



Village of Lemont
Planning and Zoning Commission

418 Main Street · Lemont, Illinois 60439
phone 630-257-1595 · fax 630-257-1598

PLANNING & ZONING COMMISSION
Regular Meeting
Wednesday, May 18, 2016
6:30 p.m.

**Planning and Zoning
Commission**

Anthony Spinelli,
Chairman

Commission Members:
Ryan Kwasneski
David Maher
Jerry McGleam
Jason Sanderson
Matthew Zolecki
Ed Andrysiak

**Planning & Economic
Development Department
Staff**

Charity Jones, AICP, Director
Heather Valone, Planner

- I. **CALL TO ORDER**
 - A. **Pledge of Allegiance**
 - B. **Verify Quorum**
 - C. **Approval of Minutes April 20, 2016 meeting**
- II. **CHAIRMAN'S COMMENTS**
- III. **PUBLIC HEARINGS**
 - A. **15-14 Equestrian Meadows Final PUD.**
- IV. **ACTION ITEMS**
- V. **GENERAL DISCUSSION**
 - A. **Update from Village Board**
- VI. **AUDIENCE PARTICIPATION**
- VII. **ADJOURNMENT**

Village of Lemont
Planning and Zoning Commission
Regular Meeting of April 20, 2016

A meeting of the Planning and Zoning Commission for the Village of Lemont was held at 6:30 p.m. on Wednesday, April 20, 2016 in the second floor Board Room of the Village Hall, 418 Main Street, Lemont, Illinois.

I. CALL TO ORDER

A. Pledge of Allegiance

Pro Tem Chairman Sanderson called the meeting to order at 6:37 p.m.

B. Verify Quorum

Upon roll call the following were:

Present: Kwasneski, Maher, McGleam, Sanderson, Zolecki, Andrysiak

Absent: Spinelli

Village Planner Heather Valone and Village Trustee Ron Stapleton were also present.

C. Approval of Minutes from the March 16, 2016 Meeting

Commissioner McGleam made a motion, seconded by Commissioner Kwasneski to approve the minutes from the March 16, 2016 meeting. A voice vote was taken:

Ayes: Kwasneski, McGleam, Maher, Sanderson, Zolecki

Nays: None

Abstain: Andrysiak

Motion passed

II. CHAIRMAN'S COMMENTS

None

III. PUBLIC HEARINGS

A. 16-04 UDO Amendments

Pro Tem Chairman Sanderson called for a motion to open Case 16-04.

Commissioner Maher made a motion, seconded by Commissioner Zolecki to open the public hearing for Case 16-04. A voice vote was taken:

Ayes: All

Nays: None
Motion passed

Mrs. Valone stated there are seven UDO amendments to go through. The first one is they are looking to amend the definition for subdivision which is relatively minor. The Plat Act regulates requirements for platting it has a few of exceptions that Village code currently observes. An example if there were two neighbors with a neighbor in-between who sold each neighbor half of his property. Under the current definition they do not have to come in for a plat of consolidation, which could result in a very odd shaped lot. The Village is able to be more restrictive with the Plat Act. So with the change in definition to subdivision and lot consolidation it will give it more clarity.

Commissioner Andrysiak asked why staff was looking to keep the same number of lots and lot number.

Mrs. Valone said under the Plat Act, as stated before, if one property owner conveys their property to another property owner technically under the Plat Act, and under the Village's previous code, they did not have to come in for a lot consolidation. What the lot consolidation is trying to convey is that if you have two lots and go down to one then there is a change in the number of lots. So if you are changing the number of lots, whether it is an increase or decrease you have to come in and plat the lot. In the example she gave, if they had tried to go and sell their property they would may a little problem selling it because technically it is conveyed land not platted.

Discussion continued on changing the number of lots.

Mrs. Valone stated for lot consolidation there are two definitions listed and staff is preferring the first definition more so then the second. The Village already has the lot consolidation process in the code, but just never had a definition for it. She asked if any of the Commissioners prefer one over the other.

All Commissioners agreed with the first definition.

Mrs. Valone said the next item is on gazebos. The last UDO amendments in 2015, the goal of changing the definition for gazebos, pergolas, cabanas and other accessory structures was to allow people to have a more creative structures in their backyard. A lot of people are looking for outdoor entertainment areas. Previously, they had allowed a maximum of 160 square feet, which is the same as a shed. What they are finding is that the request for these types of structures prior to about 2015 had fallen within that square footage. Now that they have changed the code they have been getting people asking for larger ones. Staff is in favor of increasing the size to a maximum. Staff is proposing that the 160 square feet be increased to 320 square feet which is about two sheds. Staff did an analysis and with that square footage they should be able to fit a 10 person table with a drink area, t.v. and fans. One that came in since they had changed it was for a 391 square foot semi-enclosed pavilion, which

would have been about 30 feet from their neighbor. With request, since they could not meet code and did not want to go down to a smaller size, they ended up adding on to the home similar to a covered deck. Another one that came in was for about 180 square feet. With that one the owners were able reduce the size to meet code. She asked for feedback from the Commissioners.

Commissioner Maher asked what is the definition for a shed.

Mrs. Valone stated another accessory building is defined as an open design, more like a gazebo that could be roofed over. A shed is really for the storage of materials and is not for entertainment or recreational use.

Commissioner Maher asked what is the procedure if he came in and asked for a shed permit.

Mrs. Valone said it would be required to be three feet of the lot line and a maximum of 160 square feet.

Commissioner Maher asked what if he wanted a shed and asked for a gazebo permit.

Mrs. Valone stated it would have to be 10 feet off of the lot line or whatever the setbacks are of a conforming principal structure and under the new code have a maximum of the 320 square feet.

Commissioner Maher asked what is the difference then

Mrs. Valone said it is currently separated in the code based on how they define these accessory buildings as recreational use. They are more of an entertainment area, where a shed is a storage area. With sheds they do allow the rolled doors and with gazebos they do not. So the door and the setbacks are the difference.

Commissioner Andrysiak stated you can't put a shed on a corner lot but you can put a gazebo. So if he lived on a corner lot he could build a gazebo and put his riding lawn mower in it.

Mrs. Valone said the definition on gazebo is very vague because they want to allow people to be creative. The reason why they have not allowed sheds to be larger is mostly nobody has requested a larger shed. Additionally, people have asked for those rolled doors to get items in and out. A shed would be allowed to have those rolled doors but this gazebo or other accessory building would not.

Commissioner Andrysiak stated the only way to make it so gazebo does not turn into a shed is by only allowing it be walled half-way and could only be screened.

Mrs. Valone said the shed requirement has not come up as an issue. The only issue is with these new entertainment areas that people are requesting. If they are going to be

that large and in the backyard they do want to make sure that they are somewhat presentable and appealing. Someone could apply for a pool house and end up storing their lawnmower in it. The reason why they are changing the gazebo is because there could be a gathering of people creating noise staff is recommended setbacks to buff the nuisances of people gathering in these accessory buildings.

Commissioner Andrysiak stated he is just trying to keep someone from using his gazebo as storage.

Mrs. Valone said someone could use their gazebo even if it was unenclosed for storage. There is nothing in the code to prevent that. It is a good point that they don't allow sheds on corner side lots but they do gazebos.

Commissioner Maher stated if the only difference between a shed and a gazebo is a rolled door then why don't they just make them have the same requirement and just figure out where they want them placed.

Mrs. Valone asked if they want to restrict them being in a corner side yard.

Commissioner Maher said he would not want an accessory building sitting on a street side of a property. He does feel that these should be treated the same.

Discussion continued in regards to whether sheds and gazebos should be treated as one.

Pro Tem Chairman Sanderson stated he would not change anything. He would make the people that want the larger gazebos to come in and ask for a variance.

Commissioner Maher said if it comes before them then they can see what they are doing before they approve it.

Pro Tem Chairman Sanderson stated this is a new territory and these are new structures. People are starting to do a lot more outdoor entertaining and he would like to see something before they go and change the code.

Commissioner Zolecki asked how many requests do they get which are over 160 square feet.

Mrs. Valone said they just made this change in October 2015 and there were two that came in after that which were both over. One became an addition onto the home and the other one ended up complying. Prior to 2015 the Village on had roughly 20 to 30 requests and at that time they did not have a size limit. It is becoming a more requested item.

Pro Tem Chairman Sanderson stated he has not seen one variance so far. He would like to see one come before them.

Trustee Stapleton said one good thing about a variance is that the neighbor would be able to have some input.

Discussion continued in regards to leaving gazebos without any changes.

Commissioner Maher stated they need more requests to prove this before they can make any change.

Mrs. Valone said prior to 2015 pergolas and gazebos used to regulated with similar standards. The Village has found that pergolas are not really an entertainment space but rather a decorative piece. In the 2015 UDO amendments pergolas and gazebos were separated and given different requirements. The same recommendation is being made for cabanas. A cabana is considered a structure and not a building. It is a structure that has a membrane cover, so they treat it more as a structure rather than an enclosed building. The previous definition was confusing because it made it seem like these cabanas don't have the same size restriction. Staff recommended them because people are starting to put them around their pools and can get very large. So it will have its own section now.

Commissioner Maher asked what the definition was for cabana.

Mrs. Valone stated it is a frame structure with a membrane cover.

Commissioner Kwasneski said it is not something that will stay up year round.

Mrs. Valone stated she could not see someone leaving a tent like membrane being left up during the winter. If someone tries to enclose it or put an actual roof on it they would get caught during plan review or during inspection. Staff gave this the same square footage as gazebos.

Discussion continued in regards to the size allowed for cabanas.

All Commissioners agreed to staff's recommendation.

Mrs. Valone said the next amendment is in regards to outdoor dining. They have had a few requests from some business owners who are looking to have outdoor dining areas which are relatively small and contained. The most recent request was from Mama D's that wanted to put out a couple of tables and they did not want to go through the special use process for it. A special use and/or variation is \$500-750 plus a \$500 escrow. What staff is proposing is on private property seats of less than ten can be added without having to go through the special use process. The outdoor seating that you see at Gelsosomo's and Nick's are on public property. It is easier for them to have an outdoor eating area than it is for business's on private property even if they want to have the same amount of tables. Another business that is asking is Rustic Knead, which has quite a bit of room out there. However, it is on private

property so they have to come in and get a special use for it. This would address these smaller outdoor dining areas without having to go through a full special use. It will still get reviewed by staff, they will still have to meet certain criteria for access, table placement and if they serve liquor where liquor can and cannot be served.

Commissioner Andrysiak asked who came up with the number nine.

Mrs. Valone stated staff came up with the number. Anything over 10 the Village might want to see a special use request because of noise, trash or fencing might have to be required.

Commissioner Kwasneski said he would want to go with eight to keep it even.

Commissioner Andrysiak stated he is fine with raising it to 20. He feels it should be up to the store operator to determine how many is enough.

Mrs. Valone said that is why they wanted to restrict them so they don't have too many tables on private property.

Commissioner McGleam asked how is quantity managed for seating on public property.

Mrs. Valone stated it is whatever can fit in front of your store and meet access requirements.

Pro Tem Chairman Sanderson asked if staff looked at any other communities to see how this is done there.

Mrs. Valone said they did and they were about the same. There were some communities that do allow them all as administrative review and some that restricted them all.

Commissioner Kwasneski stated he would think that public property would be more restrictive.

Mrs. Valone said the private property can be a much larger area for outdoor seating. If you look at the ones downtown they are small but if you look at 3 Corners that is private and it is very large.

Commissioner Maher stated with Mama D's it would be self-serve seating but this ordinance is not asking for that. There is a difference between the two.

Discussion continued in regards to having table service rather than self-serve and the procedure for getting the license.

Commissioner McGleam said he likes the way it is written.

Commissioner Andrysiak stated he would like to see the number raised to 20.

Commissioner McGleam said he like the nine because it prevents it from getting out of control on the property.

Pro Tem Chairman Sanderson stated he agreed with staff's recommendation. If a business is looking to put 20 tables out there then that is a big deal and they can afford to come before the Commission.

Commissioner Maher said he felt 20 was too high.

Commissioner Zolecki stated he agreed with Commissioner McGleam and staff's recommendation.

Mrs. Valone said the next section is being deleted because it is repeated twice in the code. The last few items are items that just need to be cleaned up or people have been asking for.

Currently in the R-4A district there is this requirement which restricts them from having a very large structure on their property. This would also follow under gazebos as well. The way it is written a lot things fall into this like patios and pergolas that probably shouldn't so they are changing it so it is actual buildings like gazebos and garages.

Commissioner Zolecki asked if they had ever considered breaking the definition up between structure and building.

Mrs. Valone stated they will be looking at that. The next item for fence height, this change was made two years ago and when they wrote the ordinance they had messed up and put three feet instead of four feet. The last amendment is in regards to decorative fences which are allowed in front yards. The reason why they are crossing out opacity is because it means that it has to be a white picket fence. They are crossing it out to allow someone to have a rod iron fence. They are also allowing it in corner side yards. What they are saying is what they would allow in the front they would also allow for side yard.

Commissioner Andrysiak asked what if they want a privacy fence.

Mrs. Valone said if they want to have a privacy fence they would have to at least keep the six foot privacy fence out of the corner side yard. It is a vehicle site line issue and they do not want five or six foot privacy fences coming right up to the sidewalk, especially if there is an alley. She showed on the overhead a picture of a corner lot and where they would require the fence.

Trustee Stapleton asked if the 20 feet was from the street or the curb.

Mrs. Valone stated it was from the street. She said this would conclude the UDO amendments.

Pro Tem Chairman Sanderson asked if there was anyone in the audience that wanted to speak in regards to this public hearing. None responded. He then called for a motion to close the public hearing.

Commissioner Kwasneski made a motion, seconded by Commissioner Andrysiak to close the public hearing for Case 16-04. A voice vote was taken:

Ayes: All

Nays: None

Motion passed

Pro Tem Chairman Sanderson asked if there were any further questions. None responded. He then called for a motion for a recommendation to the Village Board.

Commissioner Maher made a motion, seconded by Commissioner Kwasneski to recommend to the Mayor and Village Board approval of the UDO amendments with the following changes:

1. In Chapter 17.02 definition, include lot consolidation definition as “A resubdivision of lots to eliminate a property line or lines between contiguous lots”.
2. For Table 17.06.02, under the area for gazebos, keep the maximum area at 160 square feet.
3. Add a definition to clarify the difference between accessory structure and accessory building.

A roll call vote was taken:

Ayes: Maher, Kwasneski, McGleam, Zolecki, Andrysiak, Sanderson

Nays: None

Motion passed

Commissioner Kwasneski made a motion, seconded by Commissioner Maher to authorize the Chairman to approve the Findings of Fact for Case 16-04 as prepared by staff. A voice vote was taken:

Ayes: All

Nays: None

Motion passed

IV. ACTION ITEMS

None

V. GENERAL DISCUSSION

A. Update from Village Board

Mrs. Valone stated there was one case from last month's PZC meeting did not appear before the Committee of the Whole which was the Fox Meadows application. Mr. Ford, the applicant, took the conditions that the Commission gave him and made other ones. The plans were totally different and not matching the Commission's conditions. That application is being put on the May 9th agenda for the Village Board.

Commissioner Kwasneski asked if he needs to come back before the Commission.

Mrs. Valone said if he complies with their conditions then he would not have to. If he makes substantial changes still and goes before the Committee of the Whole then they could remand it back to the Commission. In regards to the 5th Street application, it went before the Village Board and they did not add any additional information to their application so the Village Board had tabled it.

VI. AUDIENCE PARTICIPATION

None

VII. ADJOURMENT

Pro Tem Chairman Sanderson called for a motion to adjourn the meeting.

Commissioner Kwasneski made a motion, seconded by Commissioner Andrysiak to adjourn the meeting. A voice vote was taken:

Ayes: All

Nays: None

Motion passed

Minutes prepared by Peggy Halper



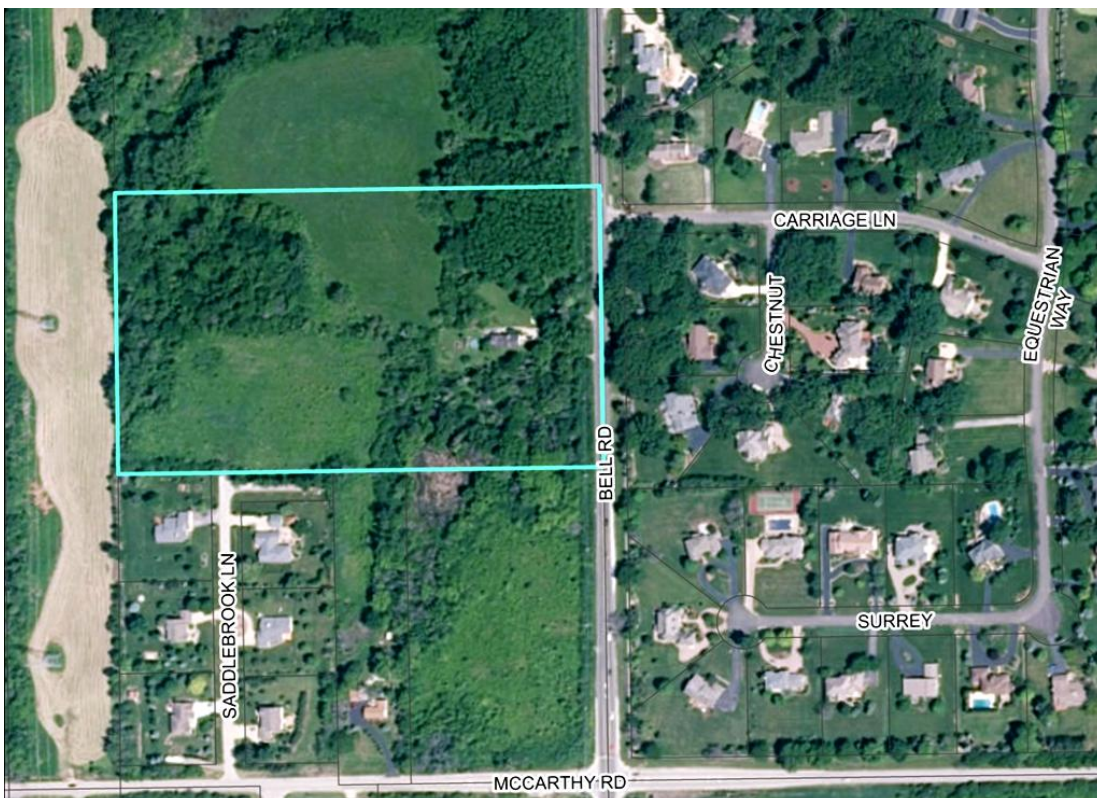
Village of Lemont
Planning & Economic Development Department

418 Main Street · Lemont, Illinois 60439
phone 630-257-1595 · fax 630-257-1598

TO: Planning & Zoning Commission
FROM: Heather Valone, Village Planner
THUR: Charity Jones, AICP, Planning & Economic Development Director
SUBJECT: Case 15-14 Equestrian Meadows Final PUD
DATE: May 6, 2016

SUMMARY

On December 14, 2015 the Village of Lemont approved a preliminary plat/plan for a 34 lot single-family residential planned unit development. The development is located at 12150 Bell Road. On April 18, 2016, Equestrian Meadows Company, LLC submitted an application for Final PUD/Plat approval for Phase One of the development. Phase One includes 22 single family lots, avoiding the existing wetland in the southeast corner of the subject property. Staff recommends approval.



PROPOSAL INFORMATION

Case No. 15-14
Project Name Equestrian Meadows Final PUD

General Information	
Applicant	Equestrian Meadows Development Company, LLC
Status of Applicant	Owner
Requested Actions:	Final PUD Approval
Purpose for Requests	22 single family homes
Site Location	12150 Bell Road (PINs: 22-26-201-011-0000)
Existing Zoning	R-4 Single Family Detached District
Size	15.8 acres
Existing Land Use	Vacant/former farm land and residential
Surrounding Land Use/Zoning	North: R-4 Single Family Detached Residential (Residential)
	South: R-4 Single Family Detached Residential
	East: R-4 Unincorporated Cook County Single Family Residential District (Equestrian Estates)
	West: R-4 Unincorporated Cook County Single Family Residential District (Com Ed Utility Right of Way)
Lemont 2030 Comprehensive Plan	The Comprehensive Plan map designates this area Conventional Neighborhood (CONV N.)

BACKGROUND

The following UDO exceptions were part of the preliminary PUD approval:

- A. Setback requirements for single-family interior side yards shall be 10ft.
- B. Single-family lot sizes shall be as indicated in the site plan (minimum size 11,070sf).

The preliminary plat/plan approval identified the following conditions for final plat/plan approval.

- 1) Prior to the Final PUD approval, shall provide a tree mitigation and preservation plan shall be submitted and comply with Section 17.20.130.D of the UDO.

The ordinance also required the following anti-monotony standards single-family homes, in addition to the requirements of UDO Chapter 17.22:

Garages.

- 2) No more than 64.7% single family detached units shall have three-car front loaded garages.

Exterior Materials & Features.

- 1) All single family detached units shall be constructed with masonry from grade to the top of the first storey.

- 2) Brick and stone veneer shall be anchored veneer. Adhered brick and stone veneer systems shall not be permitted, except adhered natural stone veneer shall be permitted for porch columns.

The submitted Final PUD plan for Phase One includes one minor change to the small detention pond (detention pond B) located northwest of the entrance from Bell Road. Although a minor change was made to the plan, the application for Phase One is substantially conforming to the approved Preliminary PUD. Additionally, the tree preservation and landscape plans have been found to be acceptable by the Village Arborist. Therefore, the PZC's scope of review shall be limited to reviewing 1) the minor proposed change to detention pond B, 2) the final engineering plans, and 3) the residential design proposal as presented for consistency with the approved Preliminary PUD.

GENERAL ANALYSIS

Site Plan. Note that the site plan is substantially conforming to the approved preliminary PUD; however, there are changes that have occurred after the PZC's review in November 2015. The applicant revised the plans to rename the streets along lots 9-2 and 10-16 per the PZC recommendation. The applicant complied with all PZC recommendations. Since Preliminary PUD the applicant has removed detention pond B (Figure 1); however, the

area previously indicated for the detention pond remains open space (Figure 2). The stormwater volume that was proposed to be contained in detention pond B has been rerouted to the two other detention facilities on the site, thus the pond is no longer needed. As the detention pond would have been deeded to the Village, staff sees no issue with the removal of detention pond B.

Engineering. The Village Engineer is generally satisfied with the engineering plans submitted for Final PUD approval; his full comments are attached. The Engineer does provide comments on detailed items relating to the site development permitting. As noted by the Village Engineer, there are four minor revisions need on the final plat. Additionally, staff has found an error on lot 2 as shown on the proposed final plat. The lengths of the north property line along Belmont Parkway appear to be missing a dimension.

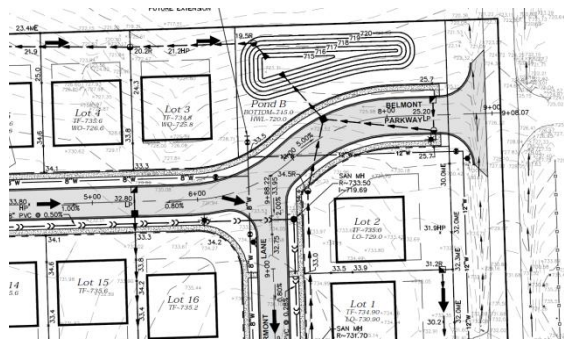


Figure 1 The approved Preliminary PUD Engineering plans indicating detention pond B near the Bell Road entrance.



Figure 2 The Final PUD submittals show the area of the open space near the Bell Rd entrance, formerly detention pond B.

Fire District Comments. The Fire Marshal generally approved of the plans and indicated the plans are approved as noted, full comments attached. The Fire Marshal also indicated the fire hydrants in the area near the intersection of the Saddlebrook and Fairmont Lanes exceed 300 ft maximum spacing requirement between hydrant structures. These fire hydrants will need to be revised prior to Final PUD approval.

Residential Design Standards. As stated previously a selection of residential design standards were approved as part of the preliminary PUD ordinance. Staff is proposing the following standards to finalize the design guidelines (underlined sections are recommendation in addition to the preliminary PUD requirements):

A. Anti-monotony. The UDO Section 17.22.020 – Design Variety in Residential Construction and 17.22.050 – Architectural Standards for Residences shall apply.

B. Garages.

1. No more than 64.7% single family detached units in the subdivision shall have three-car front loaded garages. Phase One shall have no more than 15 three-car front load garages. Phase Two shall have no more than seven three-car front load garages.

Exterior Materials & Features.

2. All single family detached units shall be constructed with masonry from grade to the top of the first storey.
3. Brick and stone veneer shall be anchored veneer. Adhered brick and stone veneer systems shall not be permitted, except adhered natural stone veneer shall be permitted for porch columns.
4. Siding shall be cement fiber board, LP Smart Side® or a comparable product of similar style and quality as approved by the Village Planning & Economic Development Director.

CONCLUSIONS & RECOMMENDATIONS

As the application is substantially conforming to the Preliminary PUD staff is recommending approval with the following conditions:

1. Revise the Engineering plans per the Village Engineer and Fire Marshal's comments.
2. Revised the final plat per the Village Engineer and staff's comments.
3. Comply with the final residential design guidelines as noted earlier in the report.

ATTACHMENTS

1. Village Engineer review
2. Fire Marshal review

3. Application package
4. Preliminary PUD Ordinance



Frank Novotny & Associates, Inc.

545 Plainfield Road, Suite A • Willowbrook, IL • 60527 • Telephone: (630)887-8640 • Fax: (630) 887-0132

*Civil Engineers/
Municipal Consultants*

May 5, 2016

Sent Via Email

Ms. Heather Valone
Planner
Village of Lemont
418 Main Street
Lemont, Illinois 60439

Re: **Equestrian Meadows
Final PUD Plat Review**

Dear Heather:

I have reviewed the final Plat for Equestrian Meadows, dated April 14, 2016, and have the following comments:

1. The Drainage and Stormwater Detention Easement Certificate states that Lots 35, 36, and 38 are hereby dedicated to the Village of Lemont.

Lot 37 is not a detention parcel, only a PU&DE Easement. Maybe this parcel should become part of Lot 3, so someone maintains it.
2. Perhaps the "Unsubdivided Proposed Future Phase II" should become Lot 39, to simplify the legal description of this parcel for Phase II, and thus make it part of the Phase 1 Plat.
3. The Bell Road dedication should either be to "Cook County Department of Transportation", or simply "Hereby dedicated".
4. Is a Mortgage Certificate applicable to this site?

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,

FRANK NOVOTNY & ASSOCIATES, INC.

James L. Cainkar, P.E., P.L.S.

JLC/dn

cc: Mr. George J. Schafer, Asst. Village Administrator
Ms. Charity Jones, Director of Planning & Econ Devel.
File No. 15202

15202 Final Plat Review.docx



Frank Novotny & Associates, Inc.

545 Plainfield Road, Suite A • Willowbrook, IL • 60527 • Telephone: (630)887-8640 • Fax: (630) 887-0132

Civil Engineers/
Municipal Consultants

May 5, 2016

Sent Via Email

Ms. Heather Valone
Planner
Village of Lemont
418 Main Street
Lemont, Illinois 60439

Re: **Equestrian Meadows
Engineering Plan Review No. 1**

Dear Heather:

I have reviewed the Engineering Plans consisting of fifteen (15) sheets, dated February 28, 2016, and have the following comments **addressed to the Permittee**.

1. The following Permits are needed:

Agency	For	Status
MWRDGC – WMO	Sanitary Sewer and Wetland Buffer	Unknown
IEPA – DPWS	Water Main	Unknown
IEPA – PWPC	Sanitary Sewer	After MWRDGC
IEPA – NOI	Earthwork and Erosion Control	Unknown
Cook County – DOT	Bell Road entrance and Drainage Outfall	Unknown
USACEO	Wetland Jurisdictional Determination	Unknown

2. Please provide Village Plumber approval.
3. A proposed sidewalk needs to be shown on Bell Road.
4. Please update all Lemont Standards. (I sent a copy of the updated Standards to DesignTek Engineering by postal mail.)
5. One Sheet 2:
 - a) Modify Sanitary Sewer Spec to be ASTM D-2241 Pipe with ASTM D-3139 Joint.
 - b) Trench backfill is required within 5 feet of all pavements, etc.
 - c) Specify flared water service connection.
 - d) Specify that all sewers must be televised (storm and sanitary).
 - e) Specify that all construction shall comply with the UDO Ordinance of the Village of Lemont.
6. One Sheet 3:
 - a) The wrong hydrant is specified (see LS-25).
 - b) Water main depth should be 5.5 feet.
 - c) Sanitary sewer manholes require chimney seals (see LS-42).
 - d) Specify the type of landscaping for the detention basins.

7. One Sheet 6:

- a) Provide a typical elevation detail noting the relationship between
 - Pavement centerline
 - Edge of pavement
 - Gutter
 - Top of curb
 - Front of sidewalk
 - Back of sidewalk
 - Right-of-way line
- b) For Lot 1, raise look-out elevation to 731.6 minimum.
- c) Edge of detention basin needs to be at least five-foot distance from the edge of sidewalk.
- d) Provide detention basin volume information on the Plan. Indicate acreage that is tributary to catch basin, so that we can calculate the $\frac{\text{acre feet}}{\text{acre}}$ ratio.
- e) Eliminate the steep rear yard grading behind Lot 9.
- f) Specify detention basin landscape parameters.
- g) Indicate proposed driveway grades for each lot. (Must be 8% or less.)
- h) Indicate the street and right-of-way width on the Plans.

8. One Sheet 9:

- a) Extend the 10-inch sanitary sewer and the 12-inch water main to the north limits of the site, at Bell Road, for future extension. Provide a gate valve in vault and end manhole.
- b) Try to eliminate the 12-inch water main job on Bell Road, at the utility pole.
- c) Structure E4 is very shallow for use of a 48-inch structure. Can you deepen it? This will also help Structures E5 and E6, to avoid rear yard flat top manholes.
- d) Structures E2 and E3 should be 48-inch diameter catch basins.
- e) A 36-inch catch basin is not a standard structure.
- f) Sanitary Manholes 2, 9, 10, 11 and 12 should be 5-foot diameter, due to their depth.
- g) The street light at Fairmont Lane and Saddlebrook drive should be on the west side of the street, to better illuminate the intersection.
- h) Minimum lengths of vertical curves need to use the following values:

<u>Crest Curve</u>	<u>Sag Curve</u>
K = 30	K = 40

Please revise according.

9. On Sheet 11, please make sure that the sanitary sewer on Saddlebrook Lane can be extended (is deep enough) to service all lots in unincorporated Saddlebrook Lane to the south. Terminate sanitary sewer at the property line.
10. Provide a plan note that street signs, street name signs, and parkway trees will be provided per the UDO.

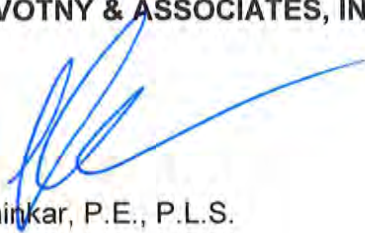
Ms. Heather Valone
Village of Lemont
May 5, 2016
Page Three

11. Please put dimensions on LS-1a and LS-10. Cross off non-applicable cross sections on LS-1b.
12. Update all LS Standards to current (CD was sent to DesignTek Engineering by postal mail).
13. Include the following Lemont Standards:
 - LS-81a
 - LS 81b
 - LS-3
 - LS-8
14. Provide a typical sidewalk detail with minimum and maximum cross slopes, per ADA.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,

FRANK NOVOTNY & ASSOCIATES, INC.



James L. Cairnkar, P.E., P.L.S.

JLC/dn

cc: Mr. George J. Schafer, Asst. Village Administrator
Ms. Charity Jones, Director of Planning & Econ Devel.
File No. 15202

15202 Eng Rev 1.docx



LEMONT FIRE PROTECTION DISTRICT



BUREAU OF FIRE PREVENTION

15900 New Avenue
Lemont, IL 60439
Business: (630)257-0191
Fax : (630) 257-5318
lemontfire.com

May 9, 2016

Mrs. Heather Valone
Village Planner
Village of Lemont
418 Main St.
Lemont, IL 60439

Re: Proposed Equestrian Meadows - (Phase 1)
Land Use Application Review

Dear Mrs. Valone;

We are in receipt of the plans for the above mentioned project. The 2006 edition of the International Fire Code with local amendments were used for this review. These plans are **APPROVED AS NOTED** subject to compliance with the following comments:

- 1) The address for the properties shall be permanently displayed, either on a sign or on the building. The type and size of the address a minimum four inches (4") - shall be in compliance with Lemont Fire Protection District Ordinance #14-02, and International Fire Code, 2006 Edition (Section 505).
NOTE: Verify addresses and install temporary street signs prior to building site work commencing.
- 2) Underground piping shall be designed, installed, and tested in accordance with N.F.P.A. Standard #24, 2002 Edition, "Installation of Private Fire Service Mains and their Appurtenances." (Section 24.10.10.2). Notify the appropriate municipality **forty-eight (48) hours in advance**, so that all tests can be witnessed. Upon successful completion of this test, a properly completed "Contractor's Material & Test Certificate for Underground Piping" form shall be submitted to the Bureau of Fire Prevention for approval.
- 3) An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction in accordance with the 2006 International Fire Code, Section 508.1.

- 4) Fire hydrants shall be located along a fire apparatus access road so that no portion of a building or facility will be more **than 300 feet from any hydrant.** Additional hydrants and mains shall be provided where required by the code official. Lemont Fire Protection District Ordinance #14-02 (Section 508.5.1).

NOTE: Hydrant spacing appears to have exceeded 300' within some areas of this development. (**Saddlebrooke and Fairmont Lane**)

- 5) Fire Hydrant Installation: Fire hydrants shall be installed so that:
 - 1) Access: Access to fire hydrants shall be by any approved roadway as specified by this code.
 - 2) Distance to Roadways: Hydrants shall be located approximately ten (10) feet from all-weather roadways.
 - 3) Pumper Outlet Direction: Each hydrant shall have the pumper (steamer) connection facing the primary roadway and shall be accessible so that a connection can be made between the hydrant and the apparatus located in the street with twenty (20) feet of suction hose.
 - 4) Hydrant Outlet Location: Fire hydrant outlets shall be a minimum of eighteen (18) inches and no more than thirty-six (36) inches above the finished grade.
 - 5) Hydrant Type: Fire hydrants used in conjunction with water supplies shall be of a type acceptable to the Lemont Fire Protection District.
 - 6) Cover/Cap: The larger steamer port on the hydrant is to be equipped with a five (5) inch "storz" fitting with a cover/cap. This cover/cap shall be connected to the hydrant with a 0.125" vinyl coated aircraft cable. If this type of connection cannot be used, final determination shall be made by the fire code official. Lemont Fire Protection District Ordinance #14-02 (Section 508.5.7).
- 6) When fire apparatus access roads or a water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles in accordance with the International Fire Code, 2006 Edition, (Section 505.2).
- 7) Obstruction: Posts, fences, vehicles, growth, trash, storage and other materials or objects shall not be placed or kept near fire hydrants, fire department inlet connections or fire protection system control valves in a manner that would prevent such equipment or fire hydrants from being immediately discernible. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants in accordance with International Fire Code, 2006 Edition (Section 508.5.4).

- 8) Fire apparatus roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surface so as to provide all weather driving capabilities in accordance with the International Fire Code, 2006 Edition, (Section 503.2.3).
- 9) Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus in accordance with the 2012 International fire Code, Section 503.2.5.

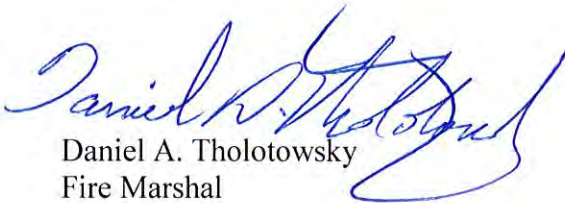
NOTE: REVIEW THE 2 FAIRMONT LANE TEMPORARY "DEAD-ENDS" WITH FIRE PREVENTION BUREAU TO DETERMINE AN ACCEPTABLE SOLUTION FOR APPARATUS MANEUVERABILITY.

- 10) The required turning radius of a fire apparatus access road shall be determined by the Fire Code Official in accordance with the International Fire Code, 2006 Edition, (Section 503.2.4).

NOTE: REVIEW THE 2 FAIRMONT LANE TEMPORARY "DEAD-ENDS" WITH FIRE PREVENTION BUREAU TO DETERMINE AN ACCEPTABLE SOLUTION FOR APPARATUS MANEUVERABILITY.

The review of these drawings does not relieve the contractor or building owner from designing and installing and completing this project per all code and standard requirements. Fire code and standard requirements not necessarily noted on these plans, in the plan review letter, or noted during inspections are still required to be provided and installed in full compliance with all adopted codes standards and ordinances. I will recommend approval of these plans with the stipulation that the above items are addressed and complied with. This **APPROVAL AS NOTED** with noted requirements of the Codes and Standards for the submitted project is not to be construed as final approval. This can only be granted after construction and occupancy inspections. If you should have any further questions please don't hesitate to contact me.

Sincerely,



Daniel A. Tholotowsky
Fire Marshal

PUD Final Plan/Plat Application Form

Planning & Economic Development Department
418 Main Street Lemont, Illinois 60439
phone (630) 257-1595
fax (630) 257-1598

APPLICANT INFORMATION

Applicant Name: Equestrian Meadows Development Company LLC

Company/Organization: by Matthew Klein, attorney 322 W Burlington, LaGrange IL 60525

Applicant Address: 14800 S 80th Ave, Orland Park IL 60462

Telephone & Fax: 708 873 9700 (mobile) 708 774 4895 (Castletown) 708 354 8840 (M) 630 533 3290 (M)

E-mail: matthomes@AOL.com

CHECK ONE OF THE FOLLOWING:

- Applicant is the owner of the subject property and is the signer of this application. (by Attorney)
- Applicant is the contract purchaser of the subject property.
- Applicant is acting on behalf of the beneficiary of a trust.
- Applicant is acting on behalf of the owner.

PROPERTY INFORMATION

Address of Subject Property/Properties: 12150 Bell Road

Parcel Identification Number of Subject Property/Properties: 22-26-201-011-0000

Size of Subject Property/Properties: 16 acre +/-

REQUIRED DOCUMENTS

See Form 508-A, PUD Final Plan/Plat Application Checklist of Required Materials, for items that must accompany this application.

FOR OFFICE USE ONLY

Application received on: _____ By: _____

Application deemed complete on: _____ By: _____

Current Zoning: _____

Fee Amount Enclosed: _____ Escrow Amount Enclosed: _____

PUD Final Plan/Plat Application Form

Village of Lemont

APPLICATION FEE & ESCROW

Application Fee (only required if the PUD includes a final plat of subdivision):

< 3 acres = \$300, plus \$25 per existing and/or proposed dwelling unit

3 to <5 acres = \$600, plus \$25 per existing and/or proposed dwelling unit

5 to <10 acres = \$1000, plus \$25 per existing and/or proposed dwelling unit

10 acres or more = \$1200, plus \$25 per existing and/or proposed dwelling unit

Fee is non-refundable.

Required Escrow = \$2,000

At the time of application, the applicant shall submit a check for the establishment of an escrow account. The escrow money shall be used to defray costs of public notice, consultants, or other direct costs incurred by the Village in association with the PUD final plan/plat application. After completion of the review process, any unused portion of the escrow account will be refunded upon request.

AFFIRMATION

I hereby affirm that I have full legal capacity to authorize the filing of this application and that all information and exhibits herewith submitted are true and correct to the best of my knowledge. I permit Village representatives to make all reasonable inspections and investigations of the subject property during the period of processing of this application. I understand that as part of this application I am required to establish an escrow account to pay for direct costs associated with the approval of this application, such as the fulfillment of public notice requirements, removal of the public notice sign, taking of minutes at the public hearing and fees for consultants hired by the Village to evaluate this application. I understand that the submitted fee is non-refundable and that any escrow amount leftover upon project completion will be refunded upon request.

Equestrian Meadows Development Company LLC

3/28/16

Signature of Applicant

Date

Matt Klein (att)

State IL

County Cook

I, the undersigned, a Notary Public in and for the aforesaid County and State, do hereby certify that

Matt Klein is personally known to me to be the same person whose name is subscribed to the foregoing instrument, and that said person signed, sealed and delivered the above petition as a free and voluntary act for the uses and purposes set forth.

Christine E. Gentile

Notary Signature

Given under my hand and notary seal this 28th day of March A.D. 20 16.

My commission expires this 25th day of February A.D. 20 19.



Equestrian Meadows PUD

Equestrian Meadows will be a 34 home subdivision / planned development on 16 acres on the West side of Bell Road just North of McCarthy Rd. The homes will be constructed by Marth Homes and Castletown Homes - both builders of quality custom homes in Lemont and the southwest suburbs. The first phase will consist of 22 homes. Equestrian Meadows will be developed, constructed and maintained in substantial conformance with the Lemont UDO and the approved preliminary PUD.

Marth Construction is a family owned custom home builder. Since 1977 Marth Construction has offered custom homes of the highest quality to families in the southwest suburbs at affordable prices.

Castletown Homes for the last four decades has helped southwest suburban family's dream of homeownership come true, building custom homes with quality, integrity, and value.

Both Marth Homes and Castletown Homes are proud of the homes they have constructed; and proud to have paired their custom home homeowners with quality communities and first-rate homes.

Each custom home will be constructed with masonry from grade to the top of the first story, except for architectural detailing. Homes will be constructed in the well recognized style typically constructed by Marth Homes and Castletown Homes in the Lemont area. Each home will have at least a two car garage, and no more than 64.7% of homes will have front loaded three (3) car garages. Equestrian Meadows will follow the Lemont UDO anti-monotony provisions. The style of each home - except for models - will be selected by a purchasing customer.

No homeowner's association or additional commonly owned open space is proposed - each home will have its own yard and private open space. The detention ponds and surrounding open space will be dedicated to the village.

A Tree Preservation Plan has been submitted and is attached.

The members of Equestrian Meadows Development Company, LLC are Marth Enterprises, Inc., the principals of which are Jim and Carol Marth, and Castletown Homes, Inc., the principals of which are James McDonnell and Ann Bell.

EQUESTRIAN MEADOWS PLANNED UNIT DEVELOPMENT PHASE I

Owner's Certificate

STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

This is to certify that the undersigned are the Managers of Equestrian Meadows Development Company LLC, that is the owner of record of the following described land, and has caused the same to be surveyed and subdivided, as shown on this plat of subdivision, for the uses and purposes therein set forth, and does hereby acknowledge and adopt the same under the style and title thereon indicated:

THE SOUTH 1/2 OF THE FOLLOWING DESCRIBED TRACT:
 THE EAST 1/2 OF THE NORTHWEST 1/4 (EXCEPT THE SOUTH 700 FEET THEREOF AND EXCEPT THE WEST 250 FEET THEREOF, AND ALSO EXCEPT THE NORTH 663 FEET THEREOF) OF SECTION 26, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

The undersigned hereby dedicates for public use the lands shown on this plat, including but not limited to, thoroughfares, streets, alleys, walkways and public services; grants the telephone, gas, electric and any other public or private utility easements as stated and shown on this plat.

The undersigned further certifies that there are no unpaid deferred installments of outstanding unpaid special assessments affecting the land described and shown on this subdivision plat or, if any of said installments are not paid, then such installments have been divided in accordance with the subdivision and approved by the court which confirmed the special assessment and the proper collector of any such special assessment has so certified such division on the face of this subdivision plat.

Manager: _____
 Ann Bell,

Manager: _____
 James Marth

STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, _____, a Notary Public in and for said County in the State aforesaid, do hereby certify that Ann Bell and James Marth of Equestrian Meadows LLC, are personally known to me to be the same persons whose names are subscribed to this subdivision plat as Managers of Equestrian Meadows LLC., appeared before me this day in person and acknowledged that they signed this subdivision plat as their own free and voluntary act and the free and voluntary act of Equestrian Meadows LLC. for the uses and purposes therein set forth.

Given under my hand and seal this _____ day of _____, 20____.

Notary Public

Owner's Certificate - School District(s)

STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

This is to certify that the undersigned are the Managers of record of Equestrian Meadows LLC, the owner of the following described land, and here certifies that the subject property is located with the following school district:

ELEMENTARY SCHOOL DISTRICT: LEMONT-BROMBEREK COMBINED DISTRICT 113
 HIGH SCHOOL DISTRICT: LEMONT TOWNSHIP HIGH SCHOOL DISTRICT 210
 COMMUNITY COLLEGE DISTRICT: JOLIET JUNIOR COLLEGE DISTRICT 525

In Cook, Dupage and Will, Counties, Illinois.

Dated this _____ day of _____, 20____.

By: _____ Ann Bell, Manager
 By: _____ James Marth, Manager

School District Notary Certificate

STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, _____, a Notary Public in and for said County in the State aforesaid, do hereby certify that Ann Bell and James Marth are personally known to me to be the Managers of Equestrian Meadows Development Company LLC and the same persons whose names are subscribed to the foregoing instrument as such Managers appeared before me this day in person and acknowledged that they signed the subdivision plat as their own free and voluntary act for the uses and purposes therein set forth.

Given under my hand and Notarial Seal
 This _____ Day of _____, 20____.

By: _____ Notary Public

Surface Water Drainage Certificate

STATE OF ILLINOIS)
)SS
 COUNTY OF WILL)

We hereby certify that the topographical and profile studies required by the Illinois Plat Act, Ill. Compiled Stat., ch. 109, sec. 1 et seq., as now or hereafter amended, have been filed with the Village of Lemont, a municipal corporation in Cook, DuPage, and Will Counties, Illinois, and the certification as to drainage required by said Act made thereon.

Dated this _____ day of _____, 20____.

Scott Schreiner
 Registered Professional Engineer No. 062-049702
 My License Expires 11-30-2017

Ann Bell
 James Marth

Managers of Equestrian Meadows Development Company LLC.

Surveyor's Certificate

STATE OF ILLINOIS)
)SS
 COUNTY OF WILL)

I, MATTHEW D DUNN, Illinois Professional Land Surveyor No. 3107, do hereby certify that I have surveyed and subdivided the described as follows:

THE SOUTH 1/2 OF THE FOLLOWING DESCRIBED TRACT:
 THE EAST 1/2 OF THE NORTHWEST 1/4 (EXCEPT THE SOUTH 700 FEET THEREOF AND EXCEPT THE WEST 250 FEET THEREOF, AND ALSO EXCEPT THE NORTH 663 FEET THEREOF) OF SECTION 26, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

as shown on this subdivision plat, which is a true and correct representation of said survey and subdivision. All distances are shown in feet and decimal parts thereof. I certify that iron rods were set at all lot corners and that monuments were placed at all lot corners as depicted per state statutes. I further certify that all regulations enacted by the Board of Trustees of the Village of Lemont, a municipal corporation in Cook, DuPage and Will Counties, Illinois, relative to plats and subdivisions have been complied with in the preparation of this plat.

I further certify that no part of the property covered by this plat of subdivision is located within a special food hazard area as identified by the Federal Emergency Management Agency and that no part of said property borders on or includes any public waters in which the State of Illinois has any property rights or property interests.

I further certify that this subdivision lies within the corporate limits of said Village of Lemont or within 1-1/2 miles of the corporate limits of said Village, which has adopted a city plan and is exercising the special powers authorized by Division 12 of Article 11 of the Illinois Municipal Code, as now or hereafter amended.

By my signature on this certificate, I hereby grant to the Village of Lemont, their respective successors and assigns, the authority to record this plat.

Given under my hand and seal at NEW LENOX, Illinois, this _____ day of _____, 20____.

Illinois Registered Land Surveyor

Village Engineer's Certificate

STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, _____, Engineer of the Village of Lemont, Illinois, hereby certify that the land improvements in this Subdivision, as shown by the Plans and Specifications therefore, meet the minimum requirements of said Village and have been approved by all public authorities having jurisdiction thereof. Dated at Lemont, Illinois, Cook, Will, and DuPage Counties, Illinois, this _____ day of _____, 20____.

Village Engineer

Certificate as to Special Assessments

STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, _____, Village Treasurer of the Village of Lemont, do hereby certify that there are no delinquent or unpaid current or forfeited special assessments, or any deferred installments of any outstanding unpaid special assessments which have not been divided in accordance with the proposed subdivision and duly approved by the court that confirmed the special assessment.

Dated at Lemont, COOK County, Illinois, this _____ day of _____, 20____.

Village Treasurer

President and Board of Trustees Certificate

STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

Approved and accepted by the Board of Trustees of the Village of Lemont, Cook County, Illinois at a Public Meeting held:

this _____ day of _____, 20____.

By: _____ President

Attest: _____ Village Clerk

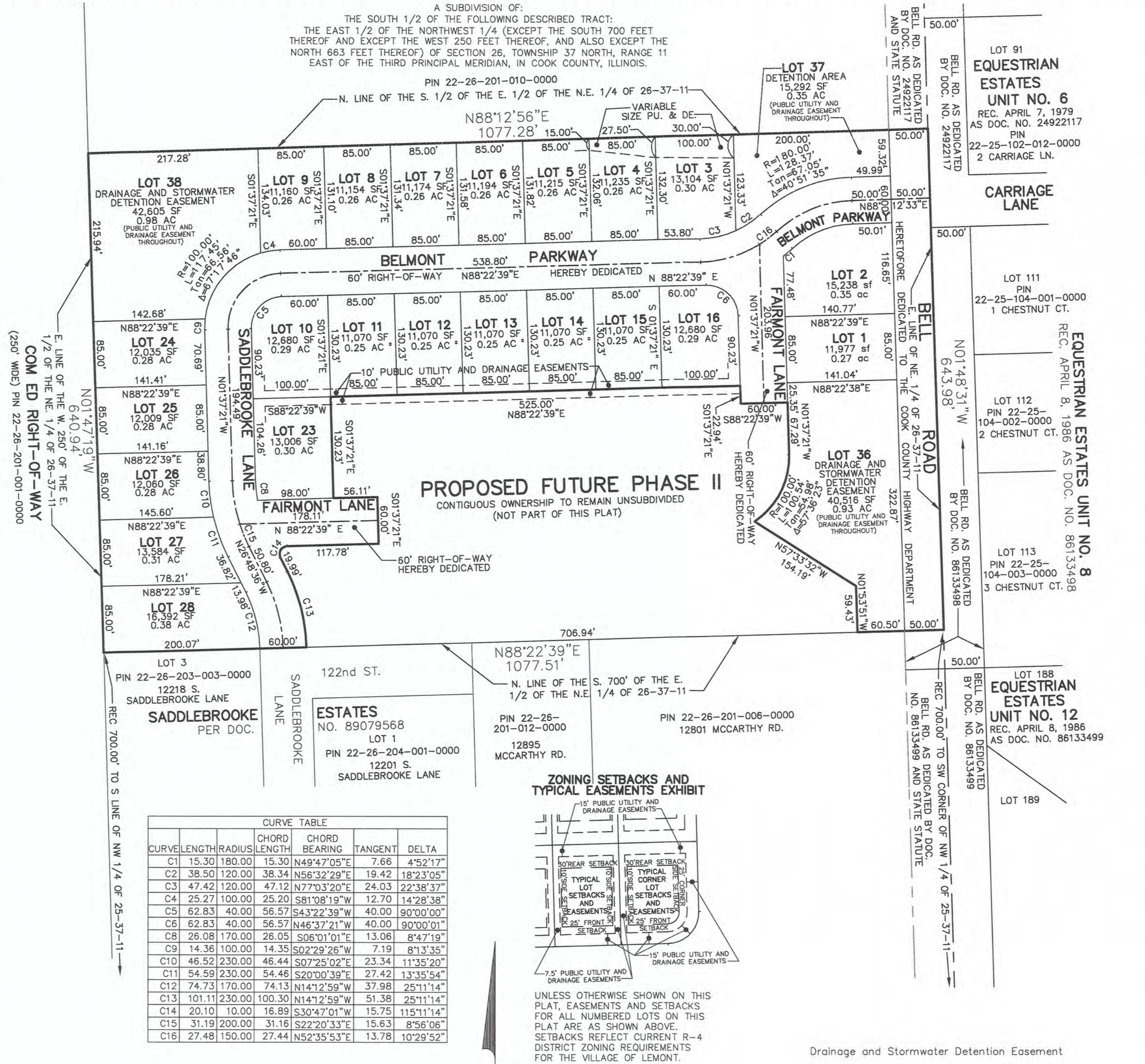
County Clerk Certificate

STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, _____, County Clerk of COOK County, Illinois, do hereby certify that I find no delinquent general taxes, no unpaid current general taxes, no unpaid forfeited taxes, no delinquent or unpaid current special assessments, no redeemable tax sales against any of the land shown on this plat of subdivision and no deferred installments of any outstanding unpaid special assessments which have not been divided in accordance with the proposed subdivision and duly approved by the court that confirmed the special assessment.

Given under my hand and seal at COOK, County, Illinois, this _____ day of _____, 20____.

County Clerk

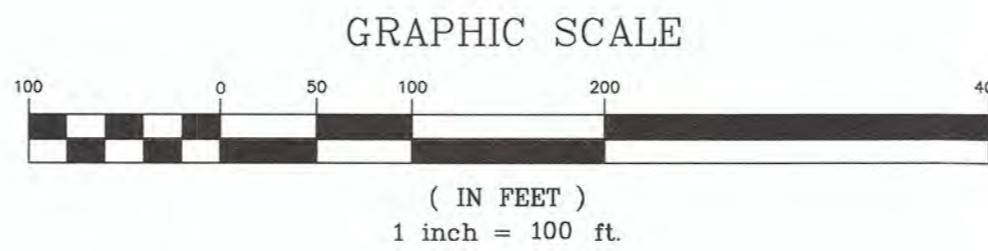


Cook County Highway Certificate

STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

Approved this _____ day of _____, 20____, as to the roadway access to County Highway known as Bell Road.

Superintendent of Highways



Drainage and Stormwater Detention Easement

Declarant hereby reserves and grants to the Village of Lemont, in, over, under, through, and upon those areas designated on the Plat as "Drainage and Stormwater Detention Easement" or "D.E." for purposes of providing adequate stormwater drainage control together with reasonable access thereto. Said easements shall be perpetual and shall run with the land and shall be binding upon the declarant, it's successors, heirs, executors and assigns. To ensure the integrity of the stormwater facilities, no obstructions shall be placed, nor alterations made, including alterations in the final topographical grading plan which in any manner impeded or diminish stormwater drainage of detention in, over, under, through or upon said easement areas. In the event such obstruction or alteration are found to exist, the Village shall, upon seventy-two (72) hours prior notice to the property owner, have the right, but not the duty, to perform, or have performed on it's behalf, the removal of said obstruction of alterations or to perform other repair, alteration or replacement as may be necessary to ensure that adequate stormwater storage, storm drainage, detention and retention facilities and appurtenances thereto remain fully operational and that the condition of said drainage easement complies with all applicable Village codes. In the event of an emergency situation, as determined by the Village, the seventy-two (72) hour prior notice requirement set forth above shall not apply, and the Village shall have the right, but not the duty to proceed without notice to the property owner.

In the event the Village shall perform, or have performed on it's behalf, removal of any obstruction or alteration to or upon the stormwater facilities drainage easement, as set forth in this easement, the cost of such work shall, upon recordation of Notice of Lien with the Recorder of Deeds of [Cook Dupage or Will] County, Illinois, constitute a lien against the assets of the property owner which cause such obstruction or alteration.

The cost of the work incurred by the Village shall include all expenses and costs associated with the performance of such work including, but not limited to, reasonable engineering, consulting and attorney's fees related to the planning and actual performance of the work.

Lots 35, 36 and 38 are hereby dedicated to the Village of Lemont for stormwater retention.

Public Utility and Drainage Easement Provisions

Non-exclusive, perpetual easements are hereby reserved and dedicated as depicted on this plat to the Village of Lemont and to those public utility companies operating within the Village of Lemont including, but not limited to, Commonwealth Edison Company, ATT, NICOR, Comcast Cable, and their successors and assigns over all areas marked "Public Utilities and Drainage Easement" and those areas designated "P.U. & D.E." on this plat for the perpetual right, privilege and authority to construct, reconstruct, repair, inspect, maintain, and operate various utility transmission and distribution systems, and including but not limited to overhead drainage, storm and/or sanitary sewers, together with any and all necessary manholes, catch basins, connections, appliances and other structures and appurtenances as may be deemed necessary by said Village and/or utility companies, over, upon, along, under and through said indicated easement, together with right of access across the property for necessary personnel and equipment to do any of the above work. The right is also granted to cut down and trim or remove any fences, temporary structures, trees, shrubs, or other plants without obligation to restore or replace and without need for providing compensation therefore on the easement that interfere with a the operation of the sewers or other utilities. No permanent buildings or structures shall be placed on said easement, but some may be used for gardens, shrubs, landscaping, and other purposes that do not then or later interfere with the aforesaid uses or rights. Where an easement is used for both sewer and other utilities, the other utility installation shall be subject to the ordinances of the Village of Lemont and to Village approval as to design and location.

Perpetual easements are hereby reserved for and granted to the Village of Lemont and other governmental authorities having jurisdiction, over the entire easement area for ingress, egress, and the performance of municipal and other governmental services including water, storm and sanitary sewer service and maintenance and emergency and routine police, fire, and other public safety related services.

COM ED COMPANY AND AT&T CORPORATION

An easement is hereby reserved for and granted to ComEd Company and AT&T Corporation, their respective successors and assigns, jointly and severally, for the installation, maintenance, relocation, renewal and removal of overhead and underground electric and communications cables and appurtenances in, over, under across, along and upon the surface of the property shown on the plat and designated on the plat and designated as "Public Utility and Drainage Easement" or "PU & DE" and the property designated on the plat for streets and alleys required to provide the Equestrian Meadows Subdivision and other property, weather or not contiguous thereto, with electric and communications services, together with the right to install required service connections over or under the surface of each lot to serve improvements thereon, or on adjacent lots, the right to cut, trim or remove trees, bushes and roots, as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes.

No buildings or other obstructions shall be placed over grantees' facilities or in, upon or over the property within the "Public Utility and Drainage Easement" or "PU & DE" without the prior written consent of grantees. Nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby. After installation of any such facilities, the grade of subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

NICOR CORPORATION / NICOR GAS COMPANY

An easement is hereby reserved for and granted to Nicor Corporation and Nicor Gas Company, their successors and assigns, jointly and severally, for the installation, maintenance, relocation, renewal and removal of gas mains and appurtenances in, under, across, along and upon the surface of the property shown on the plat and designated as "Public Utility and Drainage Easement" or "PU & DE" and the property designated on the plat for streets and alleys as required to provide the Equestrian Meadows Subdivision and other property, whether not contiguous thereto, with gas supply services, together with the right to install required service connections for each lot. No buildings or other obstructions shall be constructed or erected in any such "Public Utility and Drainage Easement" or "PU & DE" areas, without the prior written consent of grantees. Nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby.

COMCAST COMMUNICATIONS

An easement is hereby reserved for and granted to Comcast Communications Corporation operating within the Village of Lemont, it's successors and assigns, jointly and severally, for the installation, maintenance, relocation, renewal and removal of cable communication and broadcast signal systems in, under, across, along and upon the surface of the property shown on the plat and designated as "Public Utility and Drainage Easement" or "PU & DE" and the property designated on the plat for streets and alleys as required to provide the Equestrian Meadows Subdivision and other property, whether not contiguous thereto, with communication and broadcast TV services, together with the right to install required service connections for each lot. No buildings or other obstructions shall be constructed or erected in any such "Public Utility and Drainage Easement" or "PU & DE" areas, without the prior written consent of grantees. Nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby.

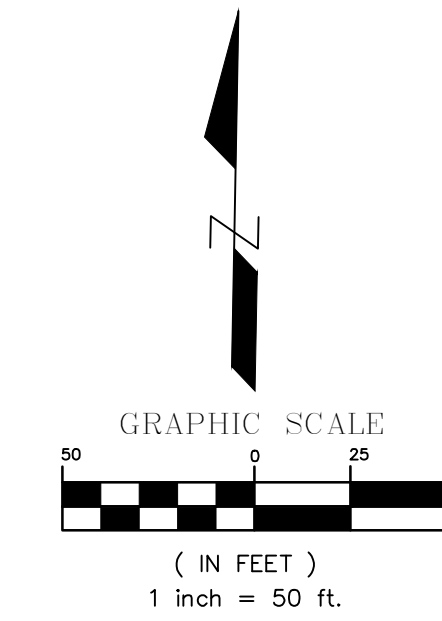
NOTES: THIS PLAT PERTAINS TO PIN 22-26-201-011-0000

PLEASE RETURN ONE RECORDED COPY OF THIS PLAT TO
 MATTHEW DUNN, P.E., P.L.S.
 LINCOLNWAY ENGINEERING AND LAND SURVEYING LTD.
 846 REGENT ST.
 NEW LENOX, IL 60451

PREPARED BY:
LINCOLNWAY
 ENGINEERING AND LAND SURVEYING LTD.
 846 REGENT STREET, NEW LENOX, IL 60451
 PHONE (630)301-1325

FINAL ENGINEERING PLANS FOR EQUESTRIAN MEADOWS - PHASE 1

LEMONT, ILLINOIS

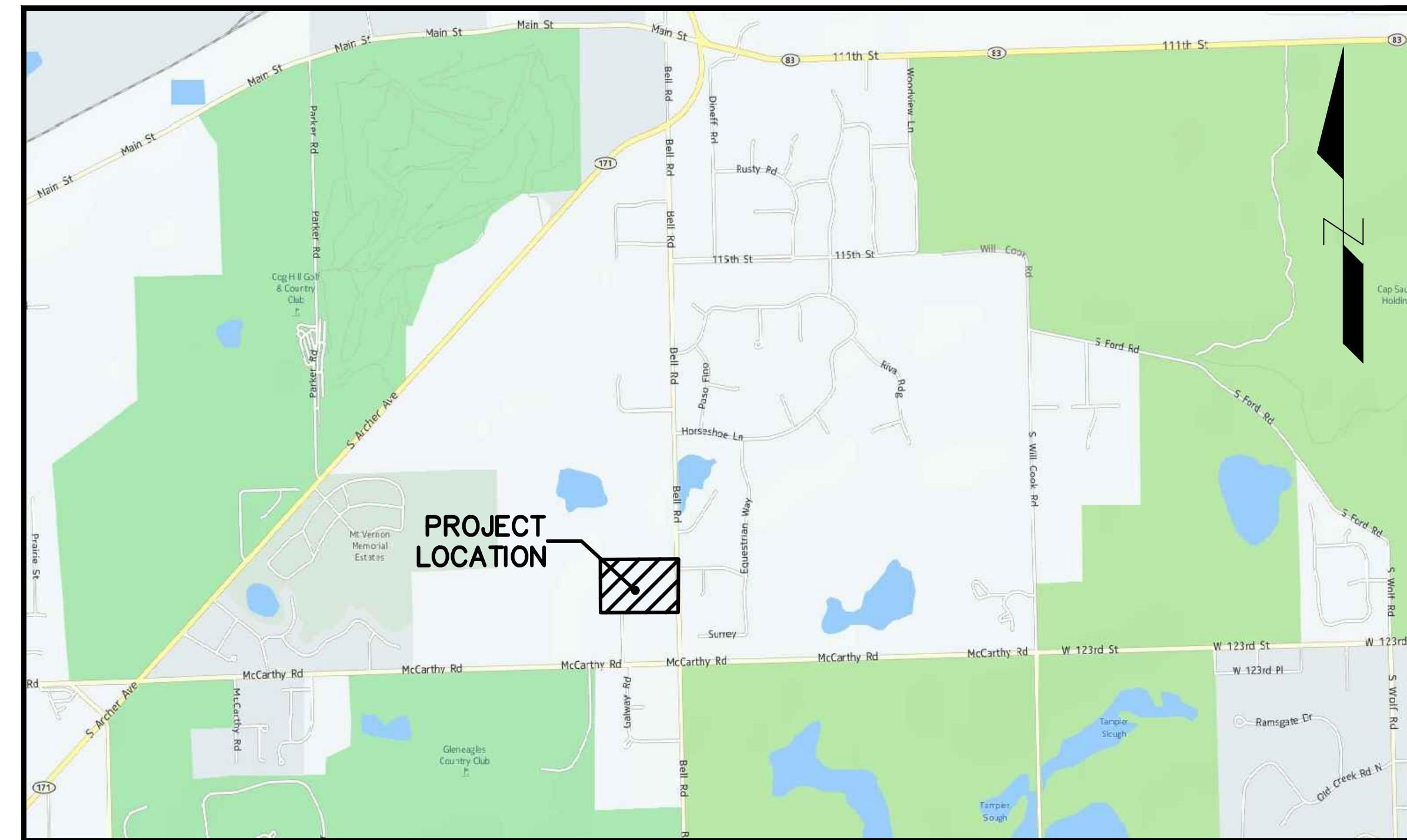


FINAL ENGINEERING PLANS
FOR
EQUESTRIAN MEADOWS - PHASE 1
LEMONT, ILLINOIS

DEVELOPER:
MARTH CONSTRUCTION
14800 S. 80TH AVENUE
ORLAND PARK, ILLINOIS 60462
(708) 873-9700

ENGINEER:
DESIGNTEK ENGINEERING, INC.
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961

SURVEYOR:
LINCOLNWAY ENGINEERING
AND LAND SURVEYING LTD.
846 REGENT STREET
NEW LENOX, ILLINOIS 60451
(630) 301-1325



**LOCATION MAP
NOT TO SCALE**

INDEX OF PLAN SHEETS

1. COVER SHEET
- 2.-3. SPECIFICATIONS
4. EXISTING CONDITIONS / DEMOLITION PLAN
5. GEOMETRIC PLAN
6. GRADING PLAN
7. SOIL EROSION AND SEDIMENT CONTROL
8. SOIL EROSION AND SEDIMENT CONTROL DETAILS
9. UTILITY PLAN
10. PLAN & PROFILE FAIRMONT LANE
11. PLAN & PROFILE SADDLEBROOKE LANE / BELMONT PARKWAY
- 12.-15. DETAILS

GENERAL NOTES:

1. THE EXACT LOCATION OF UNDERGROUND UTILITIES SUCH AS GAS, TELEPHONE, FIBER OPTIC, ELECTRIC, CABLE TV AND PIPE LINES ARE UNKNOWN. THE CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123 OR 811) AND ALL OTHER UTILITY OWNERS WHICH ARE IN THE PROJECT LIMITS BEFORE COMMENCING EXCAVATION.
2. THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI / ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

**SURFACE WATER
DRAINAGE CERTIFICATE**

STATE OF ILLINOIS
COUNTY OF J.S.

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DISCHARGE OF SURFACE WATERS INTO PUBLIC OR PRIVATE AREAS AND/OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF SUBSTANTIVE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS ____ DAY OF _____,

ENGINEER

EXISTING		PROPOSED	
	SANITARY SEWER		STORM SEWER
	CATCH BASIN		OPEN LID MANHOLE
	CLOSED LID MANHOLE		INLET
	WATER MAIN		VALVE
	HYDRANT		FLARED END
	STREET LIGHT		UTILITY POLE
	B-BOX		RETAINING WALL
	700 CONTOUR		FORCE MAIN
	FLOODPLAIN		FLOODWAY
	OVERLAND FLOW ROUTE		WETLANDS
	WETLAND BUFFER		DEPRESSED WALK

CALL BEFORE YOU DIG

JULIE

CALL 1-800-892-0123
AT LEAST 48 HOURS (2 WORKING
DAYS) BEFORE YOU DIG

**REVIEW SET
NOT FOR CONSTRUCTION**

REVISIONS			
NO.	DATE	DESCRIPTION	BY

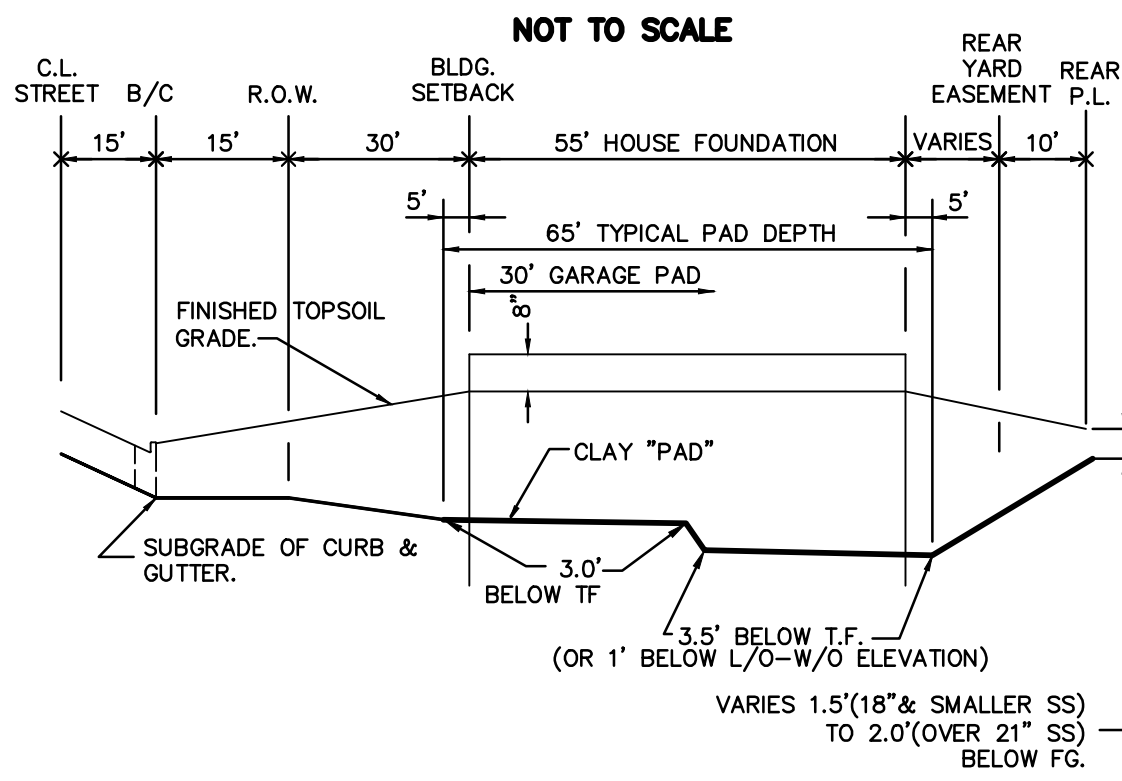
DESIGNTEK ENGINEERING, INC.
CONSULTING AND SITE DESIGN ENGINEERS



PROJECT INFORMATION
Project No.: 12-0025
Date: 2-28-16
Design By: SDS
Drafted By: ADM
Checked By: SDS

1
OF
15

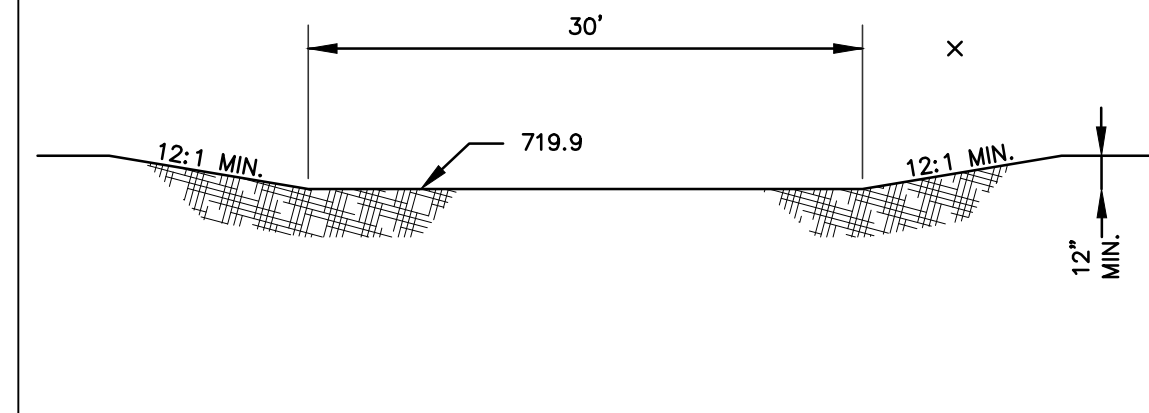
TYPICAL PAD SECTION



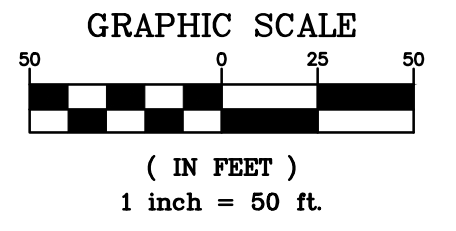
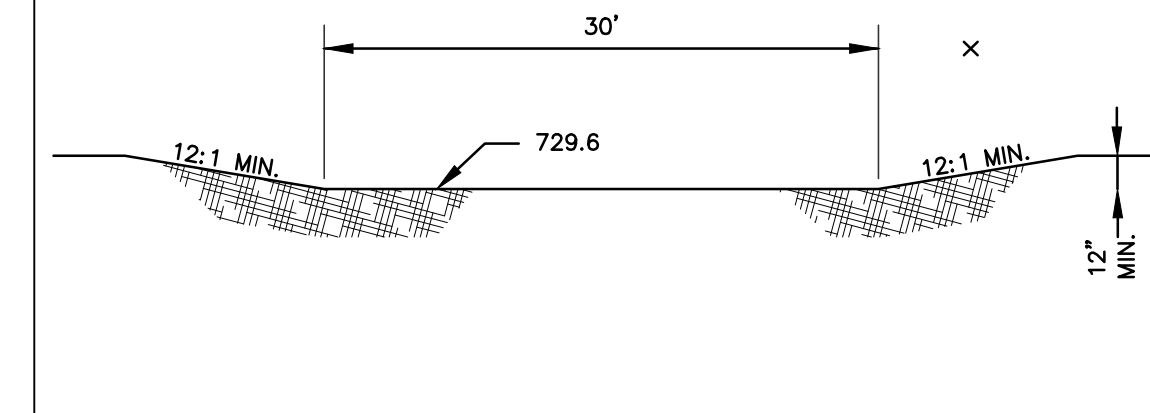
NOTES:

1. EARTHWORK CONTRACTOR TO CUT SLOTS IN REAR YARDS WHERE NECESSARY TO ALLOW FOR POSITIVE DRAINAGE AWAY FROM PADS.
2. FOR "LOOKOUT" AND "WALKOUT" LOTS, CONTRACTOR TO END PAD 5 FEET BEYOND GARAGE AND TRANSITION GRADE TO L/O OR W/O ELEVATION.

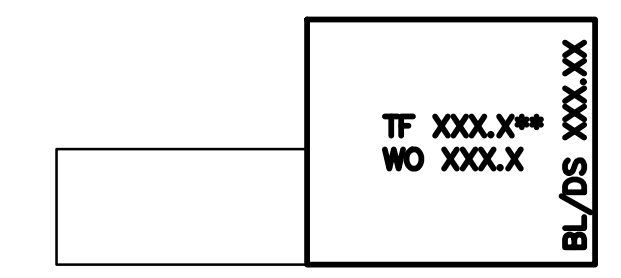
POND "A" OVERFLOW WEIR
NOT TO SCALE



POND "C" OVERFLOW WEIR
NOT TO SCALE



GRADING/PAD NOTES



- TF = TOP OF FOUNDATION ELEVATION
- LO = LOOKOUT ELEVATION
- WO = WALKOUT/BSMT FLOOR @ WALKOUT ELEVATION (TYPICAL: WO = TF - 8.67')
- BL = BRICK LEDGE / DS = DROP SIDING
- SHADED DRIVE DENOTES RESTRICTED GARAGE LOCATION NECESSARY FOR 8% MAX. SLOPE
- GF = GARAGE FLOOR ELEVATION (TYPICAL: GF = TF - 8')
- LWR GF = LOWERED GARAGE FLOOR ELEVATION IS REQUIRED TO MAINTAIN 8% MAX. DRIVEWAY SLOPE.
- (ONE ADDITIONAL STEP IN GARAGE TYPICAL: LWR GF = TF - 15')
- (TWO ADDITIONAL STEPS IN GARAGE TYPICAL: LWR GF = TF - 22')
- (THREE ADDITIONAL STEPS IN GARAGE TYPICAL: LWR GF = TF - 29')

EQUESTRIAN MEADOWS DEV. LLC
14800 S. 80TH AVENUE
ORLAND PARK, ILLINOIS 60462
(708) 873-9700

FINAL ENGINEERING PLAN
FOR
EQUESTRIAN MEADOWS - PHASE 1
LEMONT, ILLINOIS

DESIGNTEK ENGINEERING, INC.
CONSULTING AND SITE DESIGN ENGINEERS
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
IL PROF. LIC. NO.: 184-003740



PROJECT INFORMATION

Project No.: 12-0025

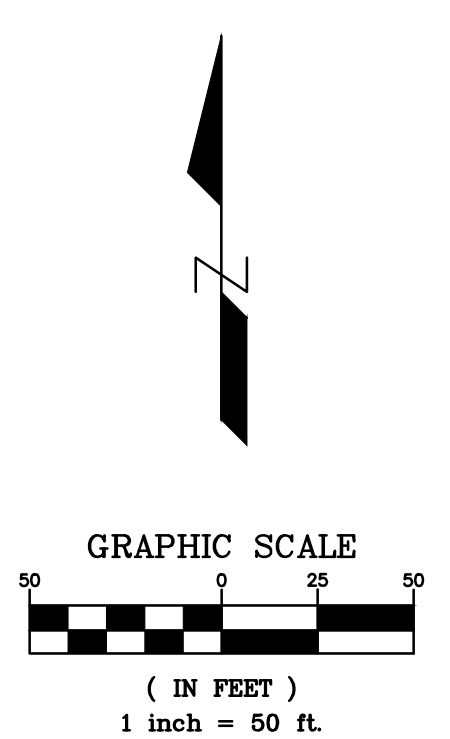
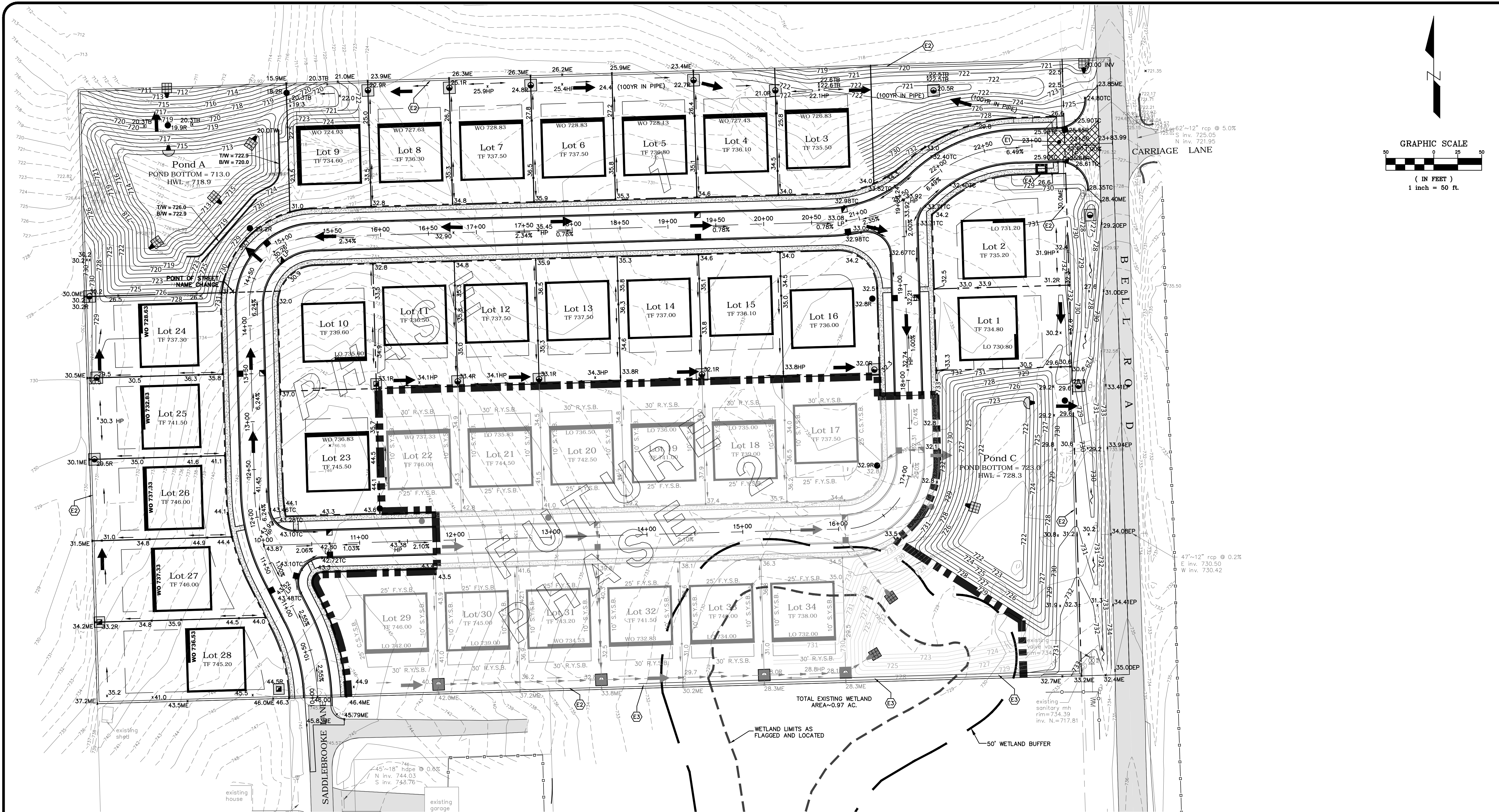
Scale: 1" = 50'

Date: 2-28-16

Design By: SDS

Drawn By: NSM

Checked By: SDS



NO.	DATE	REVISIONS DESCRIPTION

EQUESTRIAN MEADOWS DEV. LLC
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ORLAND PARK, ILLINOIS 60462
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EROSION CONTROL AND SEDIMENTATION NOTES

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, LATEST EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THE APPLICANT AND/OR CONTRACTOR IS RESPONSIBLE FOR INSURING THE OBTAINED PERMIT WITH THE COMPLETED SWPPP IS POSTED ON SITE IN A PROMINENT LOCATION BEFORE COMMENCEMENT OF ANY WORK ON SITE AND SHALL CONTACT THE VILLAGE AT LEAST 2 WORKING DAYS BEFORE THE START OF CONSTRUCTION, INSTALLATION OF SEDIMENT AND EROSION MEASURES AND COMPLETION OF FINAL LANDSCAPING.
- THE VILLAGE SHALL BE PROVIDED WITH A COPY OF THE IEPA LETTER OF NOTIFICATION OF COVERAGE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE DEVELOPER IS RESPONSIBLE FOR HAVING THE SWPPP AND A STAMPED AND SIGNED COPY OF THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN ON SITE AT ALL TIMES AND BE PRESENTED WHEN REQUESTED BY ANY AUTHORIZED AGENCY.
- THE DEVELOPER SHALL INSPECT THE SOIL EROSION AND SEDIMENT CONTROL PRACTICES EVERY SEVEN (7) DAYS AND AFTER 0.5" OR MORE RAINFALL. IMMEDIATE REPAIR SHALL BE MADE OF ANY DAMAGED EROSION CONTROL ELEMENTS THROUGHOUT THE CONSTRUCTION OF THE PROJECT.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE ONLY AT PROPOSED STABILIZED CONSTRUCTION ENTRANCE(S) AS SHOWN ON PLANS.
- ALL DIRT, MUD, OR DEBRIS THAT REACHES THE PUBLIC ROADS SHALL BE CLEANED IMMEDIATELY BY THE CONTRACTOR.
- TECHNIQUES SHALL BE EMPLOYED TO PREVENT THE BLOWING OF DUST OR SEDIMENT FROM THE SITE.
- SILT FENCE, SILT BASINS, STRAW BALE BARRIERS AND STABILIZED CONSTRUCTION ENTRANCE(S) SHALL BE CONSTRUCTED AS DETAILED ON THE FINAL ENGINEERING PLANS PRIOR TO THE START OF CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED. IN ADDITION, SILT FENCE SHALL BE PROVIDED FOR AREAS EXCEEDING 200' AND GREATER IN ACCORDANCE WITH NRCS CODE 920.
- SCHEDULE OF CONTROL MEASURE IMPLEMENTATION:
 - CONSTRUCT THE APPLICABLE PORTIONS OF THE EROSION AND SEDIMENTATION CONTROLS PRIOR TO SITE CLEARING.
 - CONTROL SITE DEVELOPMENT IN ACCORDANCE WITH THE SPECIFICATIONS.
 - MAINTAIN INLET PROTECTION, CONSTRUCTION TRAFFIC SURFACES, CLEANING OF STORM STRUCTURES AND THE LIKE ON A REGULAR BASIS AFTER EACH HEAVY RAIN OR AS OTHERWISE REQUIRED.
- THE ESTIMATED CONSTRUCTION SCHEDULE IS AS FOLLOWS:

TOPSOIL STRIPPING	SPRING 2016
ROUGH GRADING AND CONST.	SPRING 2016
FINAL GRADING	SUMMER 2016
FINAL LANDSCAPING	FALL 2016
- THE ENTIRE SITE MUST BE STABILIZED, USING A HEAVY MULCH LAYER OR ANOTHER METHOD AT THE CLOSE OF THE CONSTRUCTION SEASON.
- DISTURBED AREAS WITHIN ALL PUBLIC R.O.W.'S SHALL BE RESTORED W/ 6" MIN. TOPSOIL & SOD. RESTORATION SHALL OCCUR IMMEDIATELY AFTER COMPLETION OF CONSTRUCTION, WEATHER PERMITTING. ALL OTHER DISTURBED AREAS SHALL BE RESTORED WITH 4" TOPSOIL & SEED.
- STRAW BALES ARE NOT PERMITTED IN AREAS OF CONCENTRATED FLOW. ROCK CHECK DAMS SHALL BE USED IN THESE AREAS. TECHNIQUES THAT DIVERT UPLAND RUNOFF PAST DISTURBED SLOPES SHALL BE EMPLOYED.
- THE PROTECTION OF THE OPEN LID DRAINAGE STRUCTURES SHALL BE CONSTRUCTED AS SPECIFIED IN DETAILS. ALL OPEN LID DRAINAGE STRUCTURES LOCATED IN YARD AREAS AND THE SEDIMENTATION BASIN MUST BE PROTECTED PER INLET PROTECTION DETAILS UNTIL SUCH A TIME THAT THE LANDSCAPING IS IN PLACE AND EFFECTIVELY PREVENTING POTENTIAL SILTATION OF THESE STRUCTURES. ALL OPEN LID DRAINAGE STRUCTURES IN PAVED AREAS SHALL HAVE FILTER BASKETS INSTALLED UNDER THE LIDS. IN THE EVENT THE GRAVEL BASE IS NOT IN PLACE UPON INSTALLATION, INLET PROTECTION SHALL BE PROVIDED AS INDICATED PER INLET PROTECTION DETAIL.
- EROSION CONTROL BLANKET (ECB) SHALL BE INSTALLED TO ALL DISTURBED AREAS WITH SLOPES EQUAL TO OR STEEPER THAN 5H:1V AND IN CRITICAL AREAS (EX: DETENTION BASIN PERIMETERS, STREAMBANKS, BERMS, ETC.) IMMEDIATELY UPON FINAL GRADING. S175 NORTH AMERICAN GREEN (OR SIMILAR) ECB SHALL BE USED. ECB WITH GREEN DYE IS NOT ACCEPTABLE.
- SOIL STOCKPILES SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILES TO REMAIN IN PLACE FOR 14 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.
- DURING DEWATER OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER STRUCTURES IS PROHIBITED.
- AN INCIDENT OF NON-COMPLIANCE (ION) MUST BE COMPLETED AND SUBMITTED BY THE OWNER TO THE IEPA AND COPIED TO THE VILLAGE IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICE FAILS.
- A NOTICE OF TERMINATION (NOT) SHALL BE COMPLETED BY THE OWNER IN COMPLIANCE WITH THE NPDES PHASE II REQUIREMENTS WHEN ALL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE WITH A 70% ESTABLISHED RATE OF VEGETATION. THE NOTICE OF TERMINATION SHALL BE SENT TO THE IEPA AND THE VILLAGE.
- THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.

SOIL PROTECTION CHART

STABILIZATION TYPE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDING			A			*	*					
DORMANT SEEDING	B										B	
TEMPORARY SEEDING			C				D*					
SODDING												
MULCHING	F											

- A. KENTUCKY BLUEGRASS 90 LBS/AC MIXED WITH PERENNIAL RYEGRASS 30 LBS/AC
- B. KENTUCKY BLUEGRASS 135 LBS/AC MIXED WITH PERENNIAL RYEGRASS 45 LBS/AC + 2 TONS STRAW MULCH/AC
- C. SPRING OATS 100 LBS/AC
- D. WHEAT OR CEREAL RYE 150 LBS/AC
- E. SOD
- F. STRAW MULCH 2 TONS/AC
- * IRRIGATION NEEDED DURING JUNE AND JULY
- ** IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

EROSION CONTROL LEGEND

- ① CONSTRUCTION ENTRANCE PER NRCS SPECIFICATIONS
- ② SILT FENCE PER NRCS SPECIFICATIONS
- ③ DOUBLE ROW OF SILT FENCE PER NRCS SPECIFICATIONS TO PROTECT WETLAND
- ④ CONCRETE WASHOUT AREA
- ⑤ LEVEL SPREADER, ON-SITE, REFER TO DETAIL
- ⑥ INLET PROTECTION PER OR EQUIVALENT TO NRCS SPECIFICATIONS
- ⑦ CULVERT / FES PROTECTION PER OR EQUIVALENT TO NRCS SPECIFICATIONS AND STANDARD DRAWING NO. IL-610
- ⑧ 12' x 8' x 15" FLAT GABION / "RENO MATTRESS"



PROJECT INFORMATION

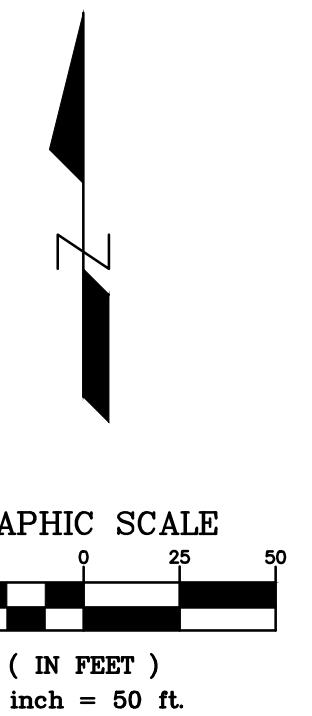
Project No.	12-0025
Scale:	1" = 50'
Date:	2-28-16
Design By:	SDS
Drawn By:	NSM
Checked By:	SDS

UTILITY CROSSINGS

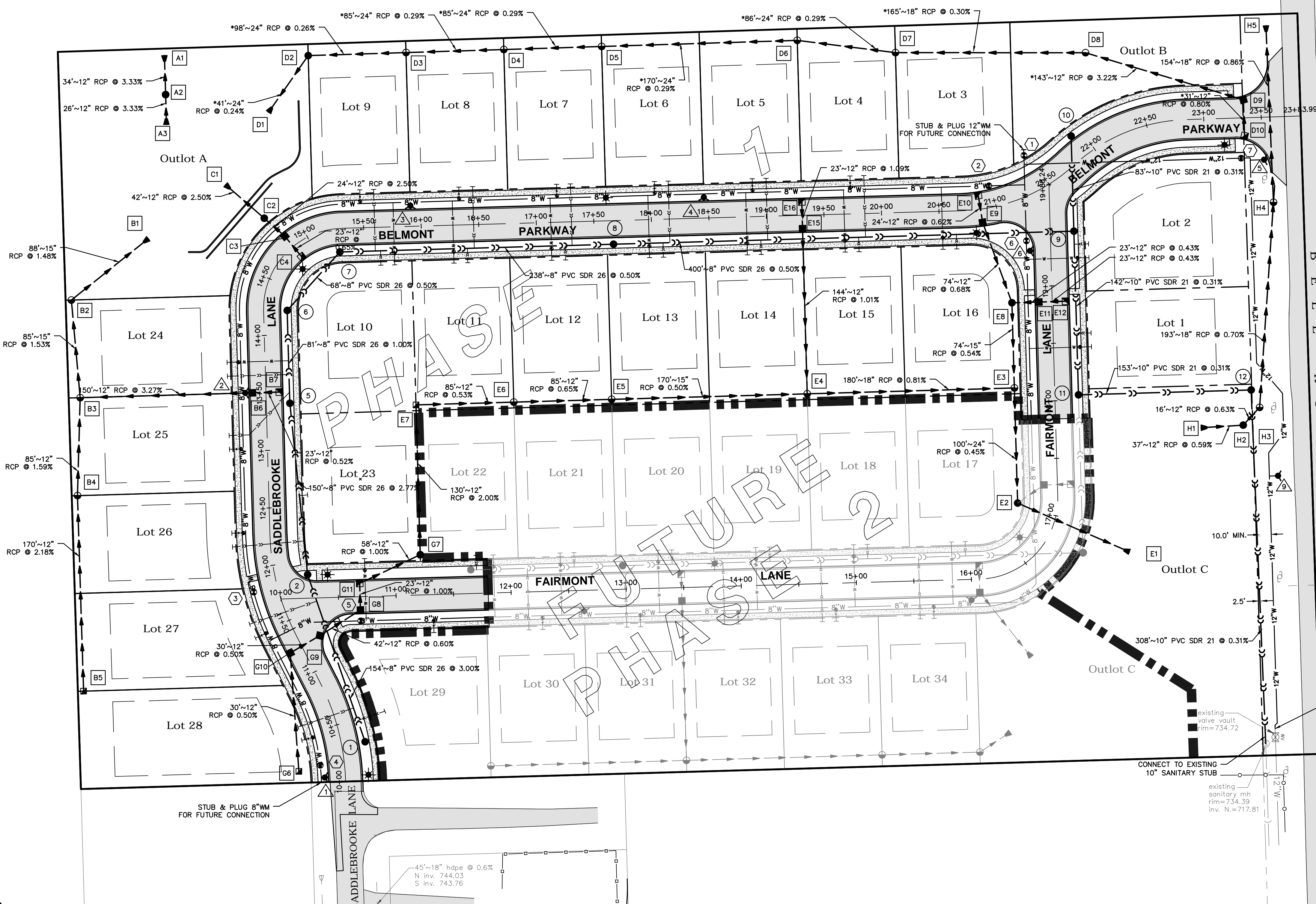
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|---|---|---|--|---|--|---|---|---|--|---|
| 1 CROSSING
PR B/STM=730.6
PR T/WM=728.9 | 2 CROSSING
PR B/STM=726.2
PR T/WM=724.7 | 3 CROSSING
PR B/STM=728.4
PR T/WM=726.9 | 4 CROSSING
PR B/STM=728.8
PR T/SAN=721.2 | 5 CROSSING
PR B/STM=739.3
PR T/WM=737.4 | 6 CROSSING
PR B/STM=739.4
PR T/SAN=736.3 | 7 CROSSING
PR B/STM=742.0
PR T/WM=740.0 | 8 CROSSING
PR B/WM=736.7
PR T/SAN=736.2 | 9 CROSSING
PR B/WM=726.9
PR T/SAN=721.1 | 10 CROSSING
EX B/WM=726.7
PR T/SAN=721.0 | 11 CROSSING
EX B/STM=730.0
PR T/SAN=722.0 |
|---|---|---|--|---|--|---|---|---|--|---|

STORM STRUCTURES

- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|-----------------------------------|---|-----------------------------------|-----------------------------------|--|---|---|--|---|--|-----------------------------------|---|---|--|-----------------------------------|---|--|---|---|---|---|---|---|---|-----------------------------------|---|---|---|---|---|--|---|---|---|--|---|--|---|--|--|---|---|---|--|---|---|-----------------------------------|---|---|---|-----------------------------------|
| A1 12" FES, W/GRATE
INV 712.00 | A2 48" CB, TYPE A, C.L.
RIM 719.90
INV 713.13 | A3 12" FES, W/GRATE
INV 714.00 | B1 12" FES, W/GRATE
INV 714.00 | B2 48" MH, TYPE A, Y.I.
RIM 730.20
INV 723.45 S
INV 715.30 NE | B3 48" MH, TYPE A, Y.I.
RIM 729.50
INV 726.30 E
INV 724.85 S
INV 724.75 N | B4 48" MH, TYPE A, Y.I.
RIM 729.50
INV 726.30 S
INV 726.20 N | B5 24" INL, TYPE A, Y.I.
RIM 733.20
INV 730.00 | B6 36" CB, TYPE V, C.G.
RIM 734.92
INV 731.80 E
INV 731.20 W | B7 24" INL, TYPE A, C.G.
RIM 734.92
INV 731.92 | C1 12" FES, W/GRATE
INV 714.00 | C2 48" MH, TYPE A, C.L.
RIM 729.25
INV 726.00 SE
INV 715.05 NW | C3 36" CB, TYPE C, C.G.
RIM 729.91
INV 726.70 SE
INV 726.60 NW | C4 24" INL, TYPE A, C.G.
RIM 729.91
INV 726.85 | D1 24" FES, W/GRATE
INV 714.00 | D2 48" MH, TYPE A, C.L.
RIM 720.00
INV 714.20 NE
INV 714.10 SE | D3 48" MH, TYPE A, Y.I.
RIM 722.90
INV 714.45 SW
INV 714.55 E | D4 48" MH, TYPE A, Y.I.
RIM 725.10
INV 714.90 W
INV 714.90 E | D5 48" MH, TYPE A, Y.I.
RIM 724.80
INV 715.25 W
INV 715.15 E | D6 48" MH, TYPE A, Y.I.
RIM 722.70
INV 715.75 W
INV 715.85 E | D7 48" MH, TYPE A, Y.I.
RIM 721.00
INV 716.20 W
INV 716.10 E | D8 48" MH, TYPE A, Y.I.
RIM 720.50
INV 716.70 W
INV 717.10 E | D9 36" CB, TYPE C, C.G.
RIM 725.55
INV 721.70 W
INV 721.90 S | D10 24" INL, TYPE A, C.G.
RIM 725.55
INV 722.15 | E1 24" FES, W/GRATE
INV 723.00 | E2 48" MH, TYPE A, C.L.
RIM 732.90
INV 727.80 NE
INV 723.75 N
INV 723.55 SE | E3 48" MH, TYPE A, Y.I.
RIM 725.30 N
INV 725.00 W
INV 724.20 S | E4 48" MH, TYPE A, Y.I.
RIM 732.10
INV 728.90 N
INV 727.45 E | E5 48" MH, TYPE A, Y.I.
RIM 733.10
INV 728.80 W
INV 728.25 E | E6 48" MH, TYPE A, Y.I.
RIM 733.40
INV 729.45 W
INV 729.35 E | E7 24" INL, TYPE A, Y.I.
RIM 733.10
INV 729.90 S | E8 48" MH, TYPE A, C.L.
RIM 632.85
INV 728.60 N
INV 728.50 E | E9 36" CB, TYPE C, C.G.
RIM 732.73
INV 729.50 S
INV 729.10 S | E10 24" INL, TYPE A, C.G.
RIM 732.73
INV 729.65 | E11 36" CB, TYPE C, C.G.
RIM 731.86
INV 728.70 E
INV 728.60 W | E12 24" INL, TYPE A, C.G.
RIM 731.86
INV 728.80 | E15 36" CB, TYPE C, C.G.
RIM 733.88
INV 730.60 N
INV 730.35 S | E16 24" INL, TYPE A, C.G.
RIM 733.88
INV 730.85 | G6 24" INL, TYPE A, Y.I.
RIM 744.50
INV 742.80 | G7 48" MH, TYPE A, C.L.
RIM 743.70
INV 738.59 SW
INV 732.50 N | G8 48" CB, TYPE A, C.G.
RIM 742.45
INV 739.40 | G9 36" CB, TYPE C, C.G.
RIM 742.97
INV 739.95 SW
INV 739.65 NE | G10 24" INL, TYPE A, C.G.
RIM 743.17
INV 740.10 | G11 36" CB, TYPE C, C.G.
RIM 742.45
INV 739.17 | G12 36" INL, TYPE C, C.G.
RIM 739.04
INV 735.85 N
INV 735.60 S | G13 24" INL, TYPE A, C.G.
RIM 739.04
INV 735.95 | H1 12" FES, W/GRATE
INV 723.00 | H2 48" CB, TYPE A, C.L.
RIM 729.40
INV 722.78 | H3 48" MH, TYPE A, Y.I.
RIM 728.80
INV 722.68 | H4 48" MH, TYPE A, Y.I.
RIM 726.70
INV 721.33 | H5 18" FES, W/GRATE
INV 720.00 |
|-----------------------------------|---|-----------------------------------|-----------------------------------|--|---|---|--|---|--|-----------------------------------|---|---|--|-----------------------------------|---|--|---|---|---|---|---|---|---|-----------------------------------|---|---|---|---|---|--|---|---|---|--|---|--|---|--|--|---|---|---|--|---|---|-----------------------------------|---|---|---|-----------------------------------|



- STORM STRUCTURE FRAME AND GRATE ABBREVIATIONS:**
- C.L. = CLOSED LID:
EJW 1058 FRAME & COVER OR
NEENAH R-1550 FRAME & SOLID LID
 - C.G. = CURB GRATE
EJW 7525 FRAME & COVER OR
NEENAH R-3501-P
 - Y.I. = YARD INLET
EJW 1020 FRAME & TYPE M2 BAR GRATE OR
NEENAH R-4340-B GRATE
- NOTES:**
1. ALL STORM SEWERS SHALL BE CLASS IV RCP CONFORMING TO ASTM C-76 WITH O-RING GASKETED JOINTS CONFORMING TO ASTM C-443, UNLESS OTHERWISE NOTED.
 2. STORM SEWERS REQUIRING WATERMAIN QUALITY SHALL BE CONSTRUCTED WITH CONCRETE PRESSURE PIPE IN CONFORMANCE TO THE LATEST ANSI/AWWA C300, C301, C302, OR C303. JOINTS SHALL CONFORM TO ARTICLE 41-2.07B OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS." PRESTRESSED CONCRETE PIPE CONFORMING TO ALL SANITARY SEWERS SHALL BE PVC SDR 26.
 3. ALL WATERMAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5.5'.
 4. STORM PIPES THAT HAVE BEEN LABELED WITH A "*" HAVE BEEN SIZED TO ACCOMMODATE THE 100 YEAR STORM.



- | | |
|--|--|
| FIRE HYDRANT # | WATER VALVES # |
| 1 FIRE HYDRANT ASSEMBLY
GRADE RING 746.10 | 1 12" VALVE IN 60" VAULT
RIM 733.80 |
| 2 FIRE HYDRANT ASSEMBLY
GRADE RING 735.50 | 2 8" VALVE IN 60" VAULT
RIM 733.20 |
| 3 FIRE HYDRANT ASSEMBLY
GRADE RING 732.40 | 3 8" VALVE IN 60" VAULT
RIM 744.0 |
| 4 FIRE HYDRANT ASSEMBLY
GRADE RING 735.10 | 4 8" VALVE IN 60" VAULT
RIM 745.70 |
| 5 FIRE HYDRANT ASSEMBLY
GRADE RING 728.00 | 5 8" VALVE IN 60" VAULT
RIM 742.90 |
| 6 FIRE HYDRANT ASSEMBLY
GRADE RING 732.90 | 6 8" VALVE IN 60" VAULT
RIM 733.00 |
| 7 FIRE HYDRANT ASSEMBLY
GRADE RING 730.70 | 7 12" VALVE IN 60" VAULT
RIM 727.00 |

- SANITARY STRUCTURES** #
- | | |
|---|--|
| 1 48" MANHOLE, C.L.
RIM 745.40
INV 736.54 | 7 48" MANHOLE, C.L.
RIM 731.00
INV 723.42 (E)
INV 723.52 (S) |
| 2 48" MANHOLE, C.L.
RIM 743.60
INV 731.92 (S)
INV 730.42 (N) | 8 48" MANHOLE, C.L.
RIM 735.70
INV 722.13 (E)
INV 722.23 (W) |
| 3 48" MANHOLE, C.L.
RIM 736.10
INV 726.27 (S)
INV 724.77 (N) | 9 48" MANHOLE, C.L.
RIM 733.30
INV 719.96 (S)
INV 720.06 (N)
INV 720.13 (W) |
| 4 48" MANHOLE, C.L.
RIM 731.60
INV 723.86 (N)
INV 723.96 (S) | 10 48" MANHOLE, C.L.
RIM 733.10
INV 720.32 |
| | 11 48" MANHOLE, C.L.
RIM 732.90
INV 719.42 (E)
INV 719.52 (N)
INV 720.42 (S) |
| | 12 48" MANHOLE, C.L.
RIM 730.00
INV 718.85 (S)
INV 718.95 (W) |

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ILL. PROF. LIC. NO.: 184-003740

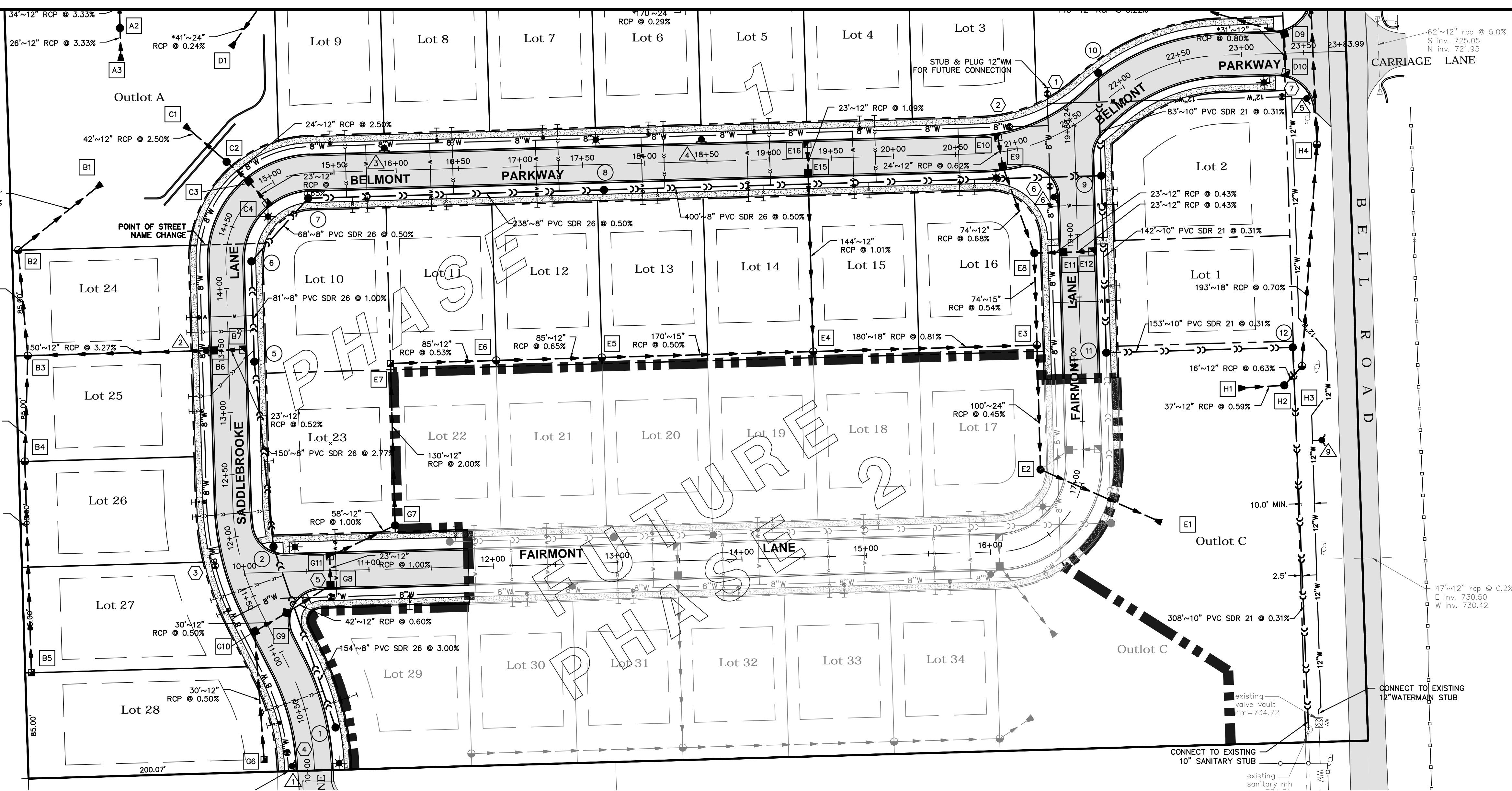
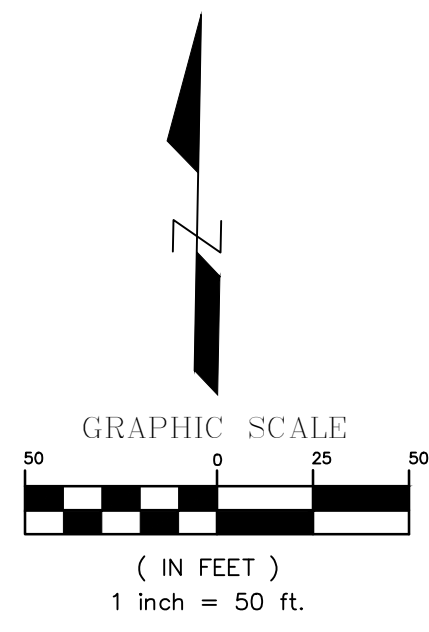


PROJECT INFORMATION

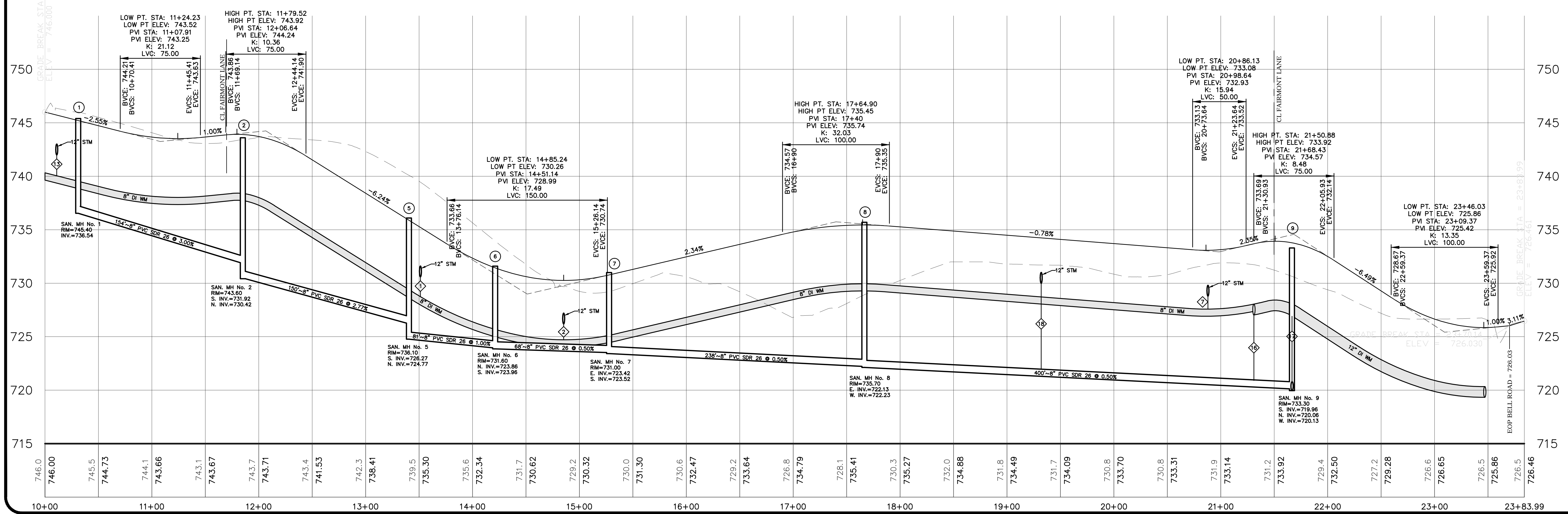
Project No.: 12-0025
Scale: 1" = 50'
Date: 2-28-16
Design By: SDS
Drawn By: NSM
Checked By: SDS

9 OF 15

UTILITY PLAN



SADDLEBROOK BELMONT PROFILE
10+00 TO 23+83.99



NO.	DATE	REVISIONS	DESCRIPTION

EQUESTRIAN MEADOWS DEV. LLC
14800 S. 80TH AVENUE
ORLAND PARK, ILLINOIS 60462
(708) 873-9700

FINAL ENGINEERING PLAN
FOR
EQUESTRIAN MEADOWS - PHASE 1
LEMONT, ILLINOIS

DESIGNTEK ENGINEERING, INC.
CONSULTING AND SITE DESIGN ENGINEERS
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
ILL. PROF. LIC. NO.: 184-003740



PROJECT INFORMATION
Project No.: 12-0025
Scale: 1" = 50'
Date: 2-28-16
Design By: SDS
Drawn By: NSM
Checked By: SDS

PLAN AND PROFILE: SADDLEBROOKE LANE / BELMONT PARKWAY



March 25, 2016
DEI Project No. 12-0025

Ms. Heather Valone
Village Planner
Village of Lemont
418 Main Street
Lemont, IL 60439

Re: PUD Final Plan/Plat Packet - Photometric Plan
Equestrian Meadows Subdivision
12150 Bell Road (PINs: 22-26-201-011-0000)

Dear Ms. Valone:

The PUD Final Plan Application packet that was submitted for the above referenced subdivision did not include a photometric plan. The Street Lighting was designed in accordance with Section 17.26.140 of the Village of Lemont's Unified Development Ordinance (UDO) in which the location and type of streetlights are dictated for the safety of all vehicular and pedestrian traffic within the proposed residential subdivision. All streetlights were placed as per the locations outlined in the above mentioned Ordinance, and the Village required material specifications and details were incorporated into the design which dictate the provided illumination.

If you have any questions or need more information please contact me at 708-326-4961, ext. 229 or sdudak@dtekcorp.com. Thank you.

Sincerely,

A handwritten signature in blue ink that reads "Sean Dudak". The signature is written in a cursive style.

Sean Dudak, PE, PLS, C.F.M.
Senior Project Manager

LOCATION MAP



SEED MIXES

IDOT Class 4A Low Profile Native Mixture

Little Bluestem (Andropogon scoparius)	5 lbs./acre
State Blue Grass (Dactyloctenium aegyptium)	5 lbs./acre
Canada Wild Ryegrass (Lolium canadense)	5 lbs./acre
Prairie Dropseed (Sporobolus heterostachyus)	5 lbs./acre
Annual Ryegrass	25 lbs./acre
Perennial Ryegrass	15 lbs./acre
Perennial Ryegrass	15 lbs./acre

IDOT Class 4B Wetland Grass & Sedge Mixture

Annual Ryegrass	25 lbs./acre
Stony Clover	5 lbs./acre
Wetland Grasses (shades)	50 lbs./acre

Wetland Grasses:

Blue Joint Grass	10%
Lake-Smart Sedge	10%
Hard-Floated Sedge	10%
Yarrow Sedge	10%
Red Sedge	10%
Hard Stem Bulrush	10%
Soft Stem Bulrush	10%
Common Rush	10%
Stemmed Rush	10%
Tommy's Rush	10%
Blue Cut Grass	10%
Dark Green Rush	10%
Blue Bulrush	10%
Softstem Bulrush	10%
Cord Grass	10%

Emergent Plant List:

Scientific Name	Common Name	Quantity
Acorus calamus	Sweet Flag	380
Alisma subcordatum	American Water Plantain	228
Iris virginica sibirica	Blue Flag Iris	380
Sagittaria latifolia	Broadleaf Arrowhead	266
Scheuchzeria palustris	Hard-Stem Bulrush	380
Scheuchzeria palustris	Soft-Stem Bulrush	380
Sagittaria arifolia	Common Bur Reed	380
		Total 2,394

LANDSCAPE NOTES:

- The minimum size for plants at the time of installation shall be:
1. Canopy trees in a parkway - 3" caliper
 2. Canopy trees not in a parkway - 2-1/2" caliper
 3. Evergreen trees - 8" in height
 4. Ornamental trees, single-trunk - 2" caliper
 5. Ornamental trees, multi-trunk - 6" in height
 6. Large shrubs - 24" in height
- Sod, Topsoil, and Seeding:
1. Landscaping in parkways shall be a minimum of four inches of topsoil and sod.
 2. Landscape seeding shall be Class 1A seeding mixture.
 3. Standards for Residential Construction:
 - a. Front and side yards shall be landscaped with a minimum of four inches of topsoil and sod.
 - b. Rear yards shall be landscaped with a minimum of four inches of topsoil and sod or seed. All seeded areas must be protected with an erosion control blanket (ECB) installed in accordance with the Illinois Urban Manual, 2002, or latest edition.
- All plant growth in landscaped areas shall be controlled by pruning, trimming, or other suitable methods so that plant materials do not interfere with public utilities, restrict pedestrian or vehicular access, or otherwise constitute a traffic hazard; and
- All planted areas shall be maintained in a relatively weed free condition and clear of undergrowth
- All trees, shrubs, ground covers, and other plant materials must be replaced if they die or become unhealthy because of accidents, drainage problems, disease, or other causes.

PLANT LIST

QTY	Symbol	Shade Trees	Botanical Name	Common Name	Size	Type
17	AR2.5	Acer freemanii 'Autumn Blaze'	Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	3" cal	Single Stem B&B
1	AR2.5	Acer rubrum 'Red Sunset'	Acer rubrum 'Red Sunset'	Red Sunset Maple	2.5" cal	Single Stem B&B
7	AS	Acer saccharum	Acer saccharum	Sugar Maple	2.5" cal	Single Stem B&B
9	BN	Betula nigra	Betula nigra	River Birch	8" tall	Single Stem B&B
17	CO	Celtis occidentalis	Celtis occidentalis	Common Hackberry	3" cal	Single Stem B&B
13	GT3	Glenditsia triacanthos 'Skyline'	Glenditsia triacanthos 'Skyline'	Skyline Honeylocust	3" cal	Single Stem B&B
1	GT2.5	Glenditsia triacanthos 'Skyline'	Glenditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5" cal	Single Stem B&B
11	QA3	Quercus alba	Quercus alba	White Oak	3" cal	Single Stem B&B
3	QR2.5	Quercus rubra	Quercus rubra	Red Oak	2.5" cal	Single Stem B&B
14	TC3	Tilia cordata 'Greenspire'	Tilia cordata 'Greenspire'	Greenspire Linden	3" cal	Single Stem B&B
1	TC2.5	Tilia cordata 'Greenspire'	Tilia cordata 'Greenspire'	Greenspire Linden	2.5" cal	Single Stem B&B
19	UH3	Ulmus 'Homestead'	Ulmus 'Homestead'	Homestead Elm	3" cal	Single Stem B&B
1	UH2.5	Ulmus 'Homestead'	Ulmus 'Homestead'	Homestead Elm	2.5" cal	Single Stem B&B
EVERGREEN TREES						
12	PA	Picea abies	Picea abies	Norway Spruce	8" tall	Natural Form B&B
11	PP	Picea pungens	Picea pungens	Colorado Spruce	8" tall	Natural Form B&B
13	PM	Pseudotsuga menziesii	Pseudotsuga menziesii	Douglas Fir	8" tall	Natural Form B&B
ORNAMENTAL TREES						
14	CC	Crataegus crusgalli inermis	Crataegus crusgalli inermis	Thornless Cockspur Hawthorn	6' tall	Multi-Stem B&B
12	AG	Amelanchier x grandiflora	Amelanchier x grandiflora	Autumn Brilliance Serviceberry	6' tall	Multi-Stem B&B
20	MS	Malus spp.	Malus spp.	Japanese Flowering Crabapple	6' tall	Multi-Stem B&B
SHRUBS						
14	CS	Cornus sericea 'Baileys'	Cornus sericea 'Baileys'	Bailey Red Twig Dogwood	36" tall	3' o.c. B&B
5	JC	Juniperus chinensis var. sargentii	Juniperus chinensis var. sargentii	Sargent Juniper	18" tall	3' o.c. #3
17	SM	Syringa meyeri 'Palibin'	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	36" tall	3' o.c. B&B
10	VL	Viburnum lantana 'Mohican'	Viburnum lantana 'Mohican'	Mohican Viburnum	36" tall	3' o.c. B&B
PERENNIALS						
3	CA	Calamagrostis x acutiflora 'Karl Foerster'	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#3	2' o.c.
7	PV	Panicum virgatum 'Northwind'	Panicum virgatum 'Northwind'	Northwind Switchgrass	#1	2' o.c.
3	PAH	Pennisetum alopecuroides 'Hamelin'	Pennisetum alopecuroides 'Hamelin'	Hamelin Dwarf Fountain Grass	#1	2' o.c.
8	ASB	Allium 'Summer Beauty'	Allium 'Summer Beauty'	Summer Beauty Allium	#1	1.5' o.c.
5	CN	Calamintha nepeta subsp. Nepeta	Calamintha nepeta subsp. Nepeta	Calamint	#1	1.5' o.c.
10	HS	Hemerocallis 'Summer Wine'	Hemerocallis 'Summer Wine'	Summer Wine Daylily	#1	1.5' o.c.
3	RF	Rudbeckia fulgida	Rudbeckia fulgida	Black Eyed Susan	#1	2' o.c.
TREES FOR MITIGATION						
2	AR2.5	Acer rubrum 'Red Sunset'	Acer rubrum 'Red Sunset'	Red Sunset Maple	2.5" cal	Single Stem B&B
2	QR2.5	Quercus rubra	Quercus rubra	Red Oak	2.5" cal	Single Stem B&B

NOTES

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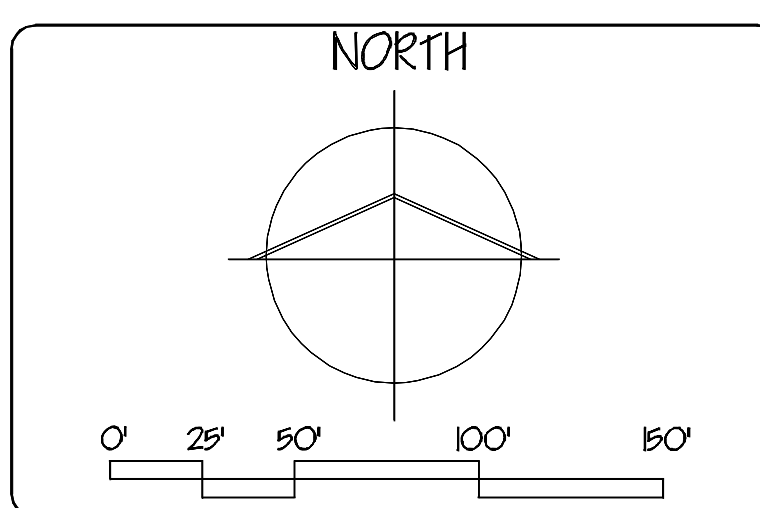
Bell Road screen plantings in beds only, not bermed.



No.	Date	Description
1	1/24/15	PRELIMINARY REVIEW
2	3/23/16	REVIEW I CHANGES
3	4/16/16	REVISE TO SHOW PHASES

EQUESTRIAN MEADOWS
LEMONT, ILLINOIS

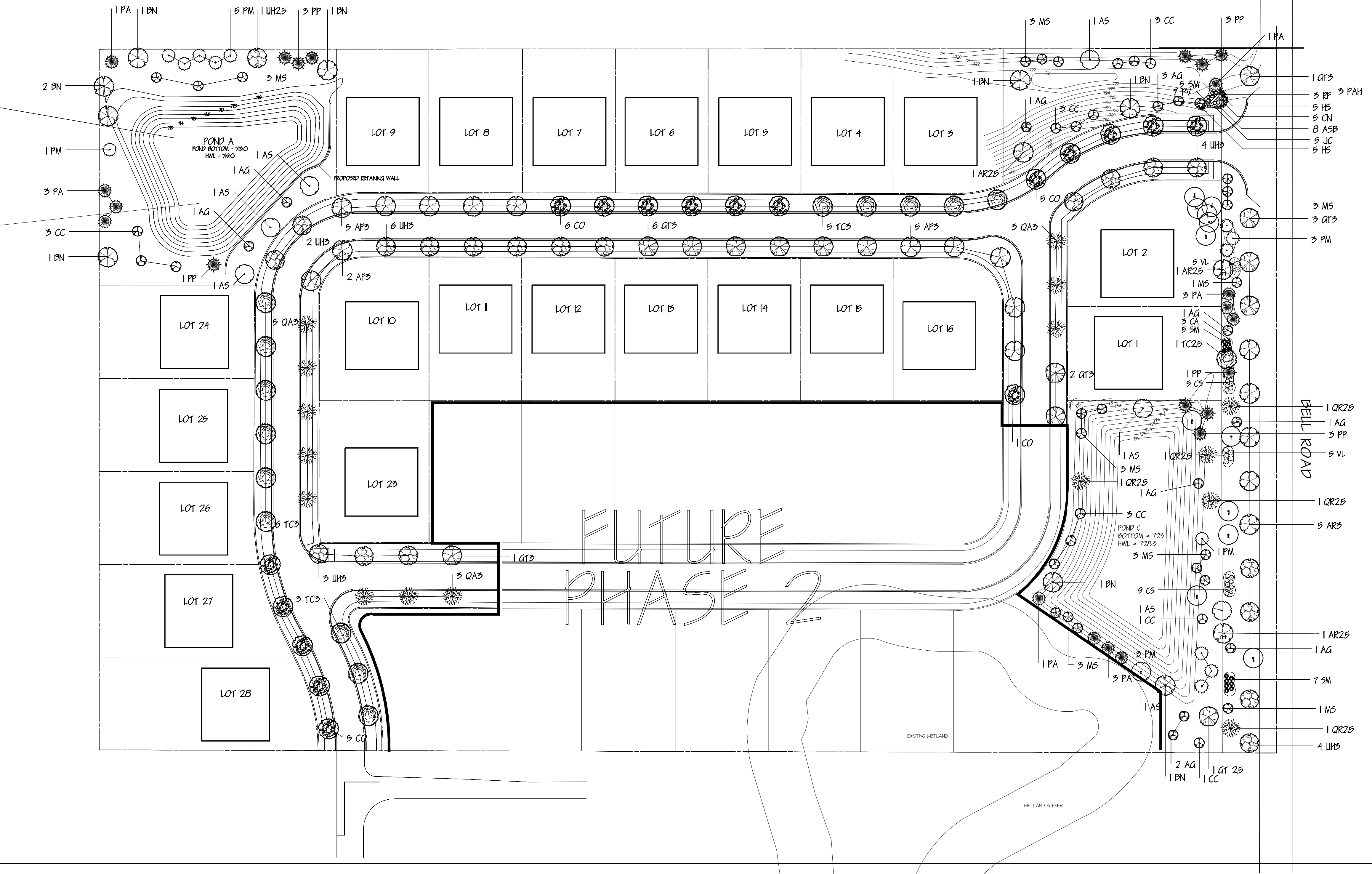
EQUESTRIAN MEADOWS
DEV. LLC
14800 S. BOTH AVENUE
ORLAND PARK, ILLINOIS



SCALE: 1" = 50'-0"	PROJECT NO.
DRAWN BY: MPW/KLT	SHEET NO.
CHECKED BY: B. BEARY	
DATE: 1/17/15	
DATE OF PRINT:	

ALL PONDS
DOT CLASS 4A
LOW PROFILE NATIVE MIX (50)
DOT CLASS 4B
WETLAND GRASS 1 SEDGE MIX (50)
WETLAND GRASS 1 SEDGE MIX (50)
NEED TO HIGH WATER LINE
HALL AREAS WITH NATIVE LANDSCAPING NEED TO BE PROTECTED FORWARD TO SECTION 6-BASED TO PROTECT AREAS OF NATURAL LANDSCAPE FROM BEING CONVERTED TO BERMS IN THE FUTURE AND THEREBY ELIMINATING THE WATER QUALITY AND HABITAT BENEFITS A LOSS RESTRICTION OF CONSERVATION EQUIPMENT SHOULD BE PLACED OVER THE EXISTING STOP WATER DIVERSION EQUIPMENT AND A COPY OF THE EXISTING LANDSCAPE PROVIDED FOR REVIEW. THE RESTRICTION SHOULD BE REVIEWED FOR PROPER OCCUPATION THAT THIS HAS BEEN DONE PRIOR TO CONSTRUCTION. HEDD AND READY FOR VEHICLE LANDSCAPE INSPECTION APPROVAL OR LETTER OF GREAT REDUCTION.

DOT CLASS 4B
WETLAND FORD MIX
IF STANDING WATER IS PRESENT AT THE TIME OF INSTALLATION PLACE OF PERENNIAL SPECIES FROM THE DOT CLASS 4B WETLAND FORD MIXES SHOULD BE INSTALLED ON APPROXIMATELY 1-FOOT CENTERS



FUTURE
PHASE 2



GENERAL NOTES:

Plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and spreads on plant list represent minimum requirements.

Size & grading standards of plant materials shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association.

Any materials with damaged or crooked/disfigured leaders, bark abrasion, sunscald, insect damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump (cl.).

Grading shall provide slopes which are smooth and continuous. Positive drainage shall be provided in all areas.

Quantity lists are supplied as a convenience. However, the contractor should verify all quantities. The drawings shall take precedence over the lists.

All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.

Contractor shall verify location of all underground utilities prior to digging. For location outside the City of Chicago call "J.U.L.I.E." (Joint Utility Location for Excavators) 1-800-892-0123.

Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.

Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.

All perennial, ornamental grass, groundcover and annual beds shall be topdressed with a minimum of three inches (3") of mushroom compost. The topdressing shall be worked into the soil to a minimum depth of nine inches (9") by the use of a cultivating mechanism. Upon completion perennials & ornamental grasses shall be mulched with an additional two inch (2") layer of shredded wood mulch; Annuals & groundcovers shall be covered with an additional two inch (2") layer of mushroom compost.

All other planting beds and tree saucers shall be mulched with a minimum of three inches (3") of shredded wood mulch, with the exception of evergreen trees which shall receive one inch (1") of shredded hardwood mulch over two inches (2") of southern pine bark.

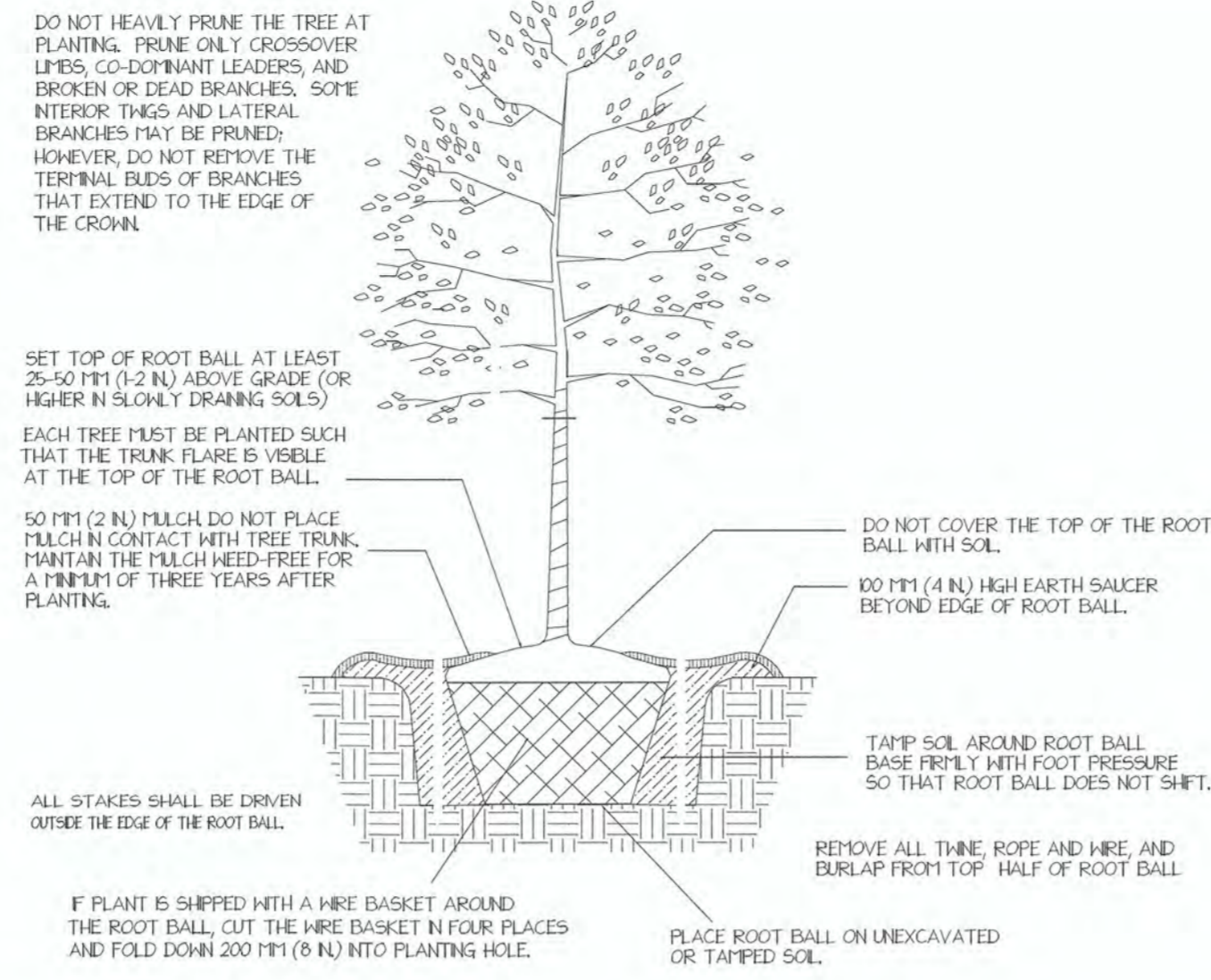
All bed lines and tree saucers shall require a hand spaded edge between lawn and mulched areas.

Planting beds adjacent to building shall be mulched in their entirety to the building foundation. Plant materials shall not be installed under building overhangs and other such areas which do not receive natural rainfall.

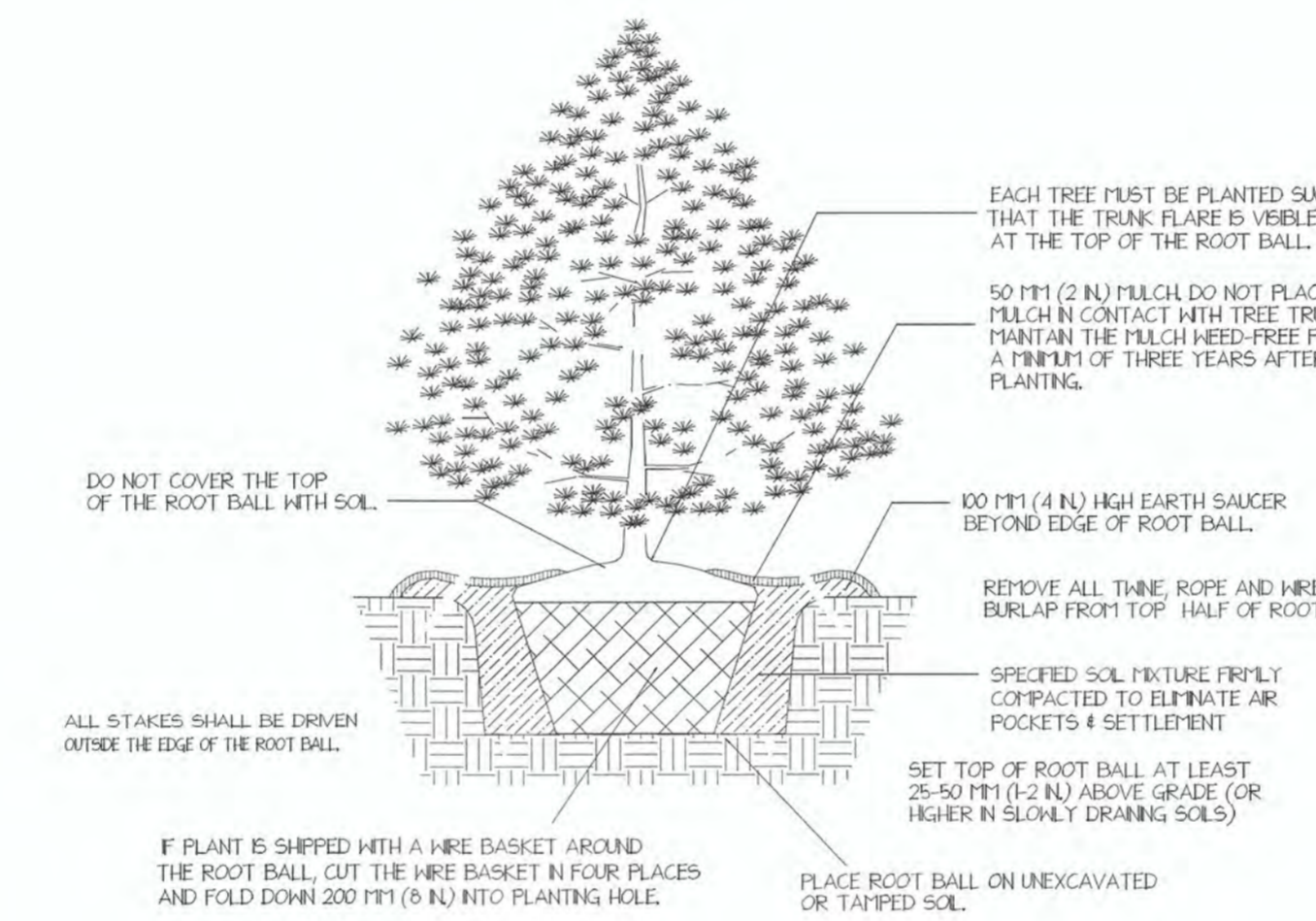
Sod shall be mineral base only.

Grass seed shall be applied mechanically so that the seed is incorporated into the top one-half inch (1/2") of the seed bed. The seed shall then be covered with the specified straw blanket or Hydro-mulch.

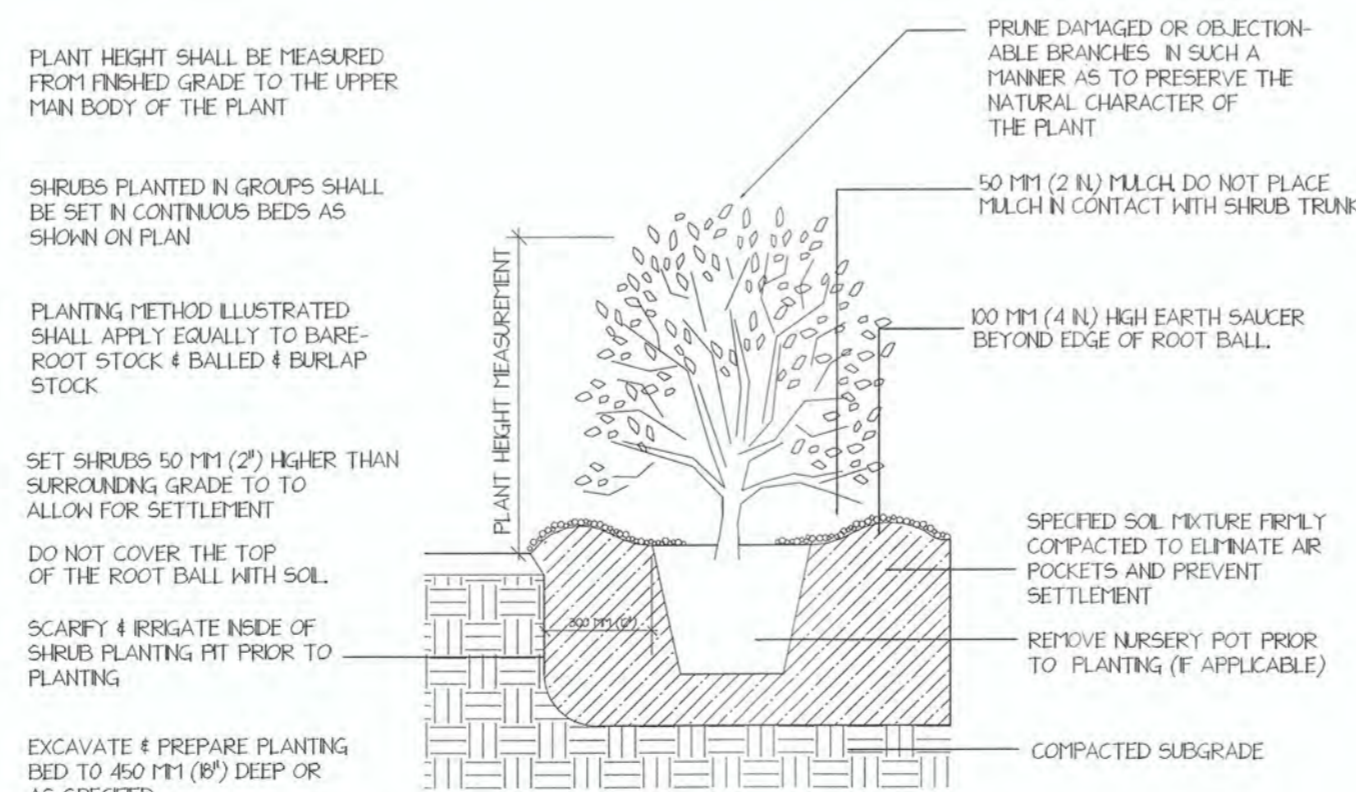
All plant material shall be guaranteed for one (1) year from the date of acceptance.



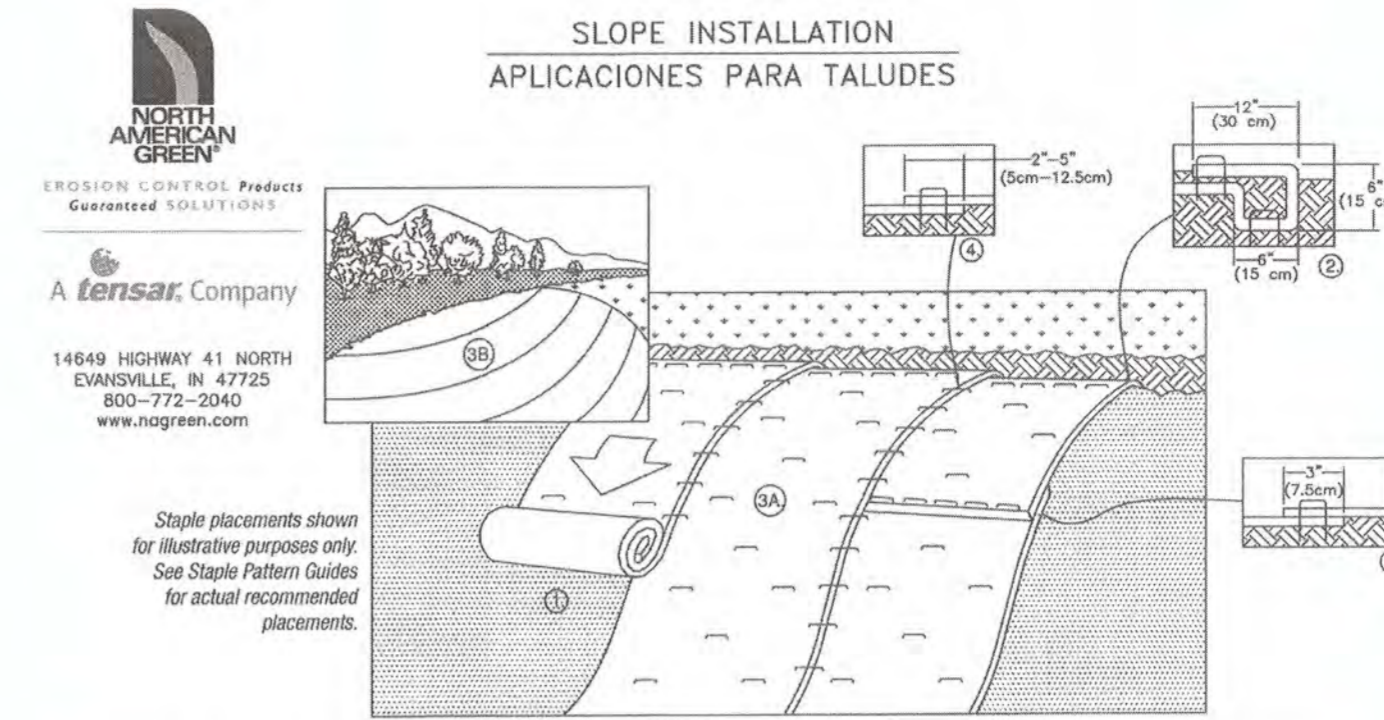
1 DECIDUOUS TREE PLANTING DETAIL
TYPICAL INSTALLATION - 3" (75MM) CALIPER OR LESS



2 CONIFEROUS TREE PLANTING DETAIL
TYPICAL INSTALLATION - 6" (200CM) OR LESS



3 SHRUB PLANTING DETAIL
TYPICAL INSTALLATION



NATIVE AREA MAINTENANCE NOTES:
NATIVE PRAIRIE AND POND SHORE

The installing contractor shall provide a three (3) year maintenance program as part of the vegetation contract for all native prairie areas. The installing contractor may subcontract the required maintenance program to a native plant community specialist contractor approved by the VILLAGE and Landscape Architect and Owner.

This program shall include:
1. All areas specified for the native prairie seed mix and stormwater seed mix shall be subject to a three (3) year maintenance contract by the installing contractor. This work may be subcontracted but the subcontractor must be approved by the VILLAGE and Landscape Architect and Owner. The Contractor will be responsible for maintenance until Final Acceptance. This maintenance program shall consist of mowing, burning and selective herbicide control of aggressive biennial & perennial weeds as outlined in the plan and as needed to meet acceptance requirements.

Selective herbicide treatment of certain aggressive perennial weeds may be necessary during the 2nd & 3rd growing seasons if mowing and burning fail to control them. Such weeds include Canada Thistle, Horsesnail and Spotted Knopweed. Only careful contact application shall be performed. NO SPRAYING WILL BE ALLOWED. Control methods shall include:
a. Direct hand application via "herbicide glove" to the individual plant consisting of a rubber herbicide glove with large absorbent cotton gloves over the rubber glove. A strong solution of Roundup or other appropriate herbicide shall be mixed in a small non spill squirt or spray bottle. As needed, use the bottle to carefully saturate the cotton glove(s) and then grab the leaves and stem of the unwanted perennial weed to apply the herbicide to that plant only. Take care not to touch or drip the herbicide on other adjacent plantings. Perform only on cool, non-windy days.
b. Cut unwanted perennial weeds (esp. Canada Thistle) to the ground when they are one foot (1') or taller, but prior to flowering. The cut stumps should then be treated with undiluted Garlon-3 using a small plastic spray bottle set on "stream" rather than "spray" or "mist". The herbicide should be applied sparingly so that it just soaks the cut stem of the unwanted weed.

1st Growing Season:
Mow up to three times (3X) to keep annual weeds from going to seed and to avoid too much shade for young seedlings. Maintain between 6" & 12". NOTE: Burning should always be utilized in lieu of mowing when enough plant material fuel is available to conduct a burn. Selective herbicide application of perennial weeds shall be performed in accordance with the provisions of item No. 2 above.

2nd Growing Season:
Mow in Spring to the ground and remove cuttings. Repeat mowing in late spring or early summer if weeds remain a problem. Target biennial weeds by mowing to six inches (6") when in bloom. Sweet Clover in particular must be mowed if present. Mowing in full bloom (mid-summer) will kill it. Native species shall be allowed to seed. Selective herbicide application of biennial & perennial weeds shall be performed as needed to meet acceptance requirements.

NOTE: Burning should always be utilized in lieu of mowing when enough plant matter fuel is available to conduct a burn.

3rd Growing Season:
Burn between October 15 and May 1, with a mid spring burning being preferred, and continue other weed management practices as needed during the 3rd growing season. NOTE: The Contractor shall be responsible for all required permits for all burning.

NATIVE MIX ACCEPTANCE & GUARANTEE
ACCEPTANCE CRITERIA SHOULD APPLY TO EACH BASIN INDIVIDUALLY RATHER THAN ALL BASINS COLLECTIVELY.
The Contractor shall be responsible for the satisfactory growth of permanent species of grasses, forbs, rushes, reeds and sedges on all areas seeded and/or planted under the Contract until final acceptance of the work. The Contractor shall provide an expert inspector (e.g. seed source vendor) to conduct an inspection of the native planting areas during the 1st and 2nd growing seasons and provide the Village and Owner with a written assessment by January 31st of the following year of the establishment progress and any remedial action taken or proposed. A more detailed inspection shall be conducted at the end of the 3rd growing season for purposes of Final Acceptance. A written report of this inspection shall also be provided to the Village and Owner by January 31st of the following year. Acceptance of the work will be determined using a time meander search. The time meander search shall be conducted at the end of the 3rd full growing season after seeding and/or planting (not to exceed thirty-six (36) months). The search will sample 20 % of each plant community that was seeded and/or planted. If 75% of the permanent species seeded and/or planted are alive and apparent and the sample area has 80% ground cover of those permanent species, the work will be approved. If not accepted, the Contractor will replant to fulfill Contract responsibility, at no cost to the Owner.
None of the biennial or (2) most dominant species may be non-native or weedy species, including but not limited to, Reed Canarygrass, Teasel, Canada Thistle, Horsesnail, Spotted Knopweed, Purple Loosestrife, Sandbar Willow, Sweet Clover or Cattail, unless otherwise indicated on the approved planting plans.

NOTES
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1	1/24/15	PRELIMINARY REVIEW
2	3/23/16	REVIEW / CHANGES
No. Date	Description	
REV. NO.		

EQUESTRIAN MEADOWS
LEMONT, ILLINOIS
EQUESTRIAN MEADOWS DEV. LLC
14800 S. 80TH AVENUE
ORLAND PARK, ILLINOIS



SCALE	1" = 50'-0"	PROJECT NO.	
DRAWN BY	MPW/KLT	SHEET NO.	L12
CHECKED BY	B. BEARY	DATE	11/17/15
DATE OF PRINT			

TABLE 1 - IDENTIFIED TREES

Table with columns: #, Species, DBH, Rating, Notes. Lists tree inventory data including species like Quercus alba, Fraxinus sp., and Prunus serotina with their respective measurements and ratings.



REVISIONS table with columns for NO., DATE, and DESCRIPTION. Includes a grid for tracking changes to the plan.

EQUESTRIAN MEADOWS DEV. LLC
14800 S. 80TH AVENUE
ORLAND PARK, ILLINOIS 60462
(708) 873-9700

TREE PRESERVATION PLAN
FOR
EQUESTRIAN MEADOWS
LEMONT, ILLINOIS

DESIGNTEK ENGINEERING, INC.
CONSULTING AND SITE DESIGN ENGINEERS
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
IL PROF. LIC. NO.: 184-003740



PROJECT INFORMATION
Project No.: 12-0025
Scale: 1" = 50'
Date: 03-04-15
Design By: SDS
Drawn By: NSM
Checked By: SDS

1
OF
3

EXISTING TREE PLAN



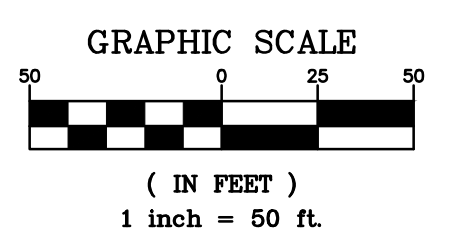
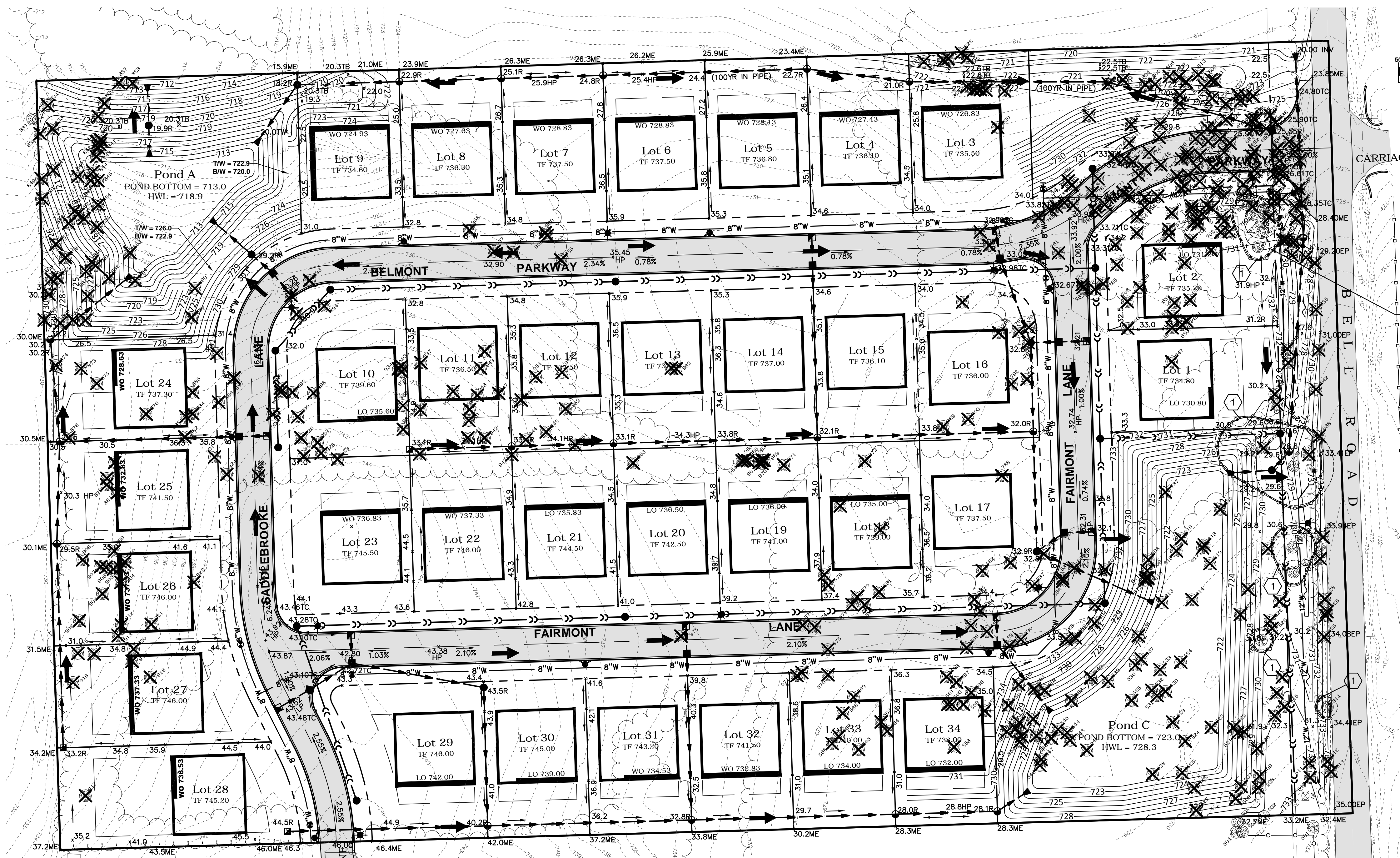
Prepared by:
Keith Peck, Certified Arborist # IL 4441A
GroundsKeeper Landscape Care, LLC
To Whom It May Concern,

The following Tree Survey was developed for March Construction @ their property in Lemont, IL 60463.

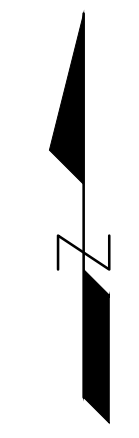
LEGEND table with columns: Rating, Overall Vigor, Failure Potential, Health, Extent of Decay. Defines symbols for tree conditions like 'Dead', 'Poor', 'Fair', 'Good', 'Excellent' and decay levels like 'Low', 'Moderate', 'High'.

NOTES
1. THIS PLAN UTILIZES A TREE SURVEY BY GROUNDSKEEPER LANDSCAPE CARE, LLC, DATED AUGUST 3, 2015 (PREPARED BY KEITH PECK - CERTIFIED ARBORIST # IL 4441A), AND A TREE LOCATION EXHIBIT BY AREA SURVEY COMPANY DATED JANUARY 18, 2002. DEI HAS NOT FIELD VERIFIED THE ACCURACY OF THESE DOCUMENTS AND ACCEPTS NO RESPONSIBILITY FOR THE LOCATION, SIZE, SPECIES, AND/OR CONDITION OF THE EXISTING TREES ON THIS PLAN.

Main tree inventory table with columns: #, Species, DBH, Rating, Notes. Contains detailed data for trees 722 through 915, including species names like Quercus macrocarpa, Prunus serotina, and Fraxinus sp., along with their DBH, height, and health ratings.



APPROX. EXTENTS OF DRIPLINE. TREE PROTECTION SHALL EXTEND TO THE LIMITS OF THE OUTERMOST BRANCHES OR AS DIRECTED BY THE VILLAGE ENGINEER AND ARBORIST. (TYPICAL)



#	Species	DBH	Rating	Action	Replacement Trees
501-505	Varies	Varies	Varies	Preserved	Offsite
506-513	Varies	Varies	Varies	Removed	0
514	Quercus alba	11	3	Preserved	0
515-623	Varies	Varies	Varies	Removed	0
624	Morus spp	11	3	Preserved	0
625-631	Varies	Varies	Varies	Removed	0
632	Morus spp	13	4	Preserved	0
633	Morus spp	24	4	Preserved	0
634-635	Varies	Varies	Varies	Removed	0
636	Populus deltoides	44	4	Preserved	0
637-639	Varies	Varies	Varies	Removed	0
640	Acer saccharinum	36	4	Preserved	0
641-670	Varies	Varies	Varies	Removed	0
671	Gleditsia triacanthos	9	3	Preserved	0
672	Populus deltoides	14	3	Preserved	0
673	Gleditsia triacanthos	10	3	Preserved	0
674	Morus spp	13	2	Preserved	0
675	Gleditsia triacanthos	15	3	Removed	0
676	Gleditsia triacanthos	19	3	Replaced	4
677-697	Varies	Varies	Varies	Removed	0
698	Gleditsia triacanthos	9	3	Preserved	0
699	Prunus serotina	12	2	Removed	0
700	Gleditsia triacanthos	10	3	Preserved	0
701-830	Varies	Varies	Varies	Removed	0
831	Quercus ellipsoidales	12	5	Preserved	Offsite
832-969	Varies	Varies	Varies	Removed	0
Total Replacement Trees Required					4

Note: All trees that have been noted to be replaced shall be replaced with trees of at least 2.5 inch caliper.

TREE PRESERVATION LEGEND

- TREE PROTECTION (SNOW FENCE, SILT FENCE, AND SIGNAGE PER VILLAGE STANDARDS)
- TREE PROTECTION SNOW FENCE
- TREE PROTECTION SILT FENCE

NOTES

1. SEE SHEET THREE (3) FOR TREE PROTECTION AND MITIGATION REQUIREMENTS AND STANDARDS.
2. SEE FINAL ENGINEERING PLANS FOR COMPLETE SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN.

NO.	DATE	REVISIONS DESCRIPTION

DESIGNER: EQUESTRIAN MEADOWS DEV. LLC
 14800 S. 80TH AVENUE
 ORLAND PARK, ILLINOIS 60462
 (708) 873-9700

TITLE: TREE PRESERVATION PLAN
 FOR
 EQUESTRIAN MEADOWS
 LEMONT, ILLINOIS

DESIGNER: DESIGNTEK ENGINEERING, INC.
 CONSULTING AND SITE DESIGN ENGINEERS
 9930 W. 190TH STREET, SUITE L
 MOKENA, ILLINOIS 60448
 (708) 326-4961
 ILL. PROF. LIC. NO.: 184-003740

DEI	
PROJECT INFORMATION	
Project No.:	12-0025
Scale:	1" = 50'
Date:	03-04-15
Design By:	SDS
Drawn By:	NSM
Checked By:	SDS

PROPOSED CONDITIONS

Attachment 4

VILLAGE OF LEMONT
ORDINANCE NO. 0-60-15

**AN ORDINANCE GRANTING PRELIMINARY PLAN/PLAT APPROVAL AND
SPECIAL USE FOR A PRELIMINARY PLANNED UNIT DEVELOPMENT (PUD) FOR
A THIRTY-FOUR LOT SINGLE-FAMILY DETACHED RESIDENTIAL SUBDIVISION
LOCATED AT 12150 BELL ROAD IN LEMONT, ILLINOIS.**

(Equestrian Meadows)

**Adopted by the
President and Board of Trustees
of the Village of Lemont**

This 14th Day of December, 2015

**Published in pamphlet form by
authority of the President and
Board of Trustees of the Village
of Lemont, Cook, DuPage, and Will
Counties, Illinois this 14th day of
December, 2015.**

ORDINANCE NO. _____

AN ORDINANCE GRANTING PRELIMINARY PLAN/PLAT APPROVAL AND SPECIAL USE FOR A PRELIMINARY PLANNED UNIT DEVELOPMENT (PUD) FOR A THIRTY-FOUR LOT SINGLE-FAMILY DETACHED RESIDENTIAL SUBDIVISION LOCATED AT 12150 BELL ROAD IN LEMONT, ILLINOIS.

(Equestrian Meadows)

WHEREAS, Equestrian Meadows Development Company, LLC, (hereinafter referred to as the “Petitioner”), is the owner of the property covering approximately 15.8 acres located at 12150 Bell Road (PIN # 22-26-201-011-0000), legally described and depicted in Exhibit A (hereinafter referred to collectively as the “Subject Property”); and

WHEREAS, the Petitioner applied pursuant to the provisions of the Lemont, Illinois Municipal Code, Title 17 Unified Development Ordinance (“UDO”) seeking a preliminary plat of subdivision, and a special use for a preliminary planned unit development, consisting of the following (hereinafter referred to as “Equestrian Meadows Preliminary PUD”);

1. Preliminary PUD Plat for Equestrian Meadows, prepared by DesignTek Engineering, Inc., revised dated 12/3/2015, attached hereto and incorporated herein as Exhibit B; and
2. Preliminary Engineering for Equestrian Meadows, prepared by DesignTek Engineering, Inc., revised dated 12/3/2015, attached hereto and incorporated herein as Exhibit C; and
3. Existing Tree Survey for Equestrian Meadows, prepared by DesignTek Engineering, Inc., revised dated 12/3/2015, attached hereto and incorporated herein as Exhibit D; and

WHEREAS, a notice of the aforesaid Public Hearing was made in the manner provided by law and was published in the *Lemont Reporter-Met*, a newspaper of general circulation within the Village; and

WHEREAS the Planning & Zoning Commission (“PZC”) at the November 18, 2015 PZC meeting, reviewed the Equestrian Meadows Preliminary PUD and voted 5-0 to recommend approval of the Petitioner’s request, with conditions; and

WHEREAS, the President and Board of Trustees of the Village have reviewed the matter herein and have determined that the same is in the best interest of the public health, safety and welfare of the residents of the Village of Lemont, and hereby adopt the finding of facts as set forth in Exhibit E.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE, AND WILL, ILLINOIS:

SECTION 1: Incorporation of Recitals. The foregoing findings and recitals are hereby adopted as Section 1 of this Ordinance and are incorporated by reference as if set forth verbatim herein.

SECTION 2: Special Use. A special use is granted as provided and conditioned in this Ordinance.

SECTION 3: Conditions. The special use for a planned unit development shall have the following conditions:

1. **General Conditions.** The Subject Property shall be developed, constructed and maintained in accordance with Village Code and the approved plans pertaining to the Subject Property and the exhibits to this Ordinance.

2. **Specific Conditions.** The following specific conditions shall apply:

A. **Tree Preservation.** The applicant, prior to the Final PUD approval, shall provide a tree mitigation and preservation plan shall be submitted and comply with Section 17.20.130.D of the UDO.

B. **Garages.**

1) No more than 64.7% single family detached units shall have three-car front loaded garages.

C. **Exterior Materials & Features.**

1) All single family detached units shall be constructed with masonry from grade to the top of the first storey.

2) Brick and stone veneer shall be anchored veneer. Adhered brick and stone veneer systems shall not be permitted, except adhered natural stone veneer shall be permitted for porch columns.

SECTION 4: The planned unit development approval shall lapse in the event the Petitioner does not file a complete application for Final PUD approval within one (1) year of the effective date of this ordinance, unless otherwise extended by the President and Board of Trustees of the Village.

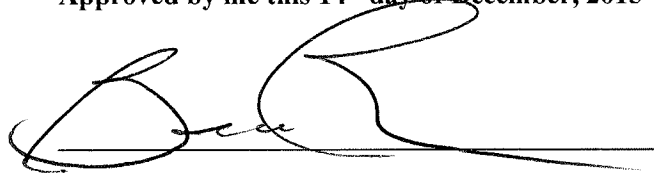
SECTION 5: The Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

SECTION 6: This Ordinance shall be in full force and effect from and after its passage, approval and publication provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DuPAGE, ILLINOIS, ON THIS 14th DAY OF December, 2015.


	<u>AYES</u>	<u>NAYS</u>	<u>ABSENT</u>	<u>ABSTAIN</u>
Debby Blatzer	✓			
Paul Chialdikas	✓			
Clifford Miklos	✓			
Ron Stapleton	✓			
Rick Sniegowski	✓			
Jeanette Virgilio				✓

Approved by me this 14th day of December, 2015



BRIAN K. REAVES, Village President

Attest:



CHARLENE M. SMOLLEN, Village Clerk

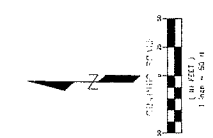
DESIGNER ENGINEERING, INC.
 CONSULTING AND SITE DESIGN ENGINEERS
 9930 W. 130TH STREET, SUITE L
 MORNEN, ILLINOIS 60448
 (708) 326-4981
 IL Prof. Lic. No. 184-003740



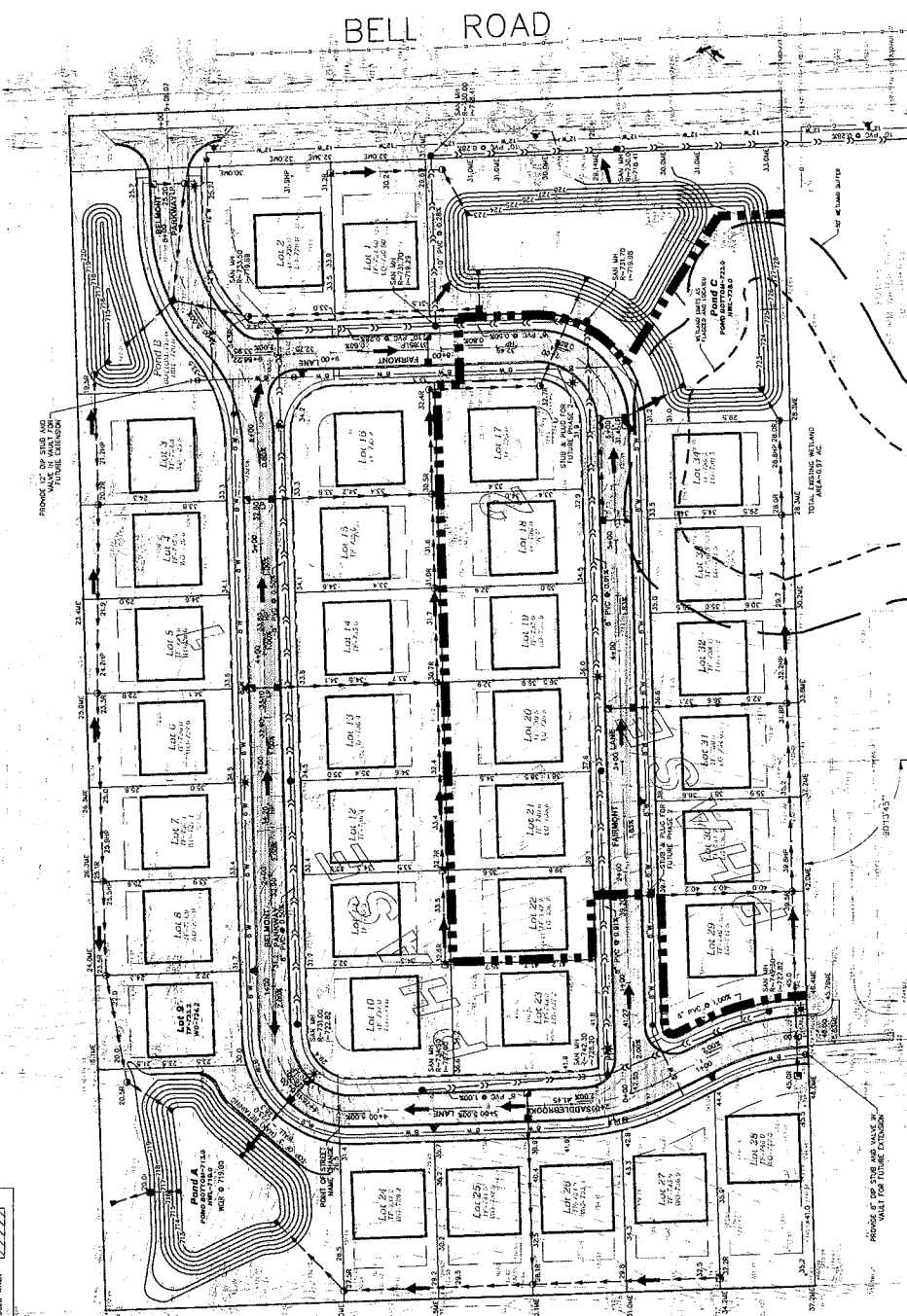
PRELIMINARY ENGINEERING
 FOR
 EQUESTRIAN MEADOWS
 LEMONT, ILLINOIS

EQUESTRIAN MEADOWS DEV. LLC
 14800 S. 80TH AVENUE
 ORLAND PARK, ILLINOIS 60462
 (708) 873-9700

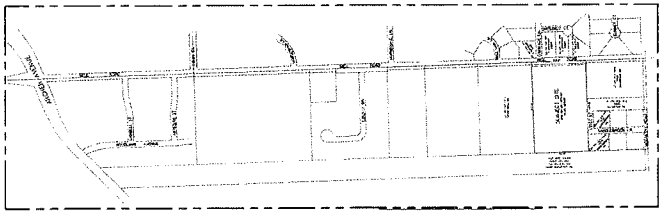
NO.	DATE	REVISIONS
1	11/11/15	ISSUE FOR PERMITS
2	12/01/15	REVISED ROAD WIDTH ETC.



PRELIMINARY ENGINEERING PLAN
 FOR
EQUESTRIAN MEADOWS
 LEMONT, ILLINOIS



LEGEND	
EXISTING	PROPOSED
SANITARY SEWER	PROPOSED SANITARY SEWER
CATCH BASIN	PROPOSED CATCH BASIN
OPEN LID MANHOLE	PROPOSED OPEN LID MANHOLE
CLOSED LID MANHOLE	PROPOSED CLOSED LID MANHOLE
WALKWAY	PROPOSED WALKWAY
VALVE	PROPOSED VALVE
HYDRANT	PROPOSED HYDRANT
WATER MAIN	PROPOSED WATER MAIN
UTILITY POLE	PROPOSED UTILITY POLE
B-BOX	PROPOSED B-BOX
RETAINING WALL	PROPOSED RETAINING WALL
CONDUIT	PROPOSED CONDUIT
FLOODPLAIN	PROPOSED FLOODPLAIN
OVERLAND FLOW ROUTE	PROPOSED OVERLAND FLOW ROUTE
MELAND BUTTER	PROPOSED MELAND BUTTER
DEPRESSED WALL	PROPOSED DEPRESSED WALL



NO.	DATE	REVISIONS
1	11/11/15	ISSUE FOR PERMITS
2	12/01/15	REVISED ROAD WIDTH ETC.

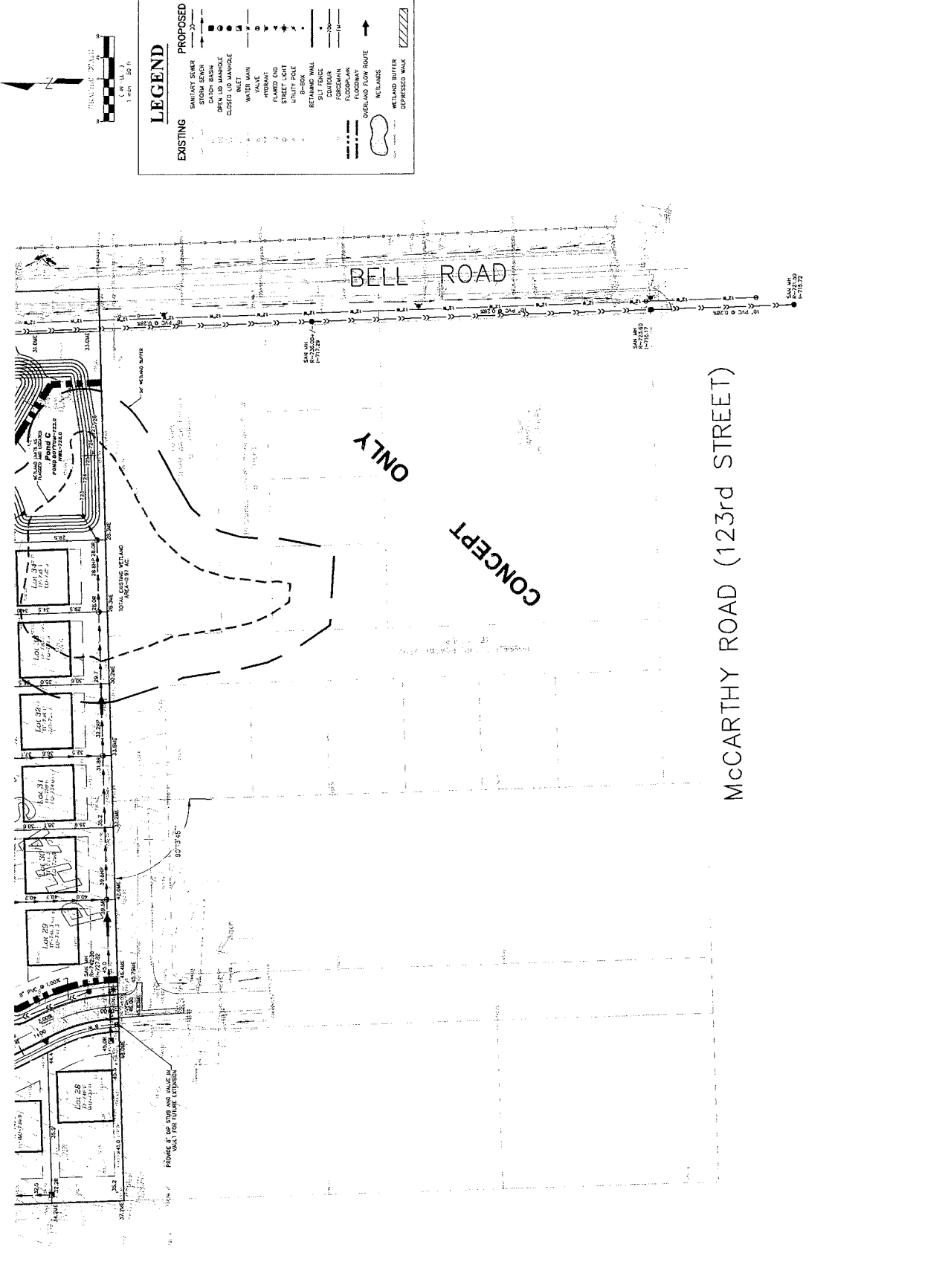
DESIGNER: DESIGNER ENGINEERING, INC.
 CONSULTING AND SITE DESIGN ENGINEERS
 9930 W. 190TH STREET, SUITE L
 HOMER, ILLINOIS 60448
 (708) 325-4881
 IL PROF. LIC. NO. 184-003740

PRELIMINARY ENGINEERING
 FOR
 EQUESTRIAN MEADOWS
 LEMONT, ILLINOIS

EQUESTRIAN MEADOWS DEV. LLC
 14800 S. 80TH AVENUE
 ORLAND PARK, ILLINOIS 60482
 (708) 873-9700

NO.	DATE	REVISIONS
1	11/18/15	ISSUE FOR PERMITS
2	12/02/15	REWARD ROAD WORK ETC.

PROJECT INFORMATION
 PROJECT NO. 15-0025
 SHEET NO. 140
 DATE 10-28-15
 DESIGN BY: MSW
 DRAFTER BY: MSW
 CHECKED BY: SCS



LEGEND

	SMART METER
	OPEN ID MANHOLE
	CLOSED ID MANHOLE
	WATER MAIN
	VALVE
	HYDRANT
	FLAMED END
	UTILITY POLE
	B-BOX
	RETAINING WALL
	FORECMAN
	FLOODPLAIN
	OVERLAND FLOW ROUTE
	WETLAND BUFFER
	WETLAND
	COMPRESSOR WALK

EXISTING

- Property Lines
- As-Built Utility Lines
- Existing Structures
- Topography

PROPOSED

- Proposed Utility Lines
- Proposed Structures
- Proposed Topography

McCarthy Road (123rd Street)

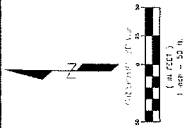
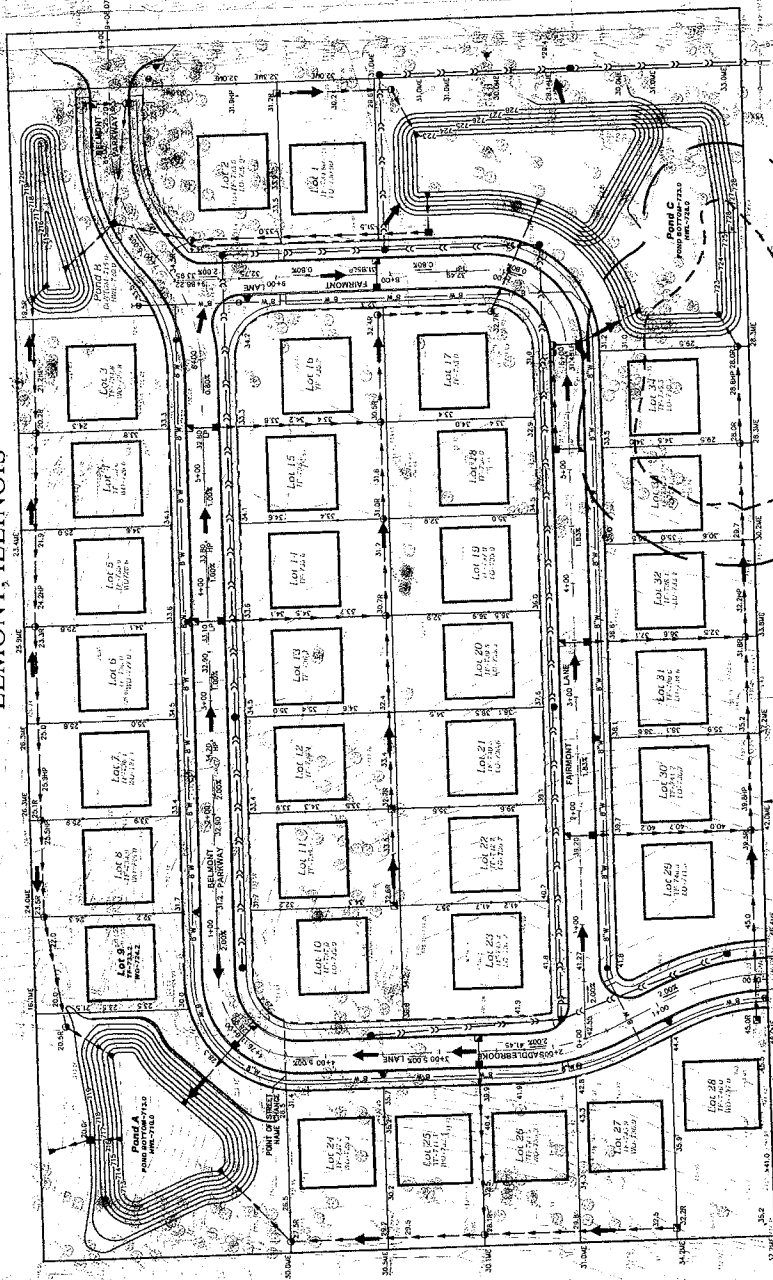
BELL ROAD

CONCEPT ONLY

EXISTING TREE PLAN FOR EQUESTRIAN MEADOWS

LEMONT, ILLINOIS

BELL ROAD



NO.	DATE	DESCRIPTION
1	11-21-15	FOR PRELIMINARY REVIEW
2	12-01-15	REVISED PER NORTH E.I.S.
3	01-28-16	REVISED PER NORTH E.I.S.
4	02-11-16	REVISED PER NORTH E.I.S.
5	02-11-16	REVISED PER NORTH E.I.S.
6	02-11-16	REVISED PER NORTH E.I.S.
7	02-11-16	REVISED PER NORTH E.I.S.
8	02-11-16	REVISED PER NORTH E.I.S.
9	02-11-16	REVISED PER NORTH E.I.S.
10	02-11-16	REVISED PER NORTH E.I.S.
11	02-11-16	REVISED PER NORTH E.I.S.
12	02-11-16	REVISED PER NORTH E.I.S.
13	02-11-16	REVISED PER NORTH E.I.S.
14	02-11-16	REVISED PER NORTH E.I.S.
15	02-11-16	REVISED PER NORTH E.I.S.
16	02-11-16	REVISED PER NORTH E.I.S.
17	02-11-16	REVISED PER NORTH E.I.S.
18	02-11-16	REVISED PER NORTH E.I.S.
19	02-11-16	REVISED PER NORTH E.I.S.
20	02-11-16	REVISED PER NORTH E.I.S.
21	02-11-16	REVISED PER NORTH E.I.S.
22	02-11-16	REVISED PER NORTH E.I.S.
23	02-11-16	REVISED PER NORTH E.I.S.
24	02-11-16	REVISED PER NORTH E.I.S.
25	02-11-16	REVISED PER NORTH E.I.S.
26	02-11-16	REVISED PER NORTH E.I.S.
27	02-11-16	REVISED PER NORTH E.I.S.
28	02-11-16	REVISED PER NORTH E.I.S.
29	02-11-16	REVISED PER NORTH E.I.S.
30	02-11-16	REVISED PER NORTH E.I.S.

EQUESTRIAN MEADOWS DEV. LLC
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EXISTING TREE PLAN
 FOR
EQUESTRIAN MEADOWS
 LEMONT, ILLINOIS

DESIGNTEK ENGINEERING, INC.
 Consulting and Site Design Engineers
 9930 W. 190TH STREET, SUITE L
 MOKENS, ILLINOIS 60448
 (708) 326-4361
 IL Prof. Lic. No. 184-003740

DEI
 PROJECT NO. 15-0025
 SUBJECT: LOT 12 - 0025
 DATE: 11-21-15
 DESIGN BY: SDS
 DRAWN BY: MSW
 CHECKED BY: SDS

1 OF 1

Exhibit E

FINDINGS. Based upon the evidence and testimony presented in the public hearing, the Lemont Board of Trustees finds the following:

1. The Lemont 2030 Comprehensive Plan's future land use map designates the subject site as Conventional neighborhood (CONV N.); the proposed PUD implements the recommendation of the 2030 plan.
2. The PUD request achieves the UDO 17.08.010C objective of ensuring that the future growth and development which occurs is in accordance with policies and goals of the Village.
3. The PUD request achieves the UDO 17.08.010C objective of stimulating economic development within the Village
4. The PUD will not unreasonably increase the traffic on McCarthy or Bell Roads.