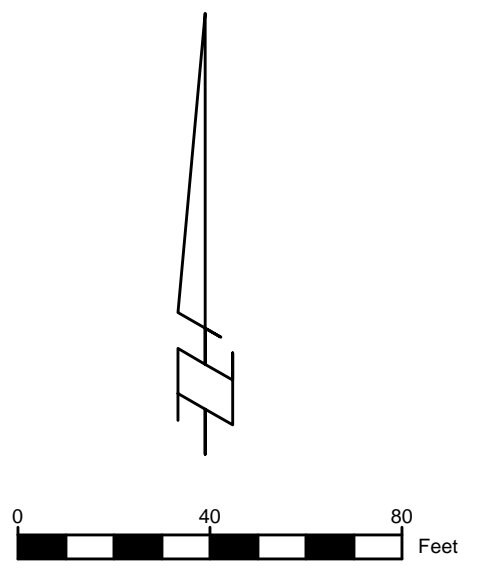
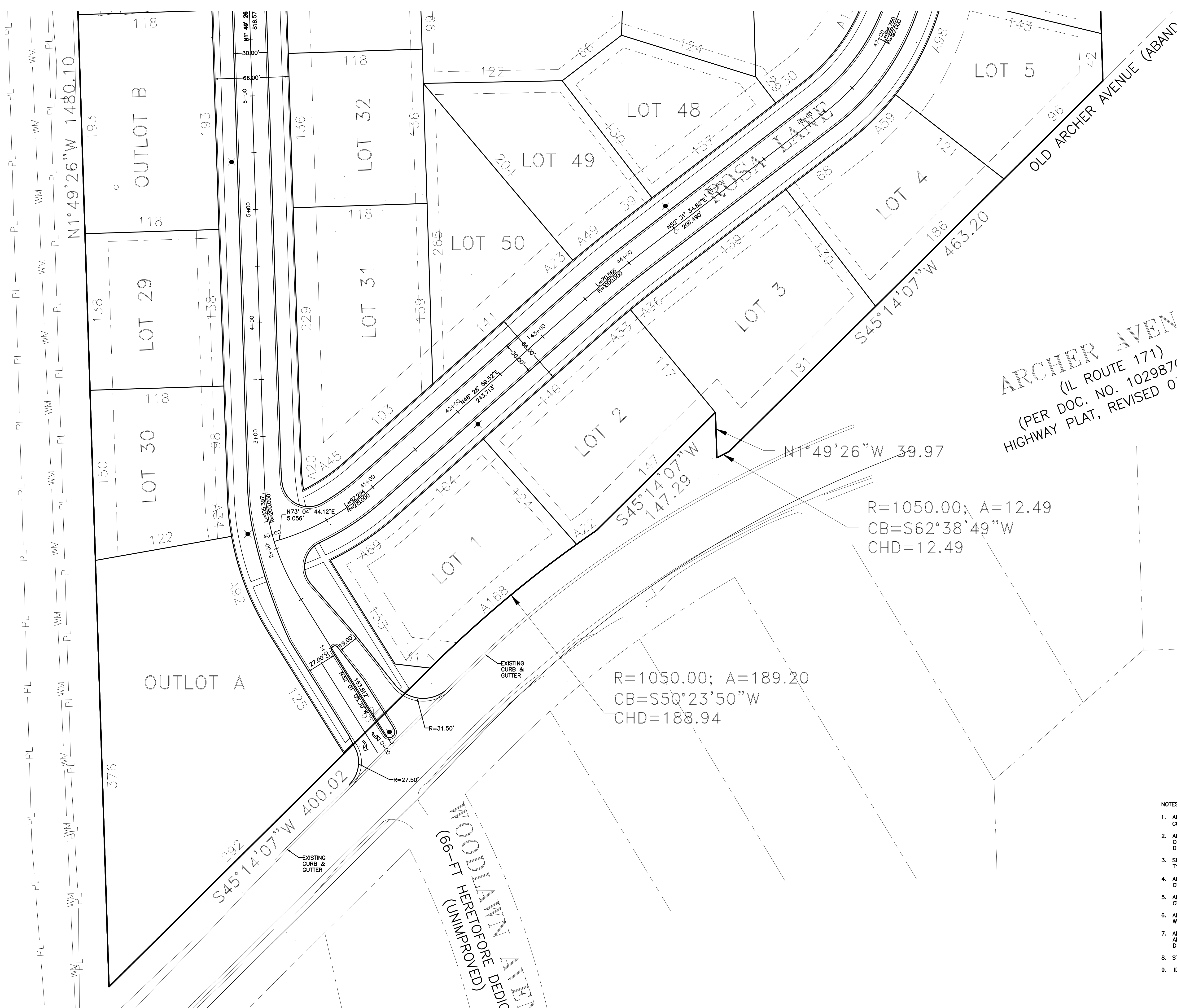
GEOMETRIC PLAN 2  
 DRAWN BY: MC  
 CHECKED BY: IC  
 JOB: 19203  
 DATE: 5/08/15

ESTATES OF MONTEFIORI  
 LEMONT, ILLINOIS

GEOTECH INC.  
 CONSULTING ENGINEERS - LAND SURVEYORS  
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203  
 3

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ARCHER AVENUE  
 (IL ROUTE 171)  
 (PER DOC. NO. 102987)  
 HIGHWAY PLAT, REVISED 0

- NOTES:
1. ALL STREETS SHALL BE 30' BACK OF CURB TO BACK OF CURB (B-B) UNLESS OTHERWISE NOTED.
  2. ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH DEPRESSED CURB, HANDICAP RAMPS AND DETECTABLE WARNING SURFACES.
  3. SEE DETAIL SHEET FOR TYPICAL PAVEMENT SECTIONS AND TYPE OF CURB AND GUTTER.
  4. ALL CURB RADII AT INTERSECTIONS TO BE 23.5' UNLESS OTHERWISE NOTED.
  5. ALL STREET DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
  6. ALL CONNECTIONS TO EXISTING PAVEMENT SHALL BE PROVIDED WITH A BUTT JOINT PER TYPICAL DETAIL.
  7. ALL LOT DIMENSIONS, SETBACKS, EASEMENTS, ETC. ARE APPROXIMATE. SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.
  8. STREET SIGNS SHALL BE PROVIDED AT EACH INTERSECTION.
  9. IDOT PERMIT REQUIRED FOR ARCHER AVENUE ENTRANCE.

DATE \_\_\_\_\_ REVISION \_\_\_\_\_

GEOMETRIC PLAN 3  
 DRAWN BY: MC  
 CHECKED BY: TC  
 JOB: 19203  
 DATE: 5/08/15

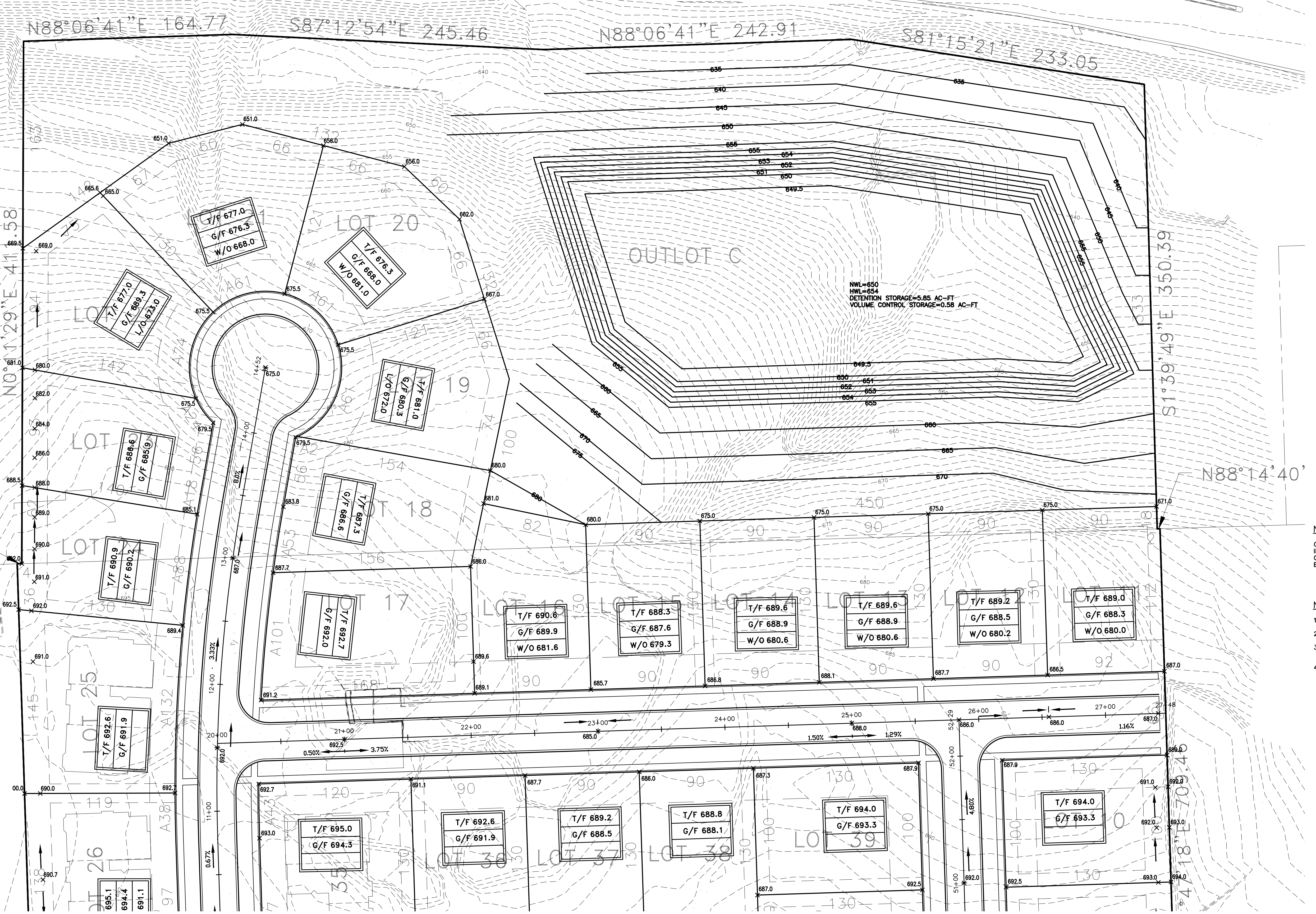
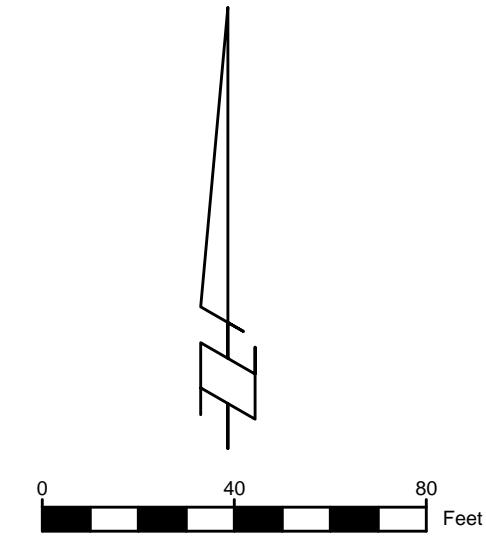
ESTATES OF MONTEFIORI  
 LEMONT, ILLINOIS

**GEOTECH INC.**  
 CONSULTING ENGINEERS - LAND SURVEYORS  
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203  
 4



# MAIN STREET



N88°06'41"E 164.77 S87°12'54"E 245.46

N88°06'41"E 242.91

S81°15'21"E 233.05

S1°39'49"E 350.39

N88°14'40"

NWL=650  
HWL=654  
DETENTION STORAGE=5.85 AC-FT  
VOLUME CONTROL STORAGE=0.58 AC-FT

**NOTE:**  
GRADING IS PRELIMINARY AND SHOWN FOR REFERENCE ONLY TO ILLUSTRATE DRAINAGE PATTERNS, CONNECTION TO EXISTING GRADES, ETC. GRADING WILL BE REVISED DURING FINAL ENGINEERING.

- NOTES:**
- ELEVATIONS SHOWN AT CURB ARE TOP OF CURB ELEVATIONS.
  - ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
  - REFER TO DETAIL SHEET FOR TYPICAL GRADING AND POND SECTIONS.
  - BUILDING PADS SHOWN ARE FOR REFERENCE. FINAL FOOTPRINTS WILL BE DETERMINED BY THE BUILDER.

### LEGEND

- XXXX PROPOSED HIGH POINT ELEVATION
- PROPOSED FLOW DIRECTION
- ∇ PROPOSED 100 YEAR FLOOD ROUTING
- XXXX PROPOSED ELEVATION
  - TC - TOP OF CURB
  - TDC - TOP OF DEPRESSED CURB
  - EP - EDGE OF PAVEMENT
  - TW - TOP OF SIDEWALK
  - TF - TOP OF FOUNDATION
  - LO - LOOK OUT BASEMENT
  - WO - WALK OUT BASEMENT
  - GF - GARAGE FLOOR
  - R - RIM
  - GR - GRADE RING

DATE REVISION

GRADING PLAN 1  
DRAWN BY: MC  
JOB#: 19203  
CHECKED BY: IC  
DATE: 5/08/15

ESTATES OF MONTEFIORI  
LEMONT, ILLINOIS

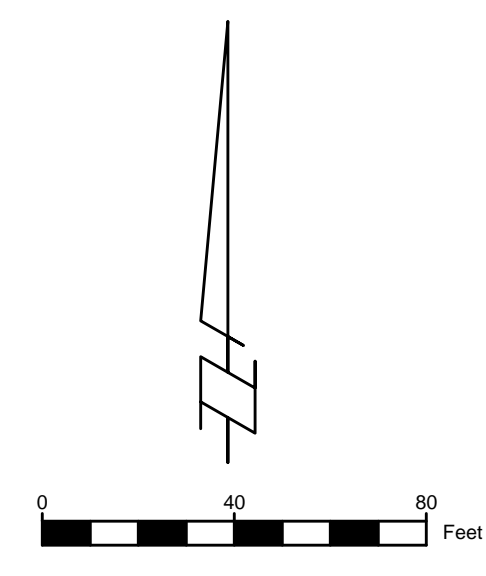
**GEOTECH INC.**  
CONSULTING ENGINEERS - LAND SURVEYORS  
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203  
5

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Plot Date: 5/21/2015 10:10 AM Layout: GRADING PLAN



NWL=687  
 HWL=691  
 DETENTION STORAGE=0.99 AC-FT  
 VOLUME CONTROL STORAGE=0.14 AC-FT

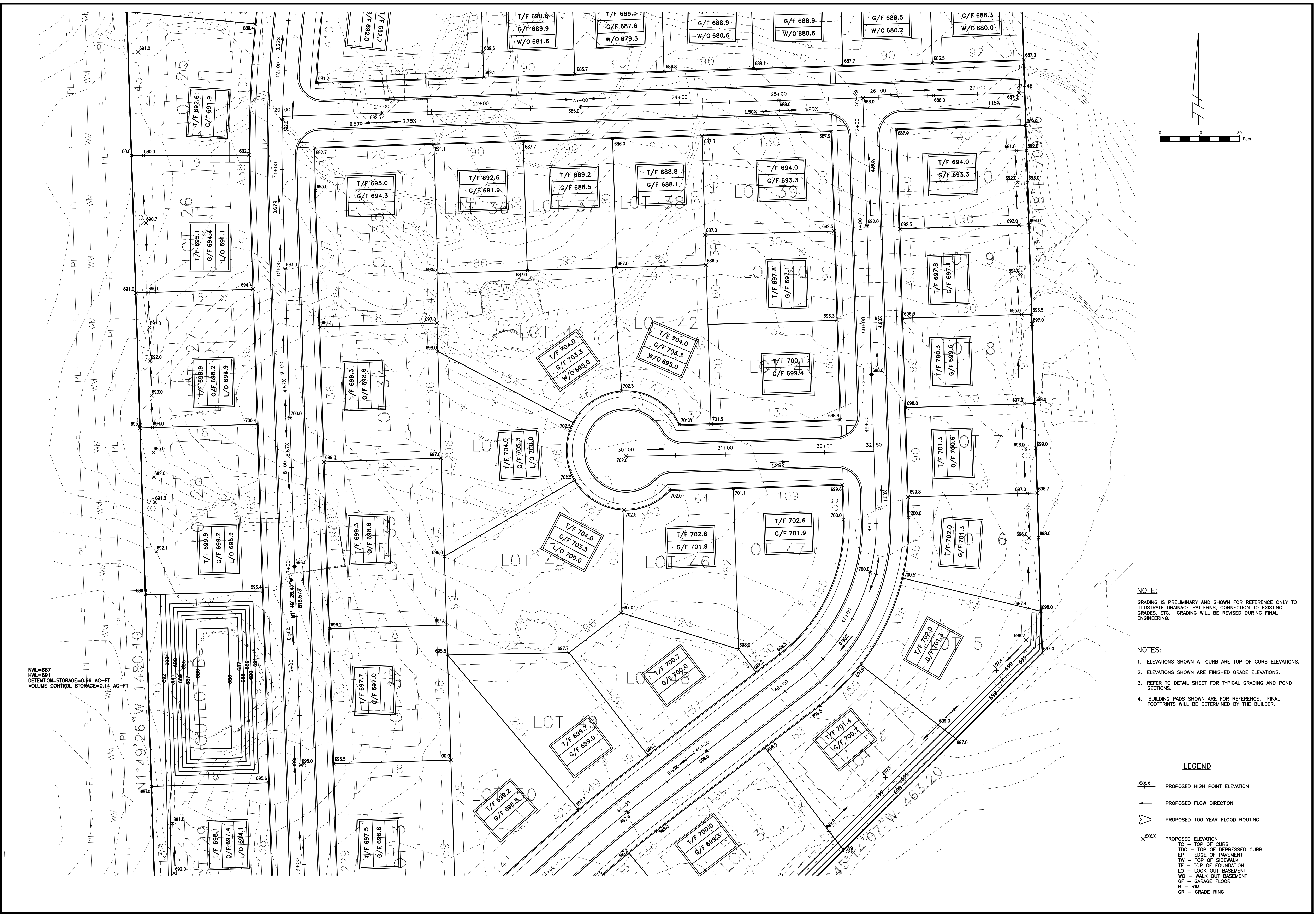


**NOTE:**  
 GRADING IS PRELIMINARY AND SHOWN FOR REFERENCE ONLY TO ILLUSTRATE DRAINAGE PATTERNS, CONNECTION TO EXISTING GRADES, ETC. GRADING WILL BE REVISED DURING FINAL ENGINEERING.

- NOTES:**
- ELEVATIONS SHOWN AT CURB ARE TOP OF CURB ELEVATIONS.
  - ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
  - REFER TO DETAIL SHEET FOR TYPICAL GRADING AND POND SECTIONS.
  - BUILDING PADS SHOWN ARE FOR REFERENCE. FINAL FOOTPRINTS WILL BE DETERMINED BY THE BUILDER.

**LEGEND**

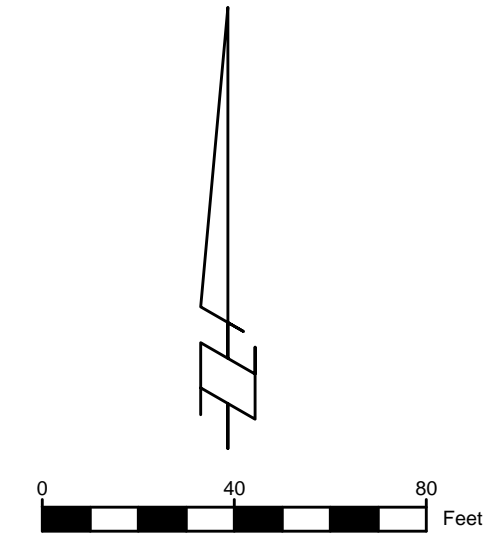
- xxx.x PROPOSED HIGH POINT ELEVATION
- PROPOSED FLOW DIRECTION
- ▽ PROPOSED 100 YEAR FLOOD ROUTING
- xxxx PROPOSED ELEVATION
  - TC - TOP OF CURB
  - TDC - TOP OF DEPRESSED CURB
  - EP - EDGE OF PAVEMENT
  - TW - TOP OF SIDEWALK
  - TF - TOP OF FOUNDATION
  - LO - LOOK OUT BASEMENT
  - WO - WALK OUT BASEMENT
  - GF - GARAGE FLOOR
  - R - RIM
  - GR - GRADE RING





NWL=687  
 HWL=691  
 DETENTION STORAGE=0.99 AC-FT  
 VOLUME CONTROL STORAGE=0.14 AC-FT

NWL=691  
 HWL=695  
 DETENTION STORAGE=2.51 AC-FT  
 VOLUME CONTROL STORAGE=0.32 AC-FT



**NOTE:**

GRADING IS PRELIMINARY AND SHOWN FOR REFERENCE ONLY TO ILLUSTRATE DRAINAGE PATTERNS, CONNECTION TO EXISTING GRADES, ETC. GRADING WILL BE REVISED DURING FINAL ENGINEERING.

**NOTES:**

- ELEVATIONS SHOWN AT CURB ARE TOP OF CURB ELEVATIONS.
- ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
- REFER TO DETAIL SHEET FOR TYPICAL GRADING AND POND SECTIONS.
- BUILDING PADS SHOWN ARE FOR REFERENCE. FINAL FOOTPRINTS WILL BE DETERMINED BY THE BUILDER.

**LEGEND**

- xxx.x PROPOSED HIGH POINT ELEVATION
- PROPOSED FLOW DIRECTION
- ▽ PROPOSED 100 YEAR FLOOD ROUTING
- xxx.x PROPOSED ELEVATION
  - TC - TOP OF CURB
  - TDC - TOP OF DEPRESSED CURB
  - EP - EDGE OF PAVEMENT
  - TW - TOP OF SIDEWALK
  - TF - TOP OF FOUNDATION
  - LO - LOOK OUT BASEMENT
  - WO - WALK OUT BASEMENT
  - GF - GARAGE FLOOR
  - R - RIM
  - GR - GRADE RING

DATE \_\_\_\_\_ REVISION \_\_\_\_\_

GRADING PLAN 3  
 DRAWN BY: MC  
 CHECKED BY: IC  
 JOB: 19203  
 DATE: 5/08/15

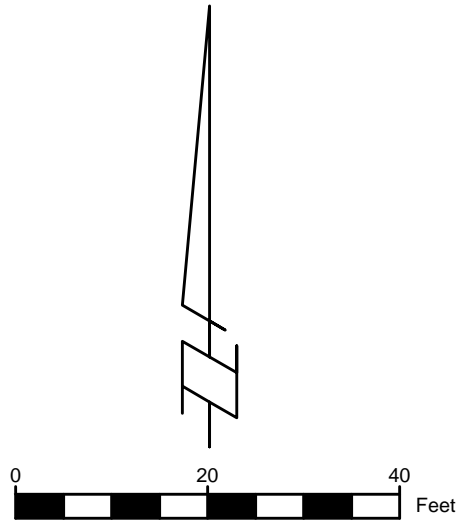
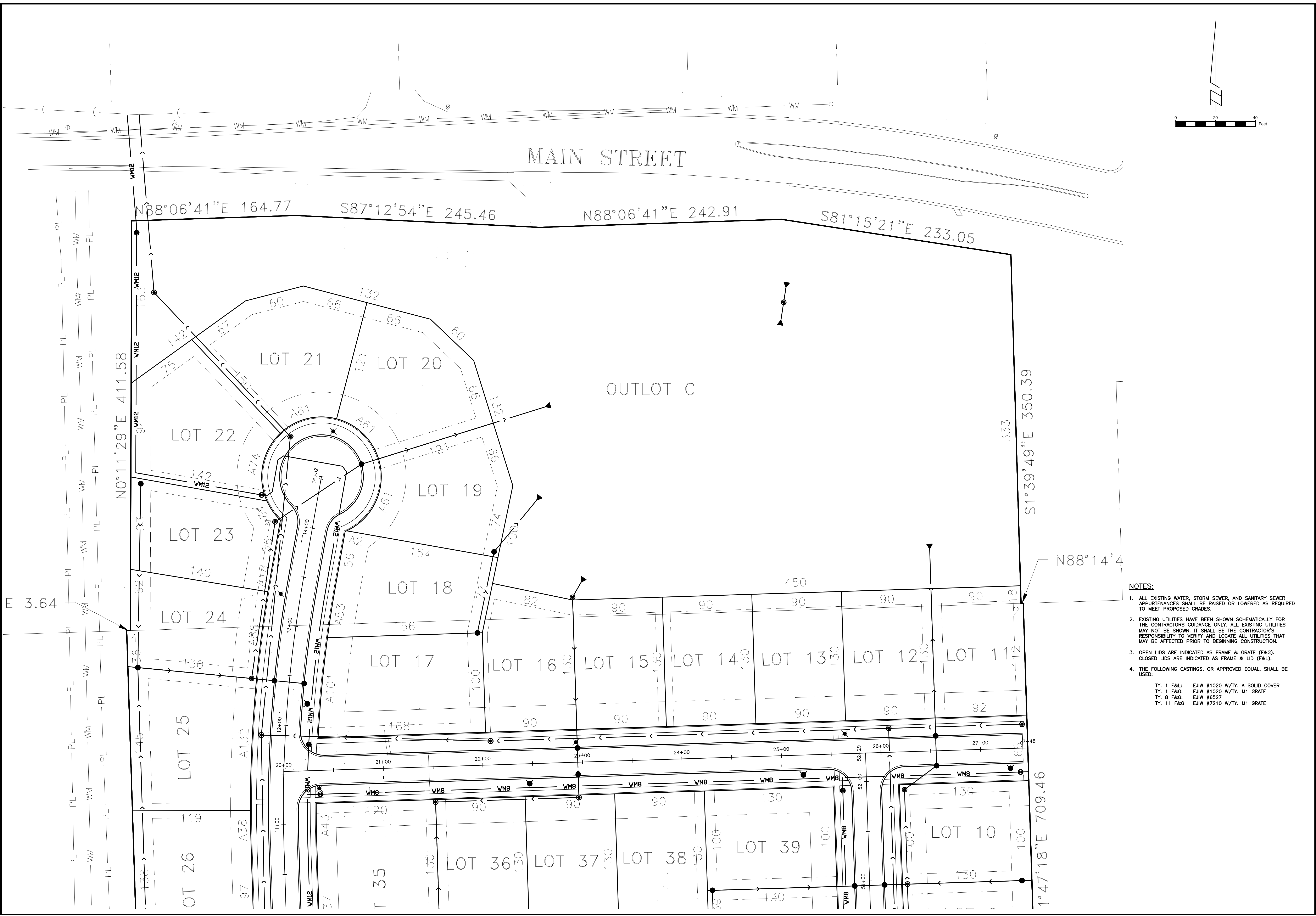
ESTATES OF MONTEFIORI  
 LEMONT, ILLINOIS

**GEOTECH INC.**  
 CONSULTING ENGINEERS - LAND SURVEYORS  
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203  
 7

P:\Projects\GIN\19203\Engineering\DWG\GIN 19203base.dwg  
 Plot Date: 5/21/2015 10:11 AM Layout: GRADING PLAN (3)





- NOTES:**
1. ALL EXISTING WATER, STORM SEWER, AND SANITARY SEWER APPURTENANCES SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET PROPOSED GRADES.
  2. EXISTING UTILITIES HAVE BEEN SHOWN SCHEMATICALLY FOR THE CONTRACTOR'S GUIDANCE ONLY. ALL EXISTING UTILITIES MAY NOT BE SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND LOCATE ALL UTILITIES THAT MAY BE AFFECTED PRIOR TO BEGINNING CONSTRUCTION.
  3. OPEN LIDS ARE INDICATED AS FRAME & GRATE (F&G). CLOSED LIDS ARE INDICATED AS FRAME & LID (F&L).
  4. THE FOLLOWING CASTINGS, OR APPROVED EQUAL, SHALL BE USED:
 

TY. 1 F&L:	EJW #1020 W/TY. A SOLID COVER
TY. 1 F&G:	EJW #1020 W/TY. M1 GRATE
TY. 8 F&S:	EJW #6527
TY. 11 F&G:	EJW #7210 W/TY. M1 GRATE

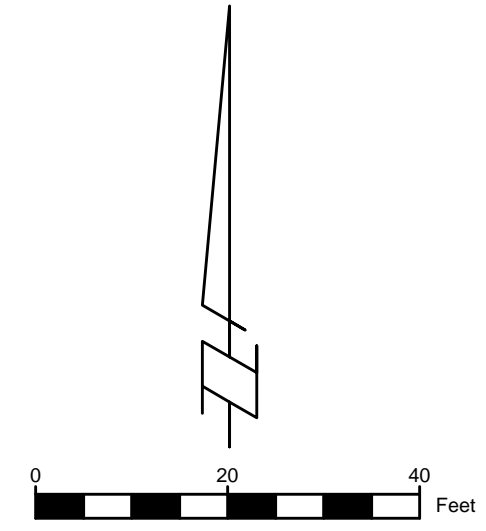
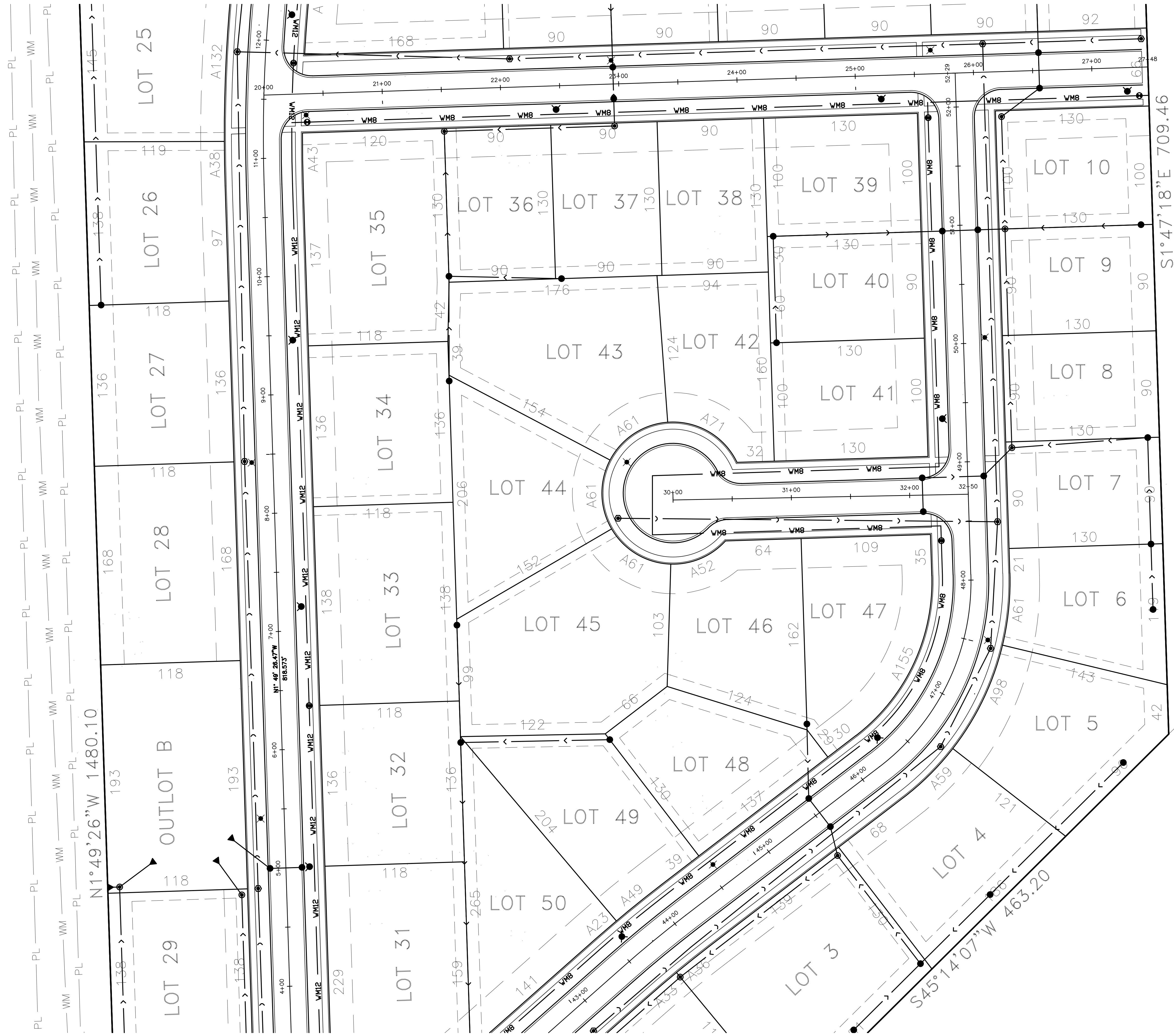
DATE \_\_\_\_\_ REVISION \_\_\_\_\_

UTILITY PLAN 1  
DRAWN BY: MC  
CHECKED BY: TC  
JOB#: 19203  
DATE: 5/08/15

ESTATES OF MONTEFIORI  
LEMONT, ILLINOIS

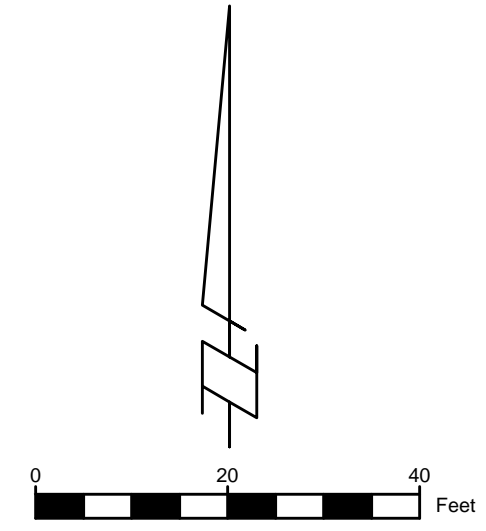
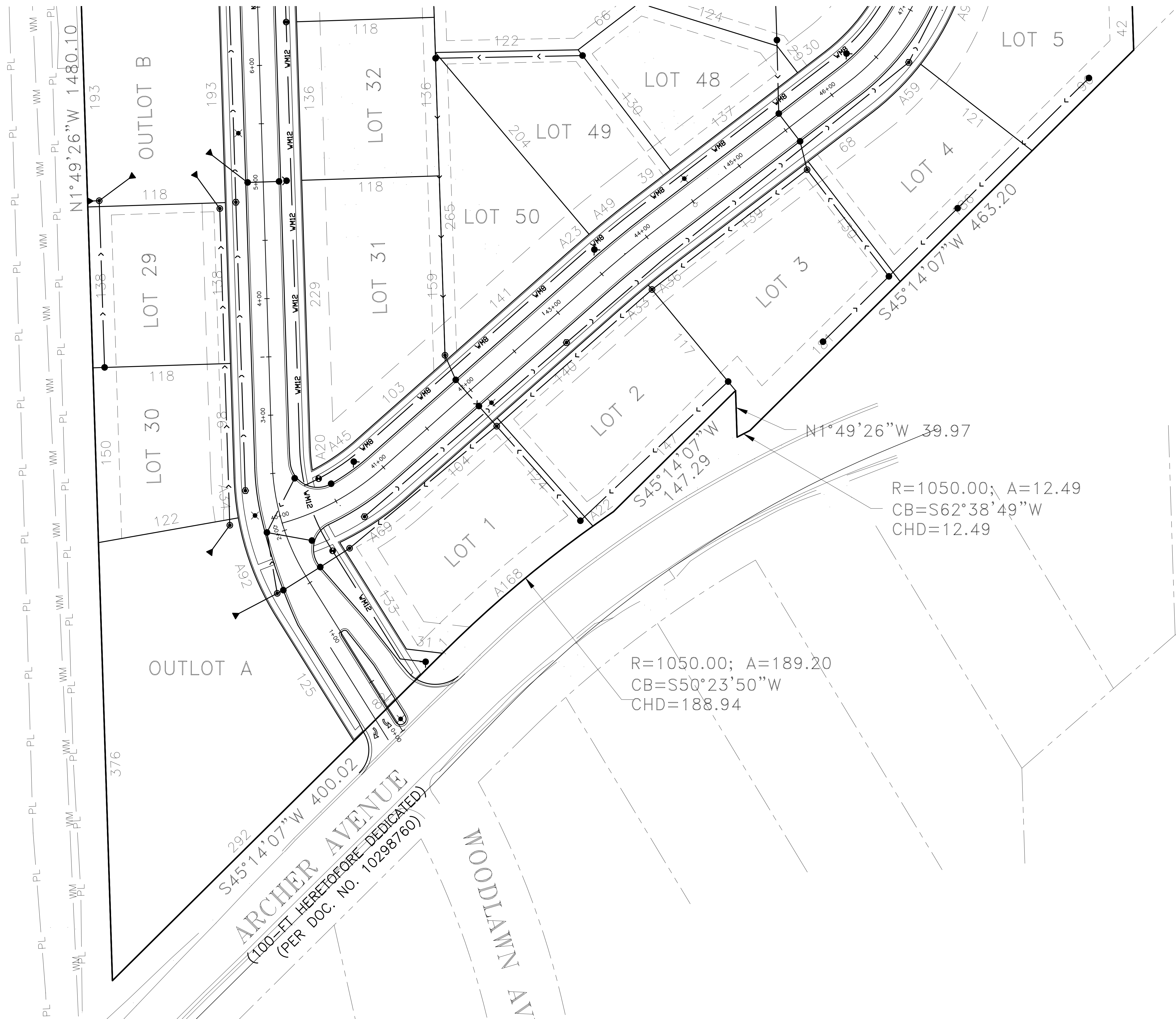
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1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203  
8



- NOTES:**
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TY. 8 F&S:	EJW #6527
TY. 11 F&G:	EJW #7210 W/TY. M1 GRATE



OUTLOT A

LOT 29

LOT 30

LOT 31

LOT 32

LOT 1

LOT 2

LOT 3

LOT 4

LOT 48

LOT 49

LOT 50

LOT 5

ARCHER AVENUE  
 (100-FT HERETOFORE DEDICATED)  
 (PER DOC. NO. 10298760)

WOODLAWN AV

$R=1050.00; A=189.20$   
 $CB=S50^{\circ}23'50''W$   
 $CHD=188.94$

$R=1050.00; A=12.49$   
 $CB=S62^{\circ}38'49''W$   
 $CHD=12.49$

NOTES:

- ALL EXISTING WATER, STORM SEWER, AND SANITARY SEWER APPURTENANCES SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET PROPOSED GRADES.
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TY. 11 F&G:	EJW #7210 W/TY. M1 GRATE

### Photometric Plan

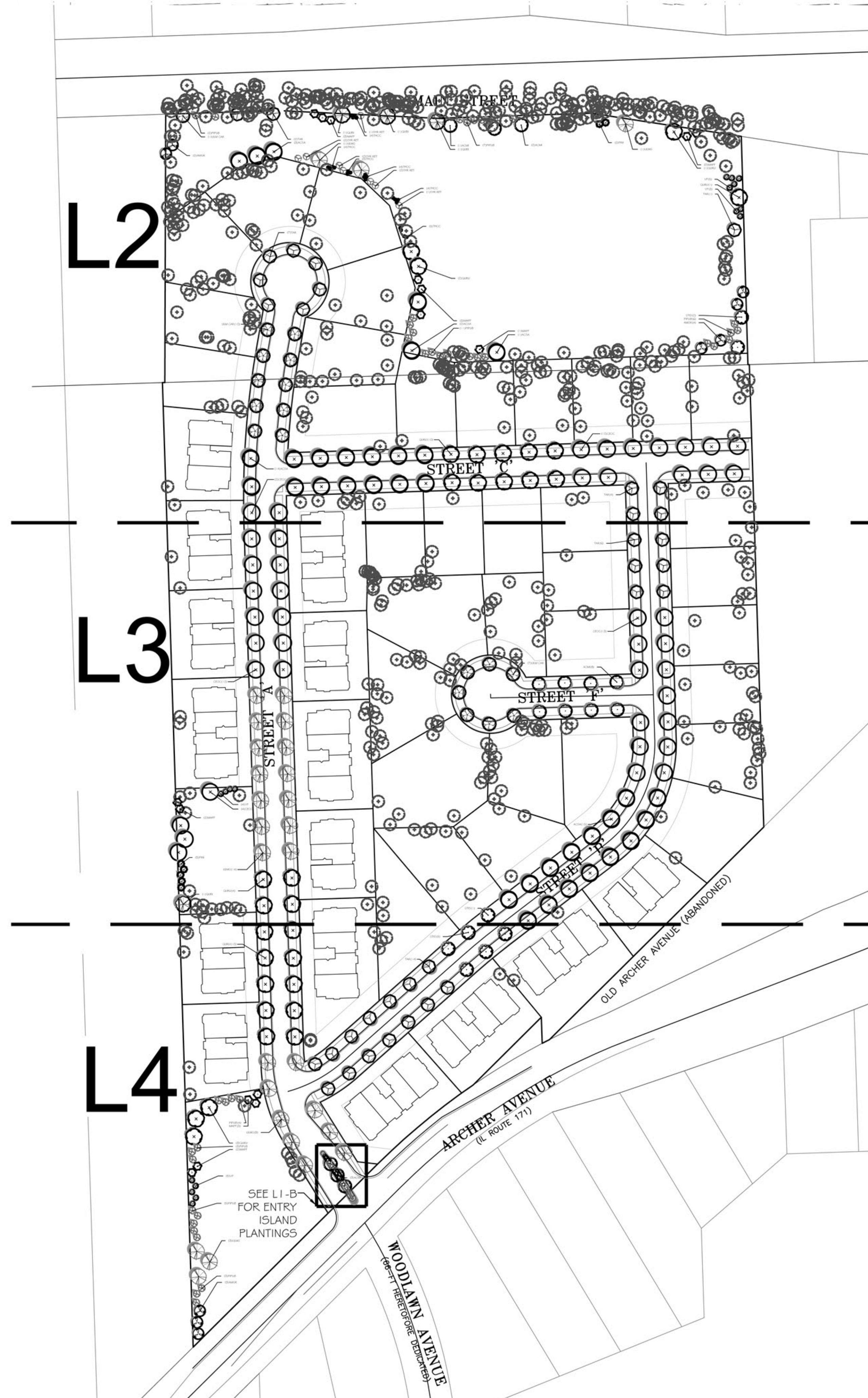
Street lights will be provided within the proposed right-of-way in accordance with Section 17.26.140 of the Village of Lemont Unified Development Ordinance. Therefore, a photometric plan is not required.



L2

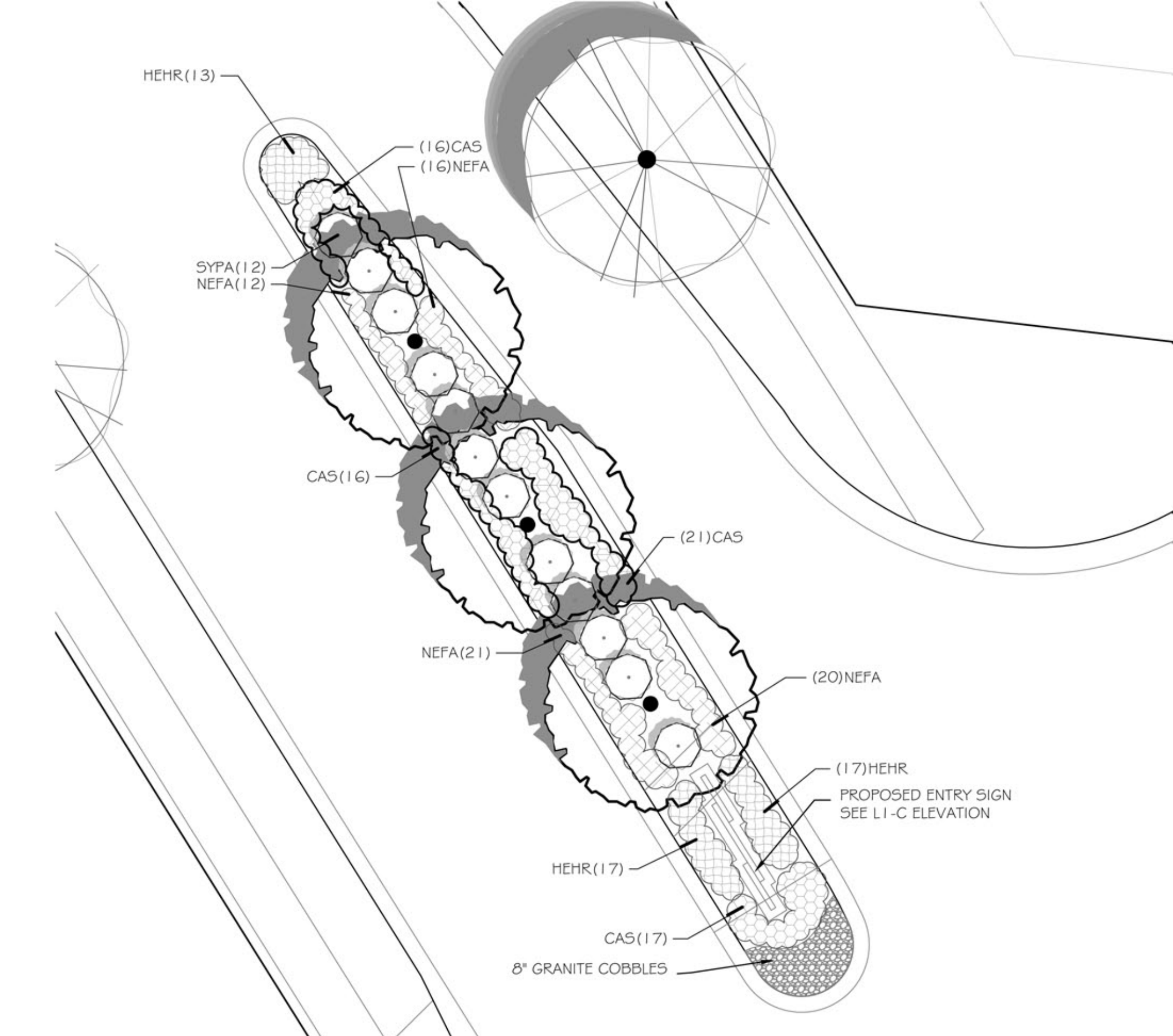
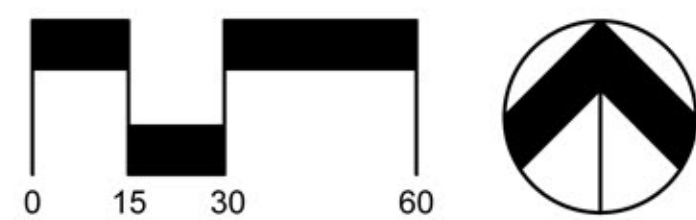
L3

L4



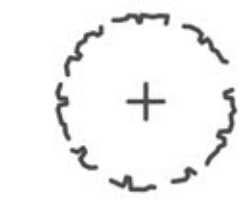
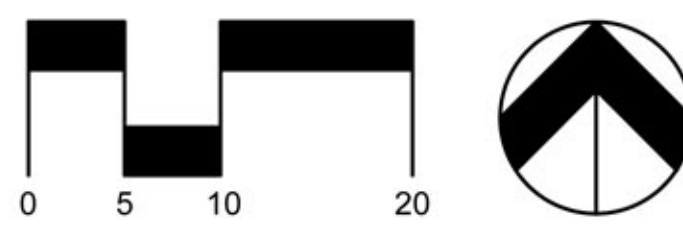
L1-A SITE PLAN

SCALE: 1" = 30'-0"



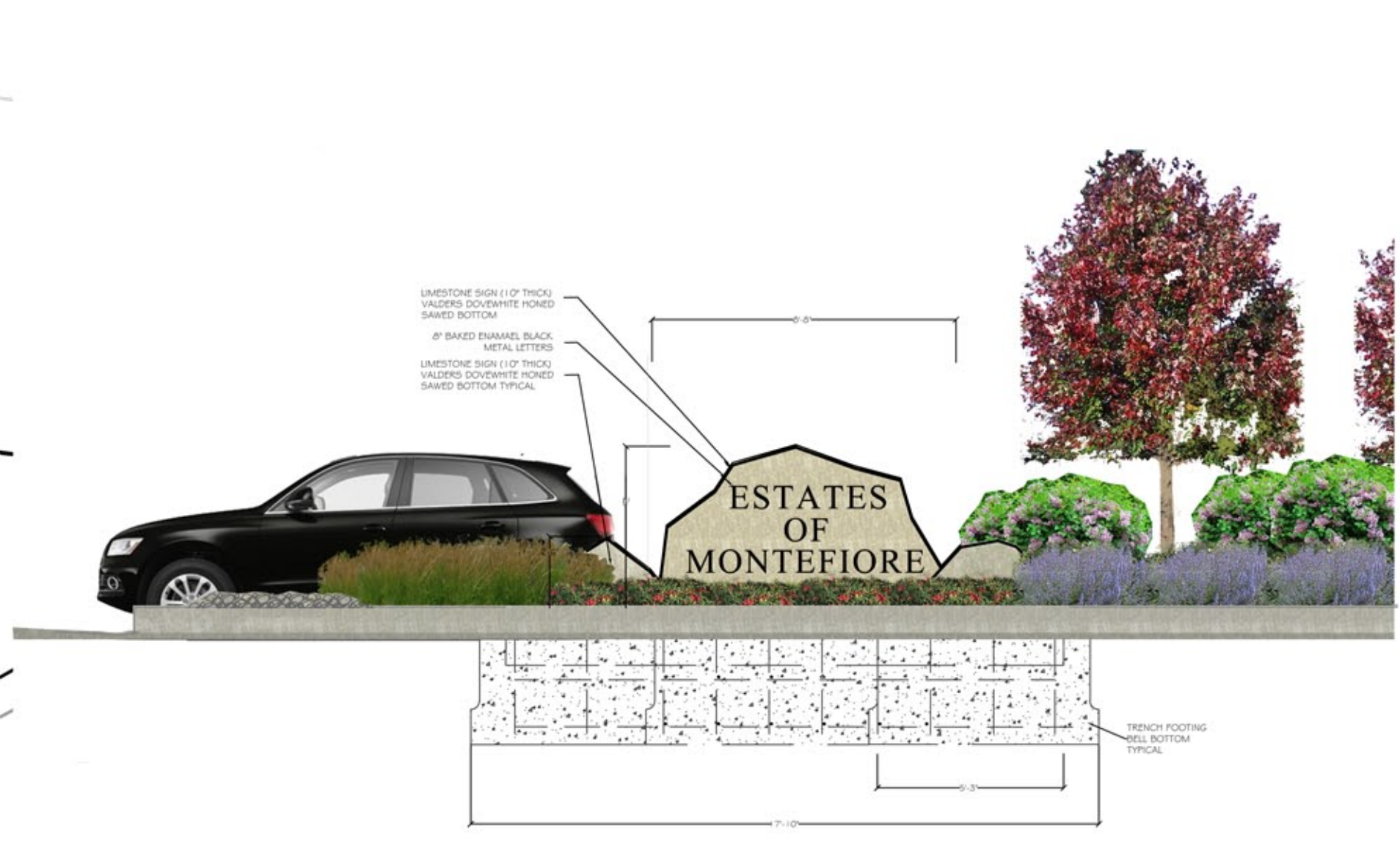
L1-B ENTRY ISLAND PLANTING DETAIL

SCALE: 1" = 10'-0"



LEGEND  
EXISTING TREES

NOTE: Final decision of existing trees to remain will be based on the health, species, and condition of the tree as well as the final engineering.

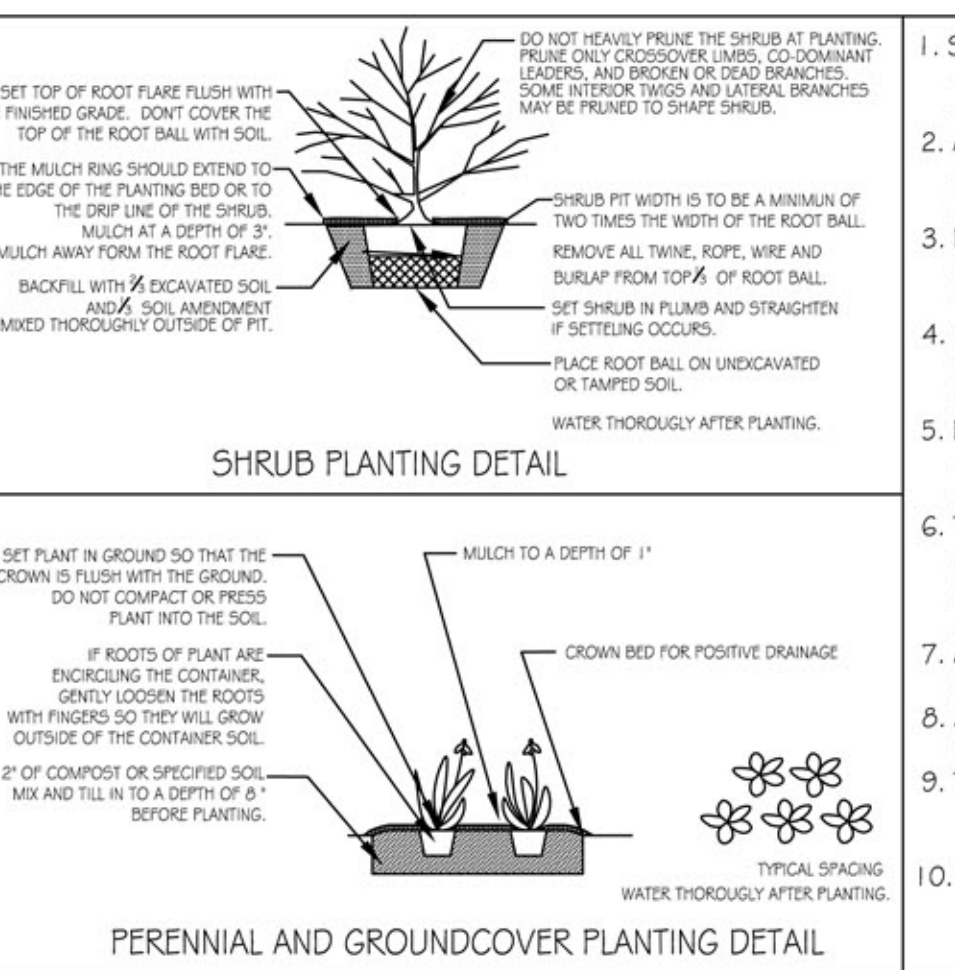
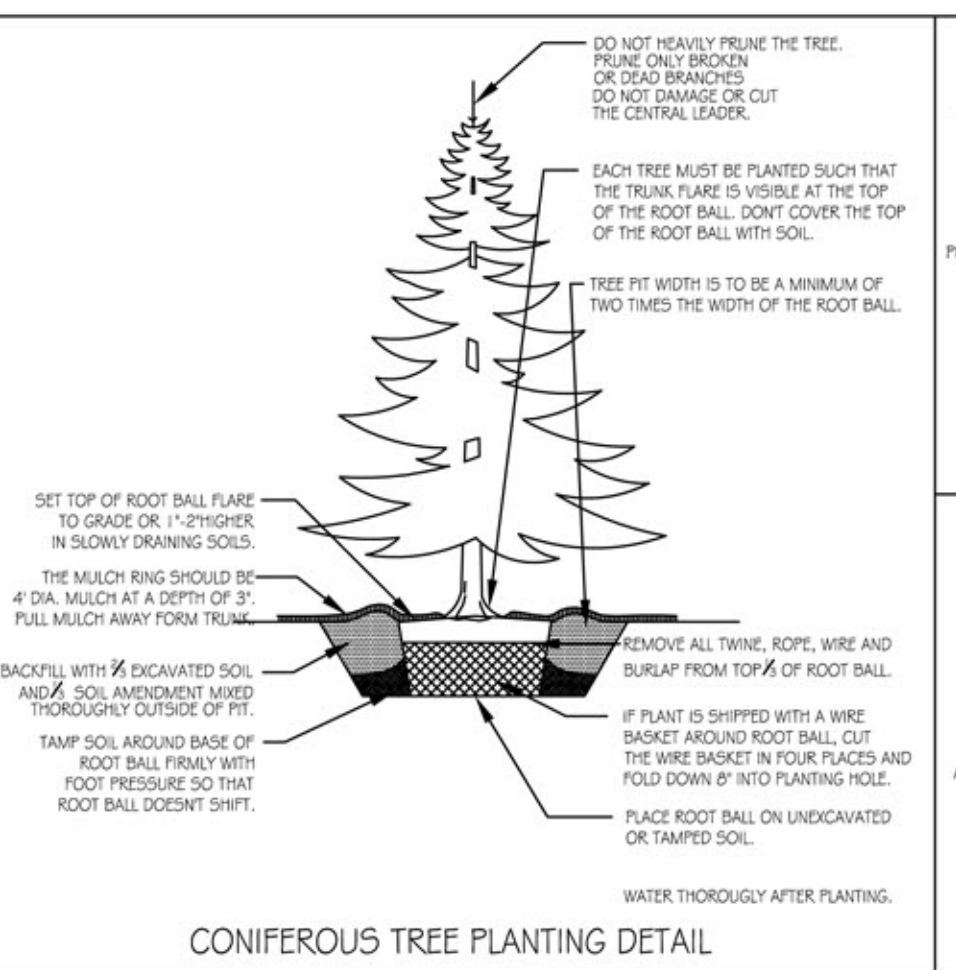
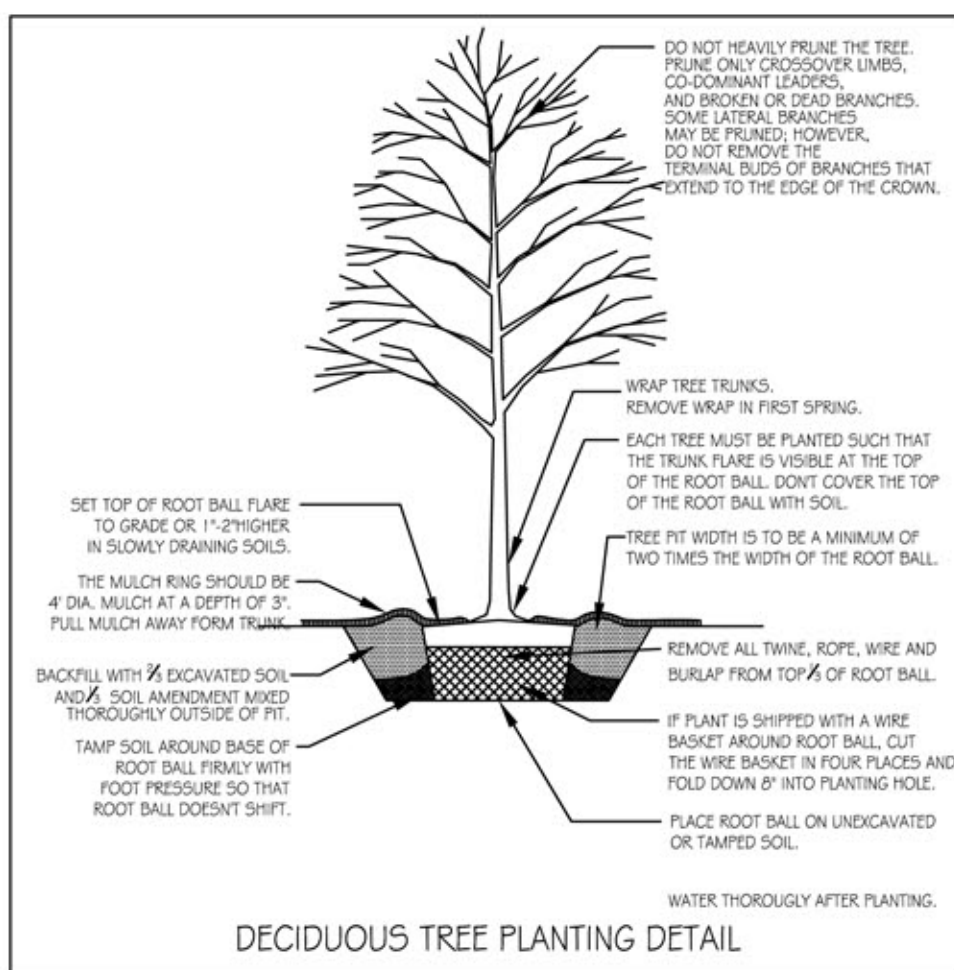


L1-C PROPOSED ENTRY SIGN ELEVATION

NTS

All base information & dimensions are approximate only. All layout to be verified in the field.  
  
This plan is PRELIMINARY ONLY. It is subject to change pending final design and review with Owner.

TREES	Quantity	Botanical	Common	Size
ACMI	14	Acer miyabei 'State Street'	Miyabei Maple	3" BB
ACSA	35	Acer saccharum	Sugar Maple	3" BB
AMGR	9	Amelanchier grandiflora 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	6" BB
CEOC	43	Celtis occidentalis	Common Hackberry	3" BB
GTIS	8	Gleditsia triacanthos var. inermis 'Skycole' TM	Skyline Thornless Honey Locust	3" BB
MAPP	16	Malus hybrid 'Prairifire'	Prairifire Crab	6" BB
QUBI	4	Quercus bicolor	Swamp White Oak	3" BB
QURU	31	Quercus rubra	Red Oak	3" BB
SYR RET	8	Syringa reticulata	Japanese Tree Lilac	6" BB
TAR	34	Tilia americana 'Redmond'	Redmond American Linden	3" BB
ULM CAR	18	Ulmus x 'Frontier'	American Elm	6" BB
ULMG	29	Ulmus x 'Morton Glossy' TM	Triumph Elm	3" BB
VP	17	Viburnum prunifolium 'Blackhaw'	Blackhaw Viburnum	6" BB
<b>EVERGREEN TREES</b>				
PIPU8	41	Picea pungens	Colorado Spruce	6" BB
PINI	7	Pinus nigra	Austrian Pine	6" BB
THOC	24	Thuja occidentalis 'Mission or Techny'	Mission or Techny Arborvitae	6" HT
<b>SHRUBS</b>				
SYPA	12	Syringa patula 'Miss Kim'	Miss Kim Lilac	30" BB
<b>GROUND COVERS</b>				
HEHR	47	Hemerocallis hybrid 'Happy Returns'	Happy Returns Daylily	1 gal 18" o.c.
NEFA	69	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	1 gal 18" o.c.
<b>ORNAMENTAL GRASSES</b>				
CAS	123	Calamagrostis acutifolia 'Stricta'	Feather Reed Grass	1 gal 20" o.c.



- GENERAL NOTES**
- Species and sizes of plants listed in the plant list are subject to availability at time of installation. If substitutions are necessary, the landscape contractor shall submit all requests to the owner for approval.
  - All underground utilities are to be located prior to digging. If utilities or other obstructions are discovered to conflict with grading or plant placement, notify the landscape architect so that adjustments can be made.
  - Backfill trees and shrubs with amended topsoil mixed thoroughly outside of the planting pit. Mulch trees and shrubs with 3" hardwood mulch and pull mulch away from the base.
  - Perennial and groundcover beds are to be amended with 2" planting mix and tilled in to a depth of 8". Perennials and groundcovers are to be top dressed with 1" mulch.
  - Provide positive drainage flow. Do not obstruct the natural or engineered drainage flow patterns. Notify the landscape architect or owner of any drainage concerns.
  - The landscape contractor shall take all precautions to protect existing plants, lawn, and paved areas to remain. Any damage to these areas shall be repaired or replaced by the landscape contractor. Damaged lawn areas are to be re-graded and restored with sod.
  - All bed edges are to be well shaped 'spade cut' edges, 3" deep, formed in lines or curves as shown on the drawings.
  - Apply a pre-emergent for grassy and broadleaf weeds to all shrub beds and tree rings. Do not apply pre-emergent to beds of groundcovers or annuals.
  - The contractor is to provide finished grade to a tenth of a foot with sufficient quality top soil. Topsoil to be 4" min. in all lawn areas. The landscape contractor is to provide fine grade only.
  - All downspouts to be extended 10-20' into lawn areas.



5126 Walnut Ave.  
Downers Grove, IL 60515  
TEL 630.759.8100  
www.wingrenlandscape.com

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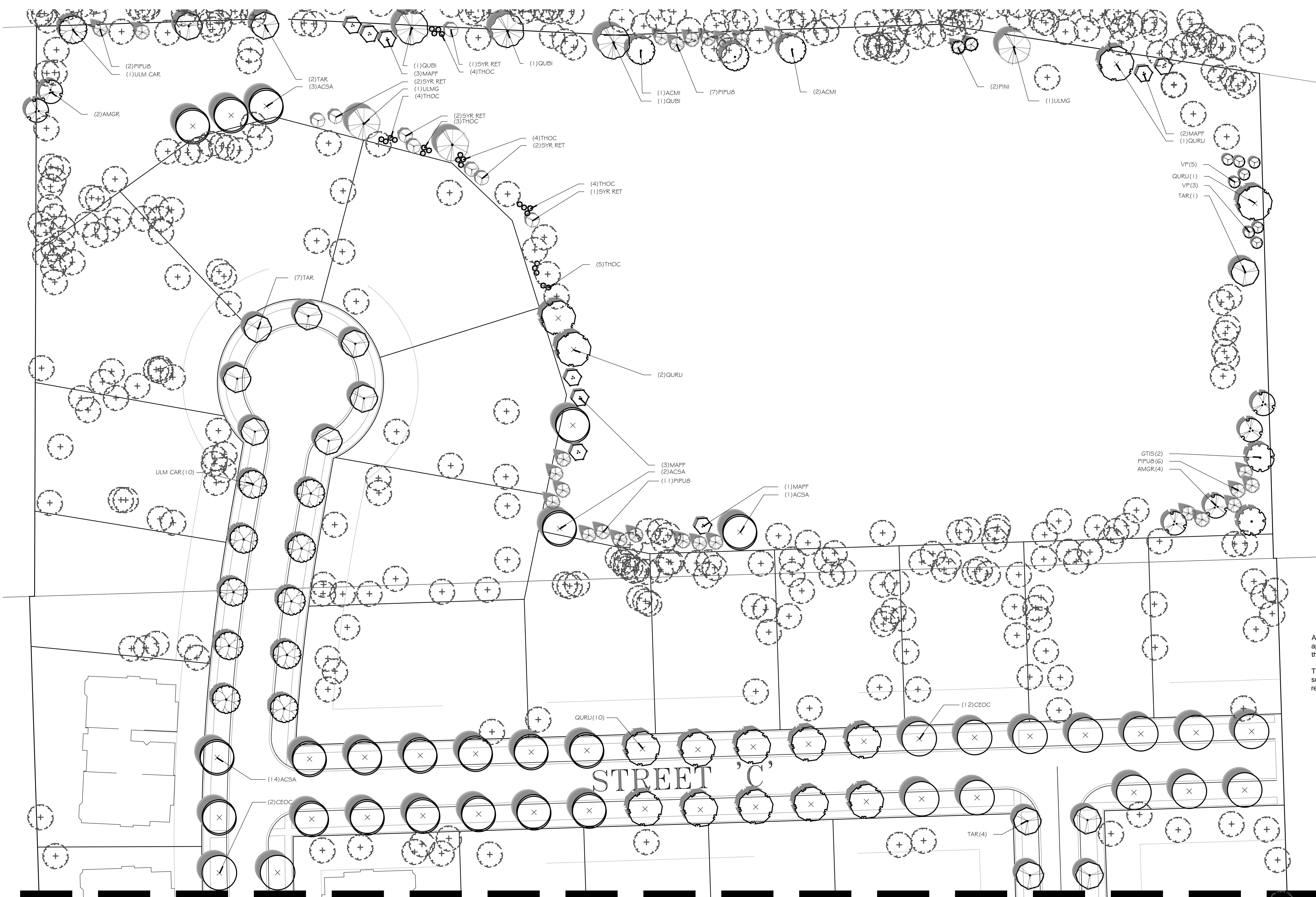
**Estates of Montefiore**  
Lemont, IL

REVISIONS:

SHEET TITLE:  
**SITE PLAN**

DATE: 5.19.15  
JOB: P-  
SCALE: 1"=30"  
BY: JZ  
  
SHEET L1 OF 4





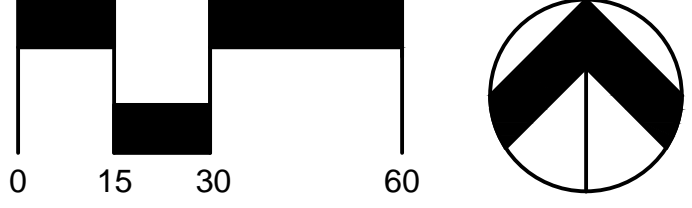
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PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 30'-0"



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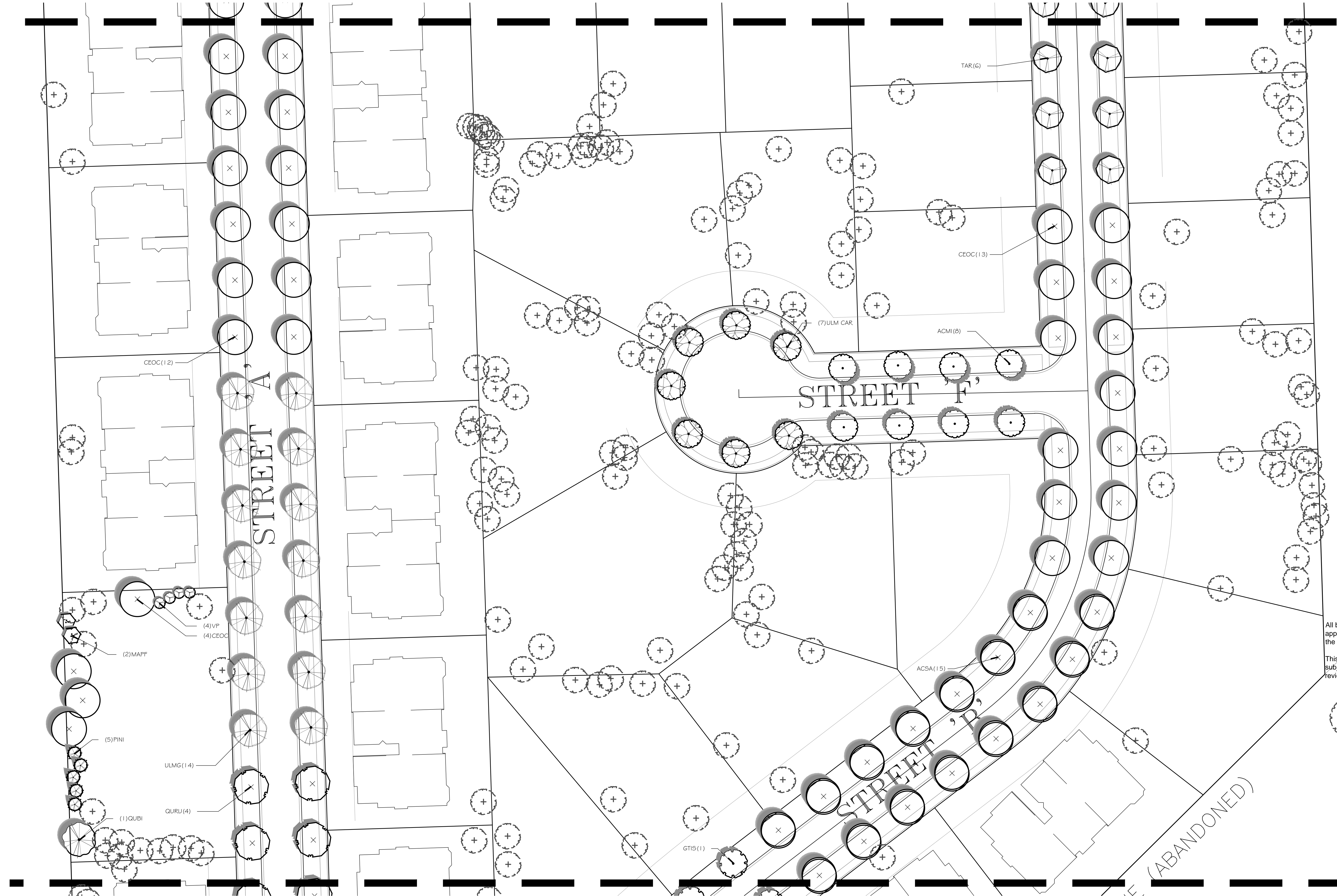
*Estates of Montefiore*  
Lemont, IL

REVISIONS:

SHEET TITLE:  
**PRELIMINARY  
LANDSCAPE  
PLAN**

DATE: 5.19.15  
JOB: P-  
SCALE: 1"=30"  
BY: JZ  
SHEET L2 OF 4



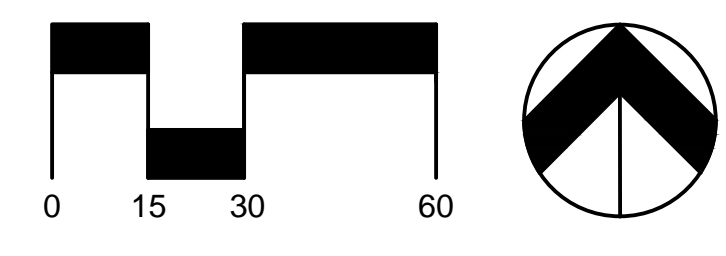


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**LEGEND**  
 EXISTING TREES

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 30'-0"



**WINGREN LANDSCAPE**  
 ALL THINGS OUTDOOR

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 Downers Grove, IL 60515  
 TEL 630.759.8100  
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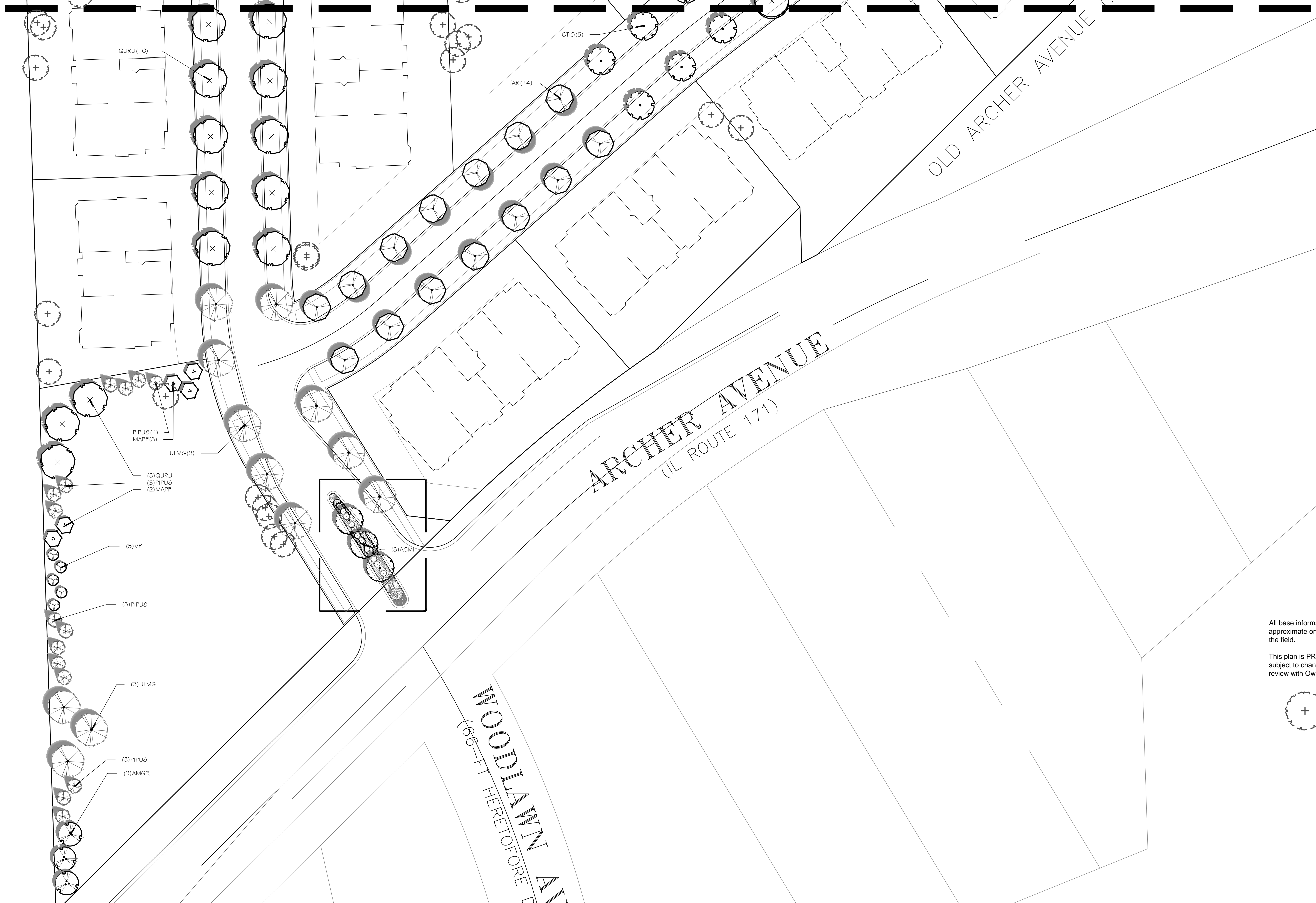
**Estates of Montefiore**  
 Lemont, IL

REVISIONS:

SHEET TITLE:  
**PRELIMINARY  
 LANDSCAPE  
 PLAN**

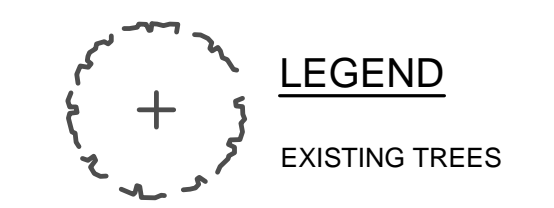
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 JOB: P-  
 SCALE: 1"=30'  
 BY: JZ  
 SHEET L3 OF 4





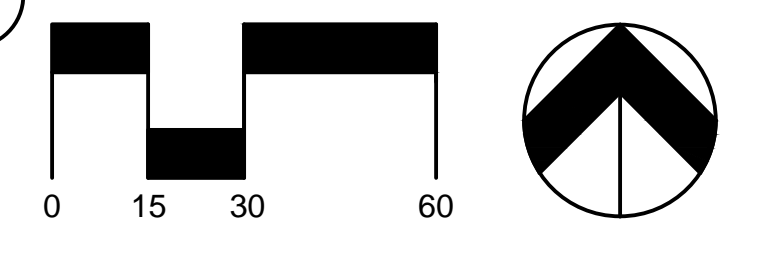
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**PRELIMINARY LANDSCAPE PLAN**

SCALE: 1" = 30'-0"



**WINGREN LANDSCAPE**  
ALL THINGS OUTDOOR

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*Estates of Montefiore*  
Lemont, IL

REVISIONS:

SHEET TITLE:  
**PRELIMINARY  
LANDSCAPE  
PLAN**

DATE: 5.19.15  
JOB: P-  
SCALE: 1"=30'  
BY: JZ  
**SHEET L4 OF 4**



# EXISTING TREE SURVEY (NORTHERN)

P.I.N. 22-14-402-003  
 22-14-402-004  
 22-14-402-013  
 22-23-203-003  
 22-23-203-004  
 22-23-203-008



DATE BY REVISION

TREE SURVEY  
(NORTHERN)  
 DRAWN BY: CJT  
 CHECKED BY: CMP  
 JOB # GJN19203  
 DATE: 05/21/2015

ESTATES OF  
 MONTEFIORI

**GEOTECH INC.**  
 CONSULTING ENGINEERS - LAND SURVEYORS  
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

1  
 GJN19203

# EXISTING TREE SURVEY (CENTRAL)

P.I.N. 22-14-402-003  
 22-14-402-004  
 22-14-402-013  
 22-23-203-003  
 22-23-203-004  
 22-23-203-008



DATE BY REVISION

TREE SURVEY  
(CENTRAL)  
 DRAWN BY: CJT JOB # GJN19203  
 CHECKED BY: CMP DATE: 05/21/2015

ESTATES OF  
 MONTEFIORI

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2  
 GJN19203









# EXISTING TREE SURVEY

P.I.N. 22-14-402-003  
 22-14-402-004  
 22-4-402-013  
 22-23-203-003  
 22-23-203-004  
 22-23-203-008

TAG #	SPECIES	CALIPER (IN)	CONDITION	TAG #	SPECIES	CALIPER (IN)	CONDITION	TAG #	SPECIES	CALIPER (IN)	CONDITION	TAG #	SPECIES	CALIPER (IN)	CONDITION	TAG #	SPECIES	CALIPER (IN)	CONDITION	TAG #	SPECIES	CALIPER (IN)	CONDITION
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1317				1432				1547				1777				1892				2007			
1318				1433				1548				1778				1893				2008			
1319				1434				1549				1779				1894				2009			
1320				1435				1550				1780				1895				2010			
1321				1436				1551				1781				1896				2011			
1322				1437				1552				1782				1897				2012			
1323				1438				1553				1783				1898				2013			
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1327				1442				1557				1787				1902				2017			
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# EXISTING TREE SURVEY

P.I.N. 22-14-402-003  
 22-14-402-004  
 22-14-402-013  
 22-23-203-003  
 22-23-203-004  
 22-23-203-008

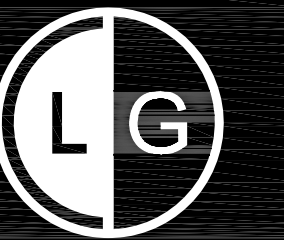
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**FRONT ELEVATION 3 UNIT BUILDING**

3/16" = 1'-0"



**REAR ELEVATION 3 UNIT BUILDING**

3/16" = 1'-0"

**ELEVATION TAG KEY**

1	LIFETIME WARRANTY ARCHITECTURAL SHINGLES	6	CUT STONE SILL W/BRICK SOLIDER COURSE	11	BRICK SOLDIER COURSE WITH CUT STONE KEY
2	CEMENTITIOUS HARDI TRIM	7	STONE ADDRESS BLOCK	12	BRICK MASONRY RUNNING BOND
3	CEMENT BOARD SIDING WITH 6" REVEAL	8	PANEL OVERHEAD DOOR	13	CEMENT BOARD SHAKE SIDING
4	BUILT UP WD POST	9	ARCH SOLDIER COURSE WITH CUT STONE KEYSTONE	14	STONE ACCENT
5	BRICK SOLDIER COURSE	10	ALUM. GUTTER AND DOWNSPOUTS		

DRAWN DESCRIPTION

DATE

2014-0191

PROJECT NUMBER

FILE NUMBER

5-08-15

DATE

DRAWN BY

FINAL REVIEW

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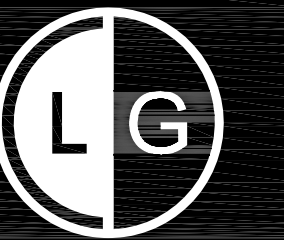
SHEET NAME

PD-ELEV-1

SHEET

SHEET OF





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**FRONT ELEVATION 4 UNIT BUILDING**

3/16" = 1'-0"



**REAR ELEVATION 4 UNIT BUILDING**

3/16" = 1'-0"

**ELEVATION TAG KEY**

1 LIFETIME WARRANTY ARCHITECTURAL SHINGLES	6 CUT STONE SILL W/BRICK SOLIDER COURSE	11 BRICK SOLDIER COURSE WITH CUT STONE KEY
2 CEMENTITIOUS HARDI TRIM	7 STONE ADDRESS BLOCK	12 BRICK MASONRY RUNNING BOND
3 CEMENT BOARD SIDING WITH 6" REVEAL	8 PANEL OVER-HEAD DOOR	13 CEMENT BOARD SHAKE SIDING
4 BUILT UP WD POST	9 ARCH SOLDIER COURSE WITH CUT STONE KEYSTONE	14 STONE ACCENT
5 BRICK SOLDIER COURSE	10 ALUM. GUTTER AND DOWNSPOUTS	

DRAWN DESCRIPTION

DATE

2014-0191

PROJECT NUMBER

FILE NUMBER

5-08-15

DATE

DRAWN BY

FINAL REVIEW

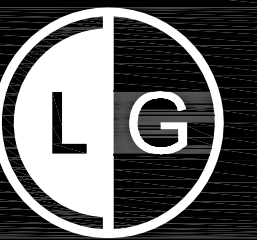
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SHEET NAME

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SHEET

SHEET OF



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**RIGHT SIDE ELEVATION**

3/16" = 1'-0"



**LEFT SIDE ELEVATION**

3/16" = 1'-0"

**ELEVATION TAG KEY**

1 LIFETIME WARRANTY ARCHITECTURAL SHINGLES	6 CUT STONE SILL W/BRICK SOLDIER COURSE	11 BRICK SOLDIER COURSE WITH CUT STONE KEY
2 CEMENTITIOUS HARDI TRIM	7 STONE ADDRESS BLOCK	12 BRICK MASONRY RUNNING BOND
3 CEMENT BOARD SIDING WITH 6" REVEAL	8 PANEL OVERHEAD DOOR	13 CEMENT BOARD SHAKE SIDING
4 BUILT UP WD POST	9 ARCH SOLDIER COURSE WITH CUT STONE KEYSTONE	14 STONE ACCENT
5 BRICK SOLDIER COURSE	10 ALUM. GUTTER AND DOWNSPOUTS	

DATE  
DRAWN DESCRIPTION

2014-0191  
PROJECT NUMBER

5-08-15  
DATE

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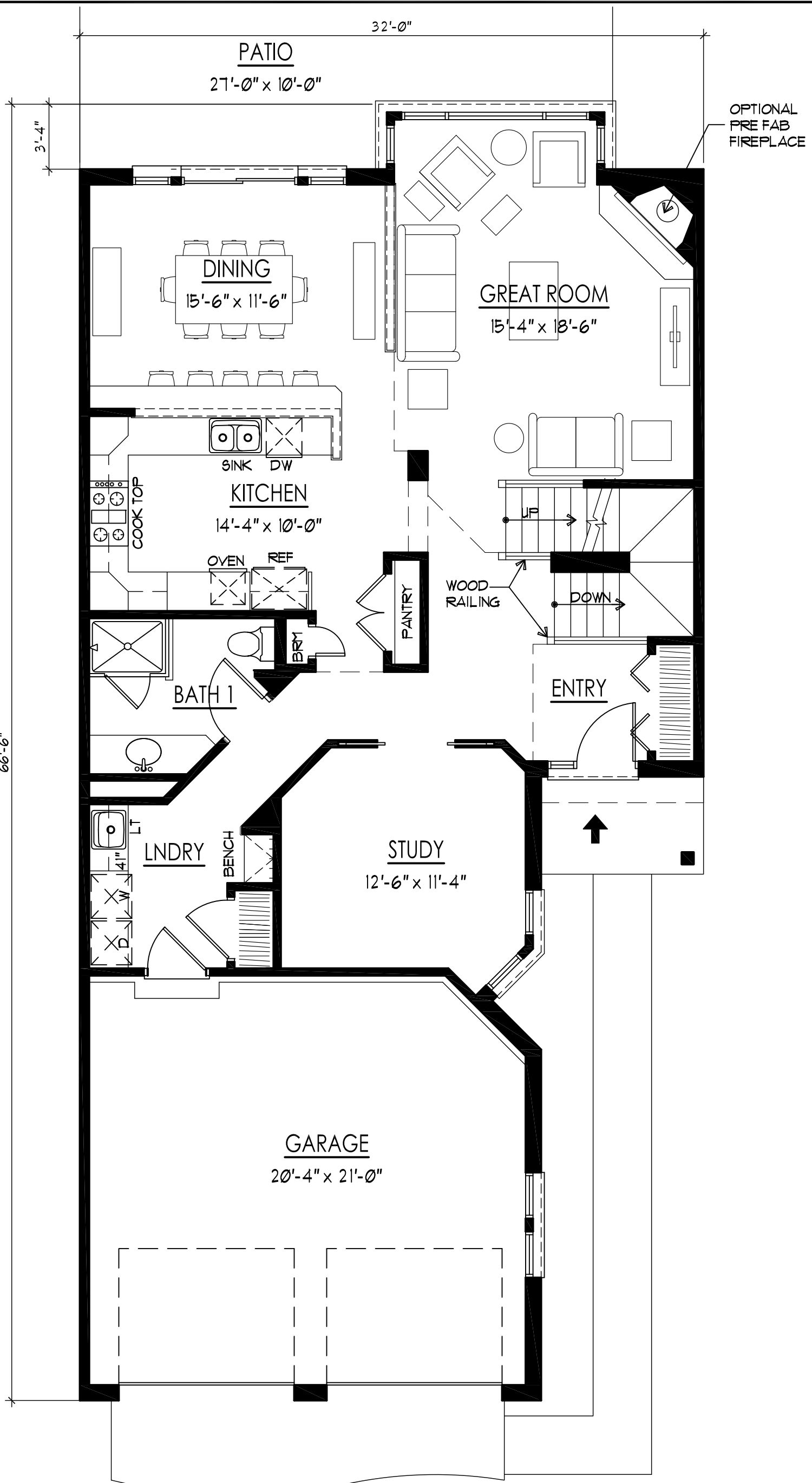
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SHEET NAME

PD-ELEV-3

SHEET

OF



# FIRST FLOOR PLAN

3/16" = 1'-0"

1281 SF



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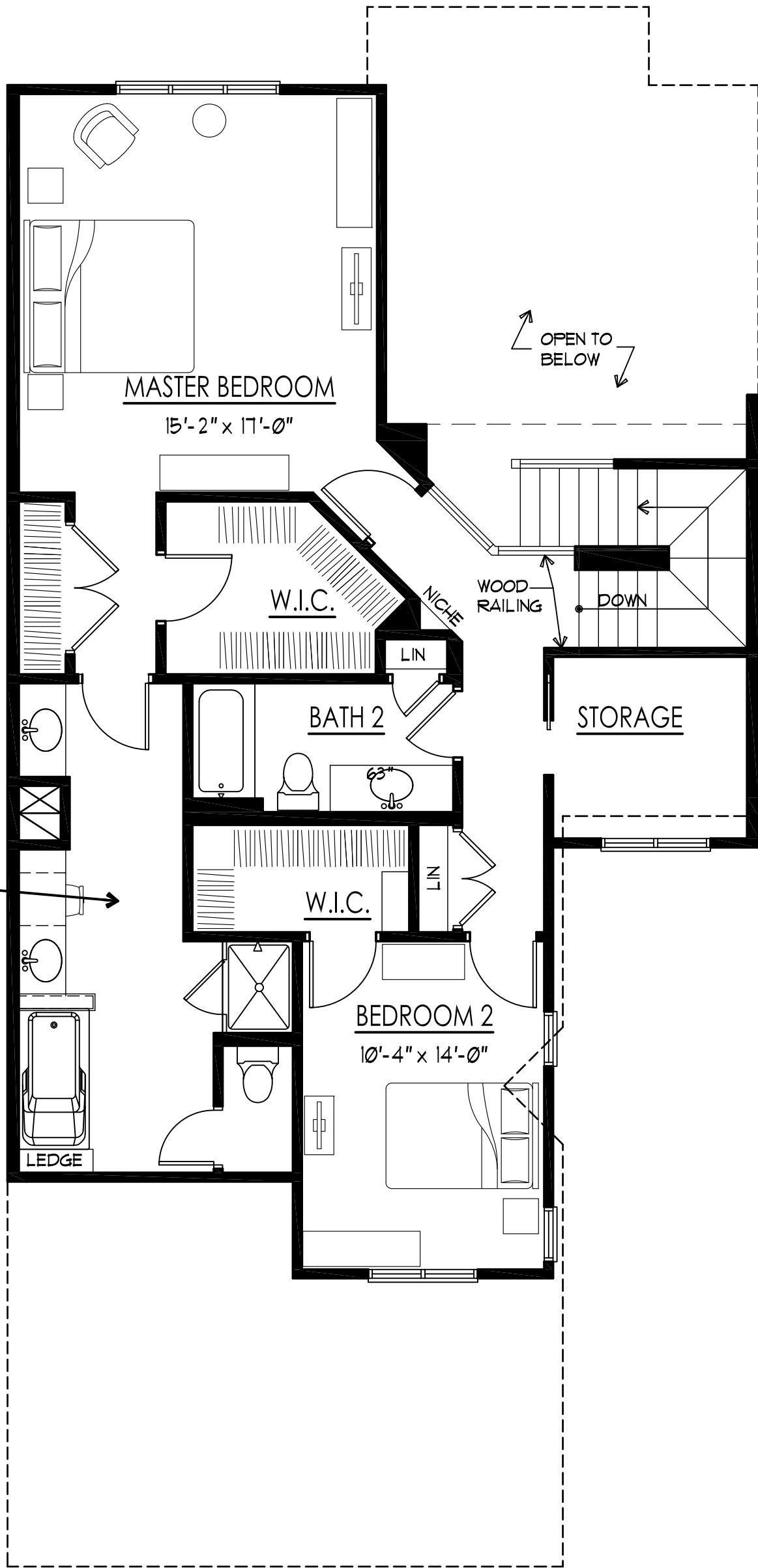
Number of Stories : 2 STORY  
Number of Bedrooms : 2  
Number of Bathrooms : 2.5  
Master Bedroom Location : UP  
Unit Location in Building : INSIDE  
Kitchen Location in Unit : INSIDE  
Garage Location : INSIDE

111-08  
PROJECT NUMBER  
5-01-2015  
DATE  
TMH  
DRAWN BY

PLAN No. / SQUARE FOOTAGE

**2303**

SHEET 1 of 2 TOTAL



**MASTER BATH**

- 1-48" LAV
- 1-36" LAV
- 12" DRAWER
- 27" DRESSING
- 36"x12" W.P. TUB
- 36"x48" SHOWER

**SECOND FLOOR PLAN**

3/16" = 1'-0"

1022 SF

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**NOTES:**

Number of Stories : 2 STORY  
 Number of Bedrooms : 2  
 Number of Bathrooms : 2.5  
 Master Bedroom Location : UP  
 Unit Location in Building : INSIDE  
 Kitchen Location in Unit : INSIDE  
 Garage Location : INSIDE

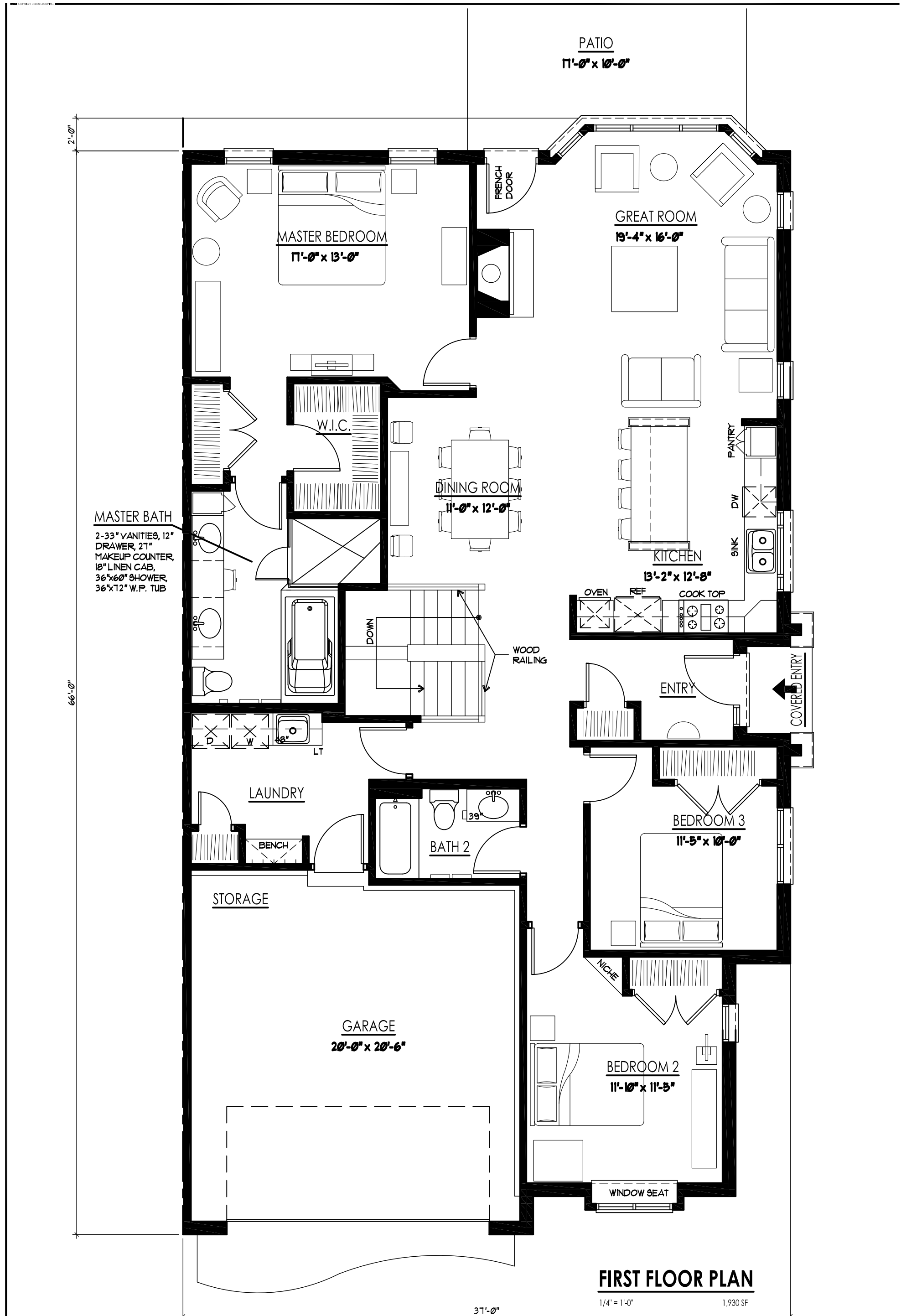
111-08  
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 5-01-2015  
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PLAN No. / SQUARE FOOTAGE

**2303**

SHEET 2 of 2 TOTAL





**FIRST FLOOR PLAN**

1/4" = 1'-0" 1,930 SF



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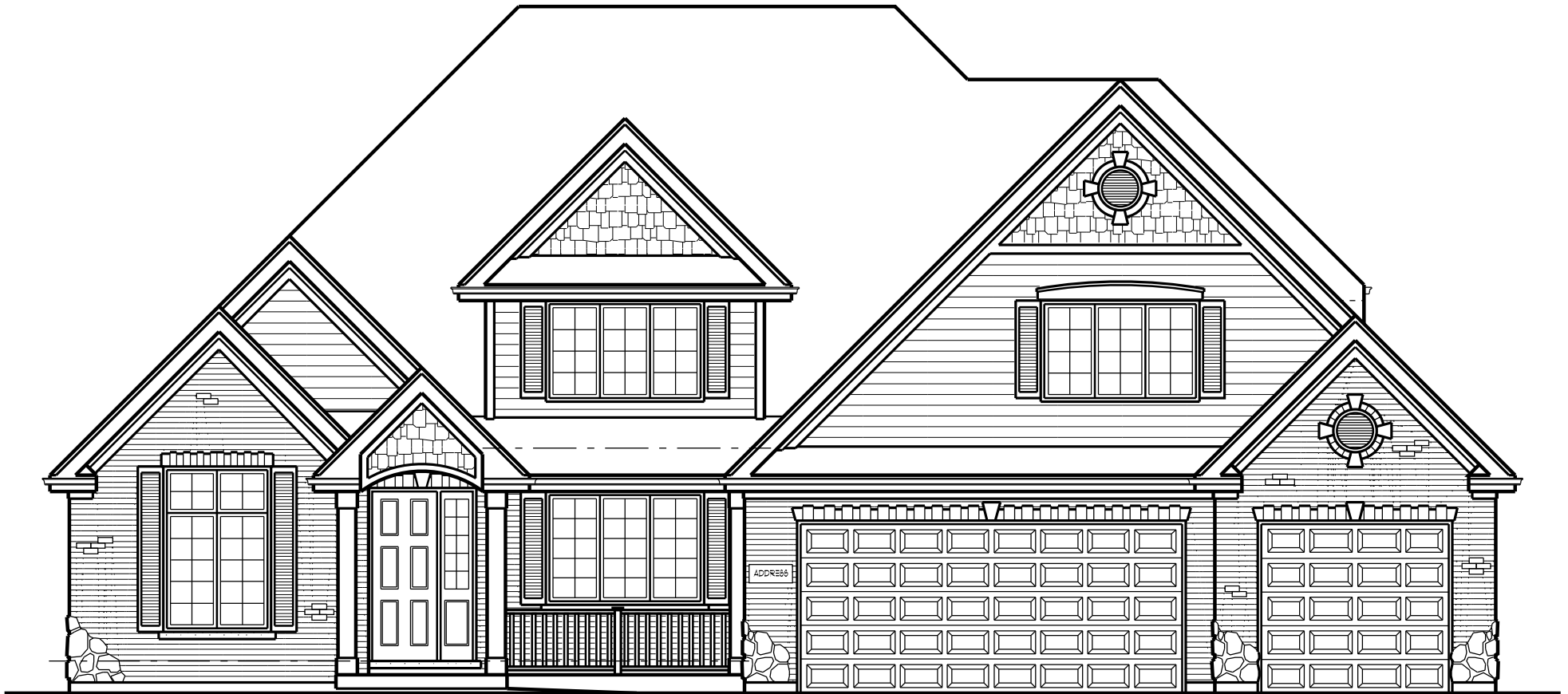
**NOTES:**

Number of Stories : 1 STORY  
Number of Bedrooms : 3  
Number of Bathrooms : 2  
Master Bedroom Location :  
Unit Location in Building : INSIDE/OUTSIDE  
Kitchen Location in Unit : INSIDE  
Garage Location : INSIDE

111-08  
PROJECT NUMBER  
5-1-2015  
DATE  
T/MH  
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PLAN No. / SQUARE FOOTAGE  
**1930**  
SHEET 1 of 1 TOTAL

1 1/2 Story



FRONT ELEVATION

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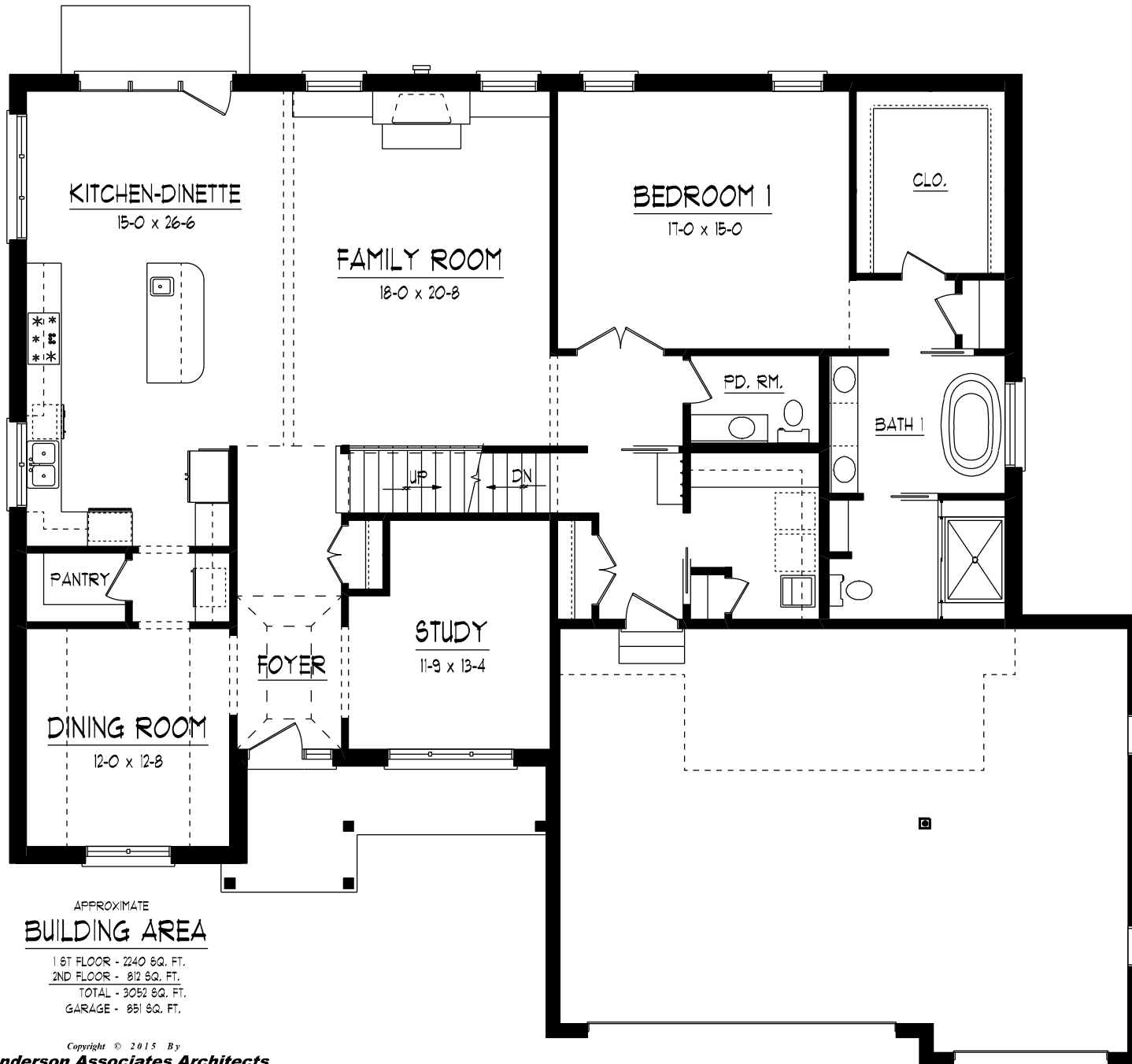
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10077 W Lincoln Hwy., Frankfort, IL., 60423

Tel 708.532.9000 Fax 708.532.9002 www.andersonplans.com

Professional Design Firm 184.005205

PLAN 311703



APPROXIMATE  
BUILDING AREA

1<sup>ST</sup> FLOOR - 2240 SQ. FT.  
2<sup>ND</sup> FLOOR - 812 SQ. FT.  
TOTAL - 3052 SQ. FT.  
GARAGE - 851 SQ. FT.

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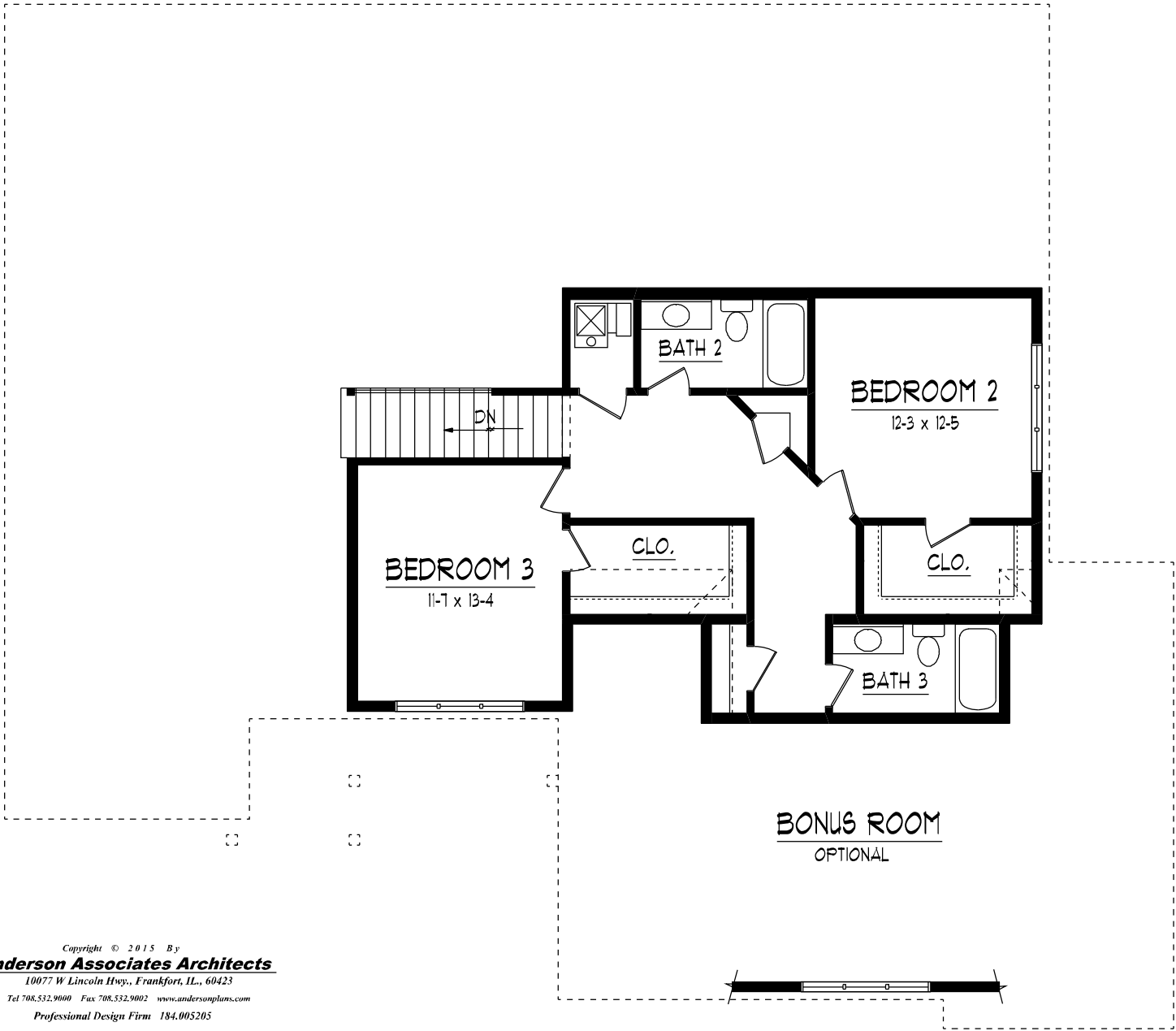
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PLAN 311703

FIRST FLOOR PLAN





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PLAN 311703

SECOND FLOOR PLAN

# 2 Story



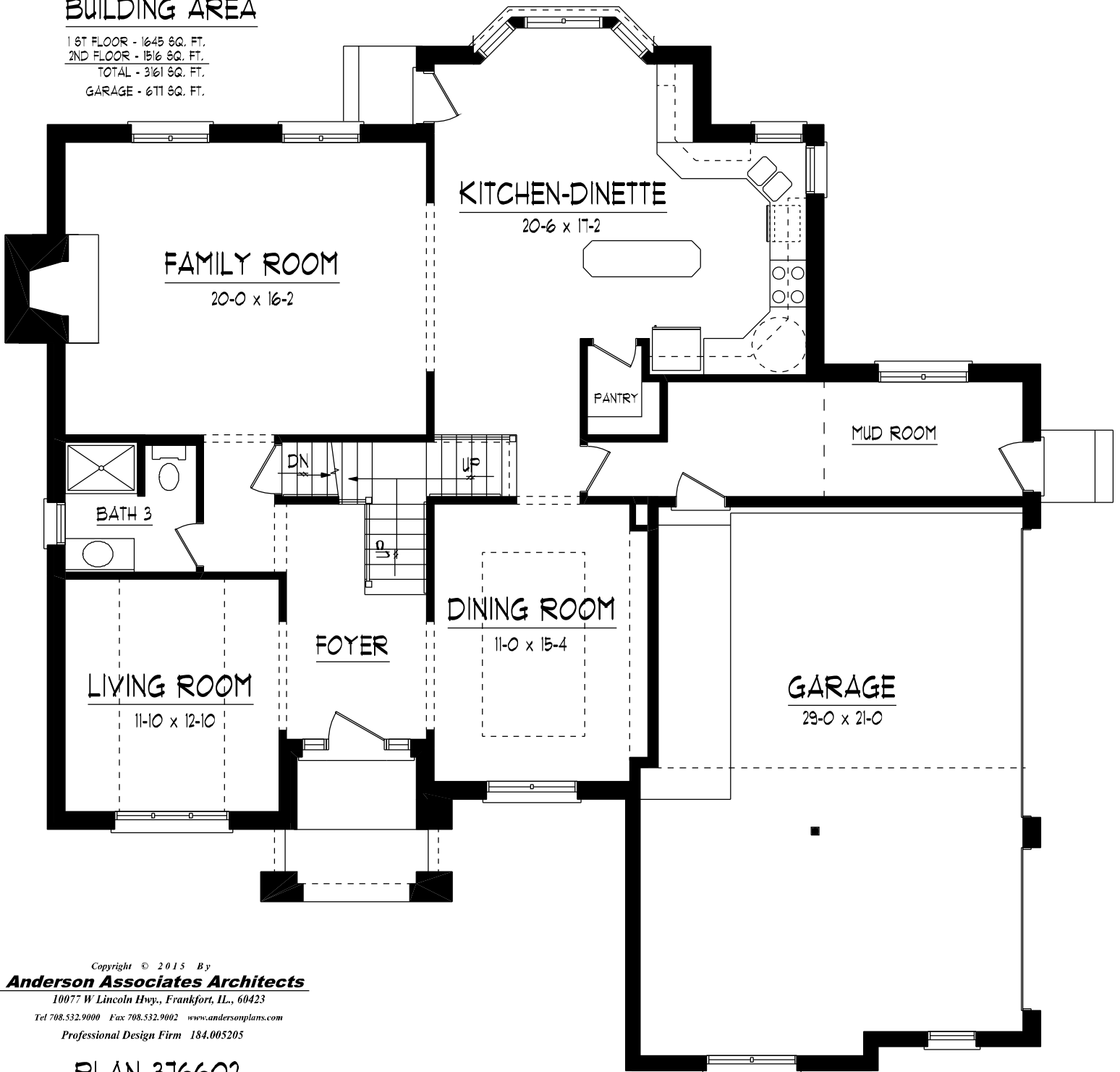
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## FRONT ELEVATION

PLAN 316602

APPROXIMATE  
**BUILDING AREA**

1 ST FLOOR - 1645 SQ. FT.  
2ND FLOOR - 1516 SQ. FT.  
TOTAL - 3161 SQ. FT.  
GARAGE - 611 SQ. FT.

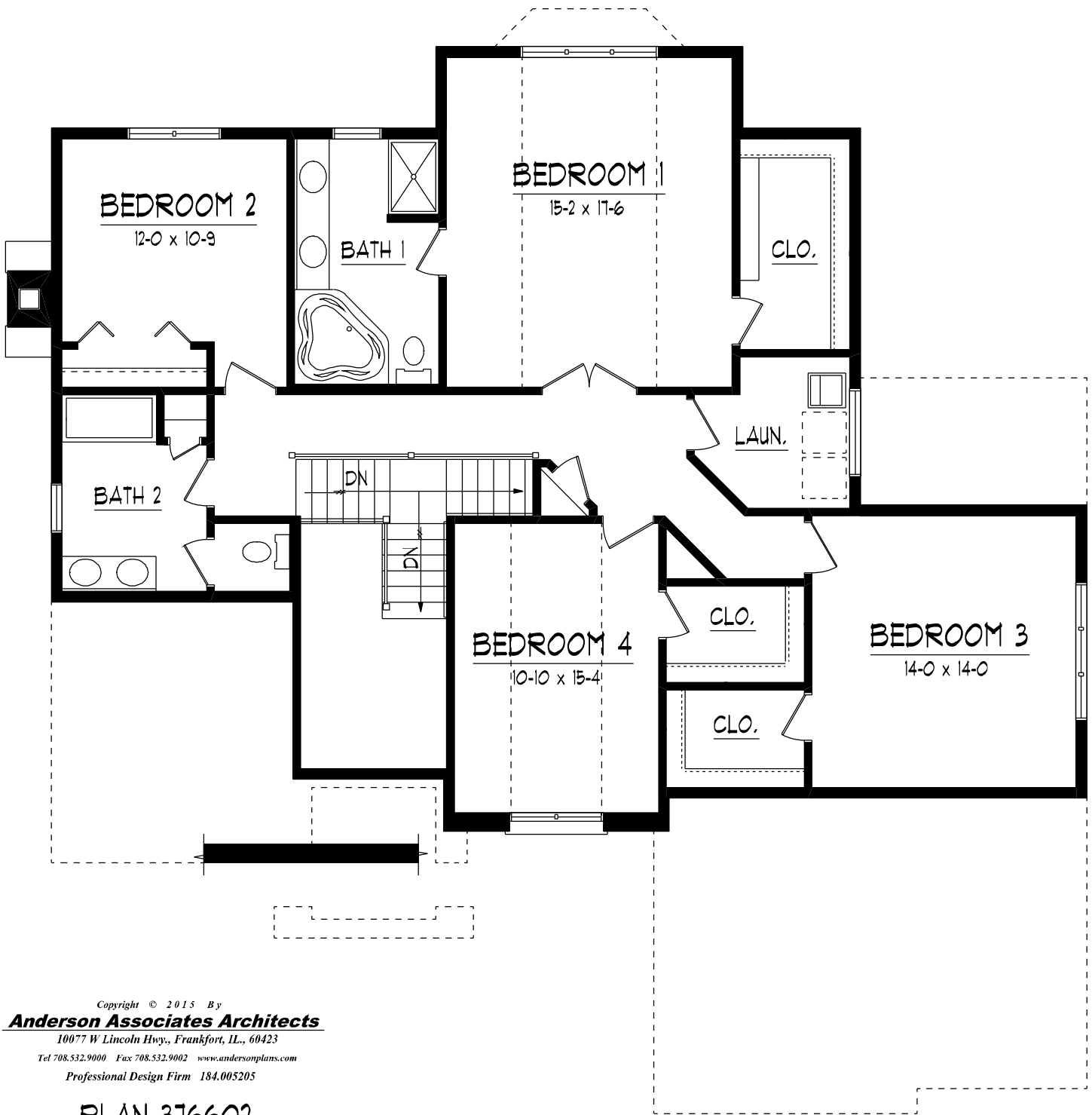


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PLAN 376602

**FIRST FLOOR PLAN**





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PLAN 376602

# SECOND FLOOR PLAN

2 Story



FRONT ELEVATION

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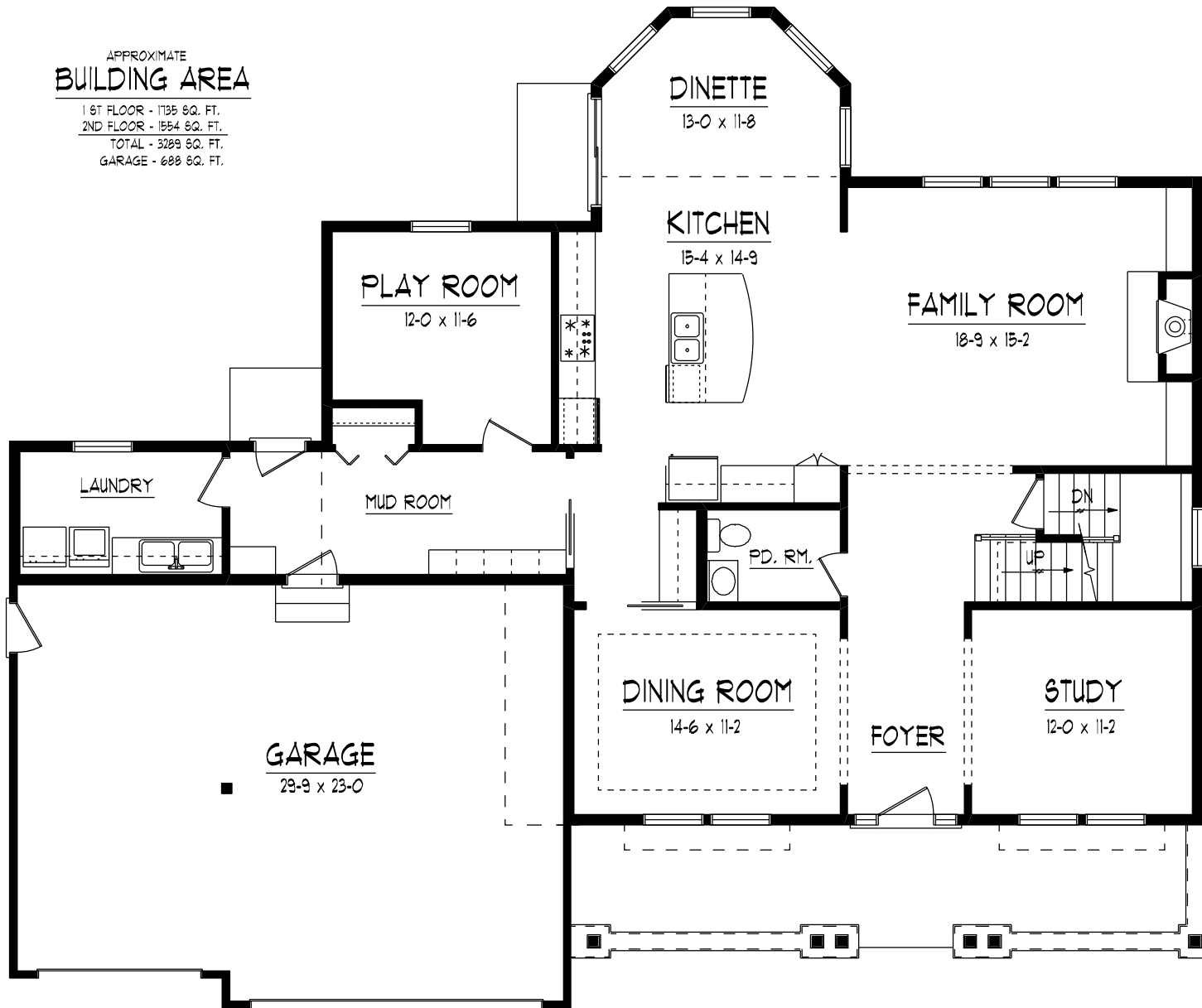
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PLAN 391001

APPROXIMATE  
BUILDING AREA

1<sup>ST</sup> FLOOR - 1735 SQ. FT.  
2<sup>ND</sup> FLOOR - 1554 SQ. FT.  
TOTAL - 3289 SQ. FT.  
GARAGE - 688 SQ. FT.

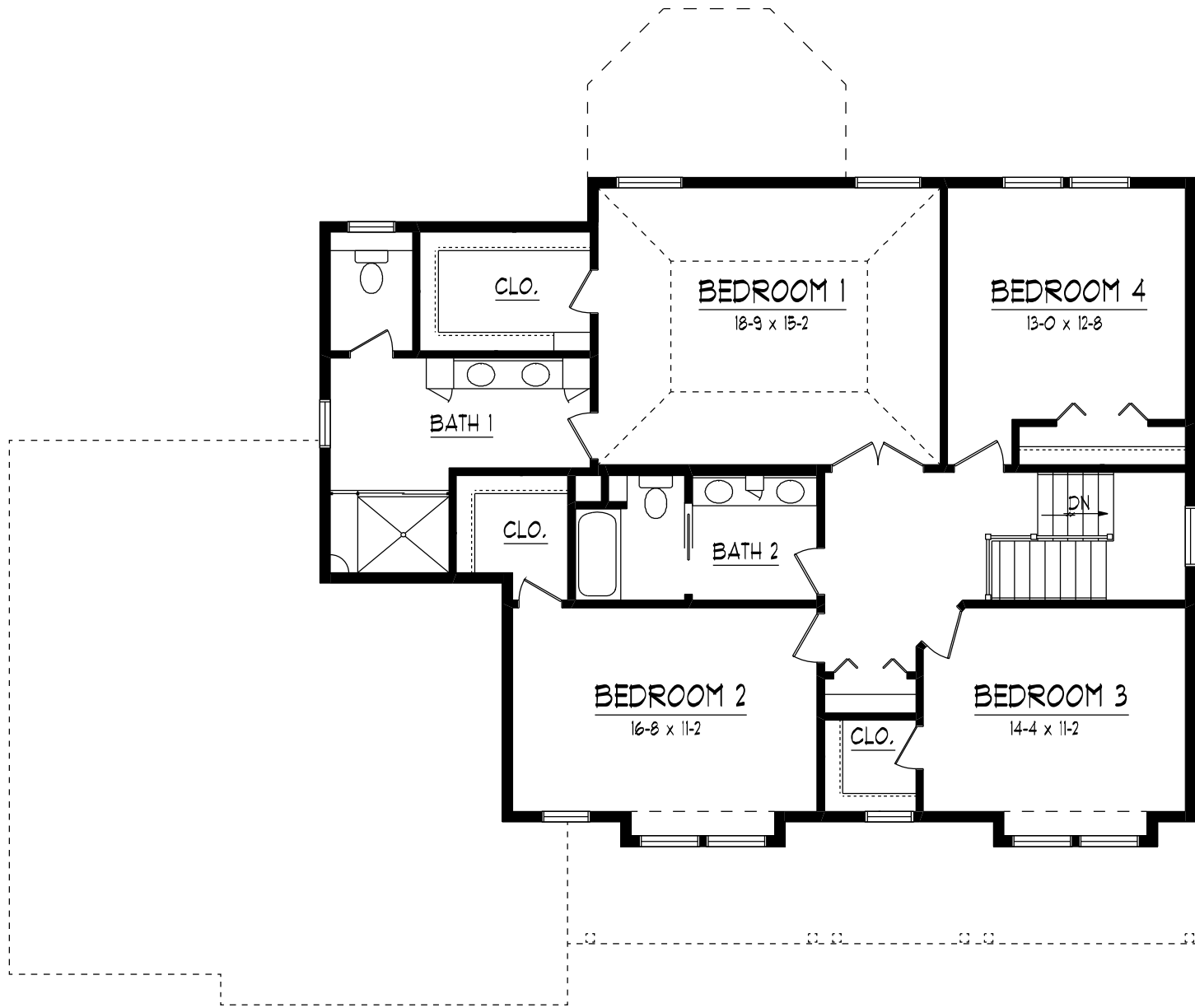


FIRST FLOOR PLAN

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PLAN 391001





# SECOND FLOOR PLAN

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PLAN 391001

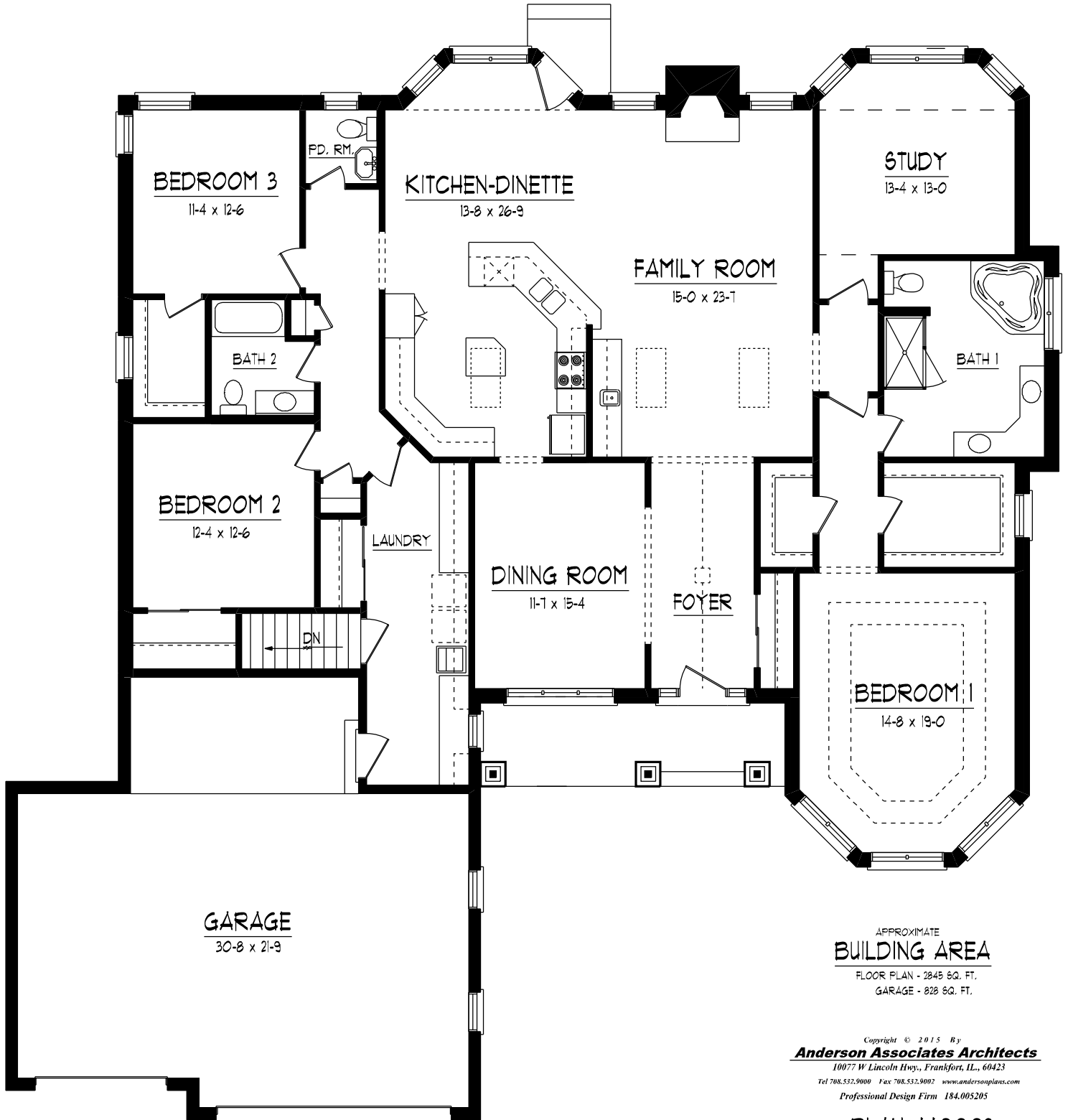
# RANCH



FRONT ELEVATION

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PLAN 440003



APPROXIMATE  
**BUILDING AREA**  
 FLOOR PLAN - 2845 SQ. FT.  
 GARAGE - 828 SQ. FT.

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**PLAN 440003**

**FLOOR PLAN**



1 1/2 Story



FRONT ELEVATION

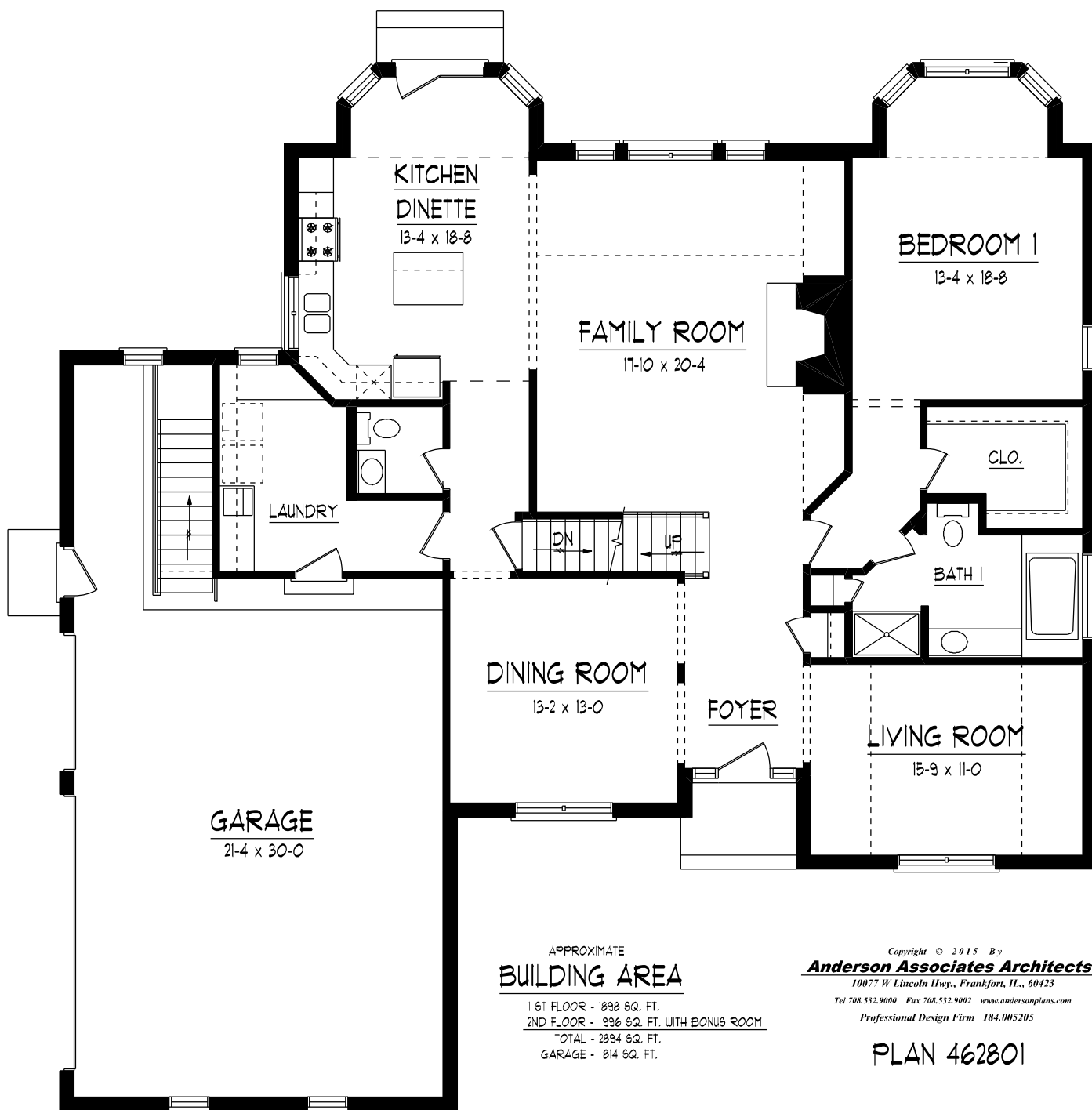
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PLAN 462801



APPROXIMATE  
**BUILDING AREA**

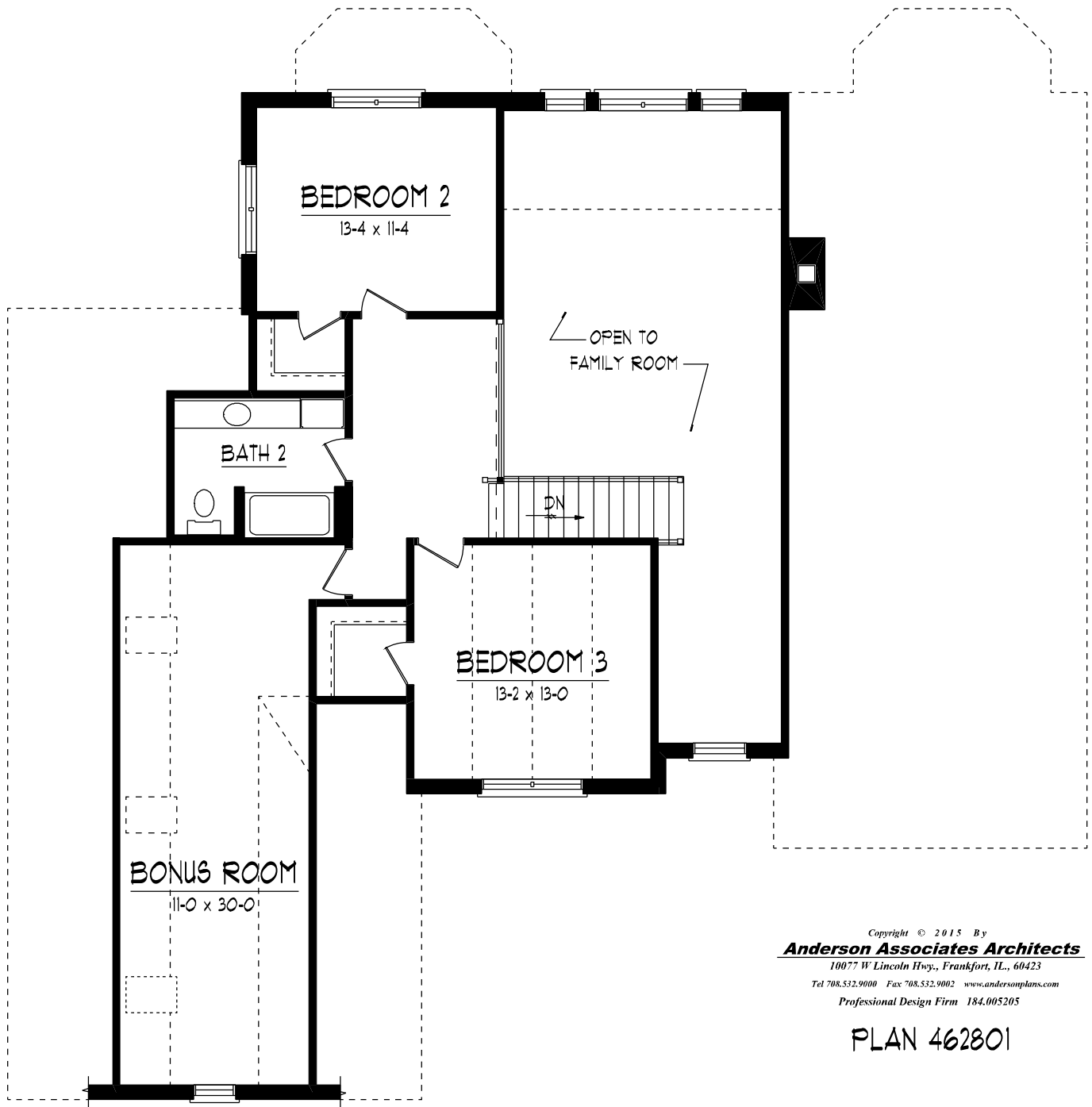
1<sup>ST</sup> FLOOR - 1838 SQ. FT.  
 2<sup>ND</sup> FLOOR - 996 SQ. FT. WITH BONUS ROOM  
 TOTAL - 2834 SQ. FT.  
 GARAGE - 814 SQ. FT.

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**PLAN 462801**

**FIRST FLOOR PLAN**



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PLAN 462801

# SECOND FLOOR PLAN



2 Story



FRONT ELEVATION

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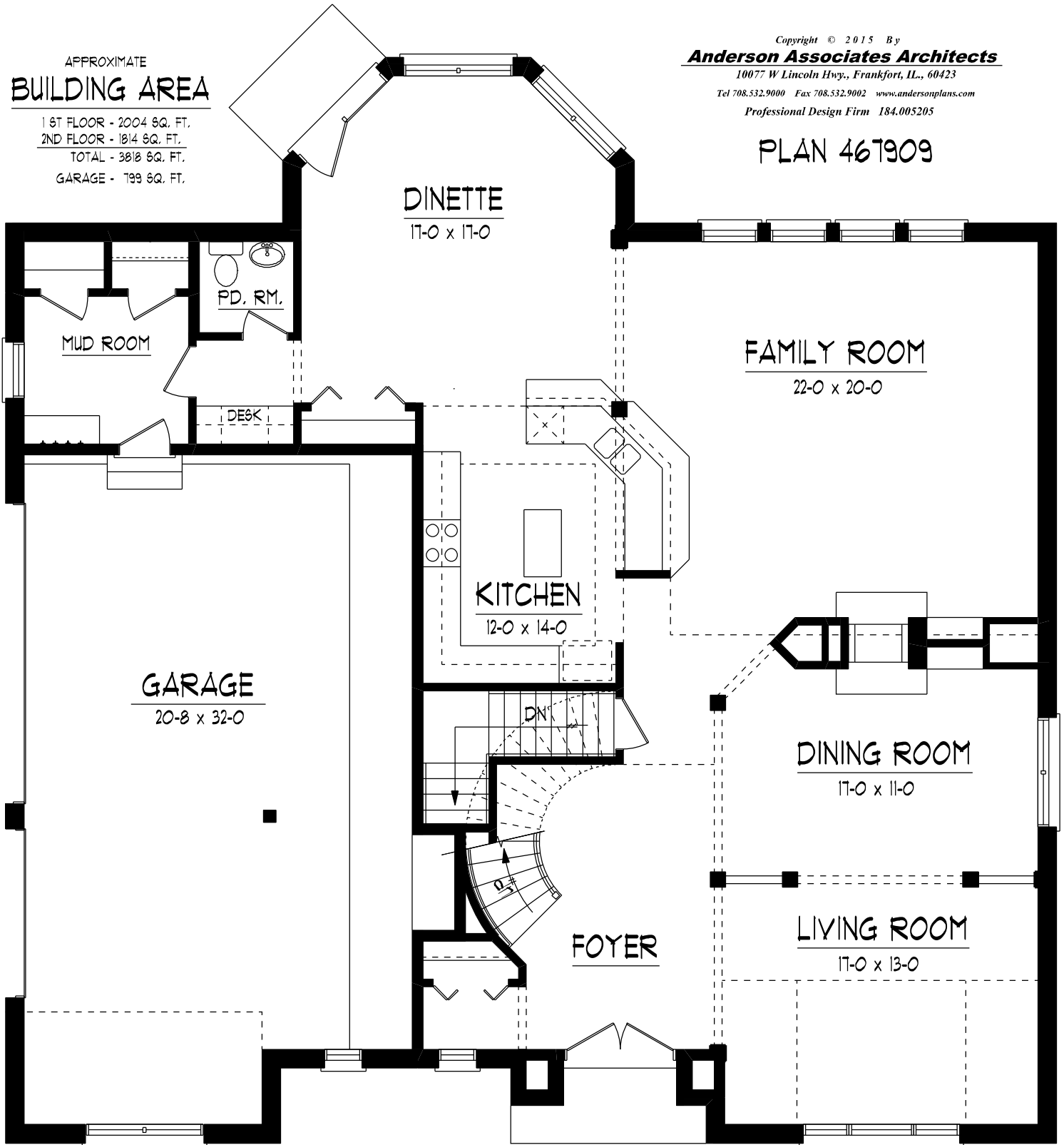
PLAN 467909

APPROXIMATE  
**BUILDING AREA**

1 ST FLOOR - 2004 SQ. FT.  
2ND FLOOR - 1814 SQ. FT.  
TOTAL - 3818 SQ. FT.  
GARAGE - 799 SQ. FT.

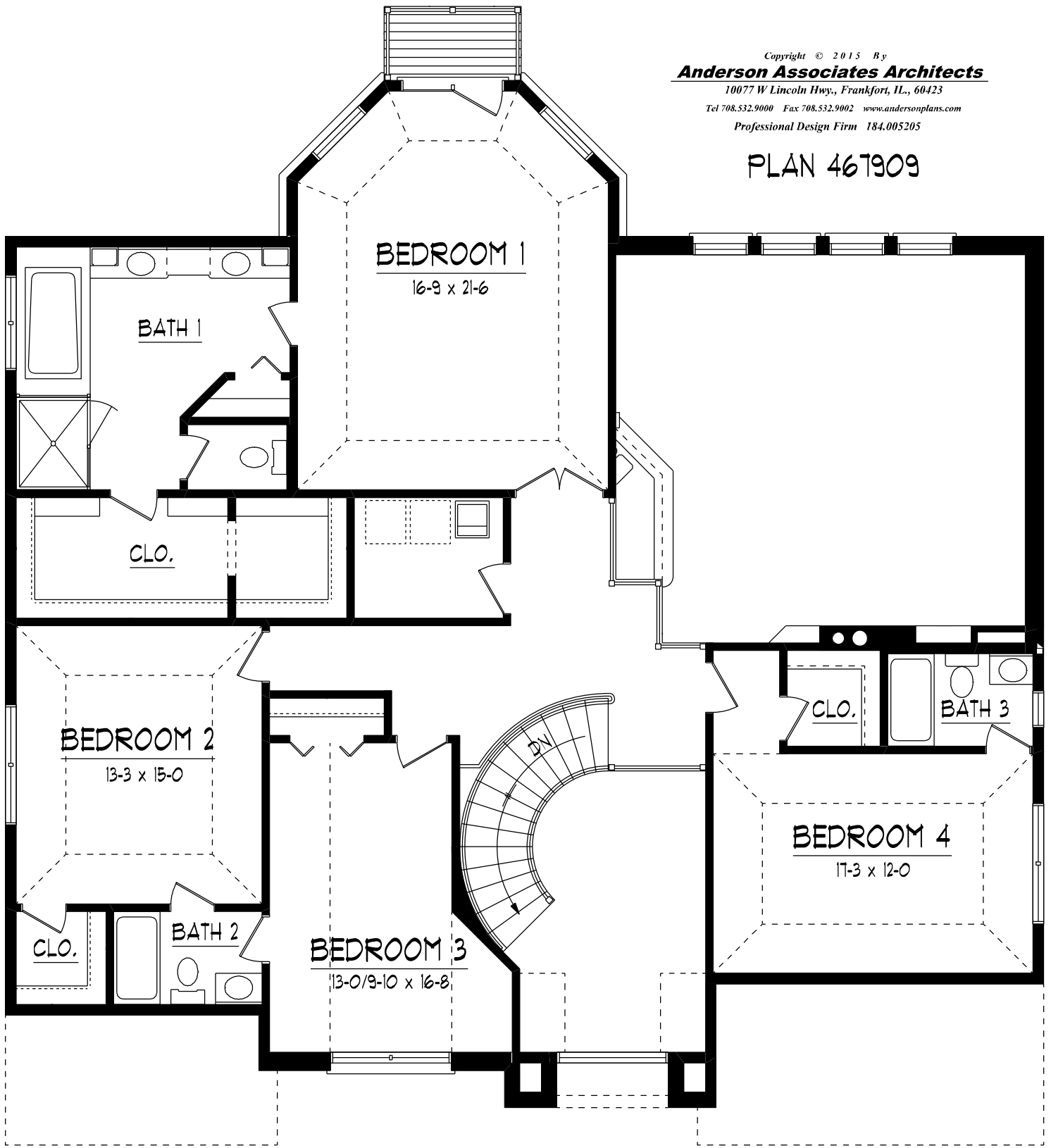
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**PLAN 467909**



**FIRST FLOOR PLAN**

PLAN 467909



SECOND FLOOR PLAN

# RANCH



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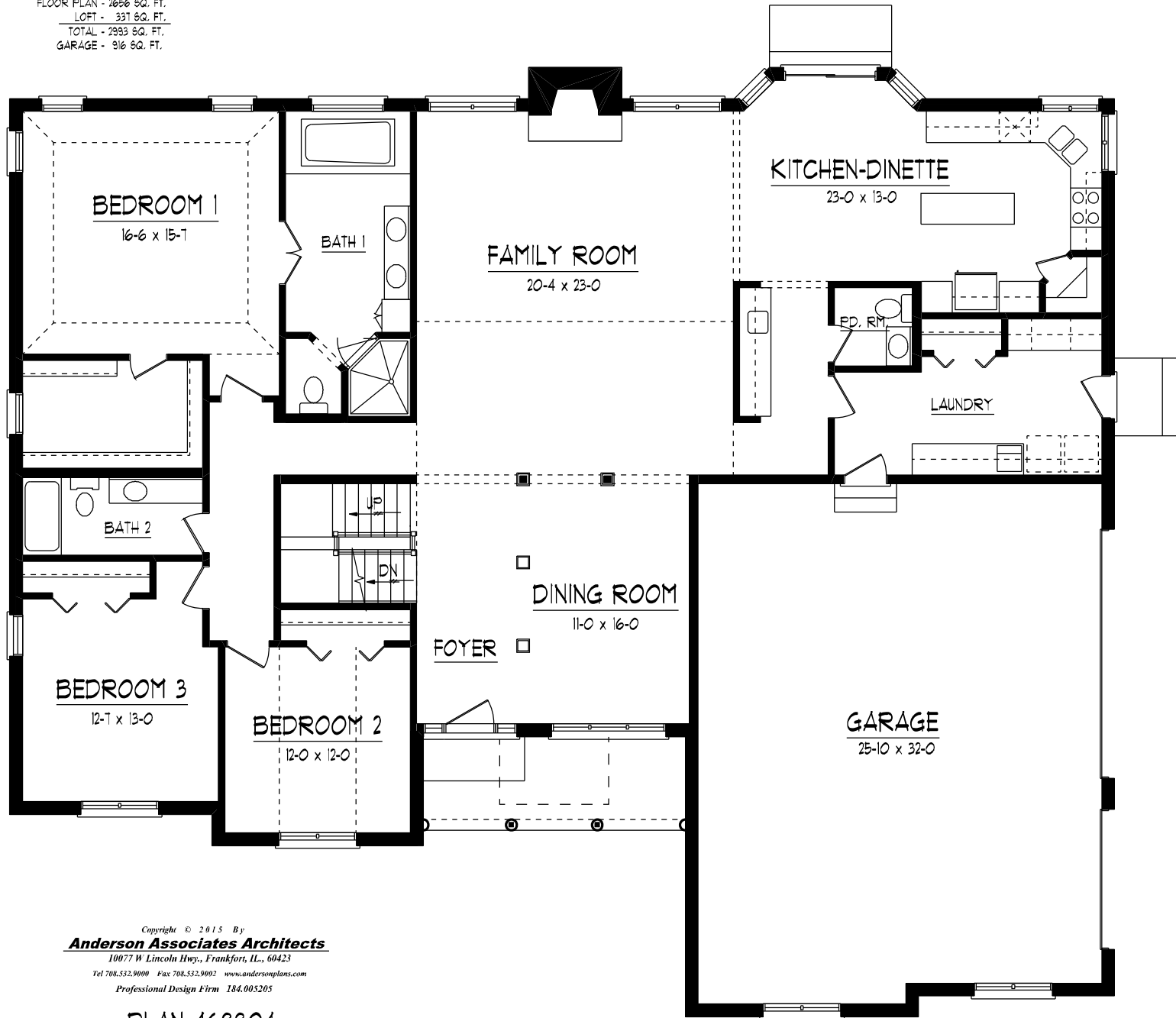
FRONT ELEVATION

PLAN 468804



APPROXIMATE  
**BUILDING AREA**

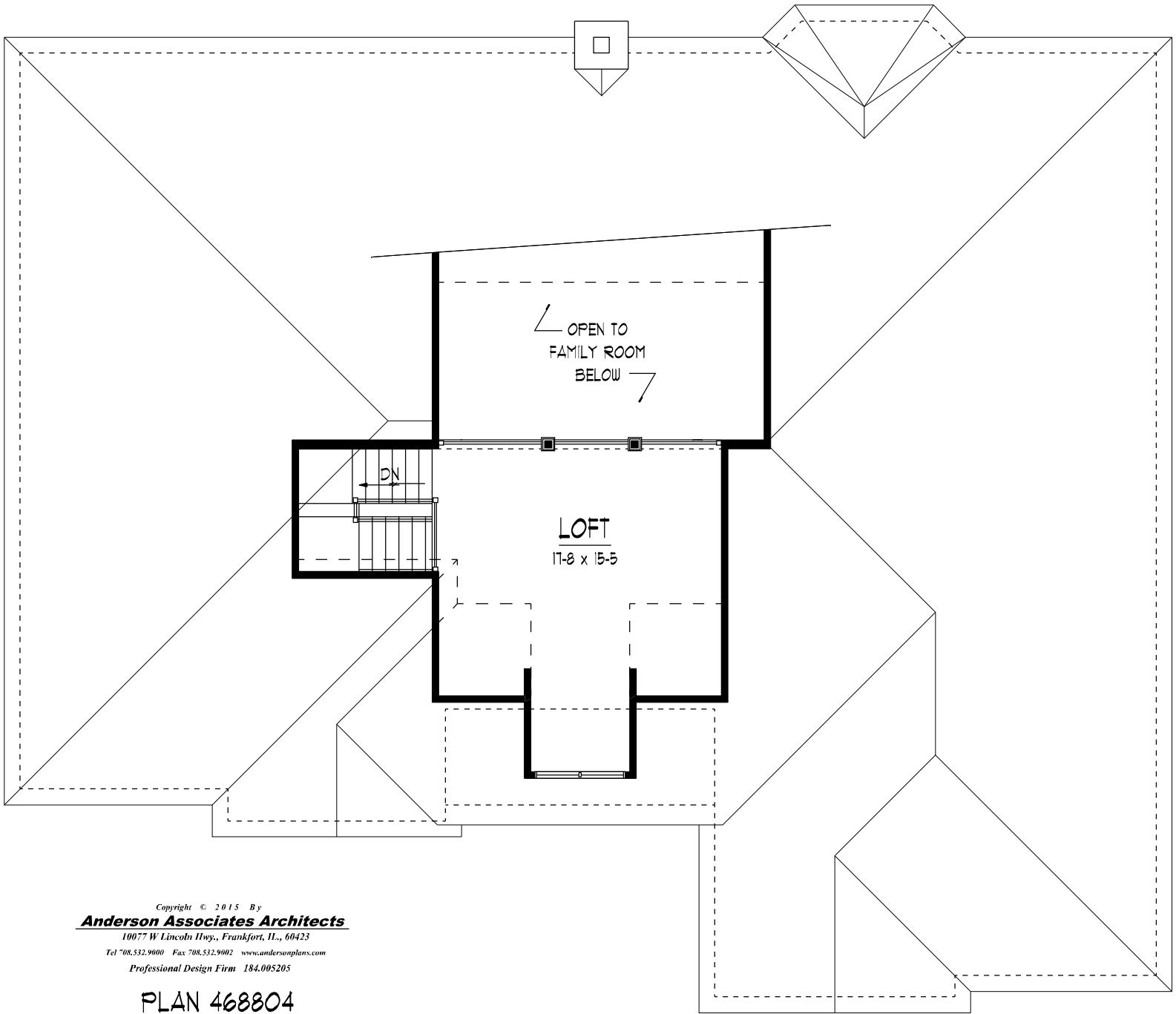
FLOOR PLAN - 2656 SQ. FT.  
LOFT - 331 SQ. FT.  
TOTAL - 2983 SQ. FT.  
GARAGE - 916 SQ. FT.



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PLAN 468804

**FLOOR PLAN**



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PLAN 468804

LOFT PLAN

## Sign Plan

A subdivision entrance sign will be provided at the intersection of Tuscany Lane and Archer Avenue. Details for the sign may be seen on the Landscape Plan. Otherwise no signage is proposed for the subdivision.