



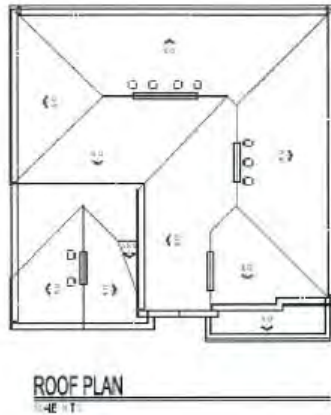
# Vistancia

## Model Portfolio

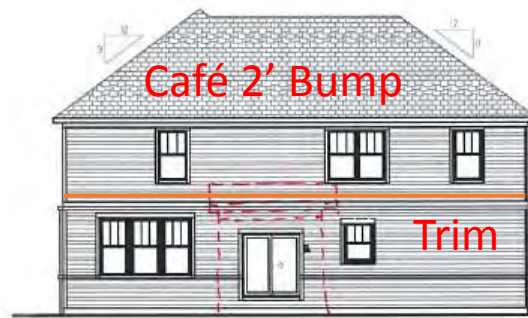


# Key Lot Features in Red – All Models

See Key Lot Map for Location of Key Lots



LEFT SIDE ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION

Brick first floor four sides to be offered as option on all SFD models



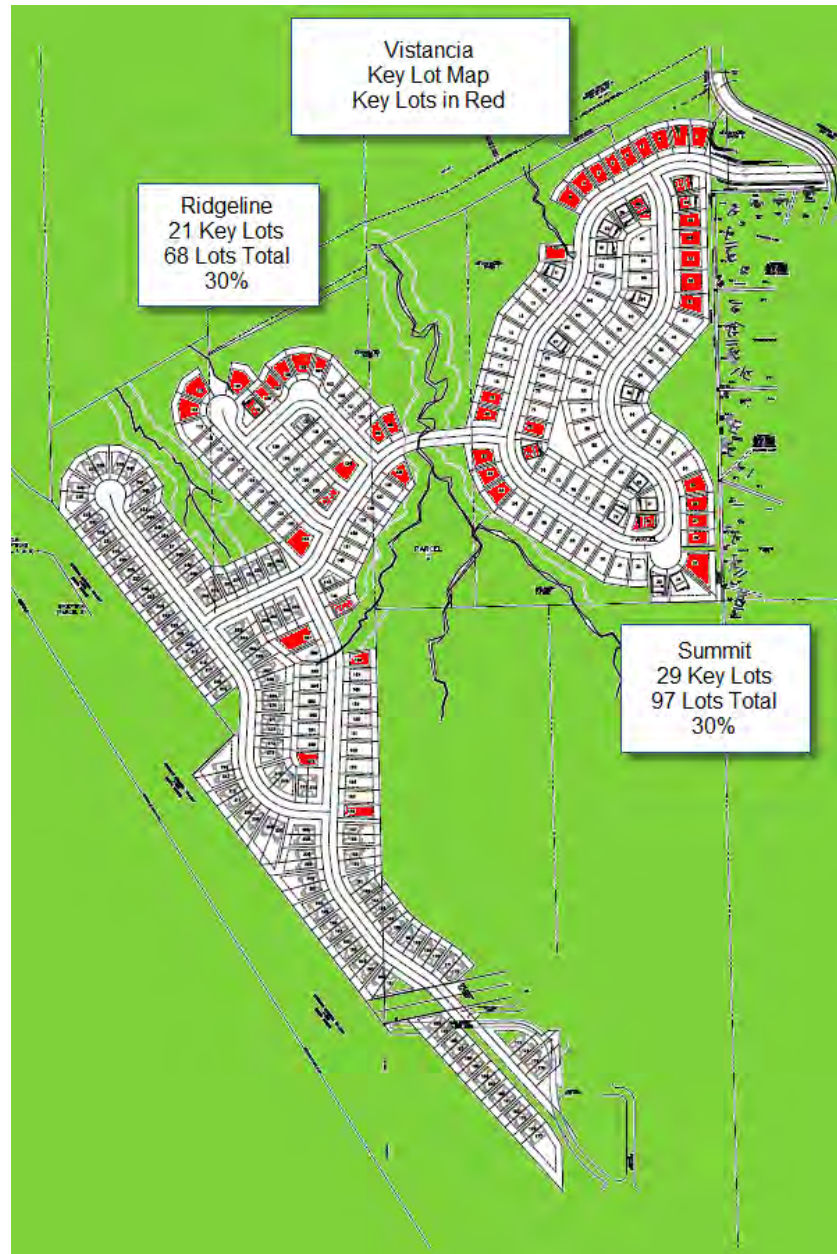
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Summit at Vistancia  
Westchester - Elevation NC2G

Lemont, IL

10.17.2016

# Vistancia - Key Lot Map





# Vistancia – LP Siding Colors



Pumice PM 138



Eucalyptus PM 212



Outside White



Sandstone



Colonial Grey PM 211



Sand Castle PM 210



Windy Gray PM 102



Blue Iron PM 120



Camouflage PM 312

---

# Vistancia – Pulte Homes

## “Ridgeline at Vistancia”

Mercer  
Continental  
Newberry  
Bennett  
Stonebrook

# Mercer Elevations

Note: CR2G and EC2G Replacement Elevations

Base Elevation - HR2G



CR2G

HR2H



EC2G

HR3S

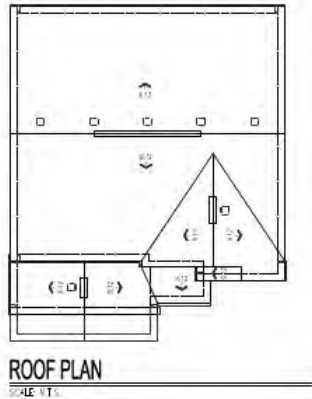


Model Elevation - HR3T



NC2G





**FRONT ELEVATION**  
SCALE 1/8" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE 1/8" = 1'-0"

Optional LP Smart Shake shown on Gable ends and Ornamental Windows shown on right side elevation.

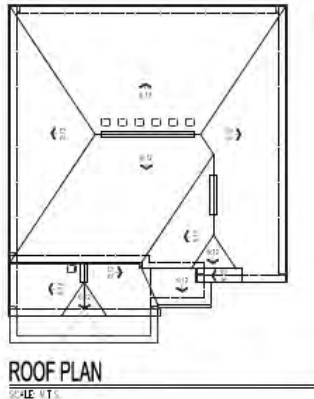


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Ridgeline at Vistancia  
Mercer - Elevation HR2G

Lemont, IL

10.17.2016



**FRONT ELEVATION**



**LEFT SIDE ELEVATION**

SCALE 1/8" = 1'-0"



**REAR ELEVATION**

SCALE 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE 1/8" = 1'-0"

Optional Ornamental Windows shown on right side elevation.



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Rigeline at Vistancia  
Mercer - Elevation CR2G

Lemont, IL

10.17.2016



# Continental Elevations

Note: EC2G Replacement Elevation

CR2G - C



HR2G - C



EC2G

HR2H - C

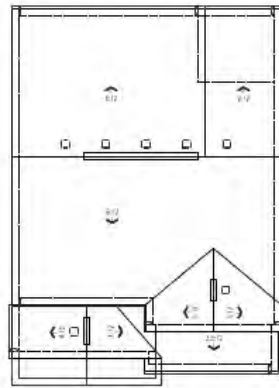


HR3S - C



HR3T - C





**ROOF PLAN**  
SCALE 1/8" = 1'-0"

Increase  
Size of  
Three  
Small  
Windows



**FRONT ELEVATION**  
SCALE 1/8" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE 1/8" = 1'-0"

Optional LP Smart Shake shown on Gable ends and Ornamental Windows shown on right side elevation.



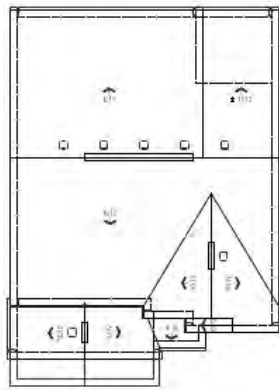
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Ridgeline at Vistancia

Continental - Elevation CR2G

Lemont, IL

10.17.2016



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 3/32" = 1'-0"



**REAR ELEVATION**  
SCALE: 3/32" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 3/32" = 1'-0"

Optional LP Smart Shake shown on Gable ends and Ornamental Windows shown on right side elevation.



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Ridgeline at Vistancia  
Continental - Elevation HR2G

Lemont, IL

10.17.2016

# Newberry Elevations

Note: CR2G and EC2G Replacement Elevations

HR2G - N



CR2G

HR2H - N



HR3S - N



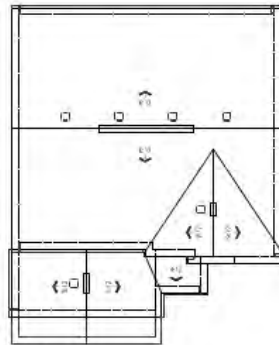
HR3T - N



EC2G

NC2G - N





**ROOF PLAN**

SCALE: 1/2" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/2" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE: 3/32" = 1'-0"



**REAR ELEVATION**

SCALE: 3/32" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 3/32" = 1'-0"

Optional LP Smart Shake shown on Gable ends and Ornamental Windows shown on right side elevation.



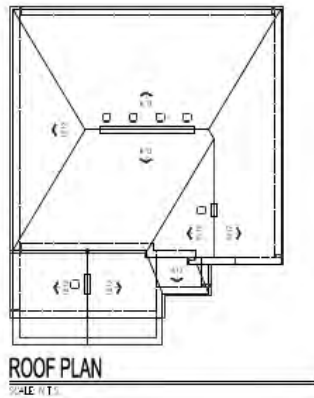
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Ridgeline at Vistancia

Newberry - Elevation HR2G

Lemont, IL

10.17.2016



Increase  
Size of  
Three  
Small  
Windows



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

Convert to Covered Entry Only



**LEFT SIDE ELEVATION**  
SCALE: 1/32" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/32" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/32" = 1'-0"

Optional Ornamental Windows shown on right side elevations.



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Ridgeline at Vistancia

Newberry - Elevation CR2G

Lemont, IL

10.17.2016

# Stonebrook Elevations

**CR2G**



**EC2M**



**HR2G**

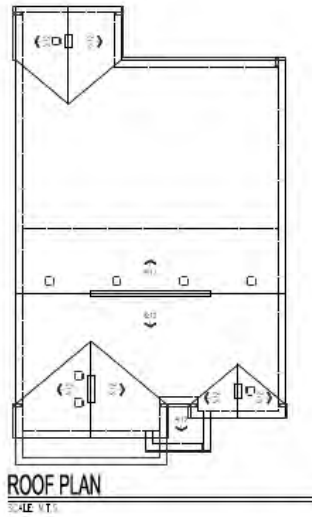


**HR2H**



**NC2G**





**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"

Gabled dormer to be included feature on Stonebrook elevations



**LEFT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

Optional LP Smart Shake shown on Gable ends and Ornamental Windows shown on left and right side elevation.



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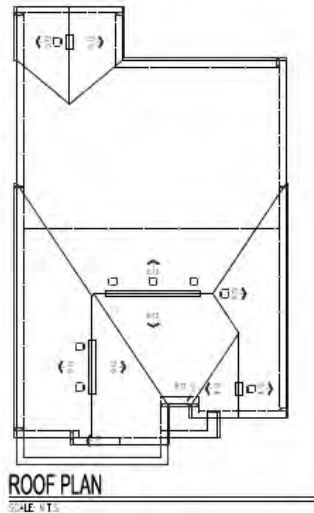
Ridgeline at Vistancia

Stonebrook - Elevation CR2G

Lemont, IL

10.17.2016





**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

Gabled dormer to be included feature on Stonebrook elevations



**LEFT SIDE ELEVATION**  
SCALE: 1/32" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/32" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/32" = 1'-0"

Optional Ornamental Windows shown on left and right side elevation.



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Ridgeline at Vistancia  
Stonebrook - Elevation EC2M

Lemont, IL

10.17.2016

# Bennett Elevations

**CR2G**



**EC2G**



**HR2G**

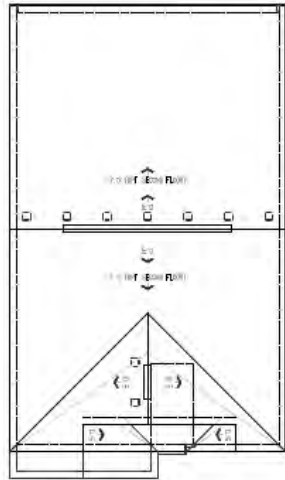


**HR2H**



**NC2G**





**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

Optional LP Smart Shake shown on Gable ends and Ornamental Windows shown on left and right side elevation.

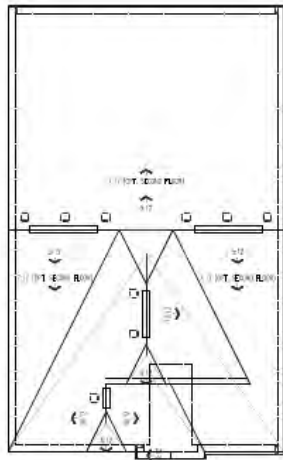


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Ridgeline at Vistancia  
Bennett - Elevation CR2G

Lemont, IL

10.17.2016



ROOF PLAN

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

Optional LP Smart Shake shown on Gable ends and Ornamental Windows shown on left and right side elevation.



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Ridgeline at Vistancia

Bennett - Elevation EC2G

Lemont, IL

10.17.2016

---

# Vistancia – Pulte Homes

## “Summit at Vistancia”

Amberwood  
Greenfield  
Hilltop  
Westchester  
Riverton  
Castleton  
Willwood

# Amberwood Elevations

**CR2M**



**EC2G**



**HR2M**

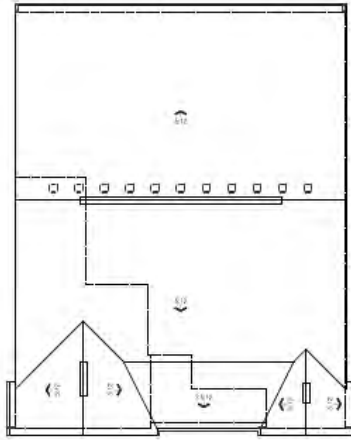


**HR2S**



**NC2G**





**ROOF PLAN**  
SCALE: N.T.S.



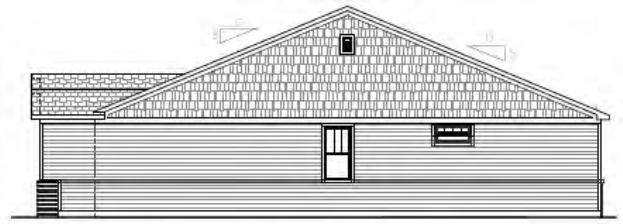
**FRONT ELEVATION**  
SCALE: N.T.S.



**LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

Optional LP Smart Shake shown on Gable ends on Left and Right side .



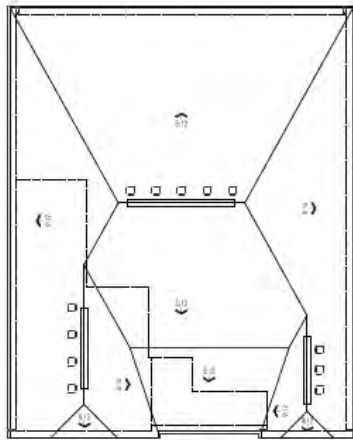
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Summit at Vistancia  
Amberwood - Elevation CR2M

Lemont, IL

10.17.2016

1/9/2017



**ROOF PLAN**  
SCALE: N.T.S.



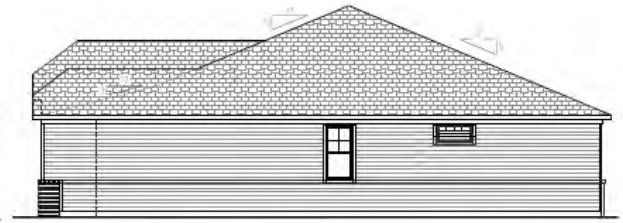
**FRONT ELEVATION**  
SCALE: N.T.S.



**LEFT SIDE ELEVATION**  
SCALE: 3/32" = 1'-0"



**REAR ELEVATION**  
SCALE: 3/32" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 3/32" = 1'-0"



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Summit at Vistancia  
Amberwood - Elevation EC2G

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10.17.2016



# Greenfield Elevations

**HR1A-01 Brick**



**EC2H**



**HR2G**

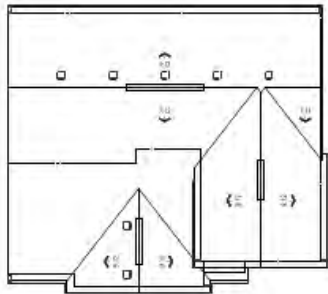


**HR3M**



**NC2G**





**ROOF PLAN**  
SCALE = 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE = 1/8" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE = 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE = 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE = 1/8" = 1'-0"

Optional LP Smart Shake shown on Gable ends on Left and Right side elevations .  
Summit at Vistancia

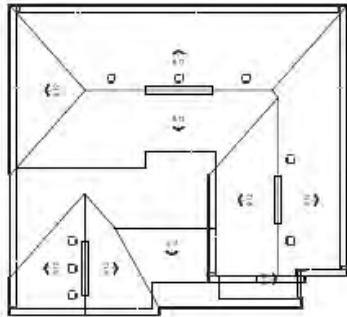
Greenfield - Elevation HR1A-01

Lemont, IL



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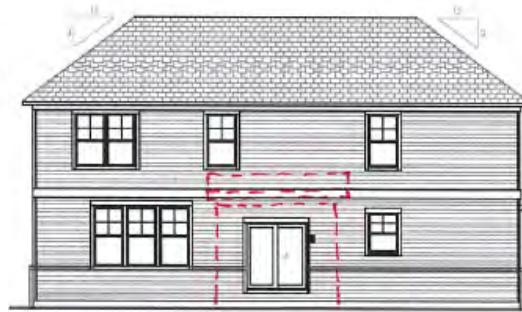
**ROOF PLAN**  
SCALE 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE 1/8" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE 1/8" = 1'-0"



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Summit at Vistancia  
Greenfield - Elevation EC2H

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# Hilltop Elevations

**HR2G**



**HR2H**



**HR2I**

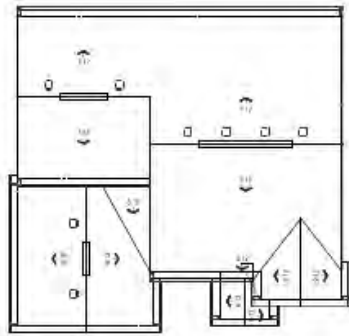


**HR3M**



**HR3S**





**ROOF PLAN**

SCALE: 1/8" = 1'-0"



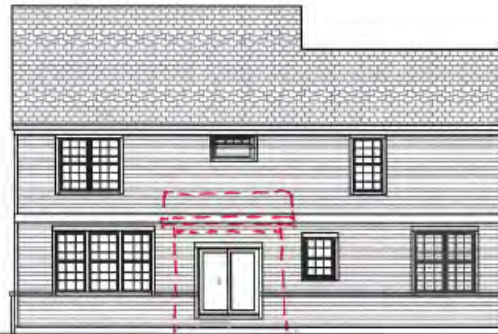
**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

Optional LP Smart Shake shown on Gable ends on Left and Right side .

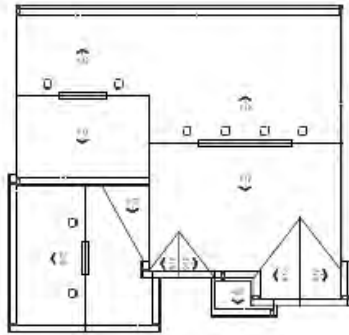


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Summit at Vistancia  
Hilltop - Elevation HR2G

Lemont, IL

10.17.2016



**ROOF PLAN**

SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

Optional LP Smart Shake shown on Gable ends on Left and Right side .



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Summit at Vistancia  
Hilltop - Elevation HR2H

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10.17.2016

# Westchester Elevations

**HR2G**



**EC2G**



**HR2M**

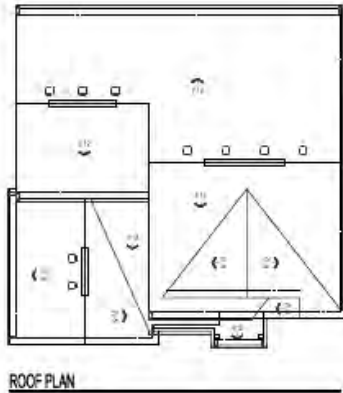


**HR3T**



**NC2G**





ROOF PLAN

ROOF PLAN

SCALE: 1/8" = 1'-0"



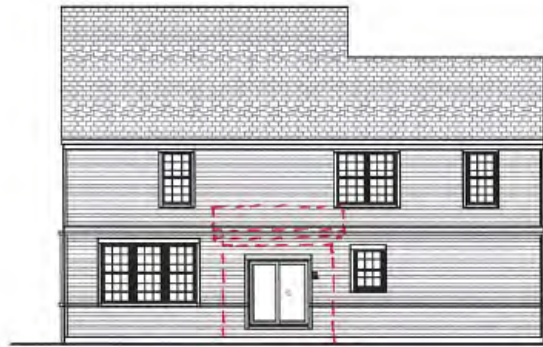
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

Optional LP Smart Shake shown on Gable ends on Left and Right side .

Summit at Vistancia

Westchester - Elevation - HR2G

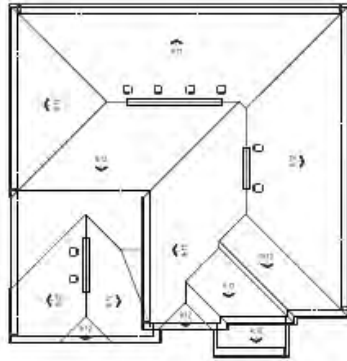
Lemont, IL

10.17.2016



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ROOF PLAN

SCALE 1/8" = 1'-0"



FRONT ELEVATION

SCALE 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE 1/8" = 1'-0"



REAR ELEVATION

SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE 1/8" = 1'-0"



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Summit at Vistancia  
Westchester - Elevation EC2G

Lemont, IL

10.17.2016

# Riverton Elevations

**HR1A-01 Brick**



**EC2G**



**HR2G**

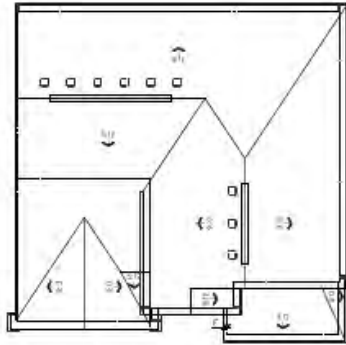


**HR3M**



**HR3W**

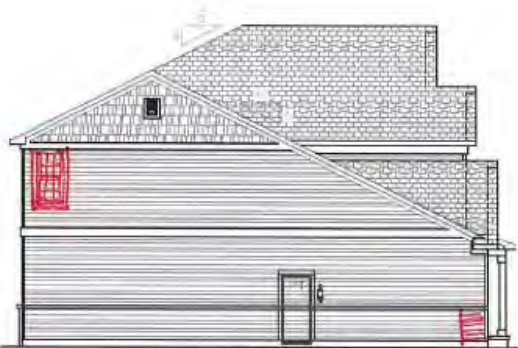




**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

Optional LP Smart Shake shown on Gable ends on Left side elevation.

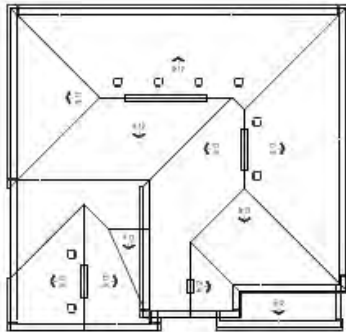


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Summit at Vistancia  
Riverton - Elevation HR1A-01

Lemont, IL

10.17.2016



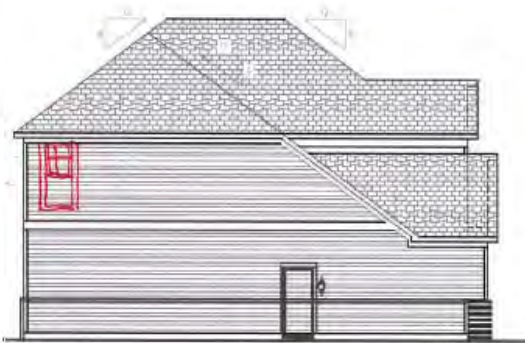
**ROOF PLAN**

SCALE 1/8" = 1'-0"



**FRONT ELEVATION**

SCALE 1/8" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE 1/8" = 1'-0"



**REAR ELEVATION**

SCALE 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE 1/8" = 1'-0"



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Summit at Vistancia  
Riverton - Elevation EC2G

Lemont, IL

10.17.2016

# Castleton Elevations

**HR2N-10 Brick**



**CT2S**



**HR2G**

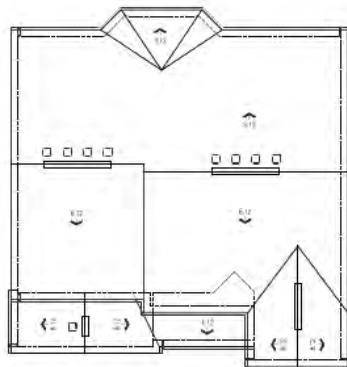


**NC2G**



**CR2G**





**ROOF PLAN**

SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



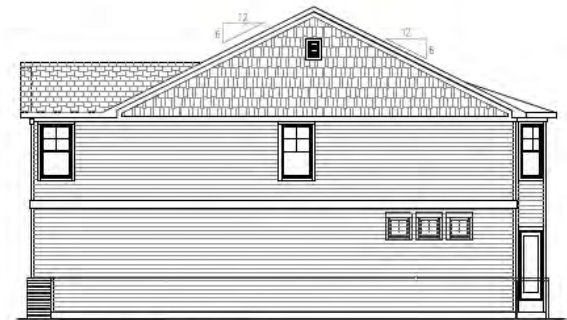
**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



Optional LP Smart Shake shown on Gable ends on Left and Right side with Optional Ornamental windows on Right side elevation. .

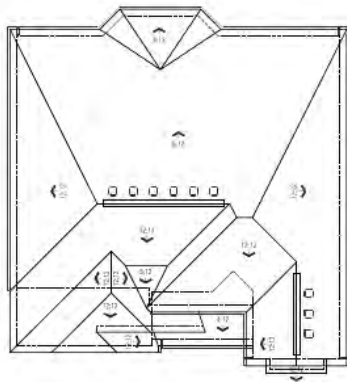
Summit at Vistancia

Lemont, IL

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CASTLETON - Elevation HR2N-10

10.24.2016



ROOF PLAN

SCALE 1/8" = 1'-0"



FRONT ELEVATION

SCALE 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE 1/8" = 1'-0"



REAR ELEVATION

SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE 1/8" = 1'-0"

Optional Ornamental windows on Right side elevation. .

Summit at Vistancia

CASTLETON - Elevation CT2S

Lemont, IL



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# Willwood Elevations

**HR2G**



**CR2H**



**CT2M**



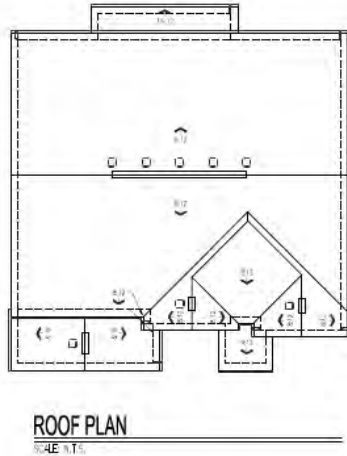
**HR2U**



**NC2M**







**ROOF PLAN**  
SCALE 1/8" = 1'-0"



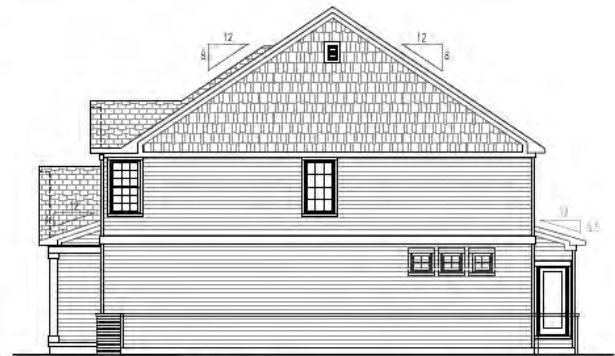
**FRONT ELEVATION**  
SCALE 1/8" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE 1/8" = 1'-0"



Optional LP Smart Shake shown on Gable ends on Left and Right side with Optional Ornamental windows on Right side elevation. .

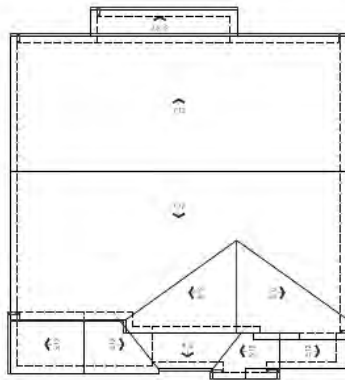
Summit at Vistancia

Lemont, IL

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Willwood - Elevation HR2G

10.17.2016



**ROOF PLAN**  
SCALE 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE 1/8" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE 1/32" = 1'-0"



**REAR ELEVATION**  
SCALE 1/32" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE 1/32" = 1'-0"



Optional LP Smart Shake shown on Gable ends on Left and Right side with Optional Ornamental windows on Right side elevation. .

Summit at Vistancia

Lemont, IL

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Willwood - Elevation CR2H

10.17.2016

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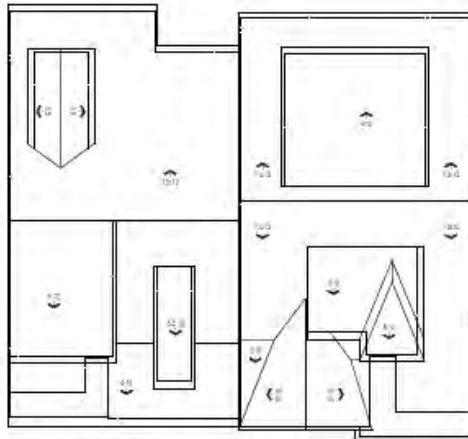
Vistancia – Pulte Homes

“Villas at Vistancia”

Corsica  
Provence

Corsica

Provence



ROOF PLAN  
SCALE: 1/8" = 1'-0"



FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



REAR ELEVATION  
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

Optional Ornamental LP Smart Shake shown on Gable end side elevations. .

Villas at Vistancia

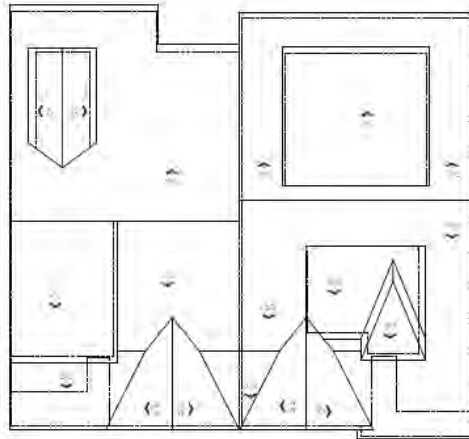
Duplex - Elevation 1

Lemont, IL

10.17.2016



(c) Copyright 2016 Pulte Group, Inc.



ROOF PLAN  
SCALE = 1/8" = 1'-0"



FRONT ELEVATION  
SCALE = 1/8" = 1'-0"



LEFT SIDE ELEVATION  
SCALE = 1/8" = 1'-0"



REAR ELEVATION  
SCALE = 1/8" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE = 1/8" = 1'-0"

Optional Ornamental windows on Right side elevation. .

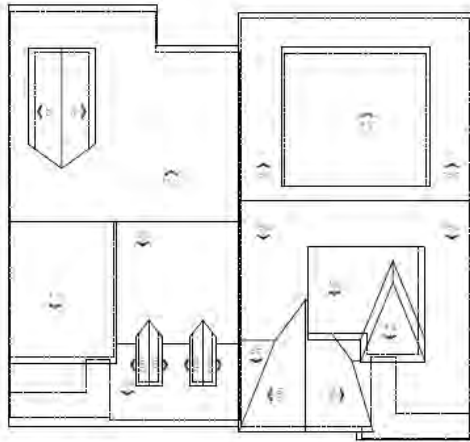


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Villas at Vistancia  
Duplex - Elevation 2

Lemont, IL

10.17.2016



ROOF PLAN

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

Optional Ornamental windows on Right side elevation. .

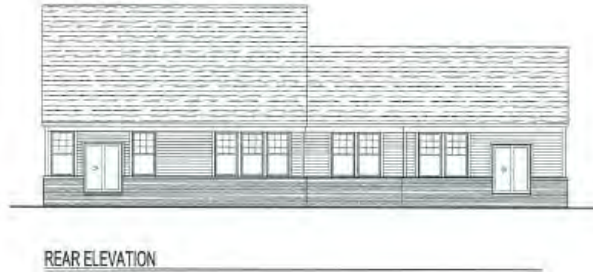
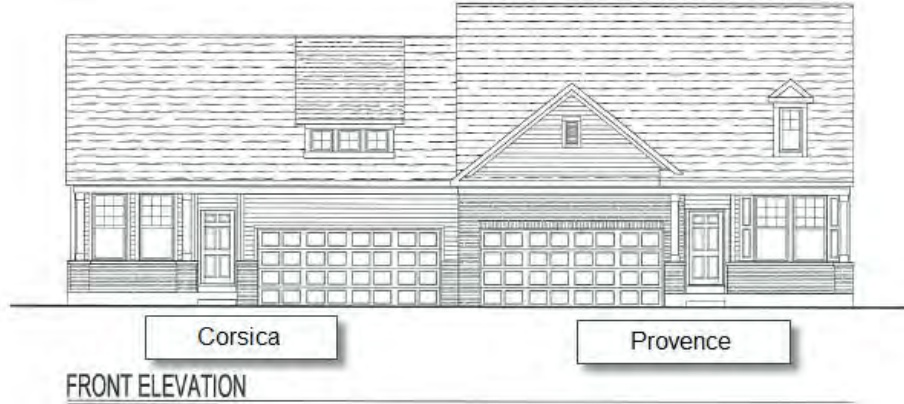
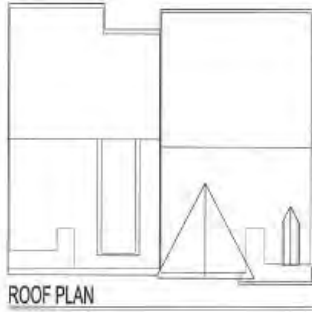


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Villas at Vistancia  
Duplex - Elevation 3

Lemont, IL

10.17.2016



Brick Wainscot shown as Optional on side and rear elevations.



Duplex

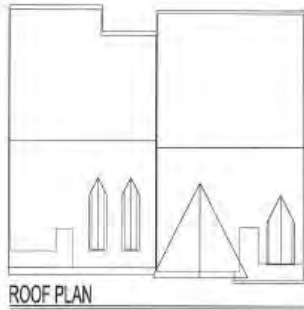
(c) Copyright 2016 PulteGroup, Inc.

Vistancia - Ranch Villas

Elevation 1

Lemont

12-12-2016



ROOF PLAN



Corsica

Provence

FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

Brick Wainscot shown as Optional on side and rear elevations.



Duplex

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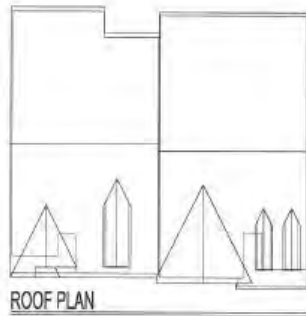
Vistancia - Ranch Villas

Elevation 2

Lemont

12-12-2016





ROOF PLAN



Corsica

Provence

FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

Brick Wainscot shown as Optional on side and rear elevations.



Duplex

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Vistancia - Ranch Villas

Elevation 4

Lemont

12-12-2016

---

TO: Planning & Zoning Commission

FROM: Heather Valone, Village Planner  
Adewale Adetunji, Village Intern ;

THUR: Jeffrey Stein, Deputy Village Administrator

SUBJECT: Case 16-09 Small Cell Antenna near 111 Main St Special Use

DATE: January 13, 2017

---

### SUMMARY

Tom Ferry of Buell Consulting, acting on behalf of the owner of Buell Consulting, has filed an application for a special use seeking to locate a small cell canister antenna and associated equipment for cellular phone coverage to an existing Common Wealth Edison (ComEd) utility pole. Staff is recommending approval with conditions.



## PROPOSAL INFORMATION

Case No. 16-09  
Project Name Small Cell Antenna near 111 Main St Special Use

General Information	
Applicant	Tom Ferry of Buell Consulting
Status of Applicant	Acting on behalf of the owner
Requested Actions:	Special Use
Purpose for Requests	Installation of small cell antenna and associated equipment to an existing utility pole
Site Location	111 Main Street (A PART OF MAIN STREET IN THE VILLAGE OF LEMONT LYING ADJACENT TO LOTS 11 AND 12 IN BLOCK 4 IN THE VILLAGE OF LEMONT SUBDIVISION BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF SECTION 20,TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 8, 1874 AS DOCUMENT # 184242 IN COOK COUNTY, ILLINOIS)
Existing Zoning	DD (Downtown District)
Size	Not applicable as the small cell antenna and associated equipment will be located on a ComEd utility pole in the right-of-way (ROW)
Existing Land Use	ROW
Surrounding Land Use/Zoning	North: DD ( Veterans' Park and Metra Station) South: DD (Otto Brant Wines, Inc. and Bonus electric , Inc.) East: DD (multi-tenant office building) West: DD (Englewood Construction)
Lemont 2030 Comprehensive Plan	The Comprehensive Plan map classifies this site Mixed Use (MU)

## BACKGROUND

To meet the demands of their customers, Verizon Wireless has requested that a small cell antenna and associated equipment be installed on a ComEd utility poll in the Main St ROW. The small cell antenna function is to improve cellular data service in the area. The subject site was chosen due to its proximity to the Metra station and downtown businesses, a location where cellular phone signals need to be increased for Verizon customers. Small cell antennas have limited coverage abilities. The coverage can be impacted by obstructions to between the antenna and the cellular phones. Obstructions such as trees or buildings can reduce the antenna's coverage area. Thus, this site was selected for the antenna due to a limited number obstructions and to provide the best area of service to Verizon customers nearby.



**Historic Preservation Commission.** The application was reviewed by the Historic Preservation Commission (HPC) on December 8, 2016. The HPC had no objections with the equipment being placed at the top of the pole and the painting of the equipment to blend in with the existing ComEd pole. The HPC recommended that the associated equipment proposed 10 ft. from grade be shifted higher on the ComEd pole. The applicant revised the plans and shifted the associated equipment 18.5 ft. above grade. The HPC issued a Certificate of appropriateness for the application pending Village Board approval.

## **SPECIAL USE**

**Consistency with Lemont 2030 Comprehensive Plan (Lemont 2030 Plan).** The Lemont 2030 Plan map designates this area as Mixed Use Per Lemont 2030 Plan, the mixed use district is:

“Characterized by the presence of buildings that house a mix of commercial and residential uses. Within the district, there may also be some single-use buildings, but they are less prevalent than the mixed use buildings. Buildings in this district may vary greatly in size, from a 1,000 sf historic structure in downtown to a 250,000 sf. building on a newly developed site featuring a community retail shopping center. Building and site designs are sensitive to and compatible with the established character of nearby neighborhoods and corridors.”

The installation of the small cell antenna does not generally achieve the goals of the Lemont 2030 Plan. However, it does provide services to the downtown residents, business and patrons, which does support the goals of the Lemont 2030 Plan.

**Compatibility with Existing Land Uses.** The property to the north is Veterans” Park and the Metra Station and railroad tracks. The properties to the south, east, and west are retail and office uses. Thus, staff sees no compatibility issues as the small cell antenna do not interfere with the use of the surrounding properties or the ROW.

**Design.** During the review of the application, staff conducted a survey among the surrounding municipalities regarding the regulation of small cell antennas in their communities. The research indicates that the majority of the surrounding municipalities regulate these cell small antennas through specific height standards and stealth designs to diminish the appearance of the equipment. Thus staff worked with the applicant and the HPC to minimize the appearance of the antenna and associated equipment.

The proposed project would feature the antenna and associated equipment installations on the existing pole. Placing the antenna on the top of the pole reduces appearance to passing pedestrians, vehicles, and prevents non-authorized persons from accessing the equipment. The antenna would measure approximately 16 inches wide and 24 inches tall and be placed at the top of the ComEd pole. The size of the antenna can be compared to the size of a flower vase. The associated equipment measures approximately 18 inches wide and 20 inches tall. The size of the equipment is similar to a brief case. The applicant is proposing that the associated equipment will be place on the middle of the pole 18.5 ft. above grade. The visual impact of the installation is minimal compared to other nearby poles which have large transformers attached to them.



**Engineering Comments.** The Village Engineer has no objections to the use.

**Fire District Comments.** The Fire Marshal has no comments.

## **CONCLUSION**

The applicant has demonstrated the need of the proposed special use and that it will not affect traffic conditions. The applicant has camouflaged the equipment to match the ComEd pole and shifted the placement of the equipment to reduce the visual impact. Thus, staff recommends approval of special use with the following conditions:

1. The antenna and associated equipment will be painted to match the color of the existing ComEd utility pole. All the equipment appearance will be maintained to ensure the approved color is maintained.
2. The minimum permitted height of the associated equipment above grade will be 18.5 ft.
3. The equipment will be maintained in compliance with the Village of Lemont Building code.

## **ATTACHMENTS**

1. Site Photographs
2. Village Engineer Comments
3. Fire Marshal Comments
4. Applicant Submittals



Attachment 1



Figure 1 Pedestrian's view of the ComEd utility pole looking south.



# Attachment 2

**From:** Jim Cainkar  
**To:** [Heather Valone](mailto:Heather.Valone)  
**Subject:** FW: PZC case 2016-09 Small Cell antenna near 111 Main St. Special Use  
**Date:** Wednesday, January 4, 2017 4:36:29 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[Forwarding Docs Memo PZC submittal #1 packet rsize.pdf](#)

---

Heather:

I have reviewed the Case packet for Case 2016-09 (Small Cell Antenna), and have no comments related to engineering issues.

Thank you,

**James L. Cainkar, P.E., P.L.S.**



545 Plainfield Road, Suite A  
Willowbrook, IL 60527  
T: 630-887-8640  
F: 630-887-0132

File No. 17021

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**From:** Heather Valone [mailto:hvalone@lemont.il.us]  
**Sent:** Thursday, December 29, 2016 3:46 PM  
**To:** Jim Cainkar <JimCainkar@franknovotnyengineering.com>; 'Ben DeAnda' (bdeanda@lemontfire.com) <bdeanda@lemontfire.com>  
**Subject:** PZC case 2016-09 Small Cell antenna near 111 Main St. Special Use

Jim and Ben,

Please see the attachment for the application of PZC case 2016-09.

Sincerely,

*Heather Valone*  
Village Planner



Village of Lemont | 418 Main Street | Lemont, IL 60439  
p 630.257.1582 | f 630.257.1598  
[hvalone@lemont.il.us](mailto:hvalone@lemont.il.us) | [www.lemont.il.us](http://www.lemont.il.us)

# Attachment 3



**LEMONT FIRE PROTECTION DISTRICT**

**BUREAU OF FIRE PREVENTION**



15900 New Avenue  
Lemont, IL 60439  
Business: (630) 257-0191  
Fax: (630) 257-5318  
fpb@lemontfire.com  
[lemontfire.com](http://lemontfire.com)

January 3, 2017

Building Department  
Village of Lemont  
418 Main Street  
Lemont, IL. 60439

Re: Land Use Application – Small Cell Antenna Special Use  
Near 111 Main Street, Lemont, IL. 60439

Dear Building Department;

This Department is in receipt of the site plans for the above mentioned project. The 2015 edition of the International Fire Code along with local amendments were used for this review. These plans are APPROVED AS NOTED subject to the following comments:

1. No comments on this project at this time.

The review of these drawings does not relieve the contractor or building owner from designing and installing and completing this project per all code and standard requirements. Fire code and standard requirements not necessarily noted on these plans, in the plan review letter, or noted during inspections are still required to be provided and installed in full compliance with all adopted codes standards and ordinances. I will recommend approval of these plans with the stipulation that the above items are addressed and complied with. This APPROVAL with noted requirements of the Codes and Standards for the submitted project is not to be construed as final approval. This can only be granted after construction and occupancy inspections. If you should have any further questions please don't hesitate to contact me.

Sincerely,

Benjamin DeAnda, MS, MA, FM, CFO  
Fire Marshal

cc: Village of Lemont Building Department



# Attachment 4

Village of Lemont

Planning & Economic Development Department

418 Main Street Lemont, Illinois 60439

phone (630) 257-1595

fax (630) 257-1598

## Special Use Application Form

---

### APPLICANT INFORMATION

Applicant Name

Tom Ferry, Buell Consulting o/b/o Verizon Wireless

Company/Organization

Chicago SMSA Limited Partnership d/b/a Verizon Wireless

Applicant Address

25 Northwest Point Blvd, Suite 730 Elk Grove Village, IL 60007

Telephone & Fax

763-245-0902

E-mail [tferry@buellconsulting.com](mailto:tferry@buellconsulting.com)

### CHECK ONE OF THE FOLLOWING:

Applicant is the owner of the subject property and is the signer of this application.

Applicant is the contract purchaser of the subject property.

Applicant is acting on behalf of the beneficiary of a trust.

Applicant is acting on behalf of the owner.

---

### PROPERTY INFORMATION

Address of Subject Property/Properties

111 Main Street Lemont, IL 60439

Parcel Identification Number of Subject Property/Properties

N/A - The ComEd pole being attached to is in the ROW.

Size of Subject Property/Properties

N/A - In the ROW

---

### DESCRIPTION OF REQUEST

Brief description of the proposed special use

Attachment of small cell 'canister' antenna and associated equipment to existing ComEd utility pole.

---

### REQUIRED DOCUMENTS

See Form 501-A, *Special Use Application Checklist of Required Materials*, for items that must accompany this application.

---

### FOR OFFICE USE ONLY

Application received on: \_\_\_\_\_

By: \_\_\_\_\_

Application deemed complete on: \_\_\_\_\_

By: \_\_\_\_\_

Current Zoning: \_\_\_\_\_

Fee Amount Enclosed: \_\_\_\_\_

Escrow Amount Enclosed: \_\_\_\_\_

# Special Use Application Form

Village of Lemont

## APPLICATION FEE & ESCROW

Application Fee = \$500 for properties less than 10 acres, \$750 for properties 10 acres or larger  
Fee is non-refundable.

### Required Escrow = \$500

At the time of application, the applicant shall submit a check for the establishment of an escrow account. The escrow money shall be used to defray costs of public notice, consultants, or other direct costs incurred by the Village in association with the special use application. Additionally, should the applicant fail to remove the required public notice sign in a timely manner, the escrow account may be used to defray the costs of the sign's removal. After completion of the special use review process, any unused portion of the escrow account will be refunded upon request.

## AFFIRMATION

I hereby affirm that I have full legal capacity to authorize the filing of this application and that all information and exhibits herewith submitted are true and correct to the best of my knowledge. I permit Village representatives to make all reasonable inspections and investigations of the subject property during the period of processing of this application. I understand that as part of this application I am required to establish an escrow account to pay for direct costs associated with the approval of this application, such as the fulfillment of public notice requirements, removal of the public notice sign, taking of minutes at the public hearing and fees for consultants hired by the Village to evaluate this application. I understand that the submitted fee is non-refundable and that any escrow amount leftover upon project completion will be refunded upon request. I understand that I am responsible for the posting of a public hearing sign and for the mailing of legal notice to all surrounding property owners as required by Village ordinances and state law.

Thomas Ferry

11/10/16

Signature of Applicant

Date

Minnesota

Ramsey

State

County

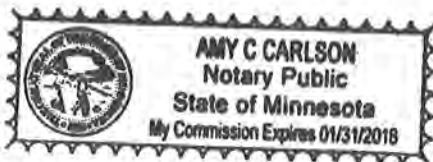
I, the undersigned, a Notary Public in and for the aforesaid County and State, do hereby certify that Thomas Ferry is personally known to me to be the same person whose name is subscribed to the foregoing instrument, and that said person signed, sealed and delivered the above petition as a free and voluntary act for the uses and purposes set forth.

Amy Carlson

Notary Signature

Given under my hand and notary seal this 10<sup>th</sup> day of November A.D. 20 16.

My commission expires this 31<sup>st</sup> day of January A.D. 20 18.





Buell Consulting, Inc.  
25 Northwest Point Blvd, Suite 730  
Elk Grove Village, IL 60007  
(651) 361-8110  
www.buellconsulting.com

*Site Acquisition  
Permitting  
Established 1991*

November 10, 2016

Village of Lemont  
418 Main Street  
Lemont, IL 60439

RE: Special Use Permit Submittal / Verizon Wireless for attachment of small cell telecommunications equipment to an existing ComEd utility pole located at 111 Main Street Lemont, IL 60439.

To Whom It May Concern,

With near universal adoption of the smart phone in recent years there has been an exponential increase in the amount of data required to meet consumer demands. Traditional 'macro' tower sites alone are no longer able to provide the seamless, high-speed connectivity that wireless users have come to expect. In order to meet this increasing demand, while limiting the proliferation of large tower sites, Verizon has begun the deployment of supplementary 'small cell' installations. These 'small cells' are many times smaller than traditional sites and thus can be strategically placed precisely where they are needed most.

Please consider this letter and associated documents a formal request for a Special Use Permit by Verizon Wireless. Verizon intends to attach a small cell antenna and associated equipment to an existing ComEd utility pole in the right-of-way at the address above. The antenna itself will be mounted on a 6' fiberglass mast extension atop the existing pole. This extension is mandated by ComEd to avoid any interference with existing power lines. The supporting radios, or RRUS, will be mounted on the pole ~10' from ground level. There will be no equipment on the ground and no ground disturbance will be required for this installation. This site will be unmanned with no on-site parking required.

Verizon is pursuing this installation for the benefit of its customers in the Lemont area, as well as for Metra riders passing through. Additionally, this site will provide benefit for the community as a whole by expanding the reach of Emergency 911.

Please let me know if you need anything else to consider this application.

Respectfully,

A handwritten signature in black ink, appearing to read 'Tom Ferry', written over a horizontal line.

Tom Ferry  
Project Manager  
Buell Consulting, Inc.

# Special Use Criteria Worksheet

Unified Development Ordinance (UDO) Section 17.04.140.C establishes the criteria for approval of special use requests; no special use will be recommended by the Planning & Zoning Commission unless it meets the following criteria.

Please describe below how your variation request meets the criteria of UDO Section 17.04.140.C. Attach additional sheets if necessary.

## **UDO Section 17.04.140.C.1**

The special use is deemed necessary for the public convenience at that location:

Verizon Wireless is proposing this small cell installation to improve cellular service for their customers in Lemont. This particular location was chosen due to its close proximity to the Metra station and downtown businesses. During times of increased wireless traffic, this site will ensure there is no corresponding drop in the quality of service. These installations have limited range and thus it is imperative that they are located within the area they are intended to service.

## **UDO Section 17.04.140.C.2**

The special use is so designed, located and proposed to be operated that the public health, safety and welfare will be protected:

This installation will improve public safety by providing additional infrastructure through which Emergency 911 (E911) calls can be routed. All required equipment will be mounted to an existing ComEd utility pole with the lowest point of attachment being 10' above ground level. Mounting the equipment at this height ensures that it will not be an impediment to passing pedestrians and also discourages tampering. A structural analysis has been conducted to ensure that the addition of this equipment will not jeopardize the integrity of the pole.

## **UDO Section 17.04.140.C.3**

The special use will not cause substantial injury to the value of other property in the neighborhood in which it is located:

The equipment proposed for this installation will be self-contained on an existing ComEd utility pole. There will be nothing at ground level. Said equipment is no larger than the transformers already present on the pole one span to the northeast. If the existence of a transformer on a utility pole is not considered to cause substantial injury to property value then this should be no different.

**UDO Section 17.04.140.C.4**

The special use shall not create excessive demands on Village service or impair the ability of the Village to maintain the peace and provide adequate protection for its citizens:

This installation will not create any additional demands of the Village. Construction and any required maintenance will be handled by ComEd, Verizon, or their contractors. This installation will help improve protection for the citizens of Lemont by providing additional infrastructure through which to route emergency calls.

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**UDO Section 17.04.140.C.5**

The special use is consistent with the standards enumerated elsewhere in the UDO for the specific use, including but not limited to, planned unit developments:

This proposed installation meets the intent outlined in Chapter 12.30 Construction of Utility Facilities in the Public Rights-of-Way. All equipment is mounted to an existing pole at sufficient height to ensure no adverse impact to citizens on the ground. Planned Unit Development standards are not applicable as outlined below.

---

---

---

**UDO Section 17.04.140.C.6**

The special use meets, as applicable, the standards for planned unit developments found in Chapter 17.08 of the UDO:

This project involves the collocation of telecommunications equipment onto an existing ComEd utility pole in the right-of-way. This project does not: (1) develop land that includes more than one type of land use on a single zoning lot, (2) develop land totaling 20 acres or more, (3) develop land including 40 or more dwelling units, or (4) develop land including more than one principal building on the lot of record. Therefore, the standards of planned unit developments should not apply to this installation.

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---

---

Permit # 2088002859

Site Id # 292337

Other Id # Lemont Metra

POLE ATTACHMENT PERMIT

Pursuant to the Marked-Up Application dated 04/01/2016 and subsequent completion of ComEd Make-Ready, permission is hereby granted to VERIZON WIRELESS in accordance with the terms and conditions of the Pole Attachment Agreement between our respective companies for the right and privilege to make attachments to 1 ComEd solely owned poles, and 0 jointly owned poles, located within LEMONT.

Issuance of this permit is subject to the following:

1. Issuance of this permit indicates that ComEd identified Make-Ready has been completed. Licensee is responsible for ensuring that all Make-Ready has been completed by other parties prior to making any attachments to poles.
2. Placement or attachment of any of Licensee's Facilities at a new or different location on any ComEd solely- or jointly-owned pole, other than those described on the a Marked-Up Application referenced above, and/or supporting maps, spreadsheets, etc., requires the Licensee to submit a modified Pole Attachment Application for ComEd review and approval prior to making attachments.
3. Licensee agrees to comply with ComEd requirements and all applicable laws, statutes, ordinances, rules and regulations related to the installation, use and operation of its Facilities. This Permit shall become null and void if any of Licensee's attachments authorized hereunder violates any laws, statutes, ordinances, rules and regulations, including but not limited to the NESC, related to the installation, use and operation of the facilities authorized hereunder.
4. Licensee shall notify ComEd within 30 days of completion of all attachments by Licensee.
5. A copy of this permit must be available at the work location during any construction activity.
6. Licensee's shall install its Facilities within 90 days of the date of this Permit.

COMMONWEALTH EDISON COMPANY

By: RH for Manny Alonso

Office: LC3

Date: 6/24/2016

PERPETUAL INVENTORY RECORD			
	ComEd Poles	Jointly Owned Poles	Other
Attachments permitted to-date	0	0	
Attachments added by this permit	1	0	
Total Attachments	1	0	

38.95 Ft. Tall  
Top Dia. = 10.97 in.  
Bottom Dia. = 17.4 in.

10 Ft. Cross Arm  
38.95 Ft. Elev.

30.16 Ft. Elev.

21.13 Ft. Elev.





1 AERIAL LOCATION  
SCALE: N.T.S.



2 EXHIBIT PHOTO OF POLE  
SCALE: N.T.S.

**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS

**TERRA**  
CONSULTING GROUP, LTD.  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: 847-698-6400  
FAX: 847-698-6401

REVISIONS		DATE	BY
NO.	DESCRIPTION		
A	ISSUED FOR REVIEW	03/25/16	LRB
B	UPDATED WITH FIBER ROUTE	08/17/16	JJR
0	ISSUED FOR FINALS	08/29/16	MPC
1	REVISED EQUIPMENT LAYOUT	10/31/16	MPC
2	RE-ISSUED FOR FINALS	11/01/16	MPC
3	REVISED PAINT COLOR FOR EQUIPMENT	11/03/16	MPC

LOC #292337  
**LEMONT METRA SC**  
111 MAIN STREET  
LEMONT, IL 60439

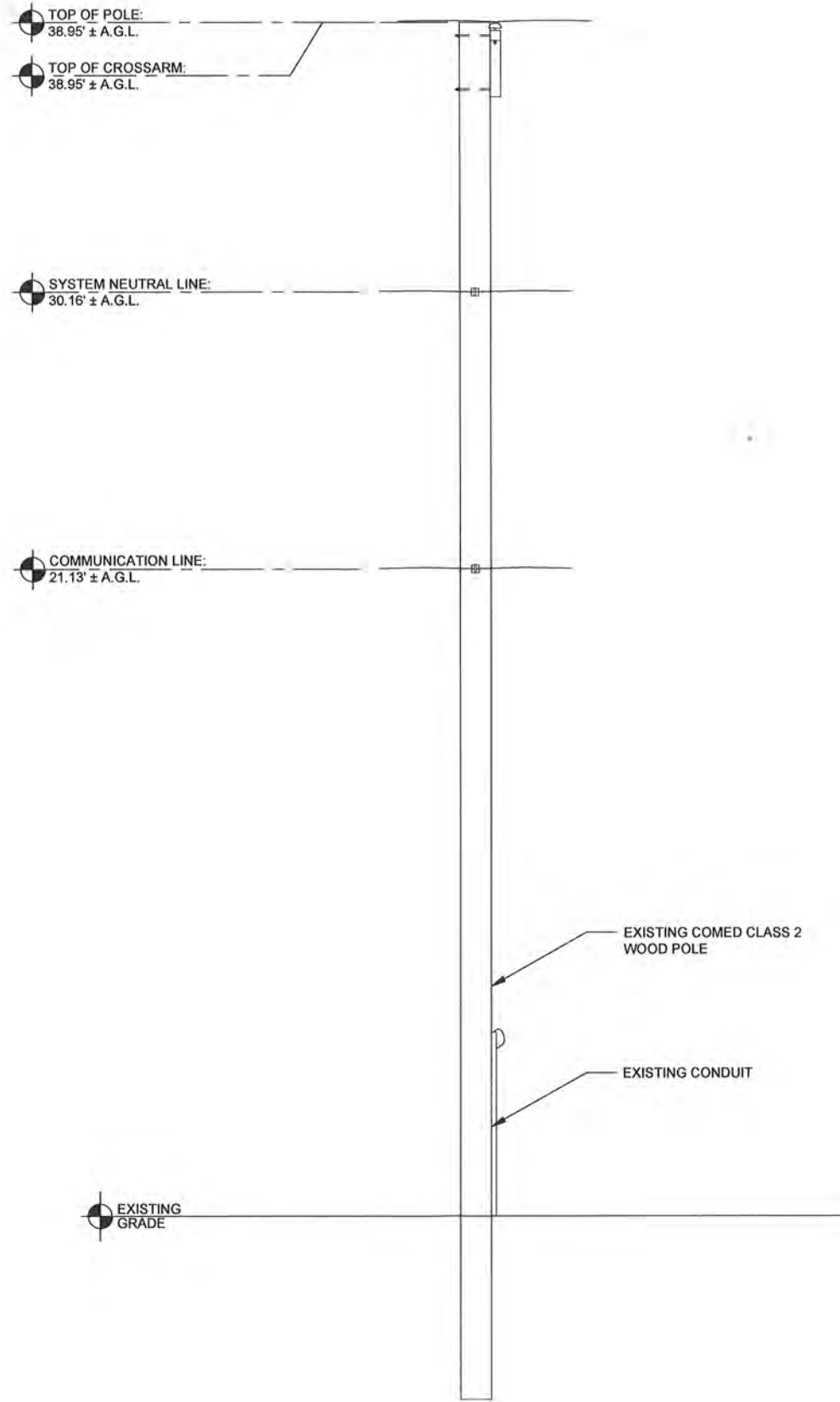
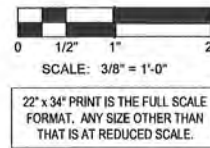
DRAWN BY: JJR  
CHECKED BY: TAZ  
DATE: 10/19/15  
PROJECT #: 81-051

SHEET TITLE  
**AERIAL LOCATION & EXHIBIT PHOTO**

SHEET NUMBER

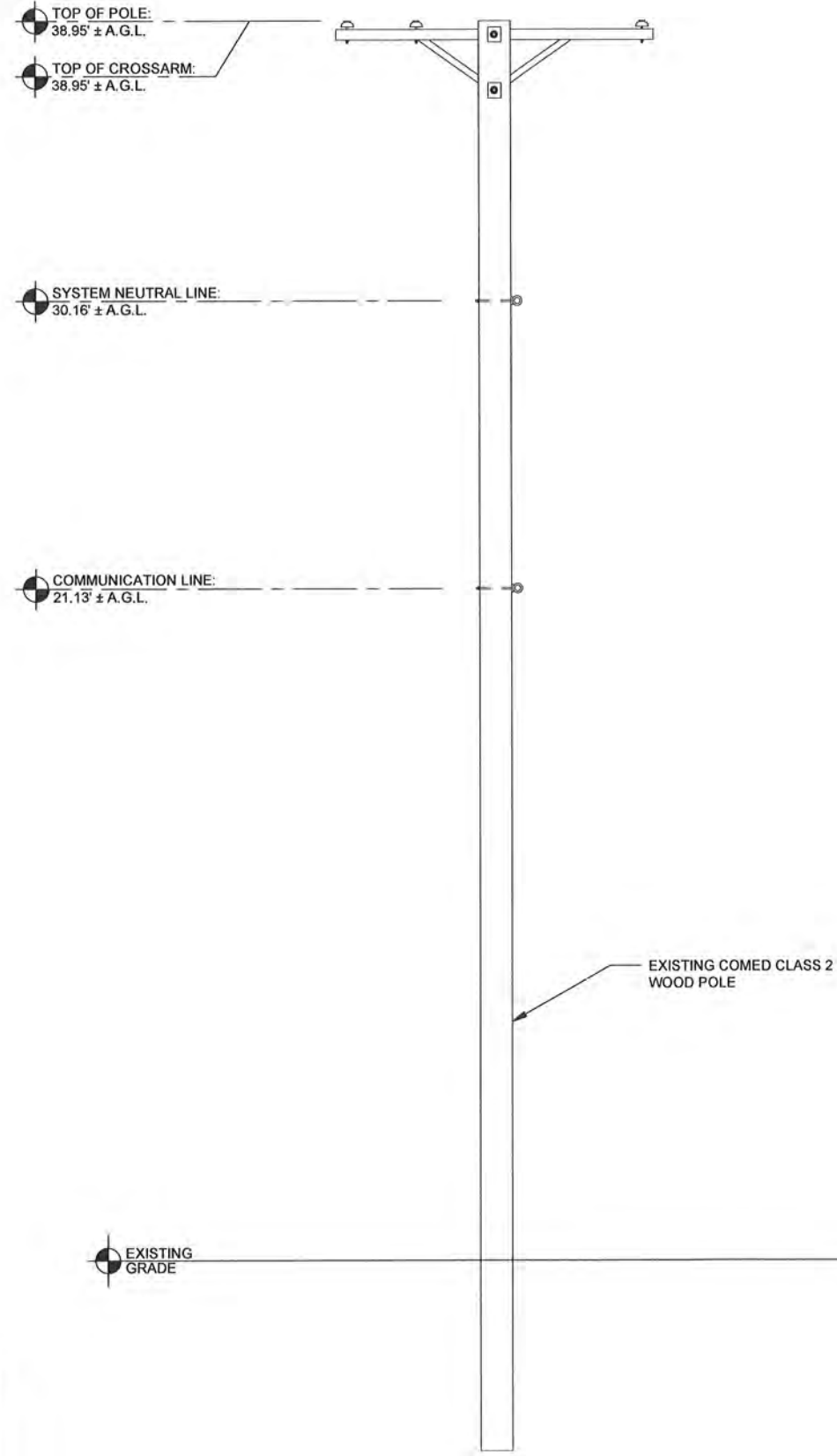
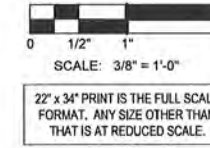
**LP-1**





1 EXISTING NORTH ELEVATION  
SCALE: 3/8" = 1'-0" ±

NOTE:  
THIS DRAWING IS FOR EXHIBIT  
AND LAYOUT PURPOSES ONLY.  
  
PLEASE REFER TO STRUCTURAL  
REPORT PREPARED BY HUTTER  
TRANKINA ENGINEERING.



2 EXISTING EAST ELEVATION  
SCALE: 3/8" = 1'-0" ±

**CHICAGO  
SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS

**TERRA**  
CONSULTING GROUP LTD  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: 847-698-6400  
FAX: 847-698-6401

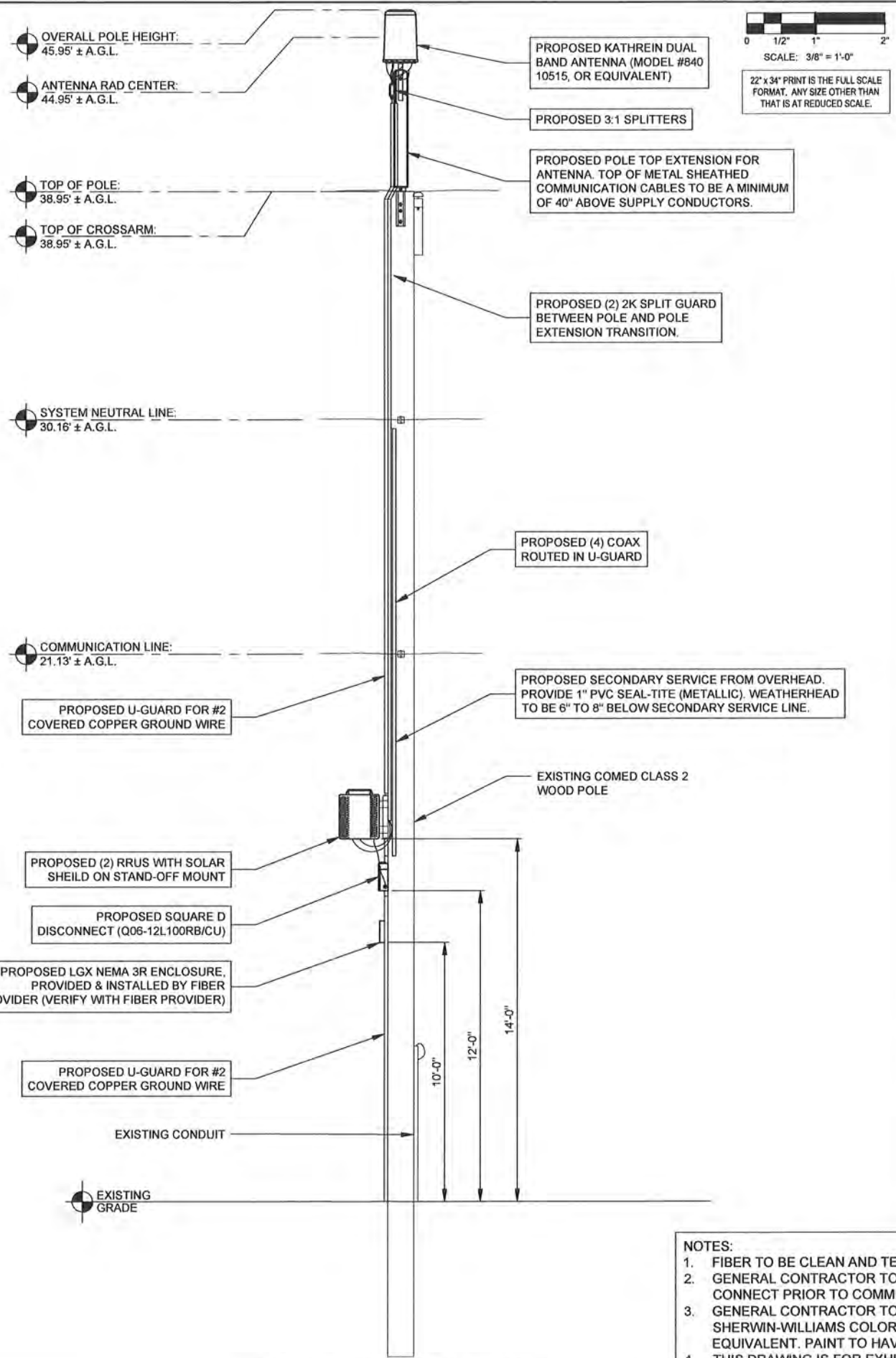
REVISIONS		DATE	BY
NO.	DESCRIPTION		
A	ISSUED FOR REVIEW	03/25/16	LRB
B	UPDATED WITH FIBER ROUTE	08/17/16	JJR
0	ISSUED FOR FINALS	08/29/16	MPC
1	REVISED EQUIPMENT LAYOUT	10/31/16	MPC
2	RE-ISSUED FOR FINALS	11/01/16	MPC
3	REVISED PAINT COLOR FOR EQUIPMENT	11/09/16	MPC

LOC #292337  
LEMONT  
METRA SC  
111 MAIN STREET  
LEMONT, IL 60439

DRAWN BY: JJR  
CHECKED BY: TAZ  
DATE: 10/19/15  
PROJECT #: 81-051

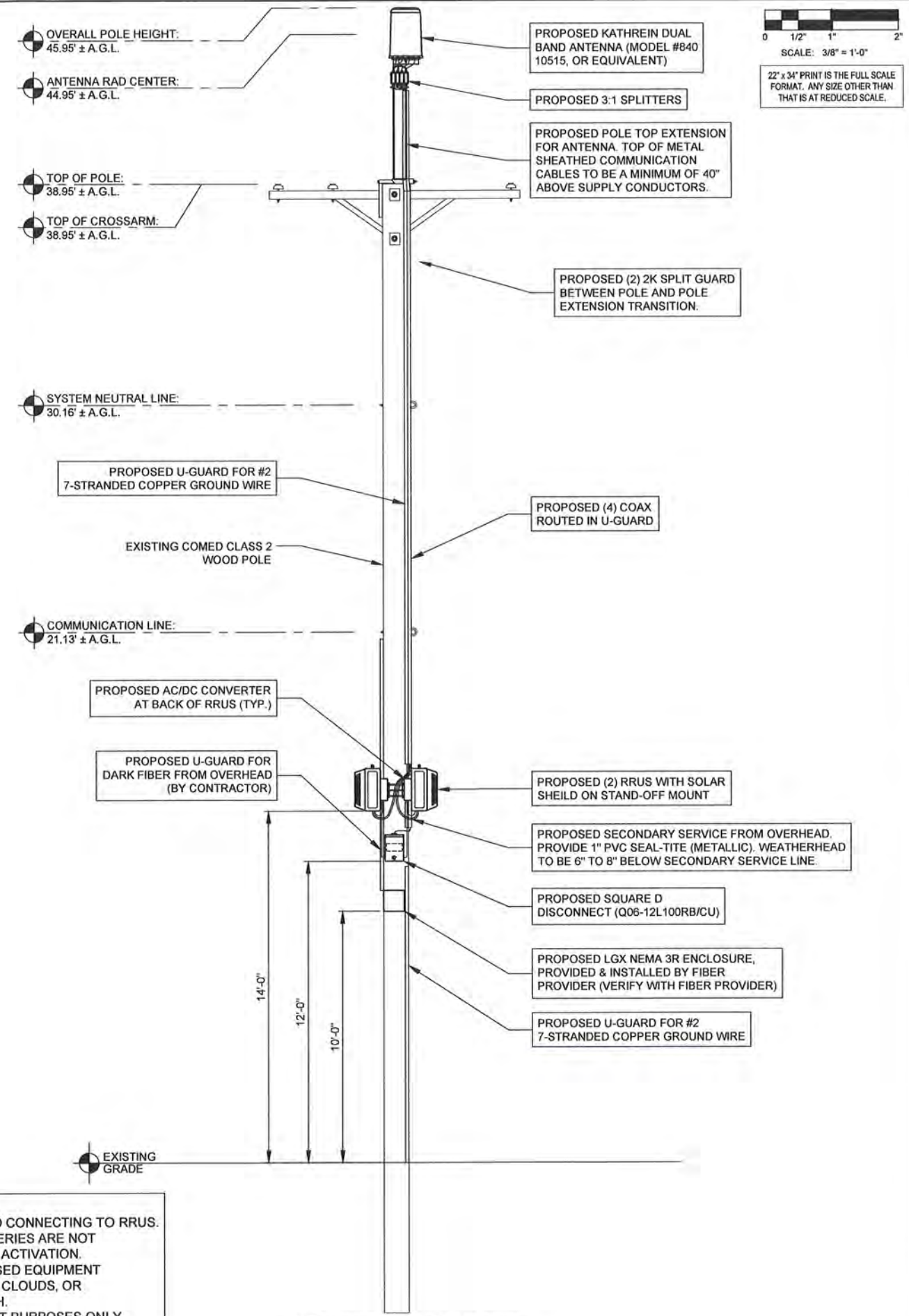
SHEET TITLE  
EXISTING SITE  
ELEVATIONS

SHEET NUMBER  
**ANT-1**



1 EXISTING NORTH ELEVATION  
SCALE: 3/8" = 1'-0" ±

NOTES:  
 1. FIBER TO BE CLEAN AND TESTED PRIOR TO CONNECTING TO RRUS.  
 2. GENERAL CONTRACTOR TO ENSURE BATTERIES ARE NOT CONNECT PRIOR TO COMMERCIAL POWER ACTIVATION.  
 3. GENERAL CONTRACTOR TO PAINT PROPOSED EQUIPMENT SHERWIN-WILLIAMS COLOR SW 7658 GRAY CLOUDS, OR EQUIVALENT. PAINT TO HAVE MATTE FINISH.  
 4. THIS DRAWING IS FOR EXHIBIT AND LAYOUT PURPOSES ONLY. PLEASE REFER TO STRUCTURAL REPORT PREPARED BY HUTTER TRANKINA ENGINEERING.



2 EXISTING EAST ELEVATION  
SCALE: 3/8" = 1'-0" ±

**CHICAGO SMSA**  
 limited partnership  
 d/b/a VERIZON WIRELESS

**TERRA**  
 COMMUNICATIONS GROUP, LTD.  
 600 BUSSE HIGHWAY  
 PARK RIDGE, IL 60068  
 PH: 847-688-6400  
 FAX: 847-688-6401

REVISIONS		BY	DATE	DESCRIPTION
1	A	LRB	03/25/16	ISSUED FOR REVIEW
2	B	JJR	06/17/16	UPDATED WITH FIBER ROUTE
3	0	MPC	08/29/16	ISSUED FOR FINALS
4	1	MPC	10/31/16	REVISED EQUIPMENT LAYOUT
5	2	MPC	11/01/16	RE-ISSUED FOR FINALS
6	3	MPC	11/03/16	REVISED PAINT COLOR FOR EQUIPMENT

**LOC #292337**  
**LEMONT METRA SC**  
 111 MAIN STREET  
 LEMONT, IL 60439

DRAWN BY: JJR  
 CHECKED BY: TAZ  
 DATE: 10/19/15  
 PROJECT #: 81-051

SHEET TITLE  
**PROPOSED SITE ELEVATIONS**

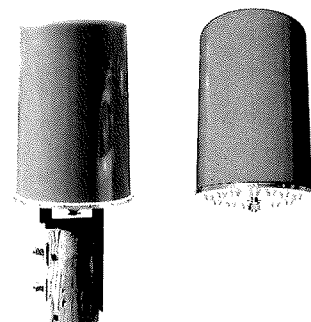
SHEET NUMBER  
**ANT-2**

# KATHREIN SCALA DIVISION

840 10515 840 10516

65° Dual Band Tri-sector Antenna

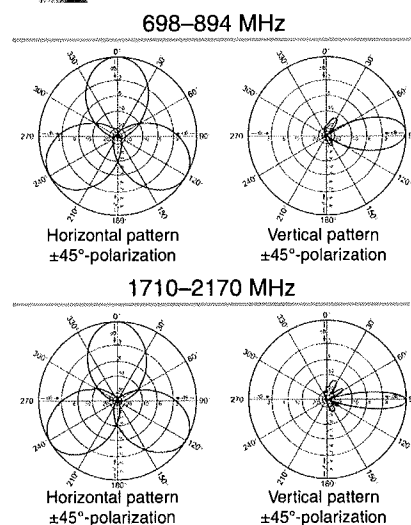
	Antenna 1	Antenna 2	Antenna 3	Antenna 4	Antenna 5	Antenna 6
Dual Band (MHz)	698-894	1710-2170	698-894	1710-2170	698-894	1710-2170
Dual Polarization	X	X	X	X	X	X
HPBW	65°	65°	65°	65°	65°	65°



### General specifications:

Frequency range	698-894 MHz 1710-2170 MHz
VSWR	<1.5:1
Impedance	50 ohms
Intermodulation (2x20w)	IM3: <-150 dBc
Polarization	+45° upper and lower band -45° upper and lower band
Connector	12 x 7-16 DIN female
Isolation intrasystem	>30 dB
intersystem	>40 dB (698-894 // 1710-2170 MHz)
Radome color	Brown or grey
Weight	50 lb (22.7 kg)
Height	24 inches (609 mm)
Radome diameter	16 inches (407 mm)
Wind load Side	at 93 mph (150kph) 32 lbf (138 N)
Wind survival rating*	100 mph (160 kph)
Shipping dimensions	32 x 20 x 19 inches (813 x 508 x 483 mm)
Shipping weight	52 lb (23.6 kg)
Mounting	Designed to be mounted on top of a utility pole using a custom mounting bracket supplied by the customer.

See reverse for order information.



Specifications:	698-894 MHz	806-894 MHz	1710-1880 MHz	1850-1990 MHz	1920-2170 MHz
Gain	10.4 dBi	11.6 dBi	13.5 dBi	13.5 dBi	13.2 dBi
Front-to-back ratio (180° ± 30°)	>24 dB (co-polar) >18 dB (total power)	>26 dB (co-polar) >20 dB (total power)	>32 dB (co-polar) >24 dB (total power)	>30 dB (co-polar) >26 dB (total power)	>30 dB (co-polar) >25 dB (total power)
Maximum input power	250 watts (at 50°C)	250 watts (at 50°C)	200 watts (at 50°C)	200 watts (at 50°C)	200 watts (at 50°C)
+45° and -45° polarization horizontal beamwidth	71° (half-power)	65° (half-power)	60° (half-power)	62° (half-power)	64° (half-power)
+45° and -45° polarization vertical beamwidth	37° (half-power)	31° (half-power)	19° (half-power)	17.5° (half-power)	17.5° (half-power)
Cross polar ratio					
Main direction 0°	18 dB	25 dB	20 dB	22 dB	25 dB
Sector (typical) ±60°	>8 dB	>8 dB	>9 dB	>9 dB	>12 dB



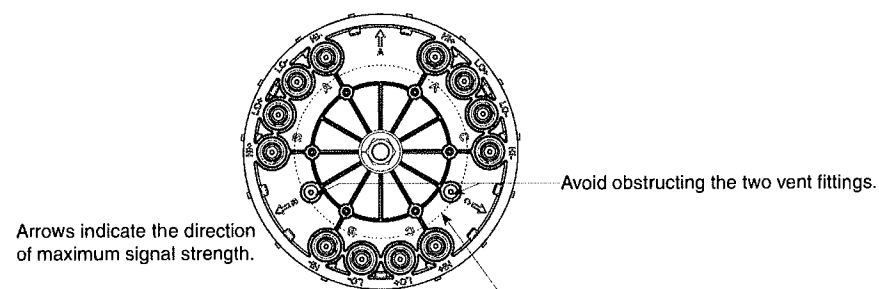
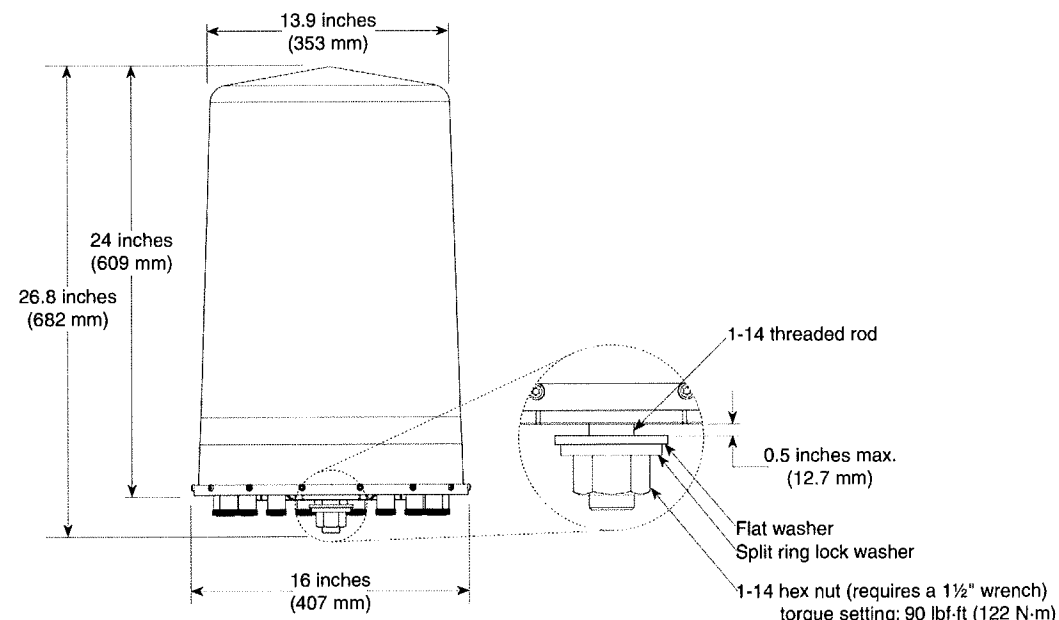
\*Mechanical design is based on environmental conditions as stipulated in TIA-222-G-2 (December 2009) and/or ETS 300 019-1-4 which include the static mechanical load imposed on an antenna by wind at maximum velocity. See the Engineering Section of the catalog for further details.

Kathrein Inc., Scala Division Post Office Box 4580 Medford, OR 97501 (USA) Phone: (541) 779-6500 Fax: (541) 779-3991  
Email: communications@kathrein.com Internet: www.kathrein-scala.com

# KATHREIN SCALA DIVISION

840 10515 840 10516

65° Dual Band Tri-sector Antenna



### Order Information:

Model	Description
840 10515	Brown Dualband 700 MHz X-pol Trisector Antenna
840 10516	Grey Dualband 700 MHz X-pol Trisector Antenna

All specifications are subject to change without notice. The latest specifications are available at [www.kathrein-scala.com](http://www.kathrein-scala.com).

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Email: communications@kathrein.com Internet: www.kathrein-scala.com

**CHICAGO  
SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS



REVISIONS		NO.	DATE	BY	DESCRIPTION
		A	03/25/16	LRB	ISSUED FOR REVIEW
		B	08/17/16	JJR	UPDATED WITH FIBER ROUTE
		0	08/29/16	MPC	ISSUED FOR FINALS
		1	10/31/16	MPC	REVISED EQUIPMENT LAYOUT
		2	11/01/16	MPC	RE-ISSUED FOR FINALS
		3	11/03/16	MPC	REVISED PAINT COLOR FOR EQUIPMENT

LOC #292337  
LEMONT  
METRA SC

111 MAIN STREET  
LEMONT, IL 60439

DRAWN BY:	JJR
CHECKED BY:	TAZ
DATE:	10/19/15
PROJECT #:	81-051

SHEET TITLE  
ANTENNA DETAILS

SHEET NUMBER  
**ANT-4**

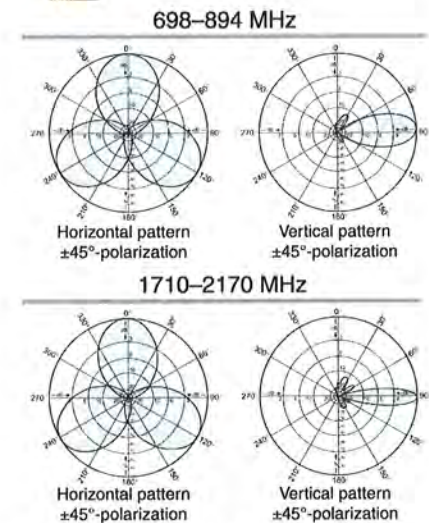
	Antenna 1	Antenna 2	Antenna 3	Antenna 4	Antenna 5	Antenna 6
Dual Band (MHz)	698-894	1710-2170	698-894	1710-2170	698-894	1710-2170
Dual Polarization	X	X	X	X	X	X
HPBW	65°	65°	65°	65°	65°	65°



**General specifications:**

Frequency range	698-894 MHz 1710-2170 MHz
VSWR	<1.5:1
Impedance	50 ohms
Intermodulation (2x20w)	IM3: <-150 dBc
Polarization	+45° upper and lower band -45° upper and lower band
Connector	12 x 7-16 DIN female
Isolation intrasystem	>30 dB
intersystem	>40 dB (698-894 // 1710-2170 MHz)
Radome color	Brown or grey
Weight	50 lb (22.7 kg)
Height	24 inches (609 mm)
Radome diameter	16 inches (407 mm)
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Wind survival rating*	100 mph (160 kph)
Shipping dimensions	32 x 20 x 19 inches (813 x 508 x 483 mm)
Shipping weight	52 lb (23.6 kg)
Mounting	Designed to be mounted on top of a utility pole using a custom mounting bracket supplied by the customer.

See reverse for order information.

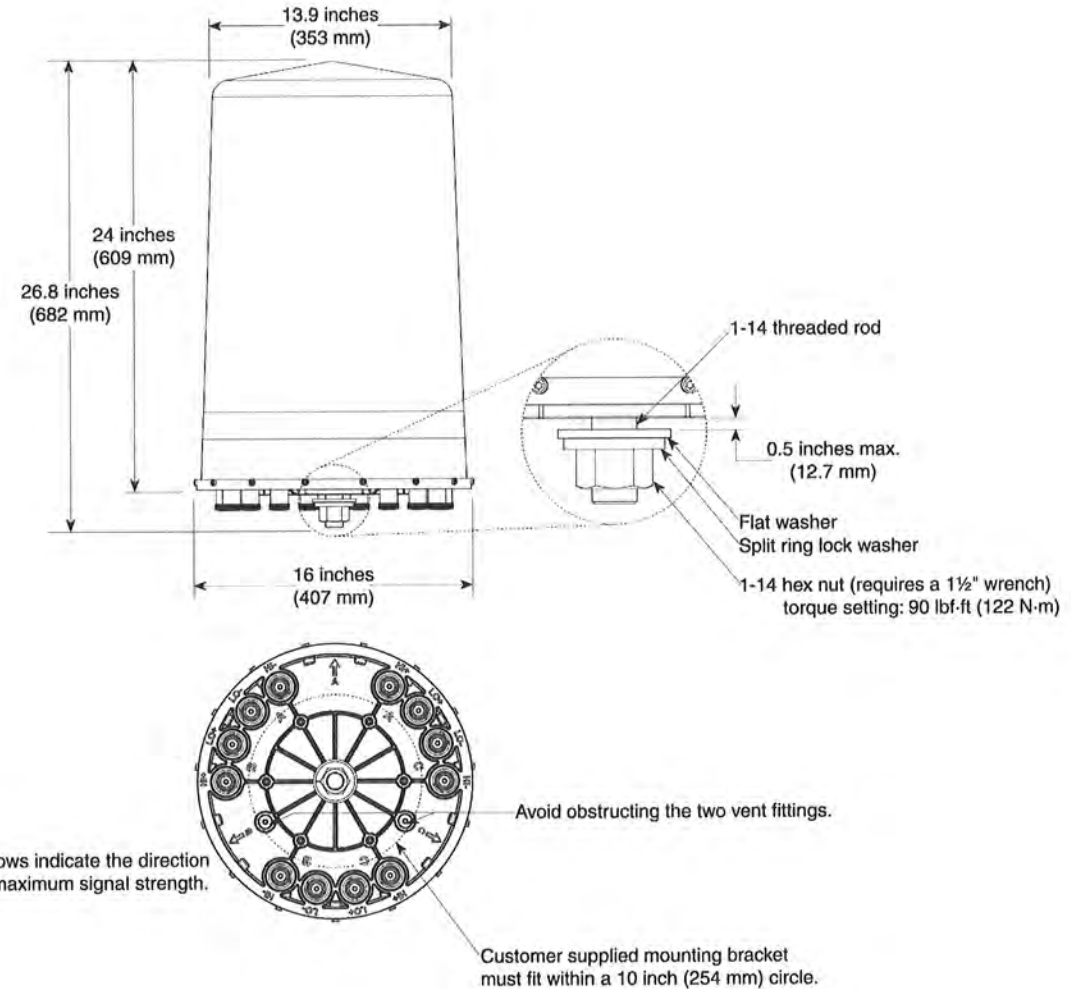


Specifications:	698-894 MHz	896-894 MHz	1710-1880 MHz	1850-1990 MHz	1920-2170 MHz
Gain	10.4 dBi	11.6 dBi	13.5 dBi	13.5 dBi	13.2 dBi
Front-to-back ratio (180° ± 30°)	>24 dB (co-polar) >18 dB (total power)	>26 dB (co-polar) >20 dB (total power)	>32 dB (co-polar) >24 dB (total power)	>30 dB (co-polar) >26 dB (total power)	>30 dB (co-polar) >25 dB (total power)
Maximum input power	250 watts (at 50°C)	250 watts (at 50°C)	200 watts (at 50°C)	200 watts (at 50°C)	200 watts (at 50°C)
+45° and -45° polarization horizontal beamwidth	71° (half-power)	65° (half-power)	60° (half-power)	62° (half-power)	64° (half-power)
+45° and -45° polarization vertical beamwidth	37° (half-power)	31° (half-power)	19° (half-power)	17.5° (half-power)	17.5° (half-power)
Cross polar ratio					
Main direction	0°	18 dB	25 dB	20 dB	22 dB
Sector (typical)	±60°	>8 dB	>8 dB	>9 dB	>9 dB
					25 dB
					>12 dB



\*Mechanical design is based on environmental conditions as stipulated in TIA-222-G-2 (December 2009) and/or ETS 300 019-1-4 which include the static mechanical load imposed on an antenna by wind at maximum velocity. See the Engineering Section of the catalog for further details.

Kathrein Inc., Scala Division Post Office Box 4580 Medford, OR 97501 (USA) Phone: (541) 779-6500 Fax: (541) 779-3991  
Email: communications@kathrein.com Internet: www.kathrein-scala.com



**Order Information:**

Model	Description
840 10515	Brown Dualband 700 MHz X-pol Trisector Antenna
840 10516	Grey Dualband 700 MHz X-pol Trisector Antenna

All specifications are subject to change without notice. The latest specifications are available at [www.kathrein-scala.com](http://www.kathrein-scala.com).

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Email: communications@kathrein.com Internet: www.kathrein-scala.com



NO.	DESCRIPTION	BY	DATE	REVISIONS		
				LRB	JJR	MPC
A	ISSUED FOR REVIEW		03/25/16			
B	UPDATED WITH FIBER ROUTE		08/17/16			
0	ISSUED FOR FINALS		08/29/16			
1	REVISED EQUIPMENT LAYOUT		10/31/16			
2	RE-ISSUED FOR FINALS		11/01/16			
3	REVISED PAINT COLOR FOR EQUIPMENT		11/03/16			

LOC #292337  
**LEMONT METRA SC**  
111 MAIN STREET  
LEMONT, IL 60439

DRAWN BY:	JJR
CHECKED BY:	TAZ
DATE:	10/19/15
PROJECT #:	81-051

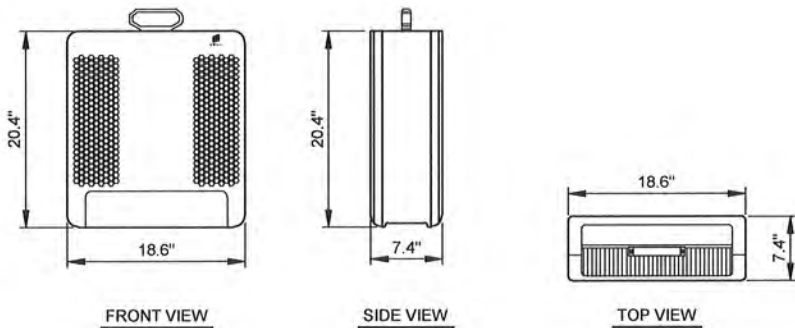
SHEET TITLE  
**ANTENNA DETAILS**

SHEET NUMBER  
**ANT-4**

NOTE:  
 REMOTE RADIO UNITS AND MOUNTING PARTS TO BE  
 PAINTED SHERWIN-WILLIAMS COLOR SW 7658 GRAY  
 CLOUDS, OR EQUIVALENT. PAINT TO HAVE MATTE FINISH.



RRUS12 B4 UNIT  
 WEIGHT = 58 POUNDS

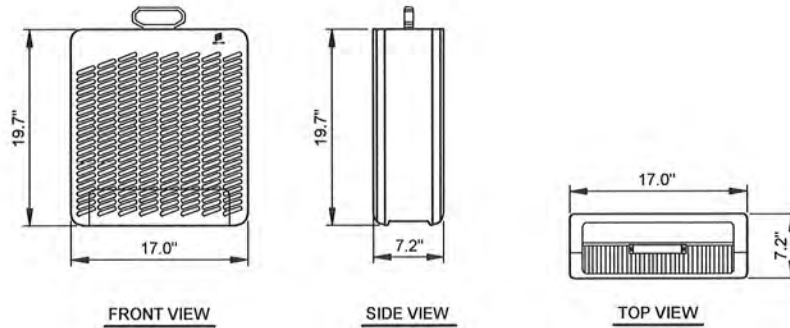


1 RRUS12 B4 INFORMATION  
 N.T.S.

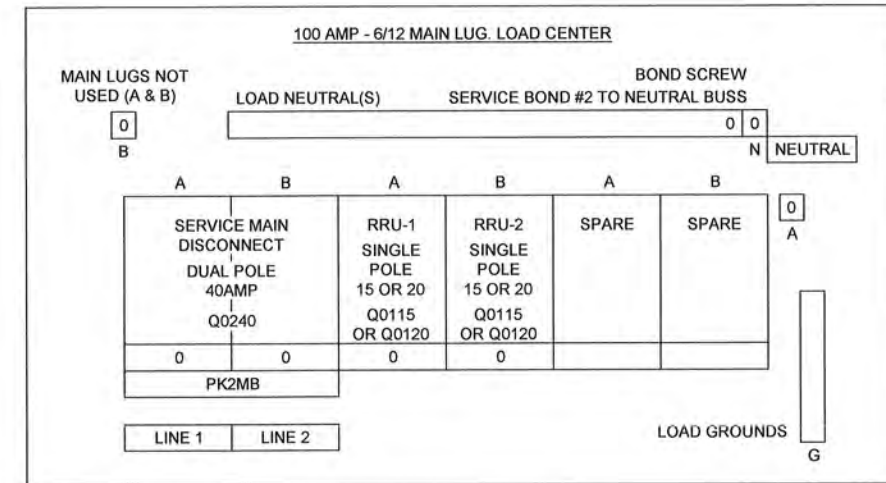
NOTE:  
 REMOTE RADIO UNITS AND MOUNTING PARTS TO BE  
 PAINTED SHERWIN-WILLIAMS COLOR SW 7658 GRAY  
 CLOUDS, OR EQUIVALENT. PAINT TO HAVE MATTE FINISH.



RRUS11 B13 UNIT  
 WEIGHT = 51 POUNDS

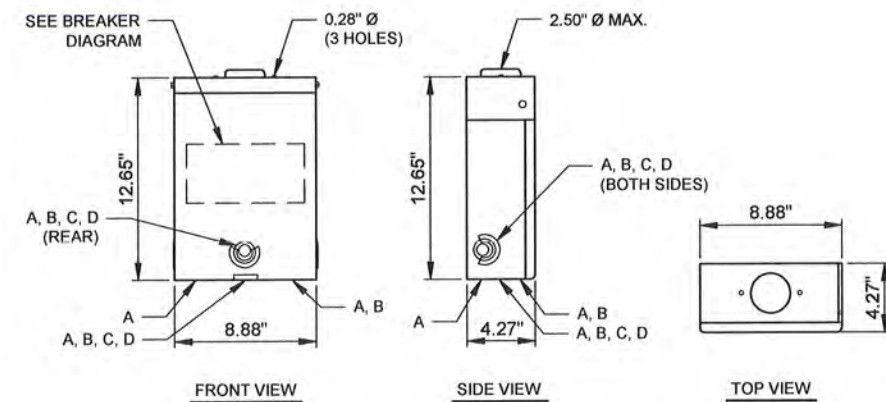


2 RRUS11 B13 INFORMATION  
 N.T.S.



BREAKER DIAGRAM

KNOCKOUTS				
SYMBOL	A	B	C	D
IN	0.50	0.75	1.00	1.25
MM	13.0	19.0	25.0	32.0



3 Q06-12L100RB DISCONNECT SPECS  
 N.T.S.

**CHICAGO SMSA**  
 limited partnership  
 d/b/a VERIZON WIRELESS



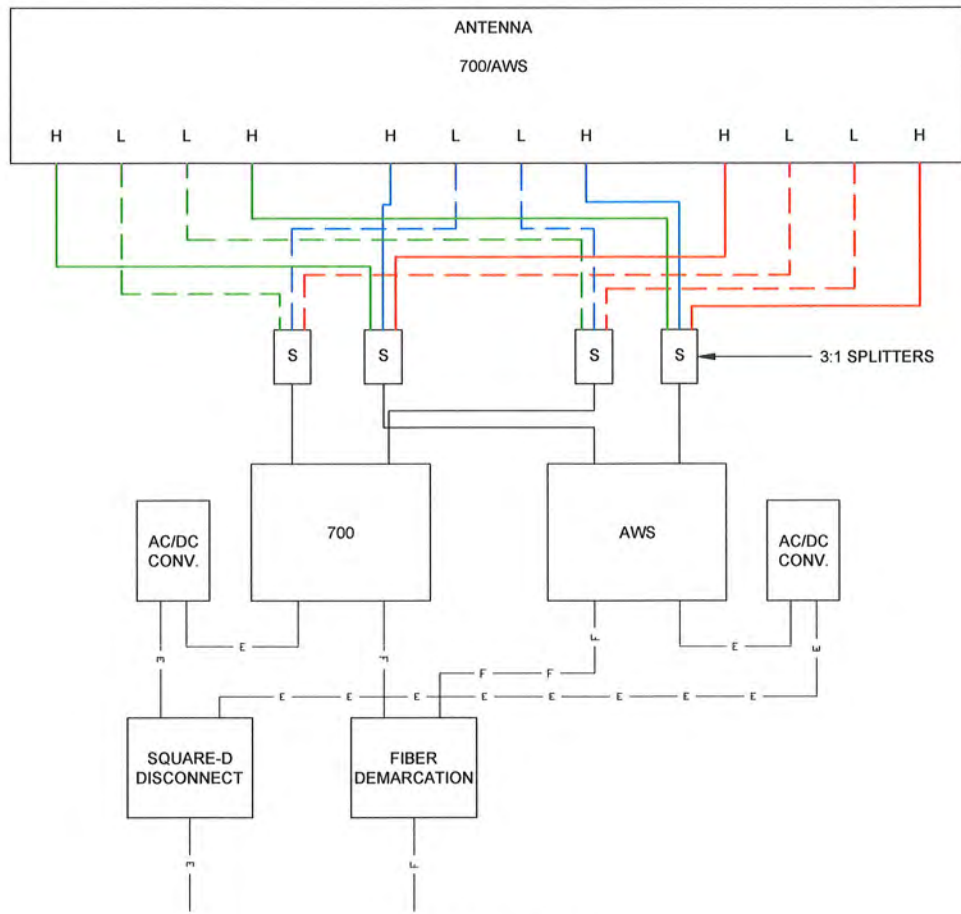
REVISIONS		NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	1	ISSUED FOR REVIEW	03/25/16	LRB
B	UPDATED WITH FIBER ROUTE	2	UPDATED WITH FIBER ROUTE	06/17/16	JJR
0	ISSUED FOR FINALS	3	ISSUED FOR FINALS	08/29/16	MPC
1	REVISED EQUIPMENT LAYOUT	4	REVISED EQUIPMENT LAYOUT	10/31/16	MPC
2	RE-ISSUED FOR FINALS	5	RE-ISSUED FOR FINALS	11/01/16	MPC
3	REVISED PAINT COLOR FOR EQUIPMENT	6	REVISED PAINT COLOR FOR EQUIPMENT	11/03/16	MPC

LOC #292337  
**LEMONT METRA SC**  
 111 MAIN STREET  
 LEMONT, IL 60439

DRAWN BY:	JJR
CHECKED BY:	TAZ
DATE:	10/19/15
PROJECT #:	81-051

SHEET TITLE  
**CABINET RADIO DISCONNECT DETAILS**

SHEET NUMBER  
**ANT-5**



1 CABLE DIAGRAM  
SCALE: N.T.S.



AWS RRUS



LTE RRUS

3 EXAMPLE IDENTIFICATION PHOTOS  
N.T.S.

SECTOR	ALPHA	ALPHA	ALPHA	ALPHA	BETA	BETA	BETA	BETA	GAMMA	GAMMA	GAMMA	GAMMA	LTE RRUS	LTE RRUS	AWS RRUS	AWS RRUS
TAG COLOR	GREEN	GREEN	GREEN	GREEN	BLUE	BLUE	BLUE	BLUE	RED	RED	RED	RED	BLACK	BLACK	BLACK	BLACK
TECHNOLOGY	LTE	LTE	AWS	AWS	LTE	LTE	AWS	AWS	LTE	LTE	AWS	AWS	LTE	LTE	AWS	AWS
LINE IDENTITY	RXTX0	RXTX1	RXTX0	RXTX1	RXTX0	RXTX1	RXTX0	RXTX1	RXTX0	RXTX1	RXTX0	RXTX1	RXTX0	RXTX1	RXTX0	RXTX1

2 LINE IDENTITY CHART  
N.T.S.

**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS

**TERRA**  
COMMUNICATIONS, LTD.  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: 847-698-6400  
FAX: 847-698-6401

REVISIONS		NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	03/25/16	LRB	JJR	
B	UPDATED WITH FIBER ROUTE	08/17/16	MPC		
0	ISSUED FOR FINALS	08/29/16	MPC		
1	REVISED EQUIPMENT LAYOUT	10/31/16	MPC		
2	RE-ISSUED FOR FINALS	11/01/16	MPC		
3	REVISED PAINT COLOR FOR EQUIPMENT	11/03/16	MPC		

**LOC #292337**  
**LEMONT METRA SC**

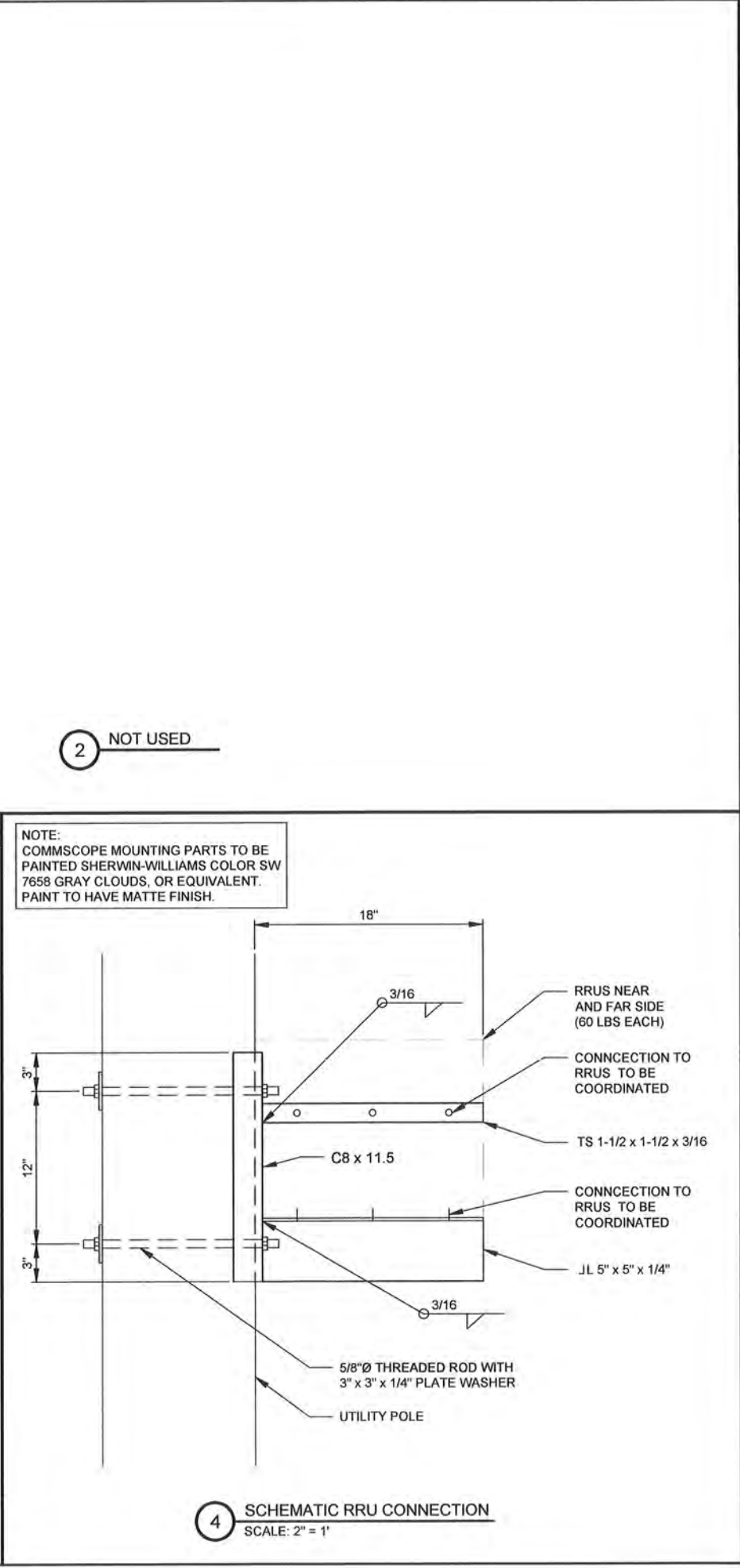
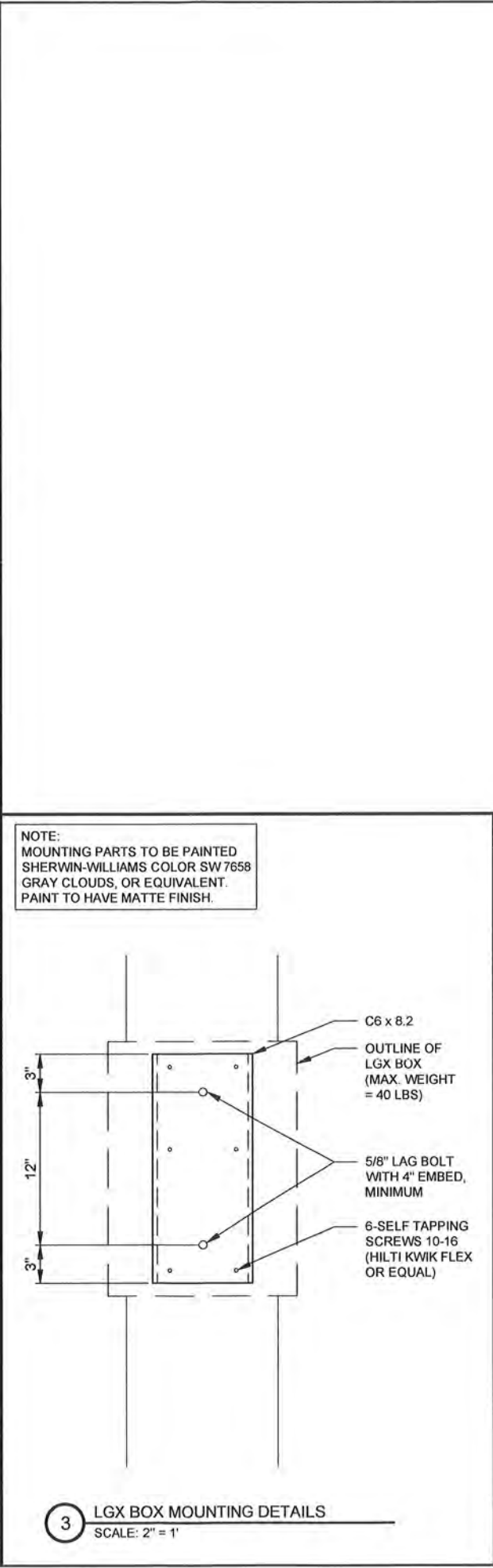
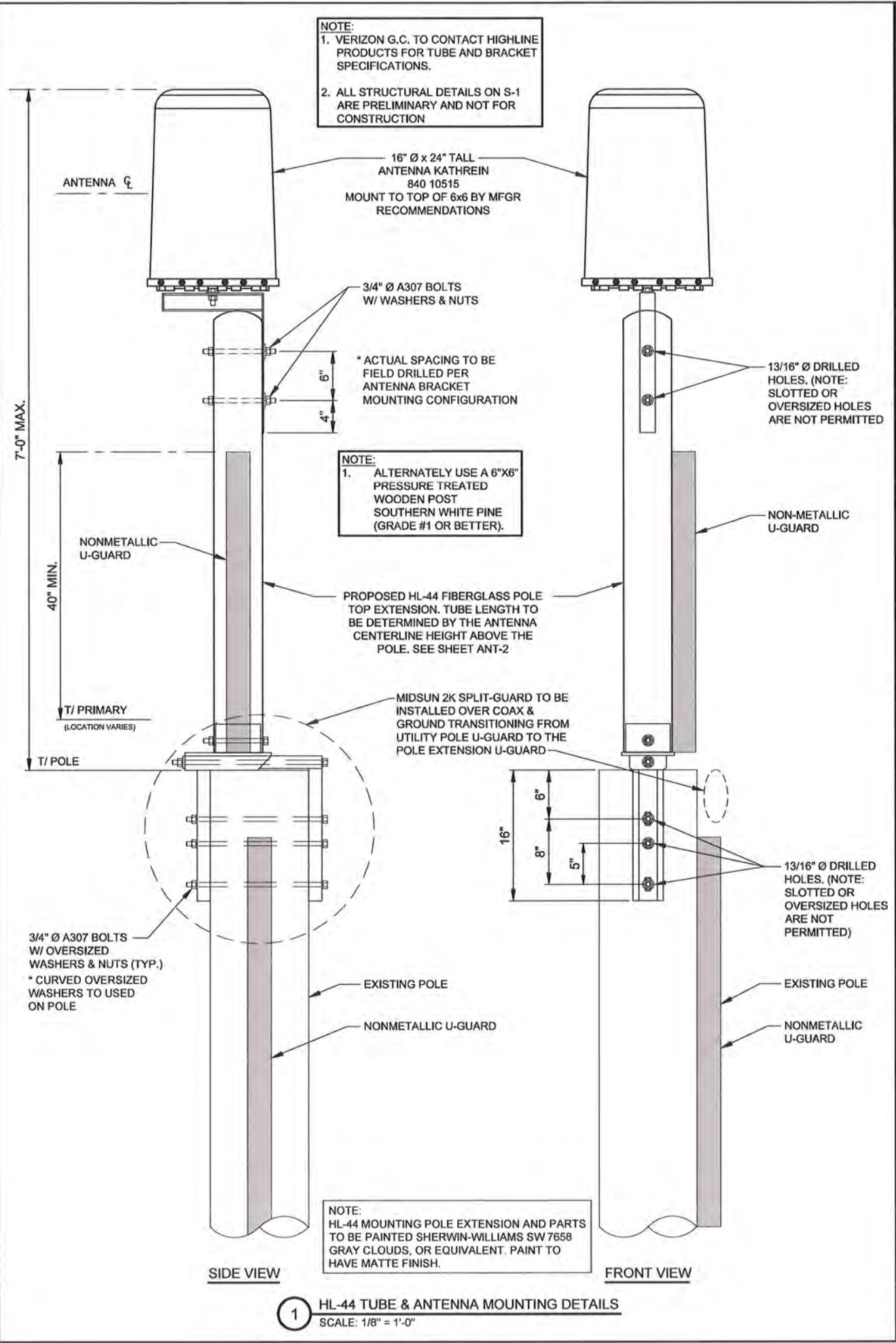
111 MAIN STREET  
LEMONT, IL 60439

DRAWN BY:	JJR
CHECKED BY:	TAZ
DATE:	10/19/15
PROJECT #:	81-051

SHEET TITLE  
**CABLE DIAGRAMS AND INFORMATION**

SHEET NUMBER

**ANT-6**



**2** NOT USED

**CHICAGO SMSA**  
 limited partnership  
 d/b/a VERIZON WIRELESS

**TERRA**  
 600 BUSSE HIGHWAY  
 PARK RIDGE, IL 60068  
 PH: 847-698-6400  
 FAX: 847-698-6401

REVISIONS		NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	03/25/16	LRB		
B	UPDATED WITH FIBER ROUTE	08/17/16	JJR		
0	ISSUED FOR FINALS	08/29/16	MPC		
1	REVISED EQUIPMENT LAYOUT	10/31/16	MPC		
2	RE-ISSUED FOR FINALS	11/01/16	MPC		
3	REVISED PAINT COLOR FOR EQUIPMENT	11/03/16	MPC		

**LOC #292337**  
**LEMONT METRA SC**  
 111 MAIN STREET  
 LEMONT, IL 60439

DRAWN BY: JJR  
 CHECKED BY: TAZ  
 DATE: 10/19/15  
 PROJECT #: 81-051

SHEET TITLE  
**STRUCTURAL DETAILS**

SHEET NUMBER  
**S-1**

### LEGEND

	Light Post		Found Section Corner Monument
	Utility Pole		Found or Set Monument
	Telephone Pedestal		Found or Set Cut Cross
	Fence	59.75'	Measured
	Railroad Tracks	(60.00')	Record
	Centerline	DOC. NO.	Document Number
	Section Line	A & U	Access & Utility
	Building	AGL	Above Ground Level
POC	POINT OF COMMENCEMENT		
POB	POINT OF BEGINNING		

### LOCATION MAP

NOT TO SCALE

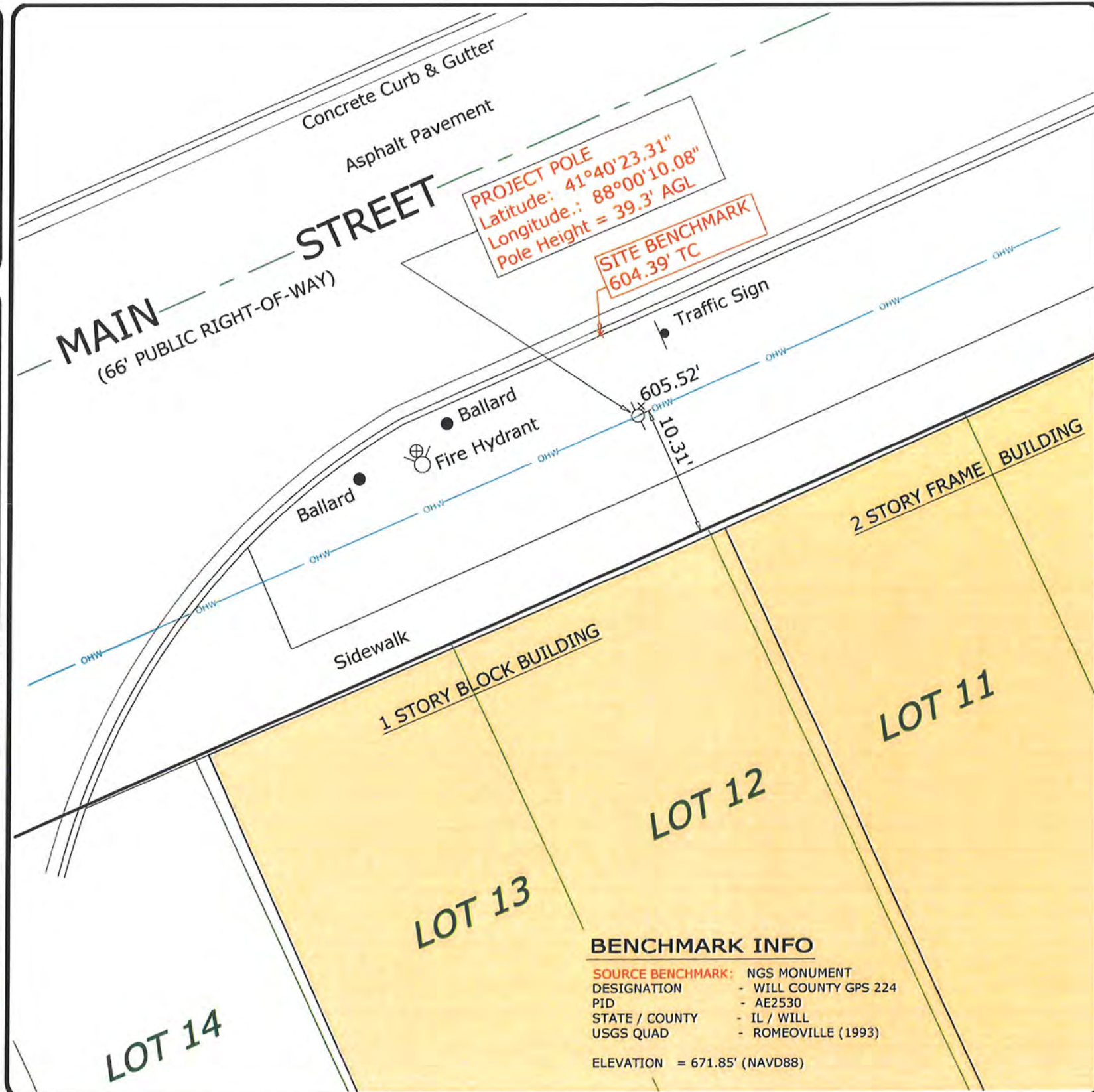
### SURVEY NOTES

EASEMENTS AND SETBACKS SHOWN HEREON ARE BASED UPON THE RECORDED SUBDIVISION PLAT UNLESS NOTED OTHERWISE.

THE SURVEYOR EXPRESSES NO OPINION AS TO THE ACCURACY OF ANY UNDERGROUND UTILITIES WHEN NOT READILY VISIBLE FROM THE SURFACE. IT IS RECOMMENDED THAT THE APPROPRIATE GOVERNMENTAL AGENCY, MUNICIPALITY AND/OR UTILITY COMPANY BE CONTACTED FOR VERIFICATION.

THE PERMANENT PARCEL INDEX NUMBER FOR THE PROPERTY ADJACENT TO THE PROJECT UTILITY POLE SHOWN HEREON IS 22-20-311-032.

**A CURRENT TITLE REPORT WAS NOT FURNISHED TO US FOR OUR USE IN PREPARING THIS SURVEY. THEREFORE THERE MAY BE ADDITIONAL EASEMENTS AND/OR SERVITUDES EFFECTING THIS PROPERTY WHICH ARE NOT SHOWN ON THIS SURVEY.**



### BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED ON ILLINOIS STATE PLANE, EAST ZONE, NAD83 (2011)

MEAN MAGNETIC DECLINATION OBTAINED FROM U.S.G.S. 7 1/2 MINUTE SERIES MAP ROMEOVILLE QUADRANGLE STATE OF ILLINOIS

LATITUDE: N 41° 40' 23.31"  
LONGITUDE: W 088° 00' 10.08"  
AT CENTERLINE OF PROJECT UTILITY POLE  
COMPLIES WITH F.A.A. 1/A ACCURACY REQUIREMENTS

SCALE: 1" = 10'

UTM GRID AND 1993 MAGNETIC NORTH DECLINATION AT CENTER OF QUAD MAP

### LEGAL DESCRIPTION

A PART OF MAIN STREET IN THE VILLAGE OF LEMONT LYING ADJACENT TO LOTS 11 AND 12 IN BLOCK 4 IN THE VILLAGE OF LEMONT SUBDIVISION BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF SECTION 20, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 8, 1874 AS DOCUMENT #184242 IN COOK COUNTY, ILLINOIS.

### SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS } SS  
COUNTY OF KANE }

I, CHARLES S. MARSHALL, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON, BEING COMPLETED IN THE FIELD ON 2/29/2016 IS A CORRECT REPRESENTATION OF A SURVEY PERFORMED AT AND UNDER MY DIRECTION.

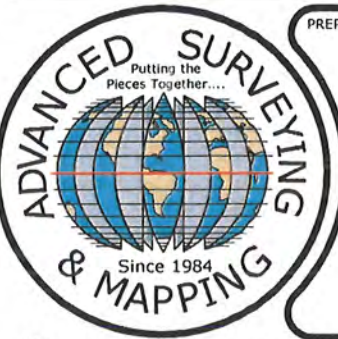
THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND BOUNDARY SURVEYS SET FORTH BY ILLINOIS STATE LAW.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 2ND DAY OF MARCH, A.D. 2016.

*Charles S. Marshall*  
CHARLES S. MARSHALL  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3377  
LICENSE EXPIRES 11/30/2016

NO.	DATE	REVISION
1.	2/29/2016	FIELD SURVEY COMPLETED
2.	3/2/2016	FINAL SURVEY COMPLETED
3.		



PREPARED BY:

**ASM Consultants, Inc.**  
16 E Wilson St, Batavia IL 60510  
Tel (630) 879-0200 Fax (630) 454-3774  
advanced@advct.com  
Professional Design Firm #184-006014 expires 4/30/2017

## SMALL CELL - SITE SURVEY

PREPARED FOR:

**Chicago SMSA**

CHICAGO SMSA LIMITED PARTNERSHIP  
d/b/a VERIZON WIRELESS  
1515 WOODFIELD ROAD, SUITE 1400  
SCHAUMBURG, ILLINOIS 60173  
PHONE: 847-619-5397 FAX: 847-706-7415

**TERRA Consulting Group, LTD.**  
600 Busse Highway  
Park Ridge, IL 60068  
(847) 698-6400

JOB No.: 81-051

SITE DESIGNATION INFORMATION:

**LEMONT METRA SC**  
292337  
111 MAIN STREET  
LEMONT, IL 60439

DRAWN BY: LR  
CHECKED BY: CSM

PROJECT NO.  
720447

**L-1**

SHEET 1 OF 1



TO: Planning & Zoning Commission  
FROM: Heather Valone, Village Planner  
THRU: Jeffery Stein, Deputy Village Administrator  
SUBJECT: Case 16-11 St. Alphonsus Parking Lot Special Use and Variations  
DATE: January 13, 2017

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### SUMMARY

Rev. Brian Ardagh, acting on behalf of the Archdiocese of Chicago, the owner of the subject property, is requesting approvals of a Special Use and Variations. The purpose of the requested zoning entitlements is to allow for the construction of a 27 stall parking lot. Staff is recommending approval with conditions.



## PROPERTY INFORMATION

Case No.	16-11
Project Name	St. Alphonsus Parking Lot Special Use and Variation

### General Information

Applicant	Rev. Brian Ardagh
Status of Applicant	Acting on behalf of the Archdiocese of Chicago, the owner of the subject property.
Requested Actions:	A special use to allow for a parking lot as an accessory structure located elsewhere than on the same zoning lot as the primary lot; a variation to allow for reduced landscaping for the proposed parking lot; and a variation to exceed the permit lot coverage in an R-4A district.
Site Location	701 State St. 210 E Logan St. and 214 E Logan St. (PINs 22-29-215-001-0000, 22-29-215-010-0000, and 22-29-215-009-0000)
Existing Zoning	R-4A (Single-Family Preservation and Infill District)
Size	.78 acres
Existing Land Use	Vacant
Surrounding Land Use/Zoning	North: R-4A (St. Alphonsus Church Campus)
	South: R-4A (Single-Family residence)
	East: R-4A (St. Alphonsus church office building)
	West R-4A (residences)
Comprehensive Plan 2030	The Comprehensive Plan classifies this site Institutional (INST)

## BACKGROUND

The subject property is the last vacant lot St. Alphonsus (St. Als) has in the proximity to the main church building. St. Als is comprised of a number of different land uses. There are six (6) buildings on the St. Als campus used for religious schooling (i.e. Sunday school and faith classes), parish staff services, religious assembly, and offices. The size of the subject property is small as its characteristics are more similar to a residential lot, rather than institutional lot.

**TRC.** Prior to submitting a formal application, the applicant submitted plans to the Technical Review Committee (TRC) on September 27, 2016. At that time, the applicant presented a concept plan for 27 stalls and limited landscaping.

The TRC raised concerns over the proposed lighting, the design of the entrances to the parking lot, and stormwater management. The TRC also requested additional information on the existing trees on the property, a photometric plan, and potential fencing along the south property line of the subject parking lot.

**Application.** Following the TRC, the applicant redesigned the entrances to the proposed parking lot. The applicant also included the following:

- information on the square footage of the existing land uses;
- information on the existing trees;
- a revised landscape plan with a fence along the south property line;
- revised stormwater management plans;
- a photometric plan; and
- lot coverage calculations.

## **SPECIAL USE**

**Consistency with Lemont 2030 (Lemont 2030 Plan).** The Lemont 2030 future land use map designates this area as Institutional (INST). Per Lemont 2030, the INST future land use district is:

“Existing and planned civic, educational, governments, and religious land uses... Characteristics of new development within this district will vary widely depending on the particular type of proposed land use. All new development in this district should be sensitive to the established character of the surrounding neighborhood and / or corridor.”

The proposed special use is consistent with the INST land use district described within the Lemont 2030 Comprehensive Plan. The parking lot is needed for the current church operations and any potential future expansion of the church campus would require additional parking areas.

**Compatibility with Existing Land Uses.** The properties to the north and east are church owned. The property to the south is a single-family residence. The properties to the west are single-family residences that are separated from the subject property by State St. The largest concern is the screening for the single-family residence to the south. The

applicant is proposing landscaping and a six (6) foot wood fence to screen the parking lot and vehicle headlights from the single-family residence. The photometric plan also indicates that the lighting for the proposed parking lot will meet R-4A footcandle standards at all property lines. Thus staff sees no compatibility issues.

**Traffic, Parking, & Site Access.** The subject property is situated at the intersection of State St. and Logan St. State St. has an average daily traffic volume over 16,000 vehicles.<sup>1</sup> This relatively high traffic volume triggered the installation of the cross walk and pedestrian crossing signs at this intersection. Thus, additional traffic entering and exiting the proposed parking lot onto State St. would exacerbate the potential pedestrian and vehicle conflicts. The applicant is proposing that a cement turning control (also known as a cement “pork chop”) be placed at the west access driveway with a sign preventing drivers from turning left. Staff is also recommending a sign no left turn on Sundays be installed at the east access driveway to prevent traffic from exiting the parking lot to State St. Similar to the sign at Lemont St. and Cass St (Figure 1).



**Figure 1** This is an example of the staff recommended sign for the proposed east entrance driveway. The left turn restriction can be limited to Sunday morning.

The Lemont Unified Development Ordinance (UDO) provides parking standards for all the uses occurring on the church campus. Staff has limited the parking requirement calculation to the religious assembly use and office use since these land uses most influence the need for parking. The UDO requires four (4) parking spaces per seat in the main assembly area and one (1) parking space

pre every 300 sf. of gross floor area of office space. St. Als has 6,342 sf. of office space and 480 seats in the main assembly area, thus per the UDO the St. Als should have 141 parking spaces. Current the church campus has 55 parking spaces. St. Als is requesting the parking lot in order to support the current operations of the church. St Als has not indicated an expansion of any of its services or operations.

**Landscaping.** Per UDO section 17.20.070 there are standards for landscaping the interior and exterior of parking lots. The applicant exceeds the requirements for the interior landscaping requirements; however the applicant is deficient on the exterior parking lot

<sup>1</sup> IDOT 2013 traffic count, <http://www.gettingaroundillinois.com>

requirements. The UDO requires three (3) plant units per 100 lineal feet parking area. Based on the UDO, the applicant is deficient for the entirety of the linear distance surrounding the proposed parking lot by two (2) canopy trees, two (2) evergreen trees, and a half of an understory tree. As mentioned previously, safety and sightlines for the access driveways and State St. are critically important. Thus staff is recommending that the three (3) trees proposed along the north property line be removed and 18 grasses or shrubs that will not impede the sightlines be planted.

The Village Arborist reviewed the proposed landscape plans, full comments are attached. The trees along the north property are recommended to be removed to prevent issues with the overhead utilities, the narrowness of the parkway, and the traffic sightlines. The Village Arborist was also concerned with snow storage for the parking lot. Thus, the Village Arborist is recommending that the plants and turf species, used in the landscaped corners of the parking lot, be salt resistant to prevent the continuous need for replacement of this landscaping.

The applicant provided information on the five (5) existing trees on the subject property. Three (3) of the existing trees are dead or in poor condition. The two (2) existing trees in fair or better condition are proposed to be removed. The proposed landscaping will achieve the mitigation standards in UDO section 17.20.130.D for the removal of these two (2) trees.

**DEPARTURES FROM ZONING STANDARDS**

<b>UDO Section</b>	<b>UDO Standard</b>	<b>Proposed PUD</b>	<b>Staff Comments</b>
<b>17.20.070 .B (Landscaping)</b>	The exterior of parking lots shall be landscaped with at least three plant units per 100 feet of linear distance surrounding the parking area.	The landscape plans are deficient by two (2) canopy trees, two (2) evergreen trees, and a half of an understory tree.	Staff finds the deviation acceptable given the constraints of the property. Additionally the applicant is proposing to install a wood fence to better screen the parking lot from the neighbor to the south. Staff is recommending that three additional trees be removed for traffic sightlines. Please see the above “Landscaping” section for a more detailed discussion.
<b>17.07.010 (Table 17.07.01)</b>	Maximum permitted lot coverage in an R-4A district 65%	68.5%	Staff finds the deviation acceptable as the stormwater detention facilities will be sized to accommodate the increase in impervious surfaces.

## STANDARDS FOR VARIATIONS

UDO Section 17.04.150.D states that variation requests must be consistent with the following three standards to be approved:

1. The variation is in harmony with the general purpose and intent of the UDO;

**Analysis.** The general purpose of the UDO is specified Section 17.01.050. Of the eight components listed, six are either not applicable to or unaffected by the variation request.

- ***Ensuring adequate natural light, air, privacy, and access to property.***  
The proposed variations would not negatively impact light or air to the property.
- ***Protecting the character of established residential neighborhoods.***  
The State St. corridor is a unique area that has a variety of uses that are placed in close proximity to one another. On the block of State St. to the north of the subject property (from Logan St. to Custer St.) there are three residences, one business, and St. Als. On the block north of the subject property on State St. (Logan St. to Eureka Dr.) there are 16 residences, some of which are two (2) or more dwelling unit rentals. The parking lot is consistent with the block north of the subject property. The parking lot is also consistent with the block to the south due to the proposed fence. The residential properties will not see the rear of the parking lot as it is screened by the fence and proposed landscaping.

2. The plight of the owner is due to unique circumstances, and thus strict enforcement of the UDO would result in practical difficulties or impose exceptional hardships due to the special and unique conditions that are not generally found on other properties in the same zoning district;

**Analysis.** The UDO states that in making a determination whether there are unique circumstances, practical difficulties, or particular hardships in a variation petition, the Planning and Zoning Commission shall take into consideration the factors listed in UDO §17.04.150.D.2.

- ***Particular physical surroundings, shape, or topographical conditions results in a particular hardship upon the owner as distinguished from a mere inconvenience.***

The subject property was originally platted for residential use. The size and lot configuration is not appropriately sized for an institutional use which is a hardship for the owner. Additionally, area that would be required to meet the exterior landscaping requirements would significantly reduce the amount of area for parking stalls. The size of the subject property is also challenging to develop the property for an institutional use that does not exceed the maximum permitted lot coverage.

- ***The conditions upon which the petition for variation is based would not be applicable generally to other property within the same zoning district.*** The conditions upon which the petition for variations is based would not be applicable to property within the same zoning district. There is no other vacant lot along the State St. corridor that are zoned R-4A and designated as INST in the Lemont 2030 Plan.
  - ***The alleged difficulty or hardship has not been created by any person presently having an interest in the property.*** The hardship is not created by anyone presently having an interest in the property.
  - ***The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the subject project is located.*** The request will not be detrimental to public welfare or injurious to other properties or improvements. The neighboring properties to the north and east are church owned. The properties to the west are separated from the parking lot by State St. The property to the south will be screened from the parking lot by a six (6) foot fence.
  - ***The variation will not impair an adequate supply of light and air to adjacent properties or substantially increase congestion in the public street or increase the danger of fire or endanger the public safety or substantially diminish or impair property values within the neighborhood.*** The variations would not endanger public safety, substantially impair property values, diminish adequate supply of light or air, or increase the danger of fire or congestion. The traffic the parking lot is to serve is already generated by St. Als. Additionally, the applicant will prevent traffic from existing to State St. during high volume times.
3. The variation will not alter the essential character of the locality and will not be a substantial detriment to adjacent property.

**Analysis.** As discussed above in Standard 1 the proposed parking lot is consistent with the neighborhood the State St. corridor to the north, the neighborhood to the

south is screened from the parking lot by a fence, and the neighborhood to the west is separated by State St.

**Engineering Comments.** The Village Engineer has no objections to the special use or the variations. Full comments from the Village Engineer are attached.

**Fire District Comments.** The Fire Marshal generally approves of the plans. Full Comments are attached

## **CONCLUSION**

The proposed variations are minor and do not impact the surrounding neighborhood. The applicant has demonstrated the need for the parking lot to support its existing use and operation. The applicant has also provided a reasonable amount of screening and landscaping for the proposed parking lot. Thus, staff recommends approval of Special Use and Variations with the following conditions:

1. Revised the plans to include a “No Left Turn on Sundays” sign at the east access driveway.
2. Remove the three (3) trees along the north property line and revised the plan to include 18 shrubs/grasses where the trees were proposed.
3. Extend photometric plan calculations to five (5) feet past the property lines.
4. Address all comments from the Village Engineer and the Village Arborist.

## **ATTACHMENTS**

1. Site Photographs
2. Village Engineer Comments
3. Village Arborist Comments
4. Fire Marshal Comments
5. Applicant Submittals



Attachment 1



**Figure 1** The site is currently vacant with trees and turn grass. The photo is taken from the north looking south at the corner of State St. and Logan.

January 5, 2017

Ms. Heather Valone  
Planner  
Village of Lemont  
418 Main Street  
Lemont, Illinois 60439

Re: **St. Alphonsus Parish**  
**New Parking Lot**  
**Case 2016-11**

Dear Heather:

I have reviewed the preliminary Engineering Plan for the proposed St. Alphonsus Parish new parking lot at the southeast corner of State Street and Logan Street, and have the following comments.

1. The new 27 stall parking lot will require 2 ADA parking stalls. If the parking lot is 25 stalls or less, it will require 1 ADA parking stall. Otherwise, we need some type of approval verification from the State of Illinois Capital Development Board to allow the required ADA stalls to be located at a separate location than this new parking lot (north of Logan Street). If such approval is received, the proposed parking lot configuration is acceptable.
2. Since the total contiguous property area is less than 3 acres, no stormwater detention is required per MWRDGC. Since the total disturbed area is less than 0.5 acres, no runoff control or volume control is required by MWRDGC. A MWRDGC Permit will be required, however, for construction of storm sewers in a combined sewer area.
3. There is an existing 4' x 6' limestone underground storm sewer drain that traverses the site from northwest to southeast. The drain is active, and is believed to be draining groundwater from the deep sanitary sewer granular trench on the east side of State Street. This drain likely discharges to the rear yard storm sewer system on the west side of Chestnut Street, approximately 250 feet to the east of the site. The drain is 12-feet deep at Walnut Street. The Village of Lemont televised the drain from Walnut Street going to the west and could only televise 151 feet before heavy root growth stopped the camera. Every effort needs to be made to keep this drain active; otherwise, this storm/trench water will surface at another location. This protection appears feasible, due to the significant depth of the drain below ground surface.
4. Stormwater detention is required by the Village of Lemont. An underground stormwater detention chamber system is indicated, but no design data (detention calculations, storm chamber size or volume, or release rate) has been provided. The stormwater from the site is shown to discharge to the storm trough drain manhole on Walnut Street (which is desirable), not the combined sewers. This is proper.


Ms. Heather Valone  
Village of Lemont  
January 5, 2017  
Page Two

5. A right in/right out entrance median controls is proposed at the westerly parking lot drive, as requested by Village staff.
6. Two (2) parking lot lights are proposed. The photometric layout appears acceptable. The proposed lights include a "back light shield".

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,

**NOVOTNY ENGINEERING**



James L. Calkin, P.E., P.L.S.

JLC/debi

Enclosures

cc: Mr. George Schafer, Administrator  
Mr. Jeffrey Stein, Esq. Deputy Administrator  
Mr. Ralph Pukula, Director of Public Works  
Mr. Mark LaChappell, Building Inspector  
File No. 15065

15065\_New Parking Lot Review.docx

# Attachment 3



Urban Forest Management, Inc.

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January 7, 2017

MS. Heather Valone  
Village Planner  
Village of Lemont  
418 Main Street  
Lemont, IL 60439

Re: St. Alphonsus Parking Lot  
Case #2016 – 11, Plan Review #1

Dear Heather:

As requested, I have visited the site and I have reviewed the application. The following comments summarize this review:

1. The existing conditions plan shows 3 coniferous trees and 7 deciduous trees on the site. The species and condition of the trees were not included. Eight of the ten trees have been cut down along with the brushy area along the south property. The 24" deciduous tree near the sidewalk along state and the 30" Deciduous tree about 40 feet east and south of the 24" tree remain.
2. There overhead ComEd lines along State Street and along Logan Street. The parkway along State Street is 6' wide and the parkway along Logan Street is 11" wide. The overhead wires, the width of the parkway, the heavy traffic, and the sight lines prohibit the planting of trees in the parkway along State Street. The double entrances to the parking lot, the heavy traffic, and the sight lines prohibit the planting of trees in the parkway along Logan Street.
3. The landscape plan shows 2 hybrid elm trees in the 6.5' wide back of parking lot curb to sidewalk planting bed. Considering the tree locations and species, the other plantings in the bed, overhead wires, proximity to the sidewalk, and car overhang of the curb, it might be wise to consider other options such as Chanticleer Pear trees instead of hybrid elm. The tree species selected for planting along the Logan Street sidewalk and the island with the light should also be considered.
4. Snow removal issues should be considered. The east property line provides the best opportunity for snow storage and the four corners of the parking lot are the second best opportunities for snow storage. The plants and turf in these areas should be salt resistant. Since the church owns



## Urban Forest Management, Inc.

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the property to the east; a little clean-up and a little grading along the property line would allow space for moving the proposed shrubs farther back form the curb.

5. A Landscape maintenance plan is required per Section 17.20.120 of the UDO. The landscape maintenance plan shall include a statement that dead, dying, diseased, or not acceptable plants are to be replaced in timely manner.
  
6. The landscape plan must be stamped by a licensed landscape architect.

Sincerely,  
URBAN FOREST MANAGEMENT, INC.

Charles A. Stewart  
Vice-President

# Attachment 4

Village of Lemont

Planning & Economic Development Department

418 Main Street Lemont, Illinois 60439

phone (630) 257-1595

fax (630) 257-1598

## Special Use Application Form

### APPLICANT INFORMATION

Rev. Brian Ardagh

Applicant Name

St. Alphonsus Parish

Company/Organization

210 E. Logan Street, Lemont, IL 60439

Applicant Address

630-257-2414

Telephone & Fax

padreb@st-als.org

E-mail

### CHECK ONE OF THE FOLLOWING:

Applicant is the owner of the subject property and is the signer of this application.

Applicant is the contract purchaser of the subject property.

Applicant is acting on behalf of the beneficiary of a trust.

Applicant is acting on behalf of the owner.

### PROPERTY INFORMATION

701 State Street, 210 E. Logan, 214 E. Logan, Lemont, IL 60439

Address of Subject Property/Properties

22-29-215-001, 22-29-215-010, 22-29-215-009

Parcel Identification Number of Subject Property/Properties

0.786 acre / 34,238 sq. ft.

Size of Subject Property/Properties

### DESCRIPTION OF REQUEST

To allow parking lot as an accessory structure permitted to be located elsewhere than on the same zoning lot for  
Brief description of the proposed special use

which a primary structure or building is located and served by such parking lot.

### REQUIRED DOCUMENTS

See Form 501-A, *Special Use Application Checklist of Required Materials*, for items that must accompany this application.

### FOR OFFICE USE ONLY

Application received on: \_\_\_\_\_

By: \_\_\_\_\_

Application deemed complete on: \_\_\_\_\_

By: \_\_\_\_\_

Current Zoning: \_\_\_\_\_

Fee Amount Enclosed: \_\_\_\_\_

Escrow Amount Enclosed: \_\_\_\_\_

# Special Use Application Form

Village of Lemont

## APPLICATION FEE & ESCROW

**Application Fee = \$500 for properties less than 10 acres, \$750 for properties 10 acres or larger**

Fee is non-refundable.

### Required Escrow = \$500

At the time of application, the applicant shall submit a check for the establishment of an escrow account. The escrow money shall be used to defray costs of public notice, consultants, or other direct costs incurred by the Village in association with the special use application. Additionally, should the applicant fail to remove the required public notice sign in a timely manner, the escrow account may be used to defray the costs of the sign's removal. After completion of the special use review process, any unused portion of the escrow account will be refunded upon request.

## AFFIRMATION

I hereby affirm that I have full legal capacity to authorize the filing of this application and that all information and exhibits herewith submitted are true and correct to the best of my knowledge. I permit Village representatives to make all reasonable inspections and investigations of the subject property during the period of processing of this application. I understand that as part of this application I am required to establish an escrow account to pay for direct costs associated with the approval of this application, such as the fulfillment of public notice requirements, removal of the public notice sign, taking of minutes at the public hearing and fees for consultants hired by the Village to evaluate this application. I understand that the submitted fee is non-refundable and that any escrow amount leftover upon project completion will be refunded upon request. I understand that I am responsible for the posting of a public hearing sign and for the mailing of legal notice to all surrounding property owners as required by Village ordinances and state law.

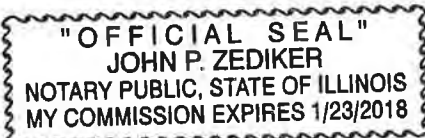
<i>Rev. Brian Ardagh</i>	<i>12/20/16</i>
Signature of Applicant	Date
<i>IL</i>	<i>COOK</i>
State	County

I, the undersigned, a Notary Public in and for the aforesaid County and State, do hereby certify that REV. BRIAN ARDAGH is personally known to me to be the same person whose name is subscribed to the foregoing instrument, and that said person signed, sealed and delivered the above petition as a free and voluntary act for the uses and purposes set forth.

*John P. Zediker*  
Notary Signature

Given under my hand and notary seal this *20<sup>th</sup>* day of *December* A.D. 20 *16*.

My commission expires this *23<sup>rd</sup>* day of *January* A.D. 20 *18*.



# Special Use Criteria Worksheet

Unified Development Ordinance (UDO) Section 17.04.140.C establishes the criteria for approval of special use requests; no special use will be recommended by the Planning & Zoning Commission unless it meets the following criteria.

Please describe below how your variation request meets the criteria of UDO Section 17.04.140.C. Attach additional sheets if necessary.

## **UDO Section 17.04.140.C.1**

The special use is deemed necessary for the public convenience at that location:

The construction of the parking lot will improve public convenience since it will relieve parking overflow and related traffic congestion. Currently, during regular Saturday evening and Sunday morning services, the current parking lot and on-street parallel parking fill up. The new parking lot will reduce the amount of vehicles parked in front of residences in the surrounding neighborhood and will reduce the distance walked from parked vehicles into the church.

## **UDO Section 17.04.140.C.2**

The special use is so designed, located and proposed to be operated that the public health, safety and welfare will be protected:

The church purchased properties immediately across the street from the church so that pedestrians would not have any additional trips across State Street. The design of the stalls and entrances will meet all Village requirements to address public health, safety and welfare.

## **UDO Section 17.04.140.C.3**

The special use will not cause substantial injury to the value of other property in the neighborhood in which it is located:

This proposed special use will not be the only parking lot in the State Street area or R-4A Single Family Preservation & Infill District. The parking lot will be at the corner of State Street and Logan Street; therefore it is closer to the higher traveled street and further from the surrounding neighbors as possible. The parking lot is adjacent to the church office which also reduces the number of residences sharing a property line with the parking lot. Screening from the single adjacent residence will be provided along the south property line, to the extent practicable.



**UDO Section 17.04.140.C.4**

The special use shall not create excessive demands on Village service or impair the ability of the Village to maintain the peace and provide adequate protection for its citizens:

The proposed special use is not to accompany any proposed expanded use of the church or the church's facilities. The proposed parking will not create additional demands and will improve the protection of citizens surrounding the church and attending services at the church.

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**UDO Section 17.04.140.C.5**

The special use is consistent with the standards enumerated elsewhere in the UDO for the specific use, including but not limited to, planned unit developments:

This proposed special use is consistent with the standards for parking lots and PUDs.

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**UDO Section 17.04.140.C.6**

The special use meets, as applicable, the standards for planned unit developments found in Chapter 17.08 of the UDO:

This proposed special use is consistent with the standards for PUDs.

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# Variation Application Form

**APPLICANT INFORMATION**

Rev. Brian Ardagh  
Applicant Name

St. Alphonsus Parish  
Company/Organization

210 E. Logan Street, Lemont, IL 60439  
Applicant Address

630-257-2414  
Telephone & Fax

padreb@st-als.org  
E-mail

**CHECK ONE OF THE FOLLOWING:**

- Applicant is the owner of the subject property and is the signer of this application.
- Applicant is the contract purchaser of the subject property.
- Applicant is acting on behalf of the beneficiary of a trust.
- Applicant is acting on behalf of the owner.

**PROPERTY INFORMATION**

701 State Street, 210 E. Logan, 214 E. Logan, Lemont, IL 60439  
Address of Subject Property/Properties

22-29-215-001, 22-29-215-010, 22-29-215-009  
Parcel Identification Number of Subject Property/Properties

0.786 acre / 34,238 sq. ft.  
Size of Subject Property/Properties

**DESCRIPTION OF REQUEST**

Reduction in landscape requirements  
Brief description of the proposed variation

**REQUIRED DOCUMENTS**

See Form 500-A, *Variation Application Checklist of Required Materials*, for items that must accompany this application.

**FOR OFFICE USE ONLY**

Application received on: \_\_\_\_\_ By: \_\_\_\_\_

Application deemed complete on: \_\_\_\_\_ By: \_\_\_\_\_

Current Zoning: \_\_\_\_\_

Fee Amount Enclosed: \_\_\_\_\_ Escrow Amount Enclosed: \_\_\_\_\_

# Variation Application Form

Village of Lemont

## APPLICATION FEE & ESCROW

### Application Fee = \$250 (per zoning lot)

Fee is non-refundable. A zoning lot is defined as "a single tract of land located within a single block that (at the time of filing for a building permit) is designated by its owner or developer as a tract to be used, developed, or built upon, under single ownership or control" (Unified Development Ordinance Chapter 17.02).

### Required Escrow = \$500

At the time of application, the applicant shall submit a check for the establishment of an escrow account. The escrow money shall be used to defray costs of public notice, consultants, or other direct costs incurred by the Village in association with the variation application. Additionally, should the applicant fail to remove the required public notice sign in a timely manner, the escrow account may be used to defray the costs of the sign's removal. After completion of the variation review process, any unused portion of the escrow account will be refunded upon request.

## AFFIRMATION

I hereby affirm that I have full legal capacity to authorize the filing of this application and that all information and exhibits herewith submitted are true and correct to the best of my knowledge. I permit Village representatives to make all reasonable inspections and investigations of the subject property during the period of processing of this application. I understand that as part of this application I am required to establish an escrow account to pay for direct costs associated with the approval of this application, such as the fulfillment of public notice requirements, removal of the public notice sign, taking of minutes at the public hearing and fees for consultants hired by the Village to evaluate this application. I understand that the submitted fee is non-refundable and that any escrow amount leftover upon project completion will be refunded upon request. I understand that I am responsible for the posting of a public hearing sign and for the mailing of legal notice to all surrounding property owners as required by Village ordinances and state law.

*Rev. Brian Ardagh*

12/20/16

Signature of Applicant

Date

IL

COOK

State

County

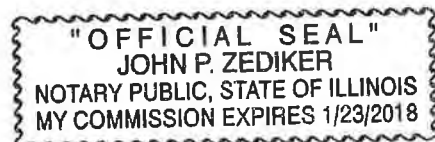
I, the undersigned, a Notary Public in and for the aforesaid County and State, do hereby certify that REV. BRIAN ARDAGH is personally known to me to be the same person whose name is subscribed to the foregoing instrument, and that said person signed, sealed and delivered the above petition as a free and voluntary act for the uses and purposes set forth.

*John P. Zediker*

Notary Signature

Given under my hand and notary seal this 20<sup>th</sup> day of December A.D. 20 16.

My commission expires this 23<sup>rd</sup> day of January A.D. 20 18.



# Variation Criteria Worksheet

Unified Development Ordinance (UDO) Section 17.04.150.D.1 establishes the criteria that all applications for variations must meet. In addition, Section 17.04.150.D.2 of the Unified Development Ordinance requires that the Planning & Zoning Commission or Zoning Hearing Officer take the following conditions into consideration when determining whether a request qualifies for a variation. You may want to consider the following in your variation request:

- The particular physical surroundings, shape, or topographical condition of the specific property involved results in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations of the Unified Development Ordinance were fulfilled;
- The conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification;
- The alleged difficulty or hardship has not been created by any person presently having an interest in the property;
- The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the subject property is located; and
- The variation will not impair an adequate supply of light and air to adjacent properties, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

Please describe below how your variation request meets the criteria of UDO Section 17.04.150.D.1. Attach additional sheets if necessary.

## **UDO Section 17.04.150.D.1.a**

The variation is in harmony with the general purpose and intent of the Unified Development Ordinance;

The variation will not injure the health, safety and general welfare of the public. There will be no impact on light and air to the property. The proposed landscaping will protect the character of the established residential neighborhood and will conserve the value of land and buildings throughout the Village.

**UDO Section 17.04.150.D.1.b**

The plight of the owner is due to unique circumstances and thus strict enforcement of the Unified Development Ordinance would result in practical difficulties or impose exceptional hardships due to the special and unusual conditions that are not generally found on other properties in the same zoning district; and

The limited sideyard widths do not allow for required landscaping to be provided.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**UDO Section 17.04.150.D.1.c**

The variation will not alter the essential character of the locality and will not be a substantial detriment to adjacent property.

The reduction in landscape requirement will not alter the essential character of the locality and will not be a substantial detriment to the adjacent property. Landscaping will be provided and a fence is proposed along the south property line to provide additional screening.  
\_\_\_\_\_  
\_\_\_\_\_

**Project Summary  
Special Use Application  
for  
St. Alphonsus Parish  
Lemont, IL**

The St. Alphonsus Parish currently occupies approximately 2.982 acres, more or less. The total property holdings include two (2) lots on the northwest corner of Walnut Street and Custer Street, the main Church Campus lying between Custer Street, State Street, Logan Street and Walnut Street, and three (3) lots located along the south side of Logan Street between State Street and Walnut Street. The existing Parish parking lots which are on the main campus property consist of 19 individual parking stalls (8 of which are designated as ADA spaces) and stadium parking which provides parking for approximately 36 vehicles.

The property which is the focus of this Special Use Application is the three (3) lots located along the south side of Logan Street. This property is approximately 0.786 acres, more or less (34,238 sq. ft.). The property is currently occupied by two structures on the western lots which are used as the Church offices and a residence for Church staff.

The existing structures are approximately 2,439 sq. ft. and the total impervious surface coverage is 4,983 sq. ft. and approximately 29,255 sq. ft. of pervious area (open space). This equates to an existing lot coverage of 14.6%.

The proposed plan consists of constructing an 8,053 sq. ft. parking lot which will accommodate 27 parking stalls. The proposed plan also includes a storm water detention basin to account for the site runoff storage volumes for the proposed parking lot. The storm water detention will be accommodated in an underground system installed below the parking lot. This brings the total impervious surface coverage to 13,036 sq. ft. and approximately 21,202 sq. ft. of pervious area (open space). This equates to a proposed lot coverage of 38.1%.

The Parish has a total of 1,400 registered families and offers four (4) separate weekend masses. The Saturday Mass has approximately 249 attendees. The Sunday (7:30 a.m.) mass has approximately 178 attendees. The Sunday (9:00 a.m.) mass has approximately 228 attendees. The Sunday (11:00 a.m.) mass has approximately 364 attendees. It is estimated that approximately 30 parishioners walk to the Church. Based on the number of attendees at each mass it is apparent that the Parish currently does not have adequate on-site parking.

The St. Alphonsus Parish currently has parking spaces available for accommodating 55 vehicles with on-site parking on the main campus property which does not provide for additional room to expand said parking areas. The adjacent Church properties provide additional space to construct an additional parking lot, consisting of 27 additional parking spaces, to remediate the demand for parking spaces.

## **LEGAL DESCRIPTION**

LOTS 5 AND 6 IN BERNARD HOSTETT'S SUBDIVISION OF BLOCK 7 IN DOWSE'S ADDITION TO LEMONT, A SUBDIVISION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 7, 1874 AS DOCUMENT NO. 1842112, AND LOT 17 IN EULERT'S SUBDIVISION OF BLOCK 7 IN DOWSE'S ADDITION TO LEMONT, A SUBDIVISION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 7, 1874 AS DOCUMENT NO. 1842112, IN COOK COUNTY, ILLINOIS.

P.I.N. 22-29-215-001, 22-29-215-009 AND 22-29-215-010

# ARCHDIOCESE OF CHICAGO

Office of Business Transactions and Affiliated Services  
Kevin J. Marzalik



835 North Rush Street  
Chicago, Illinois 60611  
kmarzalik@archchicago.org  
312-534-8218

November 14, 2016

**Village of Lemont**  
418 Main Street  
Lemont, IL 60439

To Whom It May Concern:

As Director of Business Transactions and Affiliated Services of the Archdiocese of Chicago, this letter shall confirm that Rev. Brian Ardagh, as Pastor of St. Alphonsus Parish, has the right and authority to sign the Village of Lemont's application paperwork for the parish's parking lot project.

Thank you very much. If you have any questions, please call.

Sincerely,

A handwritten signature in black ink that reads "Kevin J. Marzalik".

Kevin J. Marzalik  
Director



# ARCHDIOCESE OF CHICAGO

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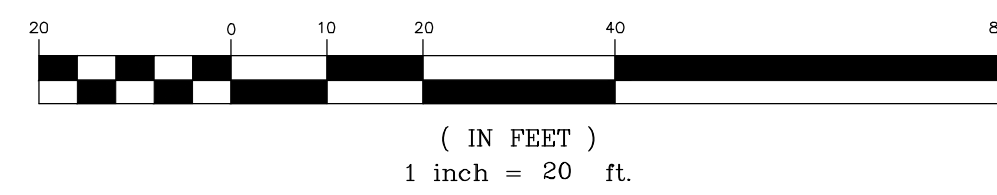
Kevin J. Marzalik  
Director

# PLAT OF SURVEY

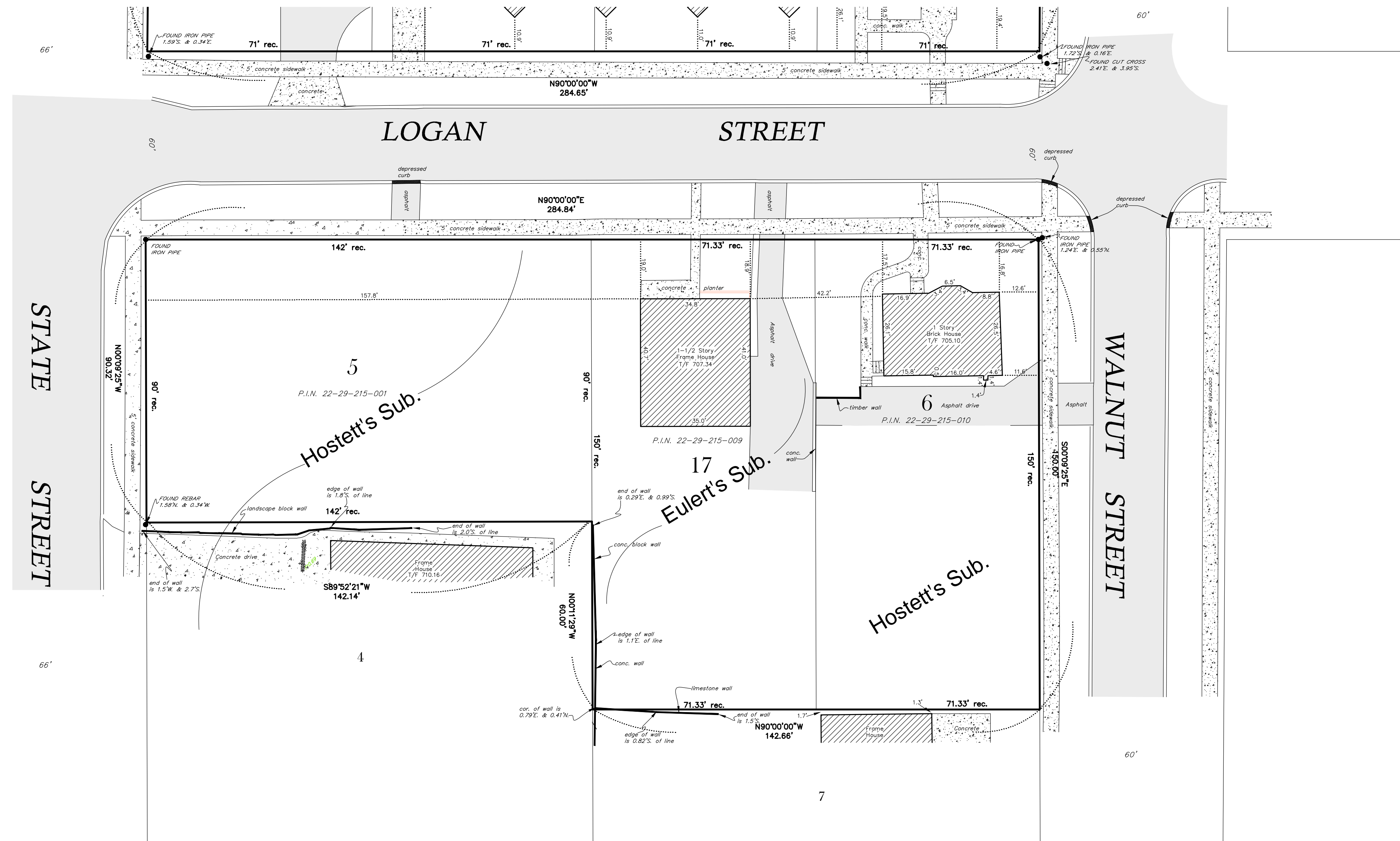
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GRAPHIC SCALE



BASIS OF BEARINGS IS THE ASSUMED VALUE OF N90°00'00"E ON THE SOUTH RIGHT OF WAY LINE OF LOGAN STREET.



**LEGEND**

- T/F TOP OF FOUNDATION
- T/W TOP OF WALK
- T/C TOP OF CURB
- (XXX.X) PROPOSED ELEVATION PER FINAL GRADING PLAN
- XXX.X EXISTING ELEVATION
- XXXX EXISTING CONTOUR
- G.F. GARAGE FLOOR
- F.F. FINISHED FLOOR
- REC. RECORD DIMENSION
- CALC. CALCULATED DIMENSION
- MEA. MEASURED DIMENSION
- ∅ EXISTING FIRE HYDRANT
- EXISTING INLET
- ⊙ EXISTING STORM MANHOLE
- EXISTING GUY WIRE
- ◆ EXISTING POWER POLE
- SET MONUMENT
- FOUND MONUMENT

NOTES:  
 1. THE SURVEYED LOTS WERE PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT AND DOES NOT PURPORT TO SHOW ANY EASEMENTS AFFECTING SAID LOTS.  
 2. THE SURVEYED LOTS LIE WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE 500 YEAR FLOODPLAIN) AS GRAPHICALLY DEPICTED ON FEMA FLOOD INSURANCE RATE MAP, PANEL 586 OF 832, MAP NO. 17031C0586 F, EFFECTIVE DATE NOVEMBER 6, 2000.

LOT AREA = 0.786 ACRE more or less

REVISIONS			
No.	DATE	DESCRIPTION	BY

	<b>Ruettiger, Tonelli &amp; Associates, Inc.</b> Surveyors • Engineers • Planners • Landscape Architects • G.I.S. Consultants 2174 ONEIDA STREET JOLIET, ILLINOIS 60435 PH. (815) 744-6600 FAX (815) 744-0101		2603 S. WASHINGTON STREET - SUITE 170 NAPERVILLE, ILLINOIS 60565 PH. (630) 420-7740 FAX (630) 420-7741
	PREPARED FOR: ST. ALPHONSUS PARISH 605 SOUTH STATE STREET LEMONT, ILLINOIS 60439	FIELD BOOK: 27-58 PAGE: 36 DRAWING No.: 316-0394-LS	
DATE: 11-09-16 SCALE: 1" = 20' DRAWN BY: DJC CHECKED BY: DJZ	DRAWING TITLE: <b>PLAT OF SURVEY</b>		

STATE OF ILLINOIS }  
 COUNTY OF WILL }  
 RUETTIGER, TONELLI & ASSOCIATES, INC., ILLINOIS PROFESSIONAL DESIGN FIRM No. 184-001251, HEREBY CERTIFIES THAT IT HAS SURVEYED THE PROPERTY DESCRIBED IN THE ABOVE CAPTION AND AS SHOWN ON THE ANNEXED PLAT, WHICH IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.  
 SURVEY FIELD WORK COMPLETED 10-31-07  
 GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
 BY \_\_\_\_\_  
 ILLINOIS PROFESSIONAL LAND SURVEYOR (MY LICENSE EXPIRES 11-30-2018) TO ENSURE AUTHENTICITY OF THIS DRAWING, IT MUST BEAR THE EMBOSSED SEAL OF THE DESIGN FIRM OR PROFESSIONAL LICENSEE WHO PREPARED THIS DRAWING.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.  
 ANY DISCREPANCY IN MEASUREMENT DISCOVERED UPON THE GROUND SHOULD BE PROMPTLY REPORTED TO THE SURVEYOR FOR EXPLANATION OR CORRECTION.  
 FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR ABSTRACT, DEED, CONTRACTS AND ZONING ORDINANCES.

N:\Temp\20160304Survey\316-0394-LS.dwg, Layer11, 12/21/2016 10:53:42 AM, djbmm

# Improvement Plans for **ST. ALPHONSUS CATHOLIC CHURCH**

**City of Lemont  
Cook County, Illinois**

INDEX OF ENGINEERING SHEETS	
SHEET No.	DESCRIPTION
C0.00	COVER SHEET
C1.00	EXISTING CONDITIONS/SITE PREPARATION
C2.00	PROPOSED SITE GEOMETRY PLAN
C3.00	PROPOSED SITE GRADING PLAN
C4.00	NOTES AND DETAILS



**SITE LOCATION MAP**  
NOT TO SCALE

LEGAL DESCRIPTION

LOTS 5 AND 6 IN BERNARD HOSTETT'S SUBDIVISION OF BLOCK 7 IN DOWSE'S ADDITION TO LEMONT, A SUBDIVISION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 7, 1874 AS DOCUMENT NO. 1842112; AND LOT 17 IN EULERT'S SUBDIVISION OF BLOCK 7 IN DOWSE'S ADDITION TO LEMONT, A SUBDIVISION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 7, 1874 AS DOCUMENT NO. 1842112, IN COOK COUNTY, ILLINOIS.

*Call  
Before  
You Dig*

**JULIE**  
ILLINOIS  
ONE-CALL SYSTEM

CONTACT J.U.L.I.E. at 811 or 800-892-0123  
48 Hours (2 Working Days) BEFORE YOU DIG.  
Include the following:  
County, City/Township, Section & 1/4 Section No.

**LAND SURVEYOR / ENGINEER:**  
  
RUETTIGER, TONELLI & ASSOCIATES, INC.  
129 CAPISTA DRIVE  
SHOREWOOD, ILLINOIS 60404  
Ph. (815) 744-6600

**OWNER / DEVELOPER:**  
  
ST. ALPHONSUS PARISH  
210 EAST LOGAN STREET  
LEMONT, ILLINOIS 60439

I, DAVID J. ZIENTEK, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF ILLINOIS, HEREBY CERTIFY THAT THESE IMPROVEMENT PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION BY RUETTIGER, TONELLI & ASSOCIATES, INC., ILLINOIS PROFESSIONAL DESIGN FIRM No. 184-001251.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

DAVID J. ZIENTEK IL P.E. No. 062-060061 (EXPIRES 11-30-2017)  
TO ENSURE AUTHENTICITY OF THIS DRAWING, IT MUST BEAR THE EMBOSSED SEAL OF THE DESIGN FIRM OR PROFESSIONAL LICENSEE WHO PREPARED THIS DRAWING.

REVISIONS					
No.	DATE	DESCRIPTION	BY	No.	DATE

DOCUMENTATION:  
PROJECT No.: 20160394  
DATE: 5-3-2016  
FIELD BOOK: B-27-58 P.36  
DRAWN BY: TLW / ECH  
CHECKED BY: DJZ

**Ruettiger, Tonelli & Associates, Inc.**

Surveyors • Engineers • Planners • Landscape Architects • G.I.S. Consultants

129 CAPISTA DRIVE - SHOREWOOD, ILLINOIS 60404  
PH. (815) 744-6600 FAX (815) 744-0101  
website: www.ruettigertonnelli.com

PROJECT TITLE:  
**SITE IMPROVEMENTS  
ST. ALPHONSUS PARISH  
210 E. LOGAN STREET  
LEMONT, ILLINOIS 60439**

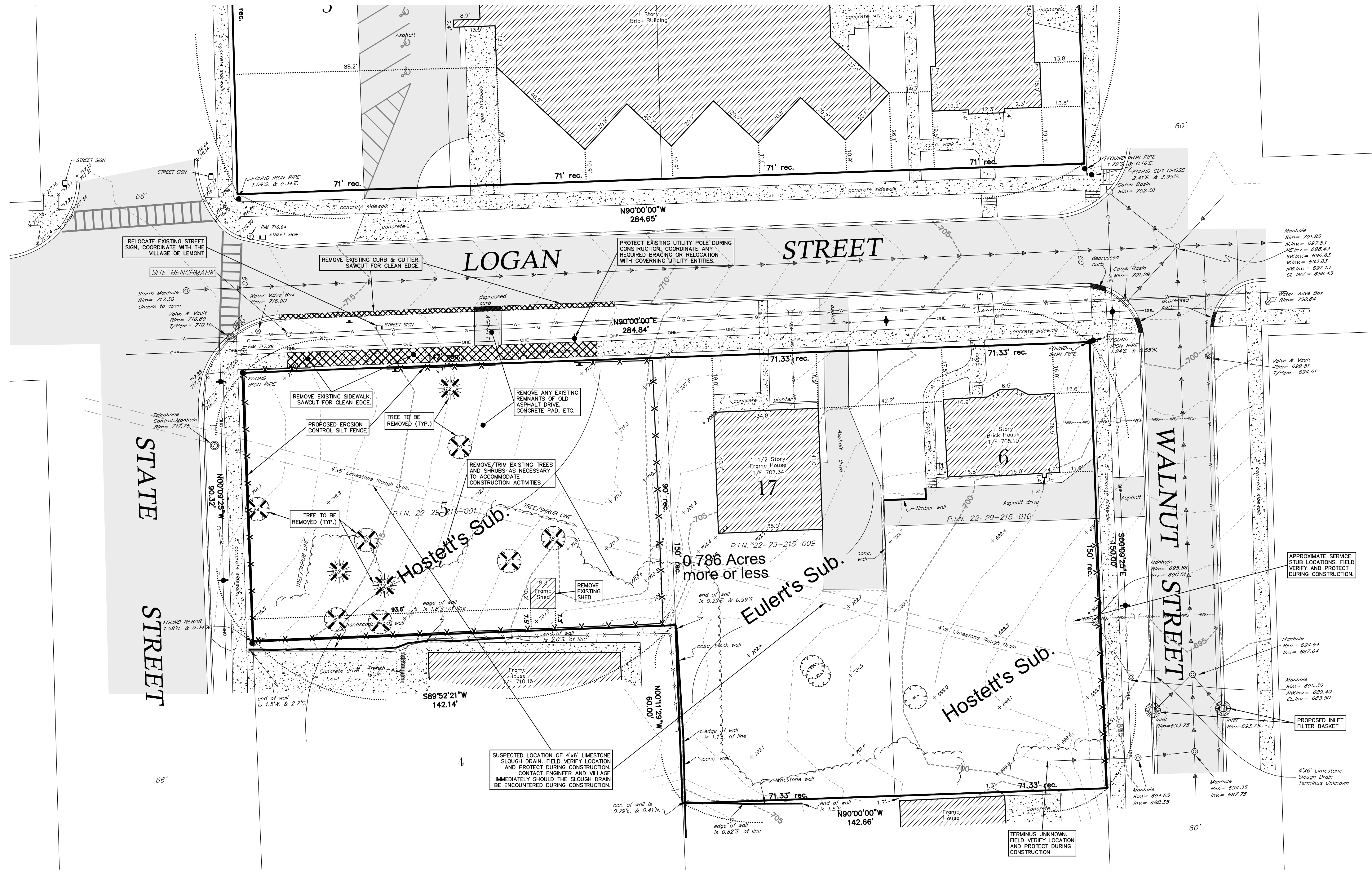
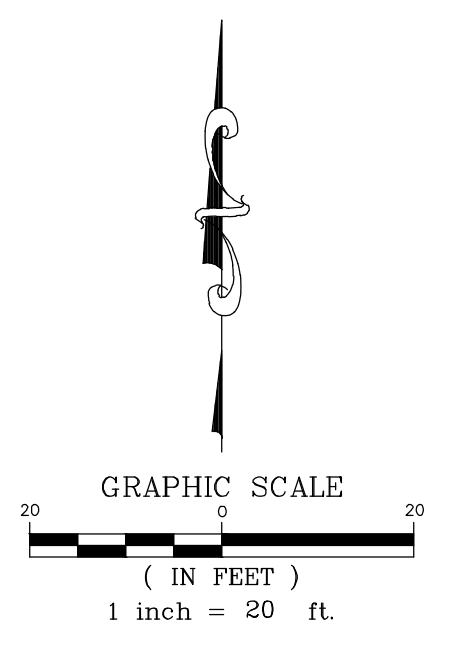
DRAWING TITLE:  
**COVER SHEET**

DRAWING No.  
**316-0394-C1**

SCALE:  
AS NOTED

**SHEET C0.00**

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**LEGEND**

- FOUND SURVEY MONUMENT
- rec. RECORDED
- meo. MEASURED
- ⊙ UTILITY MANHOLE (TYPE NOTED)
- STORM INLET
- ⊕ VALVE VAULT
- ⊕ VALVE BOX
- ⊕ FIRE HYDRANT
- ⊕ B-BOX
- UTILITY POLE
- GUY WIRE
- ⊕ TRAFFIC HAND HOLE
- WATER MAIN
- OVERHEAD ELECTRIC
- GAS MAIN
- TREE/SHRUB LINE
- ⊕ DECIDUOUS TREE (SIZE NOTED)
- ⊕ CONIFEROUS TREE (SIZE NOTED)
- EXISTING CONTOUR
- ⊕ SPOT GRADE ELEVATION
- ⊕ EXISTING TREE TO BE REMOVED
- ⊕ EXISTING ITEM TO BE REMOVED AS NOTED
- ⊕ PROPOSED INLET FILTER BASKET
- X — X — PROPOSED EROSION CONTROL SILT FENCE

- DEMOLITION PLAN NOTES:**
- CONTRACTOR TO VERIFY ALL QUANTITIES NOTED ON PLANS AND INCLUDE AS PART OF BID.
  - SAWCUT ALL PAVEMENT, CURB AND SIDEWALK JOINTS.
  - FIELD VERIFY LOCATION OF EXISTING UTILITIES. PROVIDE ADEQUATE PROTECTION OF UTILITIES TO REMAIN IN USE AND COORDINATE WORK IN THESE AREAS WITH THE CONSTRUCTION MANAGER.
  - ALL MATERIAL NOTED AS "TO BE REMOVED" SHALL BE DISPOSED OF PROPERLY OFFSITE INCLUDING TREES, STUMPS, ROOTS AND SHRUBS UNLESS OTHERWISE NOTED.
  - EXISTING PARKING AREAS SHALL REMAIN CLEAR AND FREE OF ANY DEBRIS.

**Call Before You Dig**

**JULIE**  
ILLINOIS  
ONE-CALL SYSTEM

CONTACT J.U.L.I.E. at 811 or 800-892-0123  
48 Hours (2 Working Days) BEFORE YOU DIG.  
Include the following:  
County, City/Township, Section & 1/4 Section No.

**REVISIONS**

No.	DATE	DESCRIPTION	BY

**DOCUMENTATION:**

PROJECT No.:	20160394
DATE:	5-3-2016
FIELD BOOK:	B-27-58 P.36
DRAWN BY:	TLW / ECH
CHECKED BY:	DJZ

**RT & A**  
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PH. (815) 744-6600 FAX (815) 744-0101  
website: www.ruettigertonnelli.com

**PROJECT TITLE:**  
**SITE IMPROVEMENTS  
ST. ALPHONSUS PARISH  
210 E. LOGAN STREET  
LEMONT, ILLINOIS 60439**

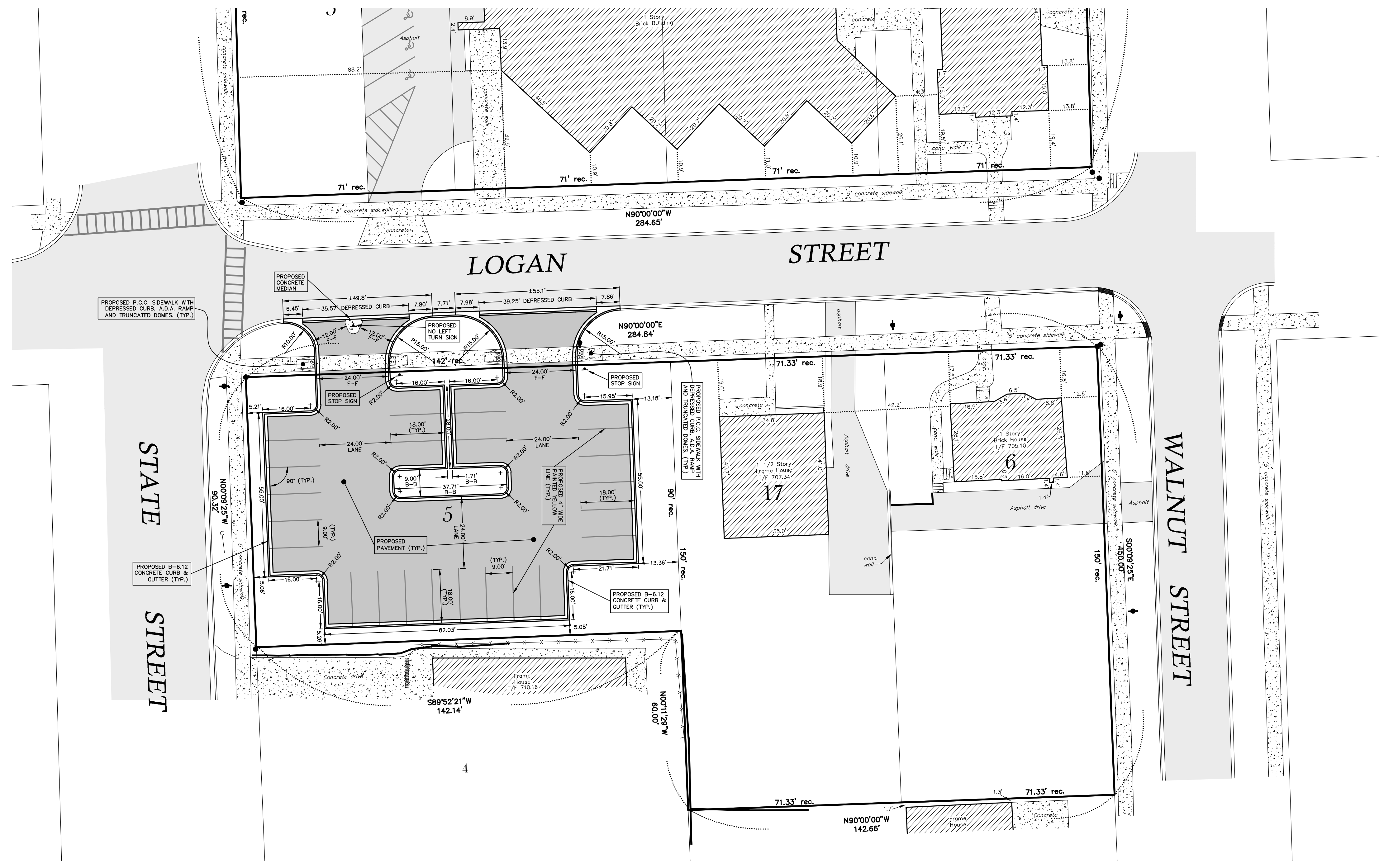
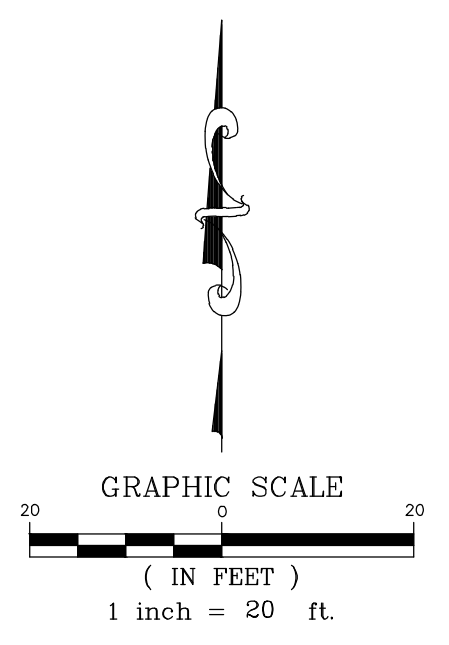
**DRAWING TITLE:**  
**EXISTING CONDITIONS AND  
SITE PREPARATION**

**DRAWING No.**  
316-0394-C1

**SCALE:**  
AS NOTED

**SHEET C1.00**

N:\160394\03\316-0394-Engineering\Plan\_Site\CT\_Site\_Development\CT160394-03-01.dwg, Layer:01, 12/20/2016 12:57:35 PM, d306991



**LEGEND**

	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	EXISTING PAVEMENT AREA
	PROPOSED PAVEMENT AREA
	EXISTING P.C.C. AREA
	PROPOSED P.C.C. AREA
XX'XX' B/C	BACK OF CURB DISTANCE
XX'XX' F-F	FACE TO FACE OF CURB DISTANCE
XX'XX' B-B	BACK TO BACK OF CURB DISTANCE
XX'XX' E-E	EDGE TO EDGE OF PAVEMENT DISTANCE
XX'XX' E/P	TO EDGE OF PAVEMENT DISTANCE
	PROPOSED SIGN AS NOTED ON PLAN

**PARKING SUMMARY**

<b>EXISTING CONDITIONS:</b>	
STANDARD SPACES	= 11
A.D.A. SPACES	= 8
STADIUM PARKING	= 36
TOTAL SPACES	= 55
<b>PROPOSED CONDITIONS:</b>	
STANDARD SPACES	= 27
A.D.A. SPACES	= 0
TOTAL SPACES	= 27

- PROPOSED SITE GEOMETRY PLAN NOTES**
- ALL PARKING STALL, SAFETY ISLAND, NO PARKING AREAS AND CROSSWALK STRIPING SHALL BE 4 INCH WIDE. STANDARD I.D.O.T. YELLOW DIAGONAL STRIPING SHALL BE 2 FT. ON CENTER.
  - ALL SIGNS SHALL MEET THE REQUIREMENTS AND STANDARDS OF THE U.S. DEPT. OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION; THE ILLINOIS ADMINISTRATIVE CODE, LATEST ADDITION; AND ALL LOCAL ORDINANCES.
  - UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE SHOWN TO THE BACK OF CURB WHERE APPLICABLE.
  - PROPOSED SIGNS PER THESE PLANS TO BE IN CLEAR VIEW FOR TRAFFIC. ENSURE NO LANDSCAPING OBSTRUCTS VIEW.

**Call Before You Dig**

**JULIE**  
ILLINOIS ONE-CALL SYSTEM

CONTACT J.U.L.I.E. at 811 or 800-892-0123  
48 Hours (2 Working Days) BEFORE YOU DIG.  
Include the following:  
County, City/Township, Section & 1/4 Section No.

**REVISIONS**

No.	DATE	DESCRIPTION	BY

**DOCUMENTATION:**

PROJECT No.: 20160304  
DATE: 5-3-2016  
FIELD BOOK: B-27-58 P.36  
DRAWN BY: TLW / ECH  
CHECKED BY: DJZ

**RT & A**  
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ST. ALPHONSUS PARISH  
210 E. LOGAN STREET  
LEMONT, ILLINOIS 60439**

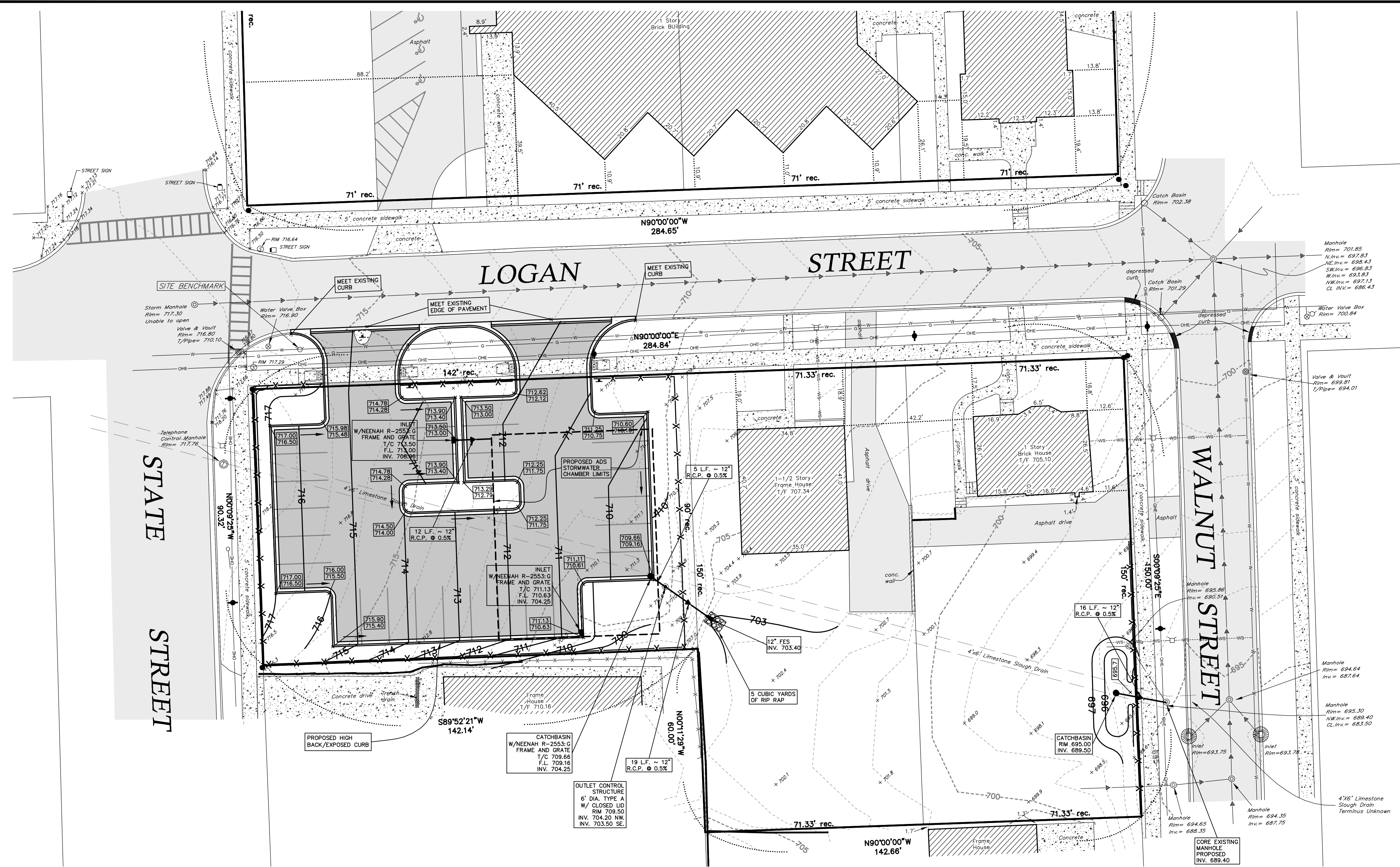
DRAWING TITLE:  
**GEOMETRY PLAN**

DRAWING No.  
316-0394-C1

SCALE:  
AS NOTED

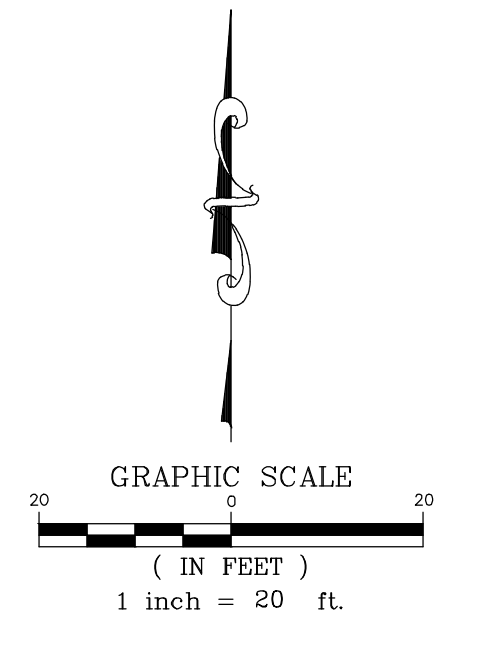
**SHEET C2.00**

N:\Tech\00\00304\Engineering\Plan\_Sheet\CT - Site\_Development\CT2.00 - Geometry Plan.dwg, Layout: 1/20/2016 12:57:59 PM, s00pawf



### LEGEND

- FOUND SURVEY MONUMENT
- rec. RECORDED
- mea. MEASURED
- ⊕ UTILITY MANHOLE (TYPE NOTED)
- STORM INLET
- ⊗ VALVE VAULT
- ⊙ VALVE BOX
- ⊕ FIRE HYDRANT
- ⊕ B-BOX
- ⊕ UTILITY POLE
- GUY WIRE
- ⊕ TRAFFIC HAND HOLE
- WATER MAIN
- OVERHEAD ELECTRIC
- GAS MAIN
- EXISTING CONTOUR
- SPOT GRADE ELEVATION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED STORM MANHOLE
- PROPOSED STORM CATCH BASIN
- PROPOSED STORM INLET
- PROPOSED STORM FLARED END SECTION
- PROPOSED STORM SEWER
- PROPOSED CONTOUR
- PROPOSED HIGH WATER LINE
- PROPOSED ELEVATION
- PROPOSED TOP OF CURB/ FLOW LINE ELEVATION
- PROPOSED DIRECTION OF OVERLAND FLOW
- EXISTING PAVEMENT AREA
- PROPOSED PAVEMENT AREA
- PROPOSED INLET FILTER BASKET
- PROPOSED EROSION CONTROL SILT FENCE



- #### PROPOSED SITE IMPROVEMENT PLAN NOTES:
- UNLESS OTHERWISE NOTED, ALL PROPOSED GRADES ARE EITHER FINISHED PAVEMENT ELEVATIONS OR FINISHED LANDSCAPE ELEVATIONS.
  - CONTRACTOR TO PREVENT EROSION ONTO PAVEMENT.
  - GRADE SLOPE SHALL NOT EXCEED 4 TO 1.
  - CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANS FOR ADDITIONAL SITE AMENITIES INCLUDING PROPOSED FENCING.

- #### EROSION CONTROL NOTES
- EROSION CONTROL TO BE APPLIED PER THE ILLINOIS PROCEDURES FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL MANUAL, LATEST EDITION.
  - THE TEMPORARY EROSION CONTROL SYSTEMS INSTALLED BY THE CONTRACTOR SHALL BE PROPERLY MAINTAINED AS DIRECTED BY THE VILLAGE TO CONTROL SILTATION AT ALL TIMES DURING THE LIFE OF THE CONTRACT.
  - ALL STORM SEWER STRUCTURES WITH OPEN GRATES SHALL BE PROTECTED WITH INLET FILTER BASKETS.
  - DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN (7) SEVEN CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE, RE-DISTURBANCE, CONSISTENT WITH THE FOLLOWING CRITERIA. APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION MEASURES SHALL INCLUDE SEEDING, MULCHING, SODDING AND / OR NON-VEGETATIVE MEASURES.
  - ALL EROSION CONTROL ITEMS REMAIN IN PLACE AND BE MAINTAINED UNTIL DEEMED UNNECESSARY BY THE OWNER / DEVELOPER AND THE VILLAGE AT WHICH TIME THE EROSION CONTROL ITEMS SHALL BE COMPLETELY REMOVED FROM THE SITE BY THE INSTALLER.
  - ALL DISTURBED AREAS NOT SPECIFICALLY IDENTIFIED FOR LANDSCAPING IMPROVEMENTS OR IMPERVIOUS SURFACE TREATMENTS SUCH AS PAVEMENTS, DRIVES, PATIOS, STOOFS, SIDEWALKS OR WALKWAYS SHALL BE FINISHED WITH A MINIMUM OF 6" OF TOPSOIL AND RESTORED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST ADDITION) AS FOLLOWS:
    - CLASS 2 SEED PER SECTION 250.
    - FERTILIZED NUTRIENTS IN THE RATIO OF 1:1:1 OF NITROGEN, PHOSPHOROUS AND POTASSIUM EACH, ALL AT THE RATE OF 90 LBS/ACRE IN ACCORDANCE WITH SECTION 250.
    - EROSION CONTROL BLANKET: EXCELSIOR GREEN BLANKET (I.D.O.T. SEC. 251.04)
    - CONTRACTOR SHALL MAINTAIN RESTORED AREA AS NEEDED UNTIL GERMINATION IS COMPLETED AND THE OWNER, OR LOCAL AGENCY HAVING JURISDICTION, HAS ACCEPTED THE WORK.
  - FOR EACH PHASE OF WORK, THE CONTRACTOR RESPONSIBLE FOR THAT WORK IS TO PROVIDE QUALIFIED PERSONNEL WHO SHALL INSPECT:
    - DISTURBED AREAS OF THE CONSTRUCTION SITE WHICH HAVE NOT BEEN STABILIZED WITH IMPERVIOUS MATERIALS OR VEGETATIVE GROUND COVER.
    - STRUCTURAL CONTROL MEASURES (I.E. SILT FENCE, FILTER BASKETS, GRATE FABRIC, ETC.).
    - OFF SITE ROADS AND ON SITE PAVEMENTS WHICH THE CONTRACTOR'S VEHICLES AND OR EQUIPMENT OPERATE.
- SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT HAS 0.5 INCHES OR MORE OF PRECIPITATION.
- ALL INSPECTIONS SHALL BE IN CONFORMANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN INSPECTION REQUIREMENTS.

Call Before You Dig

CONTACT J.U.L.I.E. at 811 or 800-892-0123  
48 Hours (2 Working Days) BEFORE YOU DIG.  
Include the following:  
County, City/Township, Section & 1/4 Section No.

#### SILT FENCE PLAN

#### SILT FENCE ELEVATION

#### ATTACHING TWO SILT FENCES

NOTES:  
1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.  
2. Filter fabric shall meet the requirements of material specification: 500 Grams per Square Yard 3' or 2' Glass with equivalent opening size of at least 30 for nonwoven and 50 for woven.  
3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE:  
Project: [ ]  
Designed: [ ]  
Checked: [ ]  
Approved: [ ]

STANDARD SPEC. NO. IL-620  
SHEET 1 OF 2  
DATE: 12-29-02

PROJECT: [ ]  
DESIGNED: [ ]  
CHECKED: [ ]  
APPROVED: [ ]

DATE: 12-29-02

#### IDOT Inlet Filter Specifications

Material Property	Test Method	Value (min. ave)
Minimum Geotextile Inlet Filter Bag Specs (2' x 10' min. roll)		
Crush Test	ASTM D 4252	1001 lbs
Puncture Strength	ASTM D 4833	65 lbs
Trapezoidal Tear	ASTM D 4533	45 lbs
UV Resistance	ASTM D 4355	70% at 500 hrs
App. Open Size (AOS)	ASTM D 4751	75 sieve (212 mic)
Permeability	ASTM D 4491	2.0/sec
Water Flow Rate	ASTM D 4491	140 gpm/ft <sup>2</sup>
Polyester Outer Reinforcement Bag Specifications		
Weight	ASTM D 3776	4.55 oz/sq yd +/- 15%
Thickness	ASTM D 1777	240 +/- .005
Frame Construction		
AM Structural Steel, 11 Gauge Zinc Plated	ASTM A 576	Tensile Strength > 58,000 psi Yield Strength > 36,000 psi

INSTALLATION:  
1. REMOVE GRATE.  
2. DROP FLEXIBLE INLET FILTER DOWN TO BEHIND UP OF CASTING OR CONCRETE STRUCTURE.  
3. REPLACE GRATE.

#### REVISIONS

No.	DATE	DESCRIPTION	BY

#### DOCUMENTATION:

PROJECT No.: 20160394  
DATE: 5-3-2016  
FIELD BOOK: B-27-58 P.36  
DRAWN BY: TLW / ECH  
CHECKED BY: DJZ

**Ruettiger, Tonelli & Associates, Inc.**  
Surveyors • Engineers • Planners • Landscape Architects • G.I.S. Consultants  
129 CAPISTA DRIVE - SHOREWOOD, ILLINOIS 60404  
PH. (815) 744-6600 FAX (815) 744-0101  
website: www.ruettigertonnelli.com

PROJECT TITLE:  
**SITE IMPROVEMENTS  
ST. ALPHONSUS PARISH  
210 E. LOGAN STREET  
LEMONT, ILLINOIS 60439**

DRAWING TITLE:  
**SITE GRADING/  
EROSION CONTROL PLAN**

DRAWING No.: 316-0394-C1  
SCALE: AS NOTED  
SHEET C3.00