

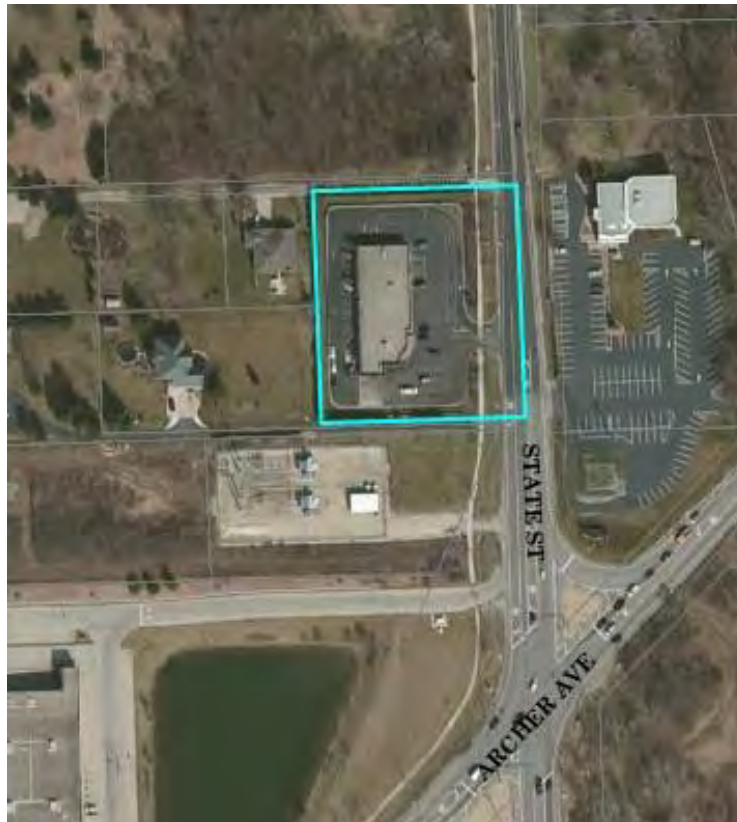


www.lemont.il.us

TO: Planning & Zoning Commission
FROM: Heather Valone, Village Planner
THRU: Jeffrey Stein, Deputy Village Administrator
SUBJECT: Case 2001-15 Look Nu Carwash
DATE: January 13, 2017

SUMMARY

Steven and Wendy Peebles of Peebs 1028, LLC., owners of the subject property and use located on the same, are requesting approval of amendments to the existing Planned Unit Development (PUD) on the subject property. The purpose of the requested zoning entitlements is to construct outdoor vacuuming units and gates with automated pay stations. Staff is recommending approval with conditions.



PROPOSAL INFORMATION

Case No. 2001-15
Project Name Look Nu Carwash PUD Amendments

General Information	
Applicant	Wendy and Steven Peebles
Status of Applicant	Owner
Requested Actions:	Amendments to the PUD
Purpose for Requests	The purpose of the requested zoning entitlements is to construct outdoor vacuuming units, revise the permitted hours of operation, and install gates with automated pay stations
Site Location	1338 State St.
Existing Zoning	B-3 (Arterial Commercial District
Size	1.36 acres
Existing Land Use	Carwash and detailing facility
Surrounding Land Use/Zoning	North: R-4 Single-Family Detached Residential District (residences)
	South: R-4 Single-family residential unincorporated Cook County (Common Wealth Edison right of way (ROW))
	East: R-4 Single-family residential unincorporated Cook County (Calvary Church)
	West: R-4 Single-family detached residential R-1 Single-family detached residential (residences)
Lemont 2030 Comprehensive Plan	The Comprehensive Plan map designates this area Neighborhood Retail (NR)

BACKGROUND

The subject property was granted a PUD and Rezoning to B-3 Arterial Commercial in 2002 as Nu Look Carwash. The PUD defined standards for the appearance of the building, landscaping, setbacks, and other site improvements. The PUD also restricted all operations other than queuing and hand drying to be completed indoors. The PUD also regulated the hours of operation. These standards and restrictions were included to ensure that the

residential lots surrounding the subject property were properly screened and any negative impacts on the neighboring properties were minimized.

DEPARTURES FROM ZONING STANDARDS

Section 17.08.010 of the UDO describes the purpose of PUDs: “Within the framework of a PUD normal zoning standards may be modified. The resulting flexibility is intended to encourage a development that is more environmentally sensitive, economically viable, and aesthetically pleasing than might otherwise be possible under strict adherence to the underlying zoning district’s standards.” The table below illustrates how the application deviates from the current standards of the UDO. Below is a summary of current UDO standards, how the proposed PUD amendments deviate from those standards, and staff’s recommendations related to those deviations.

UDO Section	UDO Standard	Proposed PUD	Staff Comments
17.14.010 (Table 17.14.01)	No operation or activity in a B District shall cause or create noise in excess of the sound level of 57 decibels when the receiving zoning district is an R District.	<p>The applicant is proposing outdoor vacuums that produce a minimum of 64 decibels at the lowest setting.</p> <p>The applicant is proposing three (3) vacuums inside the front detail bays that produce a minimum of 64 decibels at the lowest setting. The vacuum unit is inside the building but the hoses would be near the entrance of the bay.</p>	<p>Staff finds the deviation unacceptable as the subject property is bounded on two sides by residences. Staff is recommending that the applicant either choose different equipment that can meet the sound maximum of 57 decibels or the applicant place the vacuum unit inside the building and pipe the vacuuming unit to the designated spaces and stations.</p> <p>As the noise component (the vacuum) is inside the building staff finds the deviation acceptable.</p>

As there is an existing PUD on the property regulating the property the table below is a summary of the current PUD standards, how the proposed PUD amendments deviate from those standards, and staff’s recommendations related to those deviations.

PUD Section	PUD Standard	Proposed PUD Amendment	Staff Comments
3.4	Hours of operation shall be limited to between 7:00 am and 8:00 pm in the summer and 7:00 am to 6:00 pm in the winter.	The applicant is proposing 7:00 am to 8:00 pm in all seasons.	Staff finds the deviation acceptable as these hours are permitted in the summer months.
3.7	All operations shall be indoors, except car parking, queuing, and hand drying of vehicles	The applicant is proposing six (6) outdoor vacuuming stations and three semi-outdoor vacuuming stations in the entrance of the detailing bays	Staff finds the deviation for the vacuuming stations outside as proposed with the vacuum unit outside unacceptable. Please see the table above for more information. Staff finds this deviation for the vacuuming stations semi-outdoor at the entrance of the detailing acceptable. The noise generating vacuum unit is in housed inside the building the noise generated at the entrance of the detailing bay is minimal.

GENERAL ANALYSIS

Consistency with Lemont 2030 (Lemont 2030 Plan). The future land use map in the Lemont 2030 Plan designates this area as Neighborhood Retail (NR) land use. Per Lemont 2030, the NR is:

“characterized by convenience-oriented retail use; i.e. the shops and offices that local residents need to visit on a regular basis. Destination retail uses that customers travel long distances to patronize are generally not found in this district. Building in this district are typically building occupied by a single business on a stand-alone site or small shopping centers... Development within the neighborhood retail district will be designed to complement adjacent neighborhood.”

Look Nu Carwash is consistent with the Lemont 2030 Plan. A carwash is a convenience-oriented use that local residents visit on a regular basis. The site is designed to complement the adjacent neighborhood by the existing vegetated buffer between the carwash and the surrounding residentially zoned properties. As mentioned in the table above, noise is a concern and staff is recommending changes to one of the proposed vacuum units.

Consistency with PUD Objectives. UDO Section 17.08.010.C lists 11 different objectives to be achieved, where applicable, through planned unit developments. Staff finds that two of the objectives are applicable.

The proposed PUD amendment supports objective #1, to ensure that the future growth and development which occurs is in accordance with the policies and goals of the Village. The proposed request is consistent with Lemont 2030 Plan's future land use map.

The proposed PUD amendment supports objective #4, to encourage and stimulate economic development within the Village. The proposal for the expansion of an existing business in the Village is consistent with the economic prosperity goals of Lemont 2030 Plan.

Compatibility with Existing Land Uses. The properties to the north and west are established residences. The property to the south is the ComEd ROW, just south of the ROW is Long Run Market (Target/Kohls) loading docks. The property to the east is Calvary Church. The amendments are consistent with the uses to the south and west. The amendments could be consistent with the properties to the north and west if the proposed outdoor vacuum unit is moved into the building or the noise levels are reduced. Additionally, the existing landscaping adequately screens the carwash from the neighboring properties.

Site Design. The applicant is proposing automatic pay stations with gates at the entrance to the car wash. Previously, customers would drive their vehicles to entrance door of the carwash to pay. The new pay stations would stop vehicles 30 ft. from the building to use the automated pay station then enter the facility. The queuing area is not proposed to change. Even though the pay stations are shifted further from the building the queuing area still accommodates the same number of vehicles.

The outdoor vacuuming stations near the exit of the wash along the south property allows for drive aisles that meet UDO standards for two-way traffic. The proposed vacuuming stations are equipped with an arm with a hose and dust bin, trash can, and canopy over the vehicle. The equipment is gray and blue. Staff is recommending that the canopy be removed and the equipment either be a neutral, gray, or black color.

Landscaping. The plans do not indicate that any existing landscaping will be removed. The Village Arborist generally approves of the plans. The Village Arborist noted that since the landscaping was installed more than 10 years ago, an inspection is needed to ensure that no landscaping is missing or in poor condition. The inspection can be completed during the building permit phase. The full comments are attached.

Engineering Comments. The Village Engineer generally approves of the plans. The full comments are attached.

Fire District Comments. The Fire Marshal generally approves of the plans. The full comments are attached.

CONCLUSIONS & RECOMMENDATIONS

The proposed amendments are consistent with the Lemont 2030 Plan. There are no proposed changes to the exterior of the building, queuing, or the existing landscaping. However, the noise potentially generated from the outdoor vacuum unit is a concern. Thus staff is recommending approval with the following conditions:

1. The outdoor vacuum unit must be revised to either utilize different equipment, utilize sound reducing equipment to meet the 57 maximum permitted decibels per the UDO, or the vacuum unit must be moved to the interior.
2. The canopy on the vacuuming stations must be removed and all the outdoor vacuuming station equipment must be either a neutral, gray, or black color.
3. The applicant will comply with a landscaping inspection for the exiting landscaping.

ATTACHMENTS

1. Site Photographs
2. Village Engineer review
3. Village Arborist review
4. Fire Marshal review
5. Application package

Attachment 1



Figure 1 View Looking west from State St.

Attachment 2

From: Jim Cainkar
To: [Heather Valone](mailto:Heather.Valone@lemont.il.us)
Subject: FW: PZC case 2001-15 Look Nu Carwash PUD Amendments
Date: Wednesday, January 4, 2017 4:35:51 PM
Attachments: [image001.png](#)
[image003.png](#)
[Forwarding Docs Memo PZC submittal #1 Packet rsize.pdf](#)

Heather:

I have reviewed the Case packet for Case 2001-15 (Look Nu Carwash), and do not have any comments that relate to engineering issues.

Thank you,

James L. Cainkar, P.E., P.L.S.



545 Plainfield Road, Suite A
Willowbrook, IL 60527
T: 630-887-8640
F: 630-887-0132

File No. 17022

From: Heather Valone [mailto:hvalone@lemont.il.us]
Sent: Thursday, December 29, 2016 12:45 PM
To: Jim Cainkar <JimCainkar@franknovotnyengineering.com>; 'Ben DeAnda' (bdeanda@lemontfire.com) <bdeanda@lemontfire.com>
Cc: 'ufm1@aol.com' (ufm1@aol.com) <ufm1@aol.com>; andys@ecologyllc.com
Subject: PZC case 2001-15 Look Nu Carwash PUD Amendments

Jim and Ben,

Please see the attachment for the land use application for Look Nu Carwash.

Sincerely,

Heather Valone
Village Planner



Village of Lemont | 418 Main Street | Lemont, IL 60439
p 630.257.1582 | f 630.257.1598
hvalone@lemont.il.us | www.lemont.il.us

Attachment 3



LEMONT FIRE PROTECTION DISTRICT



BUREAU OF FIRE PREVENTION

15900 New Avenue
Lemont, IL 60439
Business: (630) 257-0191
Fax: (630) 257-5318
fpb@lemontfire.com
lemontfire.com

January 3, 2017

Building Department
Village of Lemont
418 Main Street
Lemont, IL. 60439

Re: Land Use Application – Look Nu Carwash
1388 State Street, Lemont, IL. 60439

Dear Building Department;

This Department is in receipt of the site plans for the above mentioned project. The 2015 edition of the International Fire Code along with local amendments were used for this review. These plans are APPROVED AS NOTED subject to the following comments:

1. All automatic sprinkler modifications shall be in compliance with N.F.P.A. Standard #13, 2013 Edition. The sprinkler contractor shall notify the Bureau of Fire Prevention PRIOR to any work being undertaken.
2. Before any sprinkler piping is concealed, such as in walls or above hung ceilings, the sprinkler contractor shall notify the Bureau of Fire Prevention forty-eight (48) hours in advance so that the Bureau of Fire Prevention can inspect the system's piping for conformance with Code requirements and reviewed plans.
3. All fire alarm system alterations shall be approved by the Bureau of Fire Prevention, and all installations shall be completed in accordance with International Fire Code 2015 Edition. (Section 907) and the Lemont Fire Protection District Ordinance #16-01.
4. Egress doors shall be readily openable from the egress side without the use of a key or special knowledge or effort in accordance with Lemont Fire Protection District Ordinance #16-01. (Section 1008.3.1).

Exceptions:

- a. Places of detention or restraint.
- b. Where approved by the code official, a readily visible durable sign is posted on the egress side on or adjacent to the door stating: THIS DOOR TO REMAIN UNLOCKED WHEN

BUILDING IS OCCUPIED. This sign shall be in letters 1 inch (25 mm) high on a contrasting background.

- c. Where egress doors are used in pairs, approved automatic flush bolts shall be permitted to be used, provided that the door leaf having the automatic flush bolts has no doorknob or surface mounted hardware. The unlatching of any leaf shall not require more than one operation.
 - d. Doors from individual dwelling units and guestrooms of Group R occupancies having an occupant load of 10 or less are permitted to be equipped with a night latch, dead bolt or security chain, provided such devices are openable from the inside without the use of a key or tool.
5. Portable Fire Extinguishers shall be installed in all occupancy groups and have a minimum of one fire extinguisher located within 5 feet of each exterior door. All other areas shall have extinguishers installed in accordance with this section, NFPA 10, or where required by the code official. The minimum size fire extinguisher for use in all occupancy groups shall be 4A60BC. All other applications shall be accordance with the provisions of NFPA 10. (Lemont Fire Protection District, Ordinance #16-01. Section 906).
 6. Approved exit signs shall be installed in all means of egress in accordance with International Fire Code, 2015 Edition (Section 1031.4) and N.F.P.A. #101 Life Safety Code, 2015 Edition (Section 7.5-7.10)
 7. Approved emergency lighting shall be installed in all means of egress in accordance with International Fire Code, 2015 Edition (Section 1008) and N.F.P.A. #101 Life Safety Code, 2015 Edition (Section 7.5-7.10)

The review of these drawings does not relieve the contractor or building owner from designing and installing and completing this project per all code and standard requirements. Fire code and standard requirements not necessarily noted on these plans, in the plan review letter, or noted during inspections are still required to be provided and installed in full compliance with all adopted codes standards and ordinances. I will recommend approval of these plans with the stipulation that the above items are addressed and complied with. This APPROVAL with noted requirements of the Codes and Standards for the submitted project is not to be construed as final approval. This can only be granted after construction and occupancy inspections. If you should have any further questions please don't hesitate to contact me.

Sincerely,



Benjamin DeAnda, MS, MA, FM, CFO
Fire Marshal

cc: file - 1266
Village of Lemont Building Department

Attachment 4

Village of Lemont

Preliminary Plat Application Form

Planning & Economic Development Department
418 Main Street Lemont, Illinois 60439
phone (630) 257-1595
fax (630) 257-1598

APPLICANT INFORMATION

Applicant Name STEVE & WENDY PEEBLES

Company/Organization LOOK NU CAR WASH LLC

Applicant Address 6 HORSESHOE LANE LEMONT, IL 60439

Telephone & Fax 630 243 1480 (OFFICE) 630 335 6137 (CELL) 630 243 1483 (FAX)

E-mail looknu1388@comcast.net peeb510281@yahoo.com

CHECK ONE OF THE FOLLOWING:

- Applicant is the owner of the subject property and is the signer of this application.
 Applicant is the contract purchaser of the subject property.
 Applicant is acting on behalf of the beneficiary of a trust.
 Applicant is acting on behalf of the owner.

PROPERTY INFORMATION

Address of Subject Property/Properties 1388 STATE ST. LEMONT, IL 60439

Parcel Identification Number of Subject Property/Properties 22-32-300-051

Size of Subject Property/Properties 290 x 205

REQUIRED DOCUMENTS

See Form 504-A, *Preliminary Plat Application Checklist of Required Materials*, for items that must accompany this application.

FOR OFFICE USE ONLY

Application received on: _____

By: _____

Application deemed complete on: _____

By: _____

Current Zoning: _____

Fee Amount Enclosed: _____

Escrow Amount Enclosed: _____

Preliminary Plat Application Form

Village of Lemont

APPLICATION FEE & ESCROW

Application Fee (based on size of property and number of proposed and/or existing dwelling units):

- < 3 acres = \$300, plus \$50 per existing and/or proposed dwelling unit
- 3 to <5 acres = \$600, plus \$50 per existing and/or proposed dwelling unit
- 5 to <10 acres = \$1000, plus \$50 per existing and/or proposed dwelling unit
- 10 acres or more = \$1200, plus \$50 per existing and/or proposed dwelling unit

Fee is non-refundable.

Required Escrow = \$750

At the time of application, the applicant shall submit a check for the establishment of an escrow account. The escrow money shall be used to defray costs of public notice, consultants, or other direct costs incurred by the Village in association with the preliminary plat application. After completion of the review process, any unused portion of the escrow account will be refunded upon request.

AFFIRMATION

I hereby affirm that I have full legal capacity to authorize the filing of this application and that all information and exhibits herewith submitted are true and correct to the best of my knowledge. I permit Village representatives to make all reasonable inspections and investigations of the subject property during the period of processing of this application. I understand that as part of this application I am required to establish an escrow account to pay for direct costs associated with the approval of this application, such as the fulfillment of public notice requirements, removal of the public notice sign, taking of minutes at the public hearing and fees for consultants hired by the Village to evaluate this application. I understand that the submitted fee is non-refundable and that any escrow amount leftover upon project completion will be refunded upon request.

Wendy P. Decker 12-20-16 Wendy P. Decker 12-20-16
Signature of Applicant Date
Illinois Cook
State County

I, the undersigned, a Notary Public in and for the aforesaid County and State, do hereby certify that Wendy P. Decker is personally known to me to be the same person whose name is subscribed to the foregoing instrument, and that said person signed, sealed and delivered the above petition as a free and voluntary act for the uses and purposes set forth.

Suzanne M. Maniscalco
Notary Signature

Given under my hand and notary seal this 20 day of December A.D. 20 16.

My commission expires this 21 day of Sept. A.D. 20 20.



RE: Hardship Request to Modify Existing PUD

To whom it may concern,

Look Nu Car Wash & Detail Center has been in operation since October 31st of 2013. Previously this facility was Nu Look Car Wash in operation for 10 years before we purchased it.

To remain open and stay competitive in the ever changing car wash market, we need to make necessary changes to our daily operations & our tunnel wash equipment.

The equipment has become outdated and in need of major repairs. The update of the tunnel equipment will be more cost effective to operate and will provide a better product and service to our customer and community.

With growing labor costs we need to go more automated and offer a better quality wash to our customers at a lesser cost and shorter wait time.

These changes will help Look Nu to survive, be profitable and competitive. We will be able to keep our business going and provide this service to the community for many years to come.

We need to be proactive with the growing costs of labor, property tax (nearly \$60,000 annually), supplies and utilities by going more automated.

The updates of the tunnel equipment will require some minor changes to the layout of the grounds. The traffic flow of the wash process will not change. There will be an addition of 2 pay stations near the entrance of the building in our current staging lanes. There will also be vacuum stations along the South wall near the exit where we currently stage and dry cars. These changes we are requesting are no different than any other car washes in the area.

Our Existing PUD

Line item #4 Hours of operation shall be limited to between 7:00 a.m. and 8:00 p.m. Summer & 6:00 p.m. Winters. We would like to change this to 8:00 p.m. all year.

Line item #7 All operations shall be indoors, except car parking, queuing, and hand drying of washed vehicles. We would like to modify this section to allow us to provide free customer vacuuming in this area.

Please note we are relocating the existing vacuuming from the entrance, which causes a bottle neck. This will reduce the entrance stacking needs and speed up the process. The free vacuums will be moved to the south end of the parking lot for customer use after they exit the wash tunnel.

We will not be adding any additional noise as the Kohls/Target/Home Goods delivery center already produce, which is adjacent to us and our residential neighbors to the west

The shopping center delivery center receives trucks in and out all times of day and night.

We are asking for less vacuum equipment outside as another existing car wash in Lemont which has nearly twice as many vacuums as we are proposing.


Look Nu's site is heavily landscaped on the South, West and North side of our property providing privacy and a natural sound barrier to adjoining properties. The other car wash in the area provides no natural barrier to adjacent properties.

We are hoping, with approval, to offer Lemont and the surrounding areas one of the newest and state of the art car wash systems available.

Thank you for your consideration of these changes so we, as lifelong residents of Lemont, can continue to serve the community for many years to come.

Sincerely

Steve & Wendy Peebles

Handwritten signatures of Steve and Wendy Peebles. The signature for Steve is on the left and Wendy's is on the right, both in cursive.

ORDINANCE NO. D-13-02

**AN ORDINANCE APPROVING A ZONING MAP AMENDMENT FROM R-1 SINGLE
FAMILY RESIDENCE DISTRICT TO B-3 ARTERIAL COMMERCIAL DISTRICT
AND APPROVING A SPECIAL USE IN THE B-3 DISTRICT
(~~1738~~ State Street, Lemont, Illinois)
1308**

**ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT**

This 11th day of March, 2002.

Published in pamphlet form by
authority of the President and
Board of Trustees of the Village
of Lemont, Cook, DuPage, and Will
Counties, Illinois this 11th day of
March, 2002.

ORDINANCE NO. 0-13-02

AN ORDINANCE APPROVING A ZONING MAP AMENDMENT FROM R-1 SINGLE FAMILY RESIDENCE DISTRICT TO B-3 ARTERIAL COMMERCIAL DISTRICT AND APPROVING A SPECIAL USE IN THE B-3 DISTRICT (1138 State Street, Lemont, Illinois)

WHEREAS, an application has been filed by Michael Malicki, P.C., duly authorized agent for Mike Carey, in connection with a Request for Rezoning for the property legally described in Exhibit "A" and located at 1138 South State Street, Lemont, Illinois; and

WHEREAS, the Petitioner made application under the provisions of Lemont Zoning Ordinance O-26-99, for a request for a Rezoning and a Special Use to allow the construction and operation of a car wash facility in the B-3 District, pursuant to Section VIII.E.2.e. of the Lemont Zoning Ordinance; and

WHEREAS, a notice of the aforesaid Public Hearing was made in the manner provided by law and was published in the Lemont Reporter/Met a newspaper of general circulation within the Village; and

WHEREAS, the former Planning and Zoning Commission of the Village of Lemont, Illinois (the "Village") did heretofore commence and conduct a Public Hearing on July 17, 2001 for approval of a Special Use; and

WHEREAS, the Commission did not recommend the Rezoning and Special Use as requested; and

WHEREAS, the President and Board of Trustees of the Village have determined notwithstanding the recommendation of the Planning and Zoning Commission, that the best interests of the Village will be served by approving the Special Use Permit described herein.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE, AND WILL, ILLINOIS:

SECTION 1: Zoning District Change. The subject property described above is hereby rezoned from its present Village of Lemont R-1 Single-family Detached Residence District to Village of Lemont B-3 Arterial Commercial District. The zoning map of the Village of Lemont is hereby amended in accordance with the provisions of this Ordinance

SECTION 2: Special Use. The subject property described above is hereby permitted to house and operate a car wash Special Use in a B-3 Arterial Commercial District, pursuant to Section VIII.E.2.e. of the Lemont Zoning Ordinance.

SECTION 3: Conditions. The Special Use is subject to the following conditions:


- 1) The project shall be built substantially in conformance with a subsequently revised site plan, according to the conditions enumerated below attached as exhibit "B", the building elevations, attached as exhibit "C", and the floor plan attached as exhibit "D";
- 2) The site plan shall be modified to comply with the following standards:

- a. Perimeter landscape setbacks of a minimum of 15 feet from all residential zoning districts.
 - b. Parking lot setback of a minimum of 20 feet from the west property line.
 - c. Solid landscape screens along residential property lines.
 - d. Stormwater detention basins and/or underground detention facilities shall comply with Village of Lemont standard specifications.
 - e. A six foot wide concrete sidewalk shall be provided across the frontage of the property.
 - f. Left turn storage shall be provided within the State Street median for three to four vehicles, as recommended by the traffic study. *all access improvements must be recommended by IDOT.*
 - g. Survey of mature trees to be removed from the site, and any to be preserved.
- 3) Buffers or screens shall be installed around any rooftop mechanical equipment.
- 4) Hours of operation shall be limited to between 7:00 a.m. and 8:00 p.m. *Summer + 6:00 p.m. winter*
- 5) The building shall be constructed in substantial compliance with building elevations, including materials (brick and stone) dimensions, windows and door locations.
- 6) The property owner shall grant public utility and drainage easements around the perimeter of the lot, as required by the Village of Lemont standard specifications.
- 7) All operations shall be indoors, except car parking, queuing, and hand drying of washed vehicles.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE AND WILL, ILLINOIS, ON THIS 11TH DAY OF MARCH, 2002.

	<u>AYES</u>	<u>NAYS</u>	<u>ABSTAIN</u>	<u>ABSENT</u>
John Benik	✓			
Debby Blatzer		✓		
Peter Coules	✓			
Connie Markiewicz		✓		
Steven Rosendahl	✓			
Jeanette Virgilio		✓		
Piazza	✓			

Approved by me this 11th day of March, 2002.



 JOHN F. PIAZZA, Village President

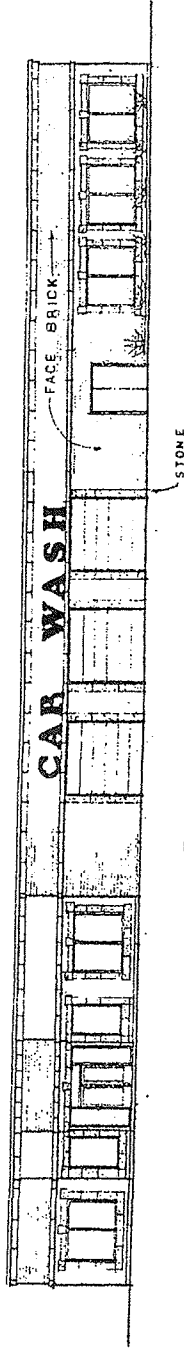
Attest:


 CHARLENE SMOLLEN, Village Clerk

EXHIBIT "A"
LEGAL DESCRIPTION

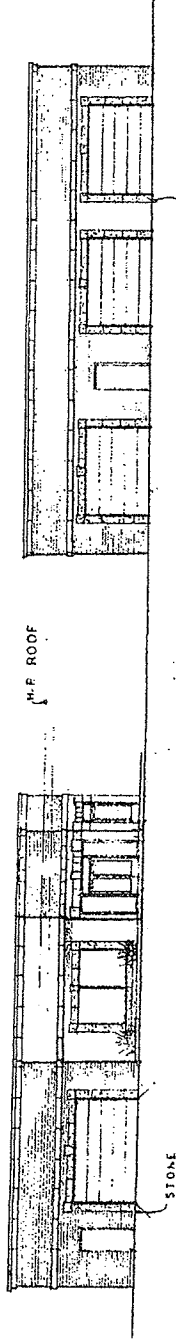
THE NORTH 290.00 FEET OF THE SOUTH 305
FEET OF THE EAST 255.50 FEET OF LOT 15 IN
COUNTY CLERK'S DIVISION IN SECTION 32,
TOWNSHIP 37 NORTH; RANGE 11, EAST OF
THE THIRD PRINCIPAL MERIDIAN, ACCORDING
TO THE PLAT THEREOF, RECORDED APRIL 30,
1880, AS DOCUMENT 269447 IN BOOK 15 OF
PLATS, PAGE 49, COOK COUNTY, ILLINOIS.
PIN NUMBER 22-32-300-051

EXHIBIT 'C'
ELEVATIONS



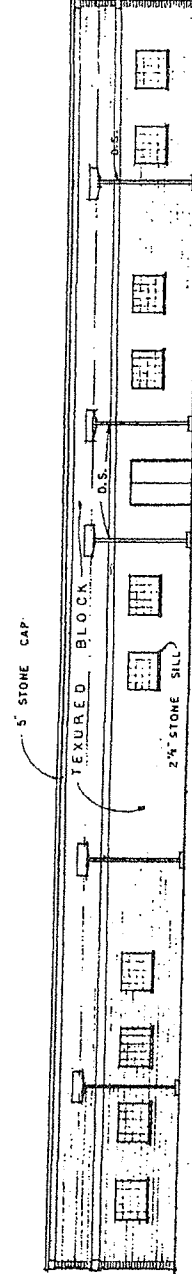
EAST ELEVATION

SCALE 1/8" = 1'-0"



SOUTH ELEVATION

NORTH ELEVATION



WEST ELEVATION

SCALE 1/8" = 1'-0"

I hereby certify that these drawings are a true and correct copy of the original drawings and to the best of my knowledge conform to the approved building code.

ALBERT A. FACELLI - ARCHITECT
A.I.A.
5667 W. 95th STREET OAK LAWN, ILLINOIS 60453

PROPOSED CAR WASH
1 FRONT, ILLINOIS

DATE
DRAWN BY
CHECKED BY
SCALE
PROJECT NO.
SHEET NO.

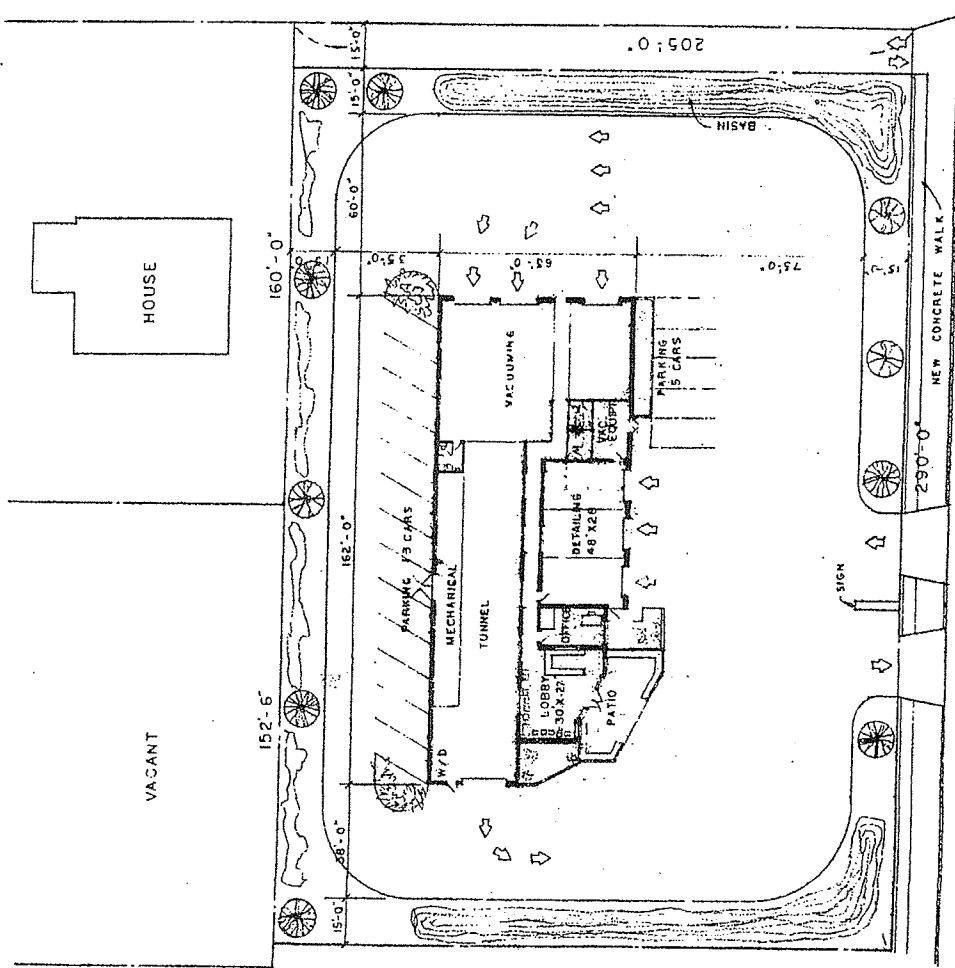
PROPOSED CAR WASH
 LEMONT, ILLINOIS

A.I.A.
 ALBERT A. PACELLI - ARCHITECT
 5667 W. 95TH STREET, OAK LAWN, ILLINOIS 60453
 (708) 424-0802
 FAX (708) 424-0060

OWNER
 ADDRESS
 CITY
 STATE
 ZIP
 DATE
 SHEET NO.

DATE 03-23-01
 BY G.A./S.O./C
 DRAWN T.C.S.
 NO. 1104-C
 SHEET 1
 TOTAL 9

EXHIBIT 'D'
 FLOOR PLAN



STATE STREET

SITE PLAN



SCALE 1" = 20'-0"

GENERAL NOTES

- GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL INSPECT THE CONSTRUCTION SITE IN ITS ENTIRETY AND NOTE ALL SITE RESTRICTIONS AND CONDITIONS.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO ORDERING, FABRICATING OR COMMENCING WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- DO NOT SCALE DRAWINGS. VERIFY DIMENSIONING - ALL WORK TO BE PERFORMED PER CITY OF CHICAGO BUILDING CODE AS OF NOVEMBER 16, 1994, AND CURRENT REVISIONS OR ADDITIONS.
- ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED IN AN APPROPRIATE MANNER.
- ALL FINISHES TO BE CLASS 1 FSR.
- ALL EXIT DOORS TO BE KEYLESS IN THE DIRECTION OF EGRESS.
- ALL STAIRS TO HAVE A MINIMUM 9" TREADS AND MAXIMUM 8" RISERS.
- SMOKE DETECTORS SHALL BE 15'-0" MAX. FROM ALL BEDROOMS.
- ALL GLASS IN DOORS TO BE TEMPERED SAFETY GLAZING.
- PROVIDE GUARDRAIL 3'-6" ABOVE FINISHED FLOOR ON INTERIOR @ WINDOWS W/ SILL LESS THAN 2'-0" ABOVE FLOOR
- FIREBLOCK FLOOR UNDER ALL PARTITIONS.
- PROTECT STAIRWELLS AND OTHER OPENINGS THROUGHOUT SITE WITH GUARD RAILS OF PROPER HEIGHT: 42" HIGH A.F.F. MIN., HAND RAILS 36" HIGH MIN. AT ALL TIMES THROUGHOUT SITE. (TYP.)

SD CD
 [Symbol] SMOKE DETECTOR [Symbol] CARBON MONOXIDE DETECTOR

GENERAL SCOPE OF WORK

- RELOCATE GARAGE DOORS
- CONVEYOR EXTEND
- ADD GATE SYSTEM
- ADD DIVIDER WALL
- ADD VACUUM AREA

NOTE:
 - NO EFFECTIVE ON EXISTING MECHANICAL PLUMBING SYSTEM.
 - USE EXISTING WATER SUPPLIER
 - NEW VACUUMS AND GATES CONNECT TO EXISTING ELECTRICAL SYSTEM
 - NO EFFECTIVE ON FIRE SPRINKLER SYSTEM

CHICAGO ENERGY CONSERVATION CODE NOTES:

- ALL RECESSED LIGHTING FIXTURES IN THE BUILDING ENVELOPE SHALL BE TYPE IC RATED AND GASKETED TO PREVENT AIR LEAKAGE INTO UNCONDITIONED SPACE.
- ALL INSULATION TO HAVE VAPOR BARRIERS (MAXIMUM PERM RATING OF 1.0) AT THE WARM-IN-WINTER SIDE OF INSULATION.
- WINDOW AND DOOR ASSEMBLIES INSTALLED IN THE BUILDING ENVELOPE SHALL COMPLY WITH THE MAXIMUM ALLOWABLE INFILTRATION RATES IN THE FOLLOWING TABLE:

TABLE 18-13-502.1.4.1.

ALLOWABLE AIR INFILTRATION RATES (A.)		
WINDOWS (CFM PER SF OF WINDOW AREA)	DOORS (CFM PER SF OF DOOR AREA)	
	SLIDERS	SWINGING
0.3 (B.C.)	0.3	0.5 (D.)

FOR SI: 1 CFM/SF²

- WHEN TESTED IN ACCORDANCE WITH ASTM E 283
 - SEE AAMA/MOMA 101/15.2
 - SEE ASTM D 4099
 - REQUIREMENT BASED ON ASSEMBLY AREA
4. EXTERIOR JOINTS, SEAMS OR PENETRATIONS IN THE BUILDING ENVELOPE, THAT ARE SOURCES OF AIR LEAKAGE, SHALL BE SEALED WITH DURABLE CAULKING MATERIALS, CLOSED WITH GASKETING SYSTEMS OR TAPED OR COVERED WITH MOISTURE VAPOR-PERMEABLE HOUSE WRAP. SEALING MATERIALS SPANNING JOINTS BETWEEN DISSIMILAR CONSTRUCTION MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION OF THE CONSTRUCTION MATERIALS. THIS INCLUDES SEALING AROUND TUBS AND SHOWERS, AT THE ATTIC AND CRAWL SPACE PANELS, AT RECESSED LIGHTS AND AROUND ALL PLUMBING AND ELECTRICAL PENETRATIONS. THESE ALSO INCLUDE ALL OPENINGS LOCATED IN AND ON THE BUILDING ENVELOPE BETWEEN CONDITIONED SPACE AND UNCONDITIONED SPACE OR BETWEEN THE CONDITIONED SPACE AND THE OUTSIDE.

5. BUILDING REQUIREMENTS ARE AS FOLLOWS:

PRESCRIPTIVE ENVELOPE REQUIREMENTS TABLE		
DESCRIPTION	ENERGY CODE REQUIREMENTS (10% WINDOW AREA)	ACTUAL
* GLAZING U-FACTOR (MAX.)	0.35	0.35
* CEILING R-VALUE	R-49	R-49
* EXTERIOR WL.	R-19	R-19
* FLOOR R-VALUE	N/A	N/A
* BASEMENT R-VALUE	R-13	R-13
* SLAB PERIMETER	N/A	N/A
* CRAWL SPACE WALL	N/A	N/A

* INSULATION CODE NOTE: VERIFY REQUIRED INSULATION R RATINGS PRIOR TO ORDERING OR INSTALLING ANY INSULATION PRODUCTS. THE CITY OF CHICAGO HAS APPROVED PERMIT SETS WITH THE NOTED R-VALUES IN THIS TABLE, HOWEVER WE CAN NOT BE RESPONSIBLE FOR ANY VARIATIONS IN R-VALUES ENFORCED BY LOCAL CODE OFFICIALS.

ROOF - REFLECTANCE 0.65 MAX.
 ROOF - EMISSIVITY 0.9 MAX.

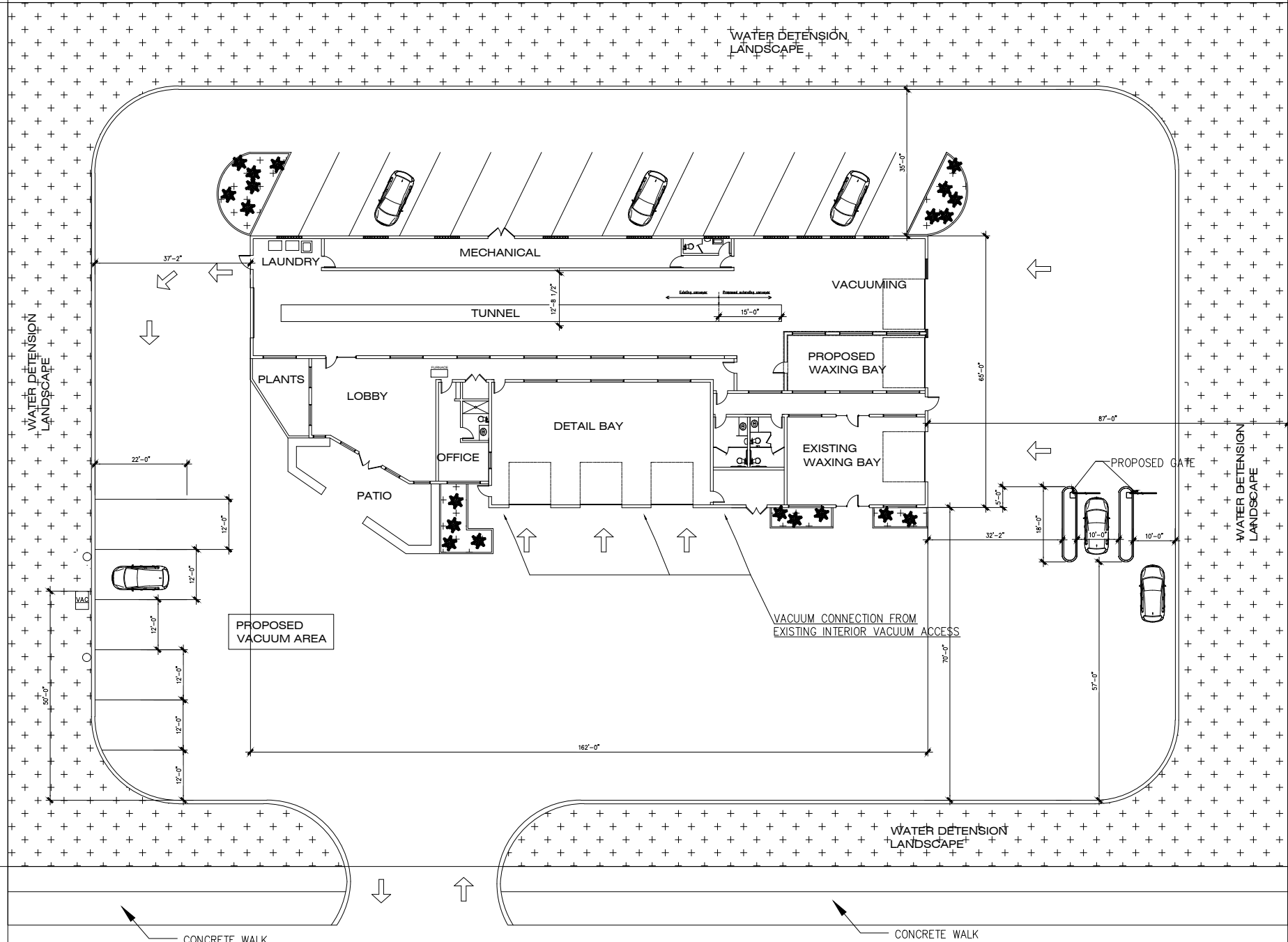
REMARKS:

- IF EXTERIOR WALL IS MODIFIED, CONTRACTOR TO INSTALL MAXIMUM "U VALUE" BATT INSULATION IN EXISTING FRAMING.
- FURNACE MIN. 78% AFUE - AIR CONDITIONER 9.7 SEER DUCT IN CONDITIONED SPACE NO DUCT INSUL REQUIRED ALL OTHER DUCT RUNS TO BE R-5 DUCT RUNS OUTSIDE OF BLDG. TO BE R-8.
- EACH HEATING OR COOLING SYSTEM SERVING A SINGLE ZONE SHALL HAVE ITS OWN TEMPERATURE CONTROL DEVICE.
- SYSTEM OR ZONE CONTROL SHALL BE PROGRAMMABLE THERMOSTAT.
- HOT WATER PIPING TO BE INSULATED AS FOLLOWS
 1" INSULATION FOR PIPES LESS THAN OR EQUAL TO 1 1/2" NOMINAL DIAMETER
 1 1/2" INSULATION FOR PIPES GREATER THAN OR EQUAL TO 1 1/2" NOMINAL DIAMETER
- OPERATION AND MAINTENANCE DOCUMENTATION ON ALL MECH. EQUIPMENT SHALL BE LEFT TO THE OWNER.
- SERVICE WATER EQUIPMENT SHALL MEET MINIMUM FEDERAL EFFICIENCY REQUIREMENTS INCLUDED IN THE NATIONAL APPLIANCE ENERGY POLICY ACT OF 1992, WHICH MEETS OR EXCEEDS ASHRAE 90.1 CODE
- WATER EQUIPMENT SHALL BE PROVIDED WITH CONTROLS THAT ALLOW THE USER TO SET THE WATER TEMPERATURE TO 110°F FOR DWELLING UNITS AND 90°F FOR OTHER OCCUPANCIES. CONTROLS SHALL LIMIT OUTPUT TEMP. OF LAVATORIES IN PUBLIC FACILITY RESORTS TO 110°F.
- THE SYSTEM SHALL SUPPLY OUTSIDE VENTILATION AIR AS REQUIRED BY CODE. THE VENTILATION SYSTEM SHALL BE CAPABLE OF REDUCING OUTDOOR-AIR FLOW TO THE MIN. REQUIRED LEVELS IF SUPPLY OUTDOOR-AIR EXCEEDS THE MIN.
- ALL JOINTS, LONGITUDINAL AND TRANSVERSE SEAMS, AND CONNECTIONS IN DUCT WORKS SHALL BE SECURELY SEALED USING WELDMENTS, MECHANICAL FASTENERS WITH SEALS, GASKETS, OR MASTICS; MESH AND MASTIC SEALING SYSTEM, OR TAPES AND MASTICS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 181A OR UL 181B
- GAS WATER HEATERS SHALL CONFORM TO 75,000 BTU/HR ENERGY FACTOR SPECIFIED BY MANUF., SHALL BE 0.82-0.0019V
- SHOWER HEADS MAX. FLOW RATE OF 2.50PM AT A PRESSURE OF 80 PSI
- HOT WATER HEATING SYSTEMS SHALL INCLUDE HEAT TRAPS ON BOTH THE INLET AND OUTLET OF THE WATER HEATER.

CAR WASH RENOVATION

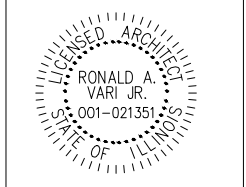
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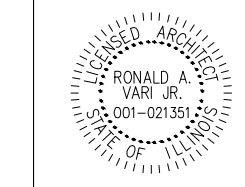
THIS IS TO CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE APPLICABLE CODES OF CHICAGO, ILLINOIS.

Ronald A. Vari Jr.
 ARCHITECT I.L. LICENSE # 001.021351
 EXPIRES NOV. 30, 2016



THIS IS TO CERTIFY THAT I AM THE REGISTERED ENERGY PROFESSIONAL FOR THIS PROJECT. I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THE ATTACHED PLANS FOR 3613 S ARTESAN AVE FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, AS OF APRIL 22, 2009, ENERGY CONSERVATION, OF THE MUNICIPAL CODE OF CHICAGO. FURTHERMORE, THE UNDERSIGNED SHALL NOT BE LIABLE FOR ANY DEFECTS OR OTHER CONDITIONS ARISING OUT OF OR RELATED TO THE COMPLIANCE BY THE UNDERSIGNED WITH THE ORDINANCE.

Ronald A. Vari Jr.
 ARCHITECT I.L. LICENSE # 001.021351
 DATE



SITE PLAN
 1/32" = 1'-0"

Date	11-17-16
Drawn By	
Job NO.	
Revisions	
SCALE	

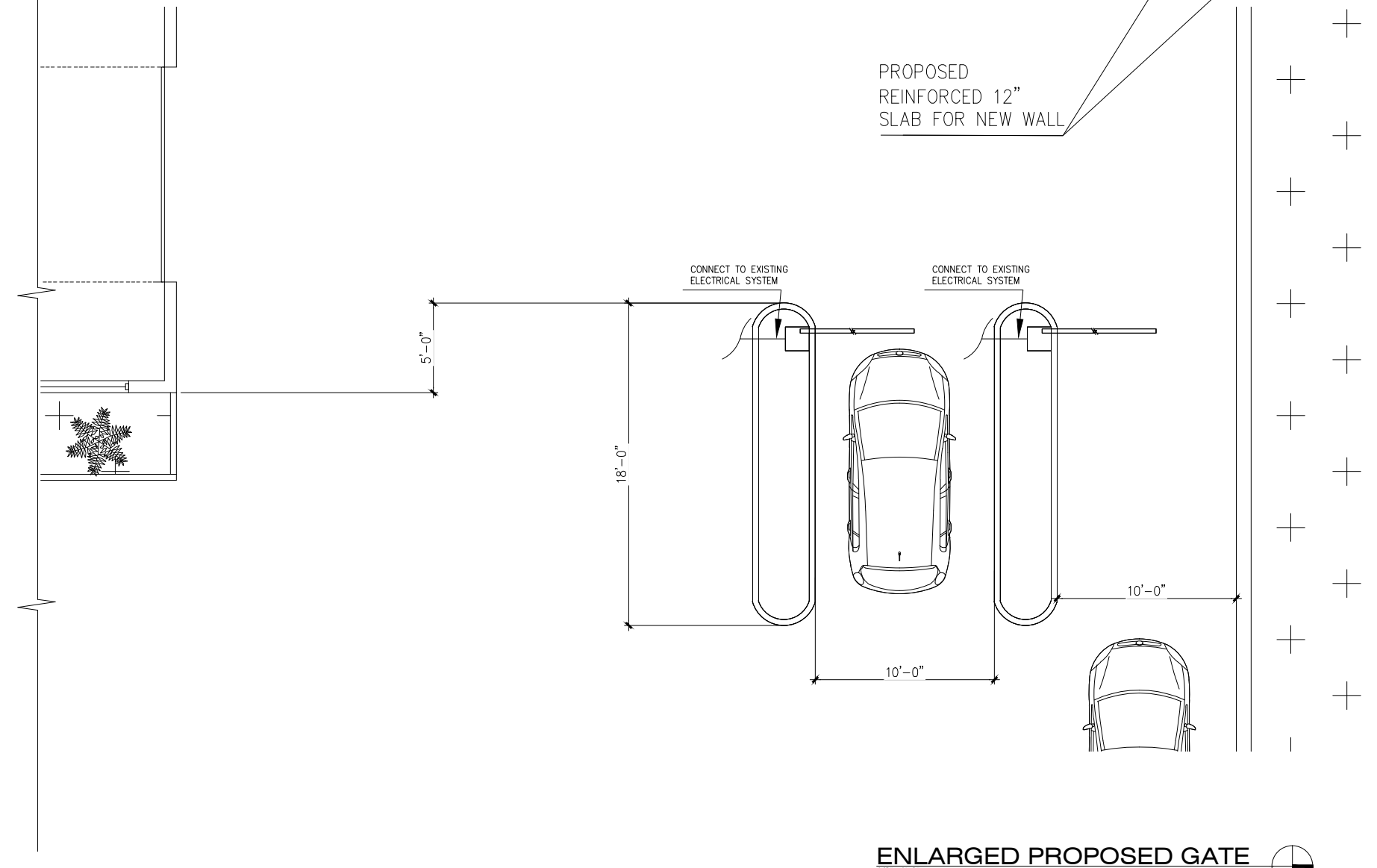
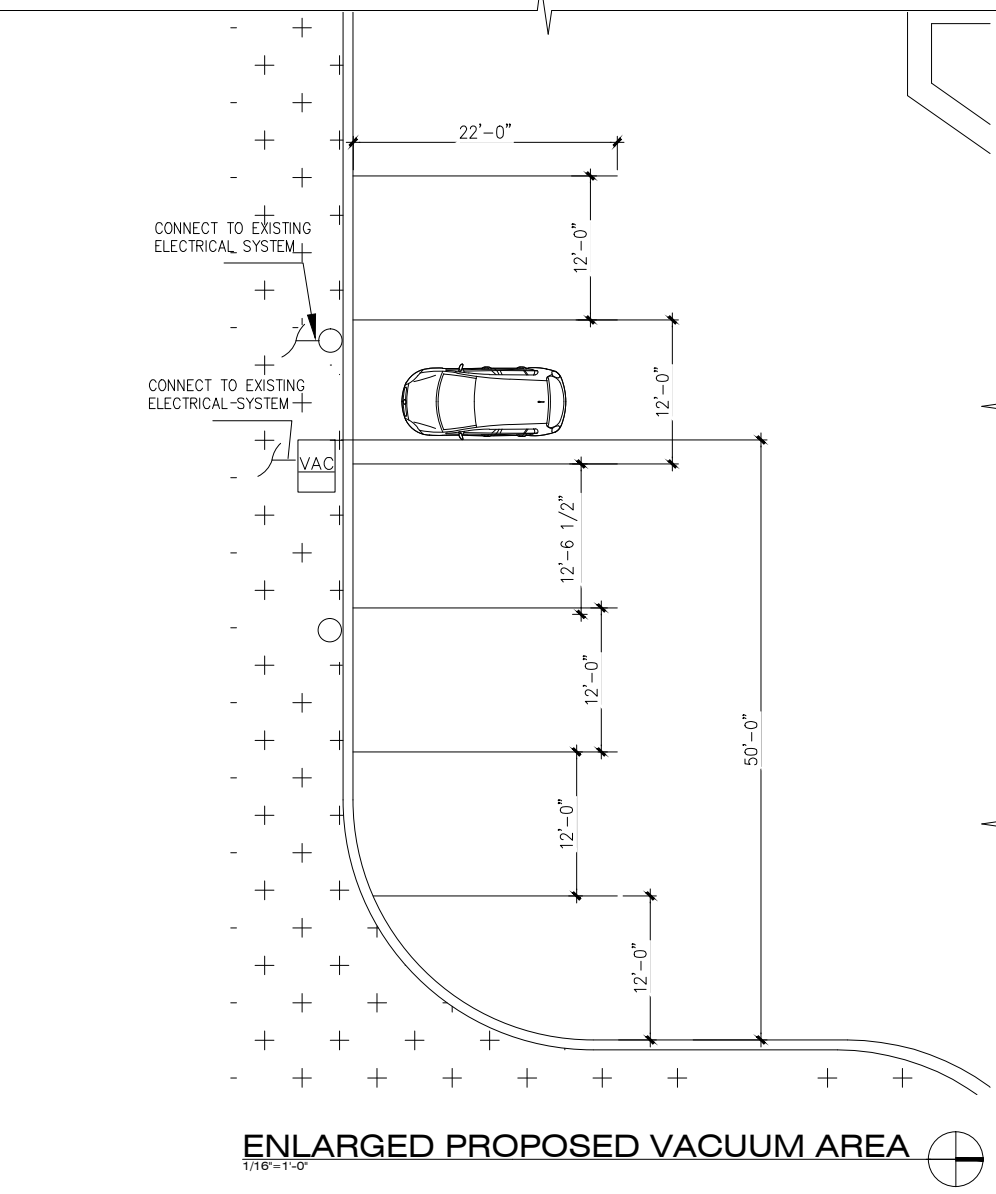
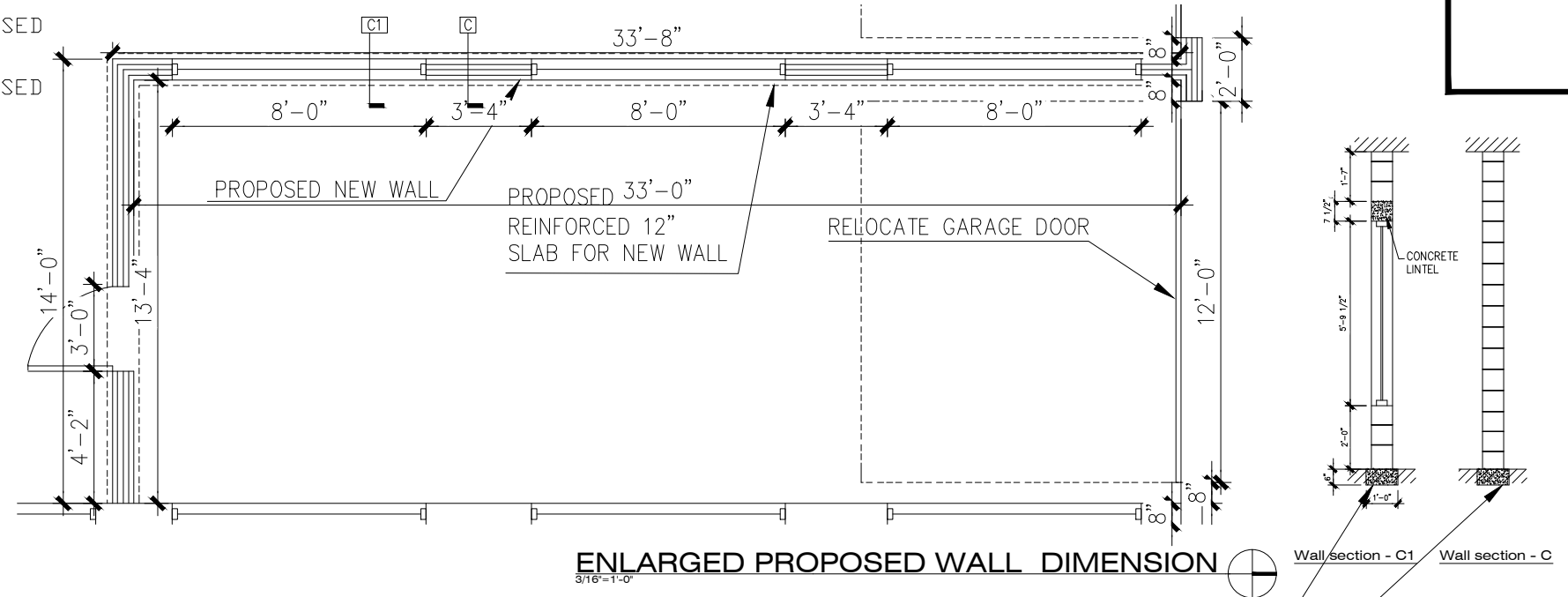
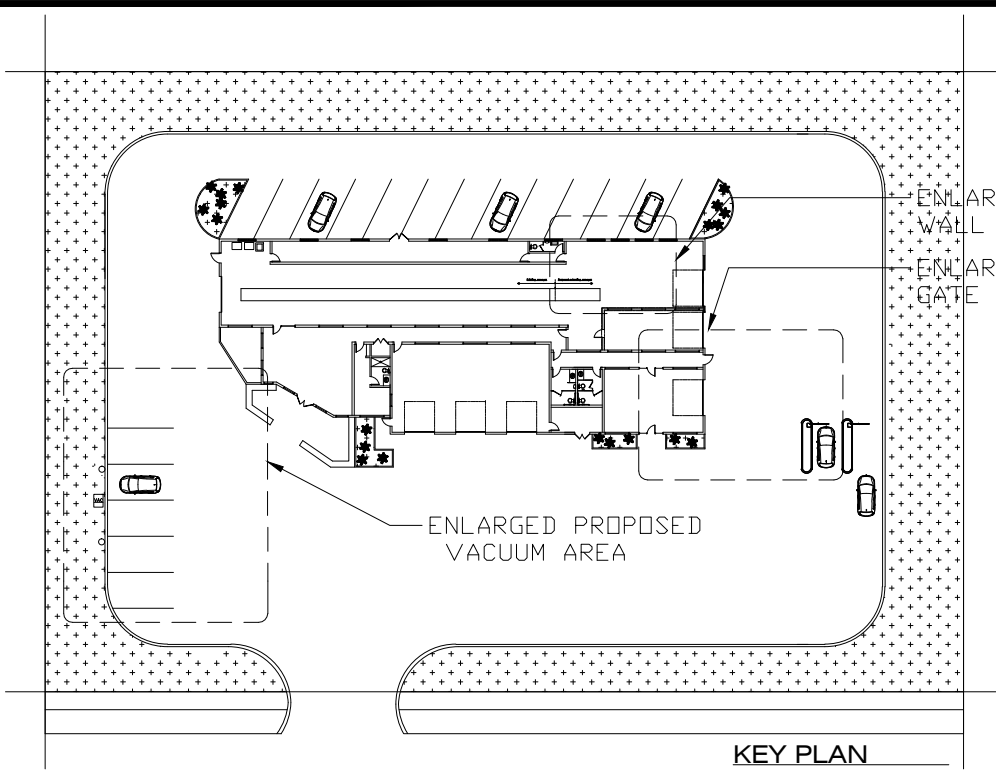
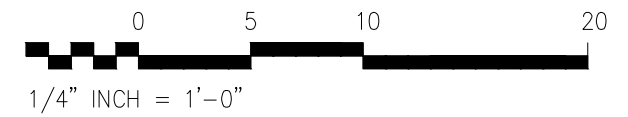
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Sheet T

WALL/PARTITION SCHEDULE			
MARK	SYMBOL	SECTION/DETAIL	DESCRIPTION
E			EXISTING WALL
C			8" CMU REINFORCED W/ DUROWALL 2 HR WALL UL #901



Date	11-17-16
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Revisions	
SCALE	

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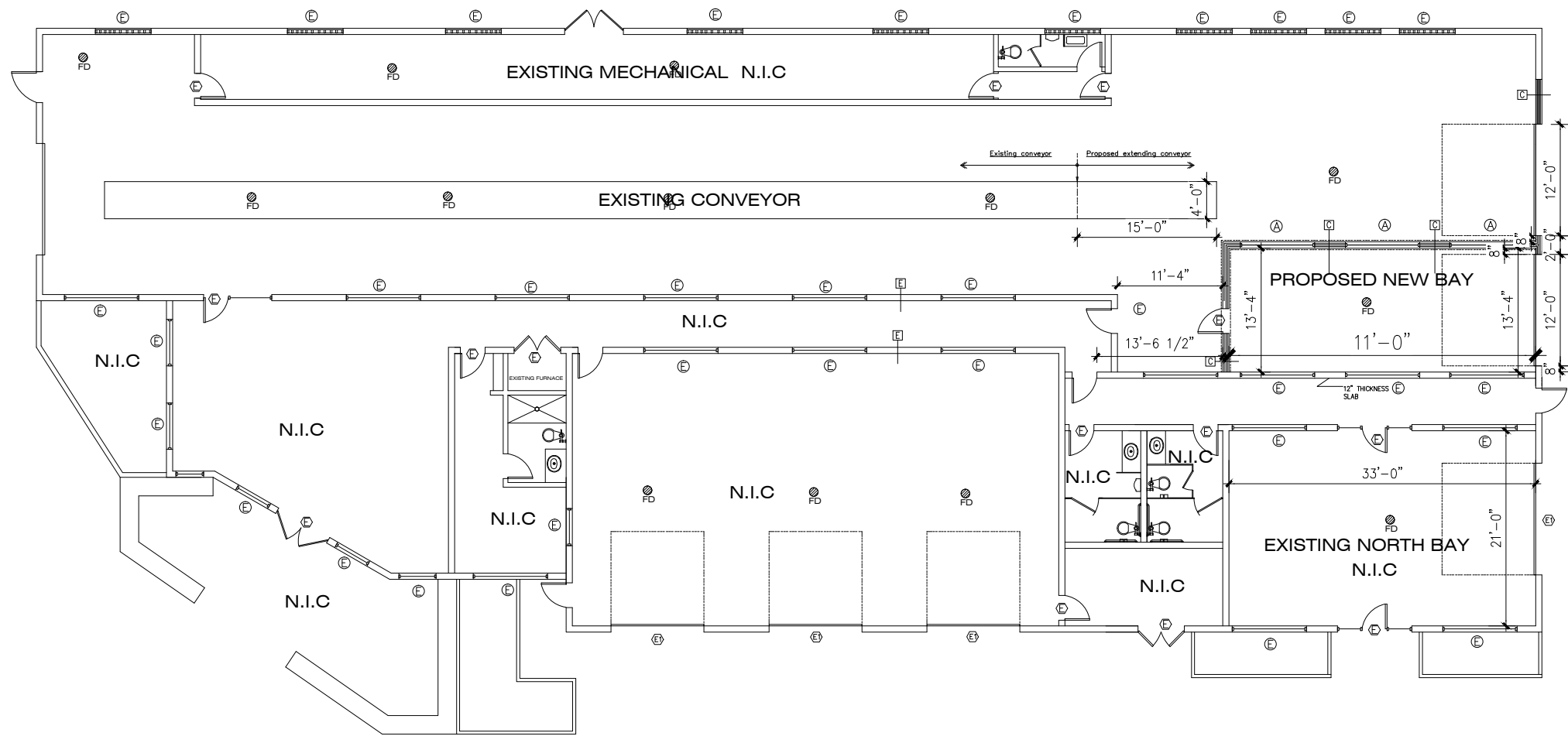
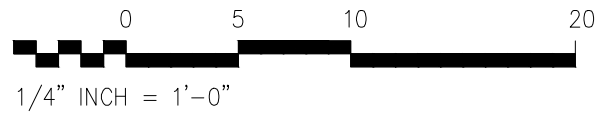
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DOOR SCHEDULE						
#	SIZE	MATERIAL	FRAME	LABEL	HARDWARE	REMARKS
E	EXISTING	WD	WD			INTERIOR
E1	EXISTING GARAGE DOOR	METAL	METAL			EXTERIOR

NOTE:
 - NO EFFECTIVE ON EXISTING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEM.
 - NO EFFECTIVE ON FIRE SPRINKLER SYSTEM

WINDOW SCHEDULE						
#	GLAZING	FRAME	FRAME SIZE	LITES	GLASS AREA	VENT. OPEN'G.
E	EXISTING	EXISTING	EXISTING	-	---	---
A	8'-0" X 8'-0"	METAL	4" X 4"	-	---	---

WALL/PARTITION SCHEDULE			
MARK	SYMBOL	SECTION/DETAIL	DESCRIPTION
E	=====		EXISTING WALL
C	=====		8" CMU REINFORCED W/ DUROWALL 2 HR WALL UL #901



PROPOSED FLOOR PLAN
 1/16"=1'-0"



Date	11-17-16
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Revisions	
SCALE	

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BLOWER DECIBEL CERTIFICATION

This is to certify that the following AutoVAC Blower(s) was measured with the following decibel levels of noise emission (+/- 2dB) in accordance with ISO 2151:2004. These ratings are taken at 15 feet from the machine with no background noise or outside interference in a 50 x 50ft interior room.

HORESPOWER	STAGE	START/RUN dB WITH VFD	START dB NO VFD	SERIAL NO	PASS/FAIL
10	3	64	84		
15	4	66	88		
20	5	66	88		
25	6	72	92		
30	7	74	92		
40	8	76	95		

Equipment Used to measure decibel levels

EQUIPMENT	MANUFACTURER	MODEL NO	SERIAL NO
Sound Level Meter	Extech Instruments	407730	9848853

Certified By: *Rishi And* Date: 12/19/16

This certificate does not claim product approval or endorsement by NVLAP, NIST or any agency of the Federal Government. If you have any further questions, please contact AutoVAC at our toll free number 888-628-8682.

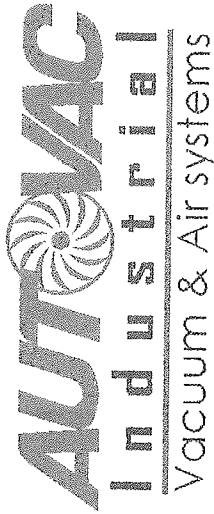


888.778.8882

AVI Decibel Reading*		Decibels	
Motor Size	Stages/Impellers	VFD Start	no VFD Start
10 HP	3	64	84
15 HP	4	66	88
20 HP	5	66	88
25 HP	6	72	92
30 HP	7	74	92
40 HP	8	76	95
15 HP Blower	n/a	74	84.7

**Ratings taken at 10 feet from motor with no background noise or outside interference.
If you have question please call the toll free number above.*

DISCLAIMER



THIS DRAWING IS THE PROPERTY OF AUTOVAC. THIS PRELIMINARY DRAWING IS NOT TO BE USED FOR CONSTRUCTION OR INSTALLATION WITHOUT THE WRITTEN CONSENT OF AUTOVAC.

VACUUM SYSTEM PIPING DESIGN NOTES:

INDOOR/OUTDOOR ABOVE GROUND PIPING:
 PIPING SYSTEM SHALL BE EITHER (1) SCHEDULE 40 SOLID CORE PVC OR ABS PLASTIC PIPE D.W.V. (DRAIN, WASTE AND VENT) FITTINGS, (2) ZINC GALVANIZED OR ALUMINUM TUBING AND FITTINGS SHALL HAVE DIRECTIONAL FLOW, (3) ZINC GALVANIZED OR ALUMINUM TUBING AND FITTINGS SHALL HAVE DIRECTIONAL FLOW, (4) ZINC GALVANIZED OR ALUMINUM TUBING AND FITTINGS SHALL BE DESIGNED SPECIFICALLY FOR CENTRAL VACUUM SYSTEMS, (5) PLASTIC PIPE SHALL BE INSTALLED IN A PROPER MANNER TO AVOID STRESSING AND FITTING CONNECTIONS SHALL BE SHRINK SLEEVE OR COMPRESSION COUPLINGS, (6) ALUMINUM PIPE/TUBING USED WITH PLASTIC FITTINGS SHALL BE PROPERLY SEALED.

IN-GROUND PIPING:
 IN-GROUND PIPING SYSTEM SHALL BE EITHER (1) SCHEDULE 40 SOLID CORE PVC OR ABS PLASTIC PIPE, WITH PLASTIC DRAIN, WASTE, AND VENT FITTINGS, (2) ZINC GALVANIZED TUBING AND FITTINGS SHALL HAVE DIRECTIONAL FLOW, (3) ZINC GALVANIZED OR ALUMINUM TUBING AND FITTINGS SHALL BE DESIGNED SPECIFICALLY FOR CENTRAL VACUUM SYSTEMS, (4) PLASTIC PIPE SHALL BE INSTALLED IN A PROPER MANNER TO AVOID STRESSING AND FITTING CONNECTIONS SHALL BE SHRINK SLEEVE OR COMPRESSION COUPLINGS, (5) PLASTIC PIPE SHALL BE INSTALLED IN A PROPER MANNER TO AVOID STRESSING AND FITTING CONNECTIONS SHALL BE SHRINK SLEEVE OR COMPRESSION COUPLINGS, (6) ALUMINUM PIPE/TUBING USED WITH PLASTIC FITTINGS SHALL BE PROPERLY SEALED.

PIPE PREPARATION:
 ALL INTERIOR SURFACES OF PIPE AND FITTINGS SHALL BE FREE OF BURRS AND OBSTRUCTIONS FOR NON-RESTRICTIVE AIR FLOW. ABS AND PVC PIPING SHALL BE CUT STEADY AND BURRS REMOVED. PIPING SHALL BE ATTACHED TOGETHER USING A PRIMER AND CEMENT (CLEAR PVC CEMENT FOR PVC AND BLACK ABS CEMENT FOR ABS) FOR 100% SEAL.

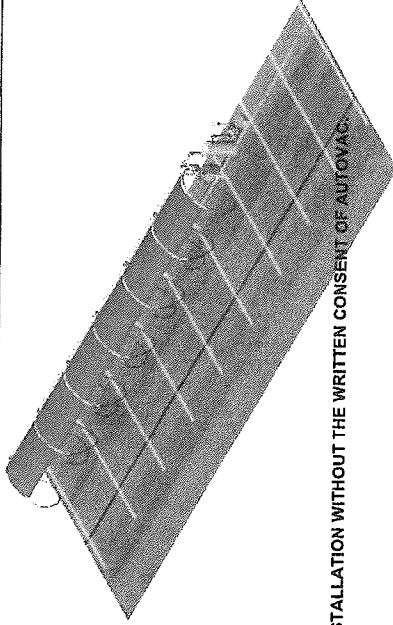
OVERHEAD PIPING SYSTEMS SHALL BE SUPPORTED WITH APPROVED PIPE HANGERS AND SHALL BE INSTALLED AT A MAXIMUM OF SIX FEET O.C. WHEN USING ABS OR PVC PIPE AND FIVE FEET O.C. WHEN USING ALUMINUM PIPE. ALL FITTINGS SUPPORTING VACUUM SYSTEMS SHALL BE SUPPORTED WITHIN ONE FOOT ON EACH SIDE OF THE FITTING CONNECTION. WHEN UTILIZING AUTOVACS VACUUM STANCHIONS AND STRUCTURES ALUMINUM PIPE SHOULD BE USED TO PREVENT PIPE SAG BETWEEN STRUCTURES.

PLASTIC PIPE WARNINGS:
 PVC PIPE WILL BECOME BRITTLE AT 40° F AND CAN CRACKSPLIT WHEN MOVING DEBRIS COLLIDES WITH IT. IT IS RECOMMENDED TO USE ZINC OR ALUMINUM TUBING FOR COLDER CONDITIONS. PVC PIPE SHALL BE PROTECTED FROM U.V. RATED AND WILL DISCOLOR AND SOFTEN CAUSING PIPE SAG WHEN EXPOSED TO DIRECT SUNLIGHT. IT IS RECOMMENDED THAT ALL EXPOSED PLASTIC PIPE AND FITTINGS BE PRIMERED AND PAINTED TO HELP PREVENT THIS. IT IS RECOMMENDED TO USE ZINC OR ALUMINUM TUBING WITH ZINC FITTINGS WHEN EXPOSED TO DIRECT SUNLIGHT.

PIPING FOR COMBUSTIBLE DUST CONVEYING SYSTEMS:
 WHEN CONVEYING COMBUSTIBLE DUST MATERIAL, THE FOLLOWING STANDARDS MAY BE REQUIRED: NFPA 684 - PROCESSING AND HANDLING OF COMBUSTIBLE PARTICULATE, NFPA 68 STANDARD ON EXPLOSION PREVENTION THROUGH DEF-AGRATION, NFPA 69 - STANDARD ON EXPLOSION PREVENTION SYSTEMS, NFPA 77 - RECOMMENDED PRACTICES FOR THE CONTROL OF STATIC ELECTRICAL DISCHARGES, NFPA 70 - NATIONAL ELECTRIC CODE. PLEASE CONSULT WITH AUTOVACS ENGINEERING DEPARTMENT IF REQUIREMENTS ARE APPLICABLE, ADDITIONAL FEES APPLY FOR EACH COMPLIANCE REQUEST.

VACUUM SYSTEM EQUIPMENT DESIGN NOTES: (IF APPLICABLE)

VACUUM PRODUCER EQUIPMENT PAD MUST BE FLAT AND LEVEL. VACUUM PRODUCER SHALL NOT BE "HARD" MOUNTED TO THE FLOOR. ISOLATOR PADS ARE TO BE USED TO PROTECT THE VACUUM PRODUCER FROM THE FLOOR. IF LOCATED IN ANY EQUIPMENT ROOM THAT IS NOT PROPERLY VENTILATED, THE PRODUCER SHALL BE PROPERLY VENTILATED. ENCLOSURE DOOR MUST BE LOUVERED AND A PROPERLY SIZED EXHAUST FAN MUST BE INSTALLED TO TURN OVER AIR EVERY 3 MINUTES. AMBIENT ROOM TEMPERATURE CANNOT EXCEED 105° F. VACUUM PRODUCER EXHAUST MUST BE EXHAUSTED OUTSIDE WITH A METALLIC PIPE NO SMALLER THAN 6". EXHAUST PIPING SHALL NOT EXCEED 25 FEET. EXHAUST PIPE OPENING SHALL BE PROTECTED FROM ELEMENTS.



ELECTRICAL REQUIREMENTS:
 ELECTRICAL COMPONENTS SHALL MEET NEC CODE REQUIREMENTS. IF UL OR NFPA REQUIREMENTS ARE TO BE MET THEN IT SHOULD BE REQUESTED IN ADVANCE. ALL CODE VERIFICATION AND INFORMATION ARE RESPONSIBILITY OF OWNER. AUTOVAC CAN SUPPLY NEEDED ITEMS TO MEET CODE REQUIREMENTS FOR A FEE. IF CODE REQUIREMENTS ARE NOT LISTED IN THIS DRAWING THEY ARE NOT A PART OF THE SCOPE.

VACUUM IQ MOTOR CONTROL CENTER (VARIABLE FREQUENCY DRIVE (VFD)):
 EACH VFD MUST BE WIRED FROM MAIN DISTRIBUTION PANEL WITH APPROPRIATE SIZED WIRE AND CONDUIT (SIZED PER CODE) BASED ON TURBINE H.P. AND VOLTAGE TO EACH VFD AND FROM EACH VFD TO MOTOR. A SEPARATE CONDUIT (SIZED PER CODE) MUST ALSO BE INSTALLED FROM MOTOR CONTROL PANEL TO VACUUM PRESSURE TRANSDUCER INSTALLED ON FILTER SEPARATOR.

VACUUM SYSTEM INSTALLATION NOTES

INSTALLATION BY OTHERS:
 AUTOVAC PROVIDES INSTALLATION AND REFERENCE DRAWINGS FOR ALL PROJECTS IN WHICH AUTOVAC SUPPLIES THE VACUUM AND PIPING SYSTEM. ALL REFERENCE TO INFORMATION CONTAINED HEREIN IS FOR REFERENCE ONLY AND SHOULD BE VERIFIED TO MEET LOCAL AND APPLICABLE CODES AND RULES. WHEN REQUESTED, AUTOVAC CAN PROVIDE INSTALLATION AND REFERENCE DRAWINGS FOR THE PROJECT. ALL REQUIREMENTS FOR THE PROJECT, SUCH AS PERMITS, CHANGES TO PIPE SIZING, LENGTH OR ROUTING WILL VOID WARRANTIES DESIGNATED BY THE PURCHASER. ANY CHANGE TO PIPE SIZING, LENGTH OR ROUTING WILL VOID WARRANTIES EXPRESSED BY AUTOVAC EITHER WRITTEN IN THIS DOCUMENT OR IN ANY OTHER DOCUMENT OR CONTRACT.

INSTALLATION BY AUTOVAC:
 INSTALLATION OF ITS EQUIPMENT AS A SEPARATE CHARGE PER CONTRACT. AUTOVAC OFFERS ITS INSTALLATION AND INSTALLATION OF THE SYSTEMS NOTED IN THE INSTALLATION DOCUMENTS. ALL COMPONENTS REQUIRING A LICENSED INDIVIDUAL TO INSTALL WILL BE INSTALLED BY OTHER ENTITIES.

VACUUM SYSTEM START UP AND COMMISSIONING:
 AUTOVAC OFFERS VACUUM COMMISSIONING AS AN OPTION FOR ITS CLIENTS. AUTOVAC CAN EITHER BE PRESENT AT THE STARTUP OR COMPLETE THE STARTUP PROCEDURES REMOTELY VIA VIDEO CONFERENCE. CERTAIN REQUIREMENTS APPLY SO PLEASE CONTACT YOUR AUTOVAC REPRESENTATIVE FOR INFORMATION.

VACUUM SYSTEM ENGINEERING, LICENSING, PERMITS AND FEES

VACUUM SYSTEM STRUCTURAL ENGINEERING:
 VACUUM SYSTEMS ALL OF ITS VACUUM SYSTEMS IN HOUSE. THIS CONSISTS OF VACUUM USAGE ANALYSIS, PIPE SIZING AND PIPE ROUTING. STRUCTURAL ENGINEERING ON ANY OF AUTOVAC PRODUCTS IS AVAILABLE AT AN ADDITIONAL CHARGE. THIS IS NOT INCLUDED IN THE QUOTED PRICE OR DOCUMENT SET UNLESS SPECIFICALLY NOTED AS "STRUCTURAL ENGINEERING". STRUCTURAL ENGINEERING IS COMPLETED BY A LICENSED STRUCTURAL ENGINEER IN THE MUNICIPALITY OF THE JOB SITE.

VACUUM SYSTEM INSTALLATION BY LICENSEE:
 AUTOVAC HOLDS A CLASS B GENERAL CONTRACTING LICENSE AND CAN INSTALL ON A CONTRACT BASIS IN 50 STATES THROUGHOUT THE US OR THROUGH APPLICABLE LICENSEE SUBCONTRACTORS. LICENSED INSTALLATION IS AN OPTION THROUGHOUT THE US. IF THROUGH APPLICABLE LICENSEE SUBCONTRACTORS, ALL INSTALLATION IS CONSIDERED THROUGH THE MANUFACTURER WHEN A LICENSEE IS USED. UNLESS OTHERWISE NOTED, ALL INSTALLATION IS CONSIDERED THROUGH THE MANUFACTURER. THE CORRECT REQUIREMENTS FOR THE INSTALLATION.

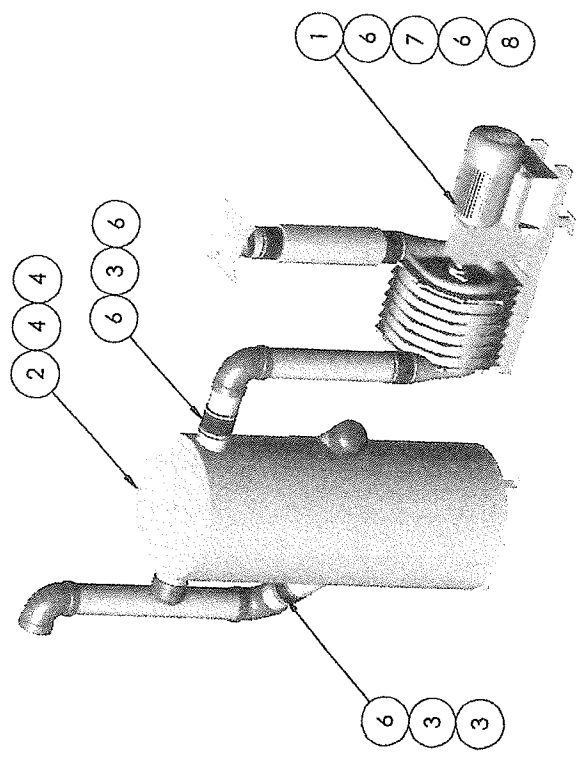
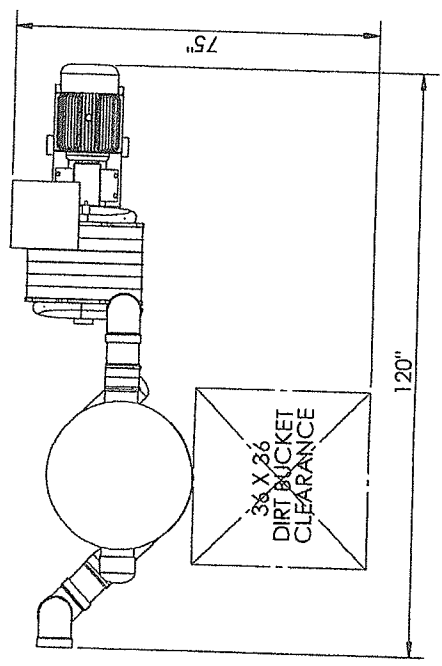
VACUUM SYSTEM INSTALLATION PERMITS AND FEES:
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AUTOVAC Industrial
 Vacuum & Air Systems
 www.autovacinc.com
 888-629-8682
 sales@autovacinc.com

PROJECT TITLE: A1 - 6 LANES	PROJECT NO.:
DRAWN BY: DM	REV.:
NAME AND DATE: CLIENT APPROVAL	SIGNATURE:
	DATE:

TEMPLATE

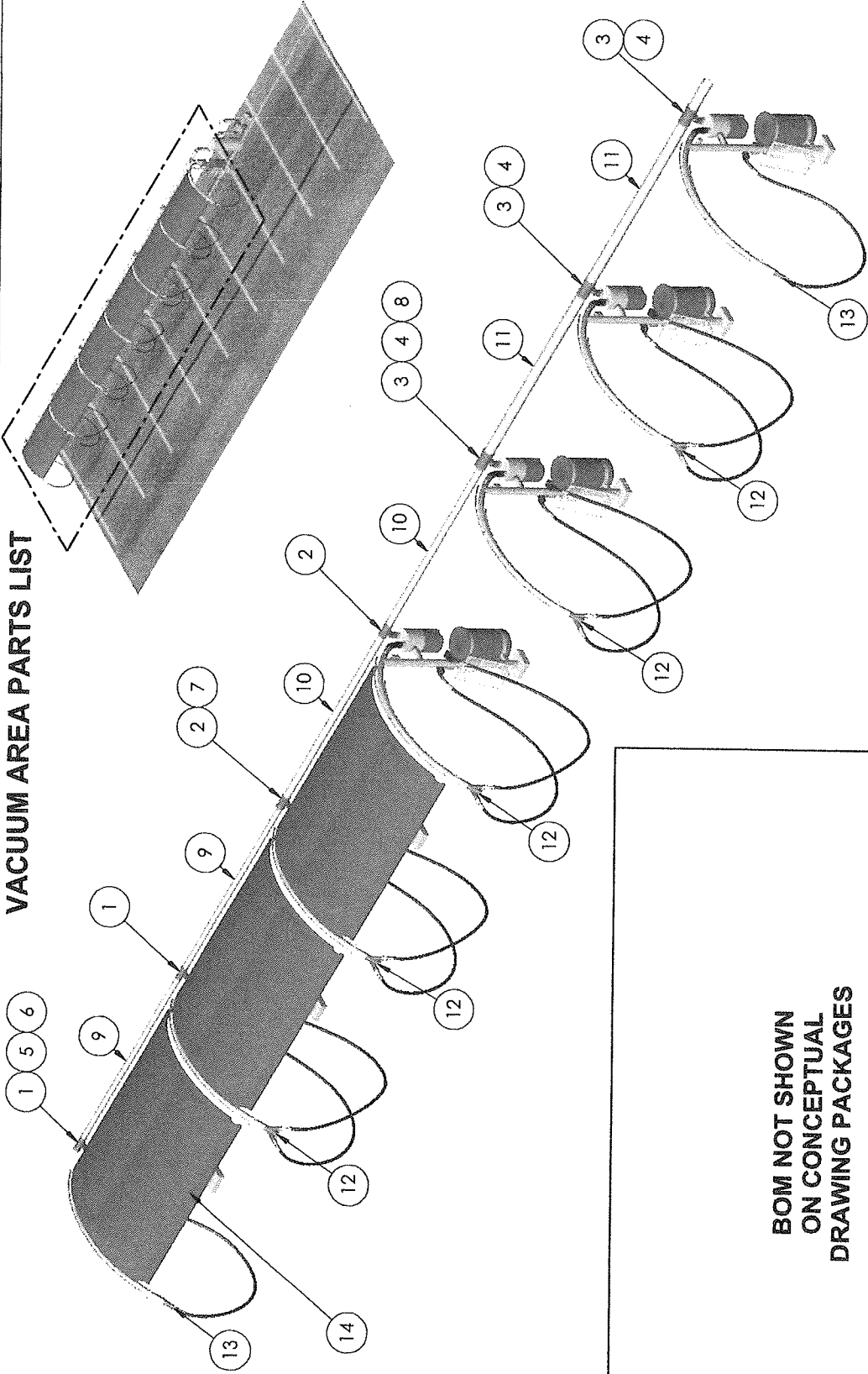
VACUUM EQUIPMENT DETAILS



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VACUUM AREA PARTS LIST

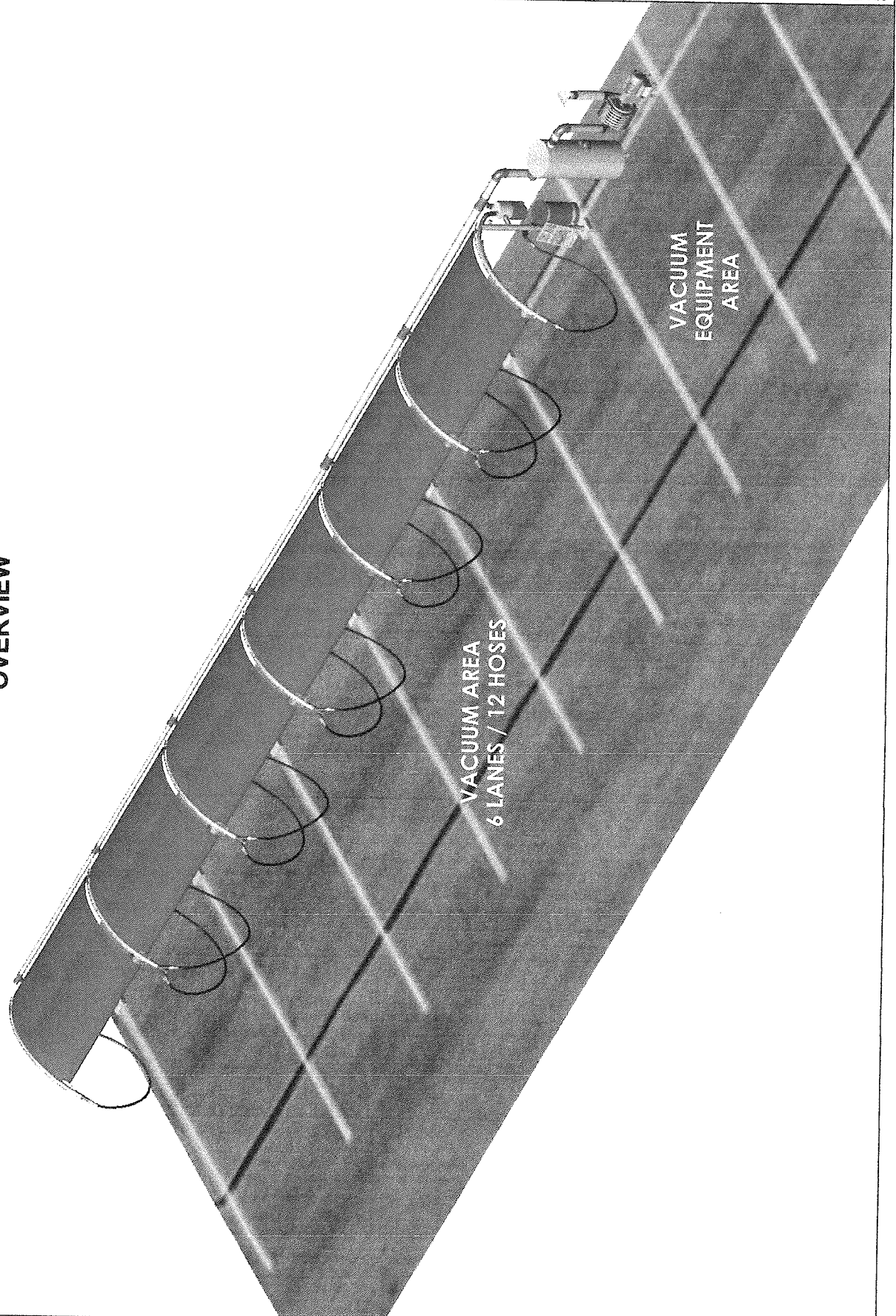


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NOTE: OTHERWISE SPECIFIED
1, THREE (3) ARE NOT SHOWN FOR CLARITY

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CLIENT APPROVAL		SIGNATURE:	
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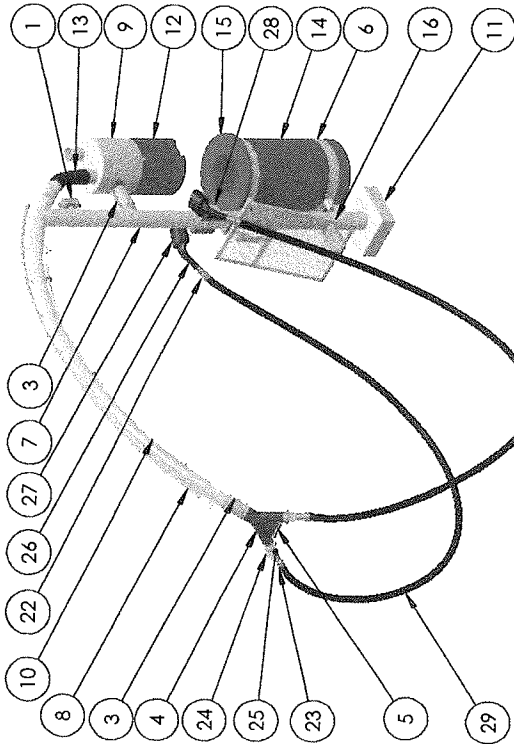
OVERVIEW



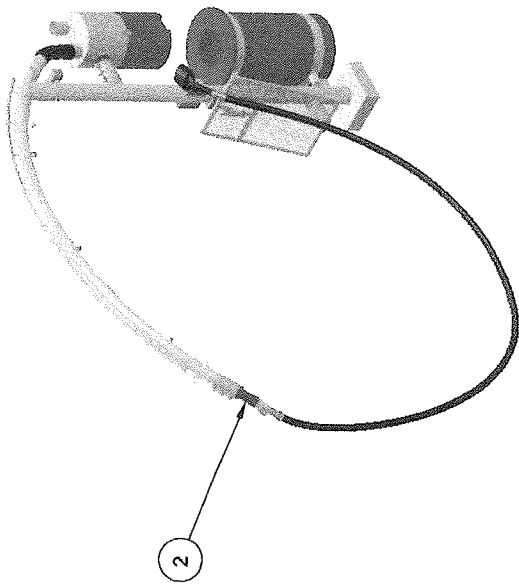
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PROJECT NO.:	TEMPLATE
DRAWN BY:	DM
NAME AND DATE:	
SIGNATURE:	
REV:	A
CLIENT APPROVAL:	

A1 ARCH - DOUBLE DROP ASSEMBLY
(5 TOTAL REQUIREMENTS)



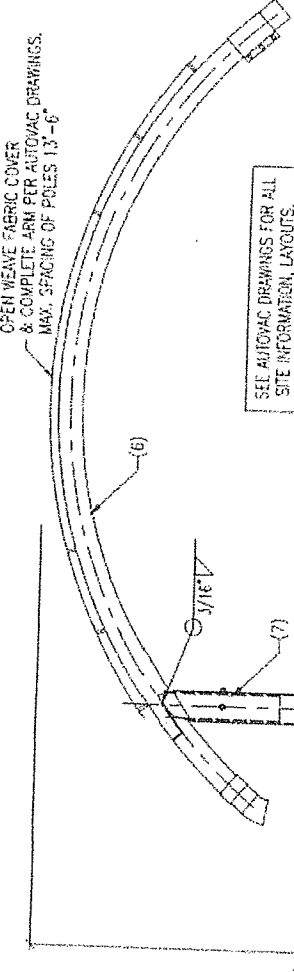
A1 ARCH - SINGLE DROP ASSEMBLY
(2 TOTAL REQUIREMENTS)



ITEM NO.	PART NUMBER	DESCRIPTION	DOUBLE	SINGLE
1	C499-0001	ARCH ELECTRICAL JUNCTION BOX Δ	1	1
2	C574-0012	ADAPTER, 3IN PIPE X 2IN FNPT	N/A	1
3	C579-0007	COMPRESSION COUPLING, 3"	2	2
4	C590-0010	WYE, DOUBLE, STEEL, 3 X 2	1	N/A
5	C592-0002	JIM CAP, 3"	1	1
6	C700-0012	TRASH CAN HOLDER ASSY, ONE PIECE (SEE COLOR SHEET FOR COLOR) Δ	2	2
7	C706-1102	ARCH STANCHION ASSEMBLY (SEE COLOR SHEET FOR COLOR) Δ	1	1
8	C706-1520	A1 ARCH - w AIRLINE & CONDUIT (SEE COLOR SHEET FOR COLOR) Δ	1	1
9	C706-3003	A1 VACUUM ARCH PRIME SEPARATOR, OVERHEAD VAC (SEE COLOR SHEET FOR COLOR) Δ	1	1
10	C706-3026	LED FIXTURE, 6 FT Δ	1	1
11	C740-1901	A1 VAC ARCH BASE PLATE COVER ASSY, ONE HALF (SEE COLOR SHEET FOR COLOR) Δ	1	1
12	C740-1938	ARCH PRIMARY SEPARATOR, BUCKET ASSY DARK BLUE Δ	1	1
13	C790-0010	A1 ARCH CYCLONIC CONNECTOR, BLACK	1	1
14	C790-0909	ARCH TRASH CAN, DARK BLUE Δ	1	1
15	C790-0918	TRASH CAN LID, DARK BLUE Δ	1	1
16	C790-0920	MAT HOLDER ASSEMBLY (SEE COLOR SHEET FOR COLOR) Δ	1	1
17	C791-9001	HARDWARE KIT, ARCH TO POST	1	1
18	C791-9003	HARDWARE KIT, MAT HOLDER Δ	1	1
19	C791-9004	HARDWARE KIT, TRASH CAN HOLDER Δ	1	1
20	C791-9005	HARDWARE KIT, BASE PLATE COVER Δ	1	1
21	C791-9022	HARDWARE KIT, NEW VACUUM NOZZLE Δ	1	1
22	C821-1005	CUFF, SWIVEL, GREY, 1 1/2" Δ	2	2
23	C821-1013	CUFF, GREY, 1 1/2" Δ	2	2
24	C821-1101	INLET VALVE ALUMINUM	2	2
25	C821-1102-1	HOSE ADAPTER ALUMINUM	2	2
26	C821-1518-4	VACUUM NOZZLE, NEW, BLACK Δ	2	2
27	C821-1519-4	VACUUM NOZZLE HOLSTER, BLACK Δ	2	2
28	C821-1602-2	VACUUM NOZZLE 'L' BRACKET (SEE COLOR SHEET FOR COLOR) Δ	2	2
29	C822-0151	VACUUM HOSE, 1 1/2, 15 FT, BLACK Δ	2	2

NOTES: UNLESS OTHERWISE SPECIFIED

Δ COLORS AND ACCESSORIES REFLECTED ARE FOR REPRESENTATION PURPOSES ONLY. REFER TO INVOICE FOR SPECIFIC REQUIREMENTS.

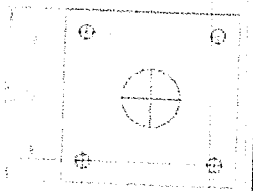


OPEN WEAVE FABRIC COVER
& COMPLETE ARM PER AUTOVAC DRAWINGS.
MAX. SPACING OF POLES 13'-6"

SEE AUTOVAC DRAWINGS FOR ALL
SITE INFORMATION, LAYOUTS,
EXACT DIMENSIONS AND ALL
VACUUM DETAILING.

NOTES:

1. HSS4.500x125" COLUMN.
2. 1/2" STEEL BASE PLATE 12"x12" WITH (4) #6 HEAVY HEX A36 BOLTS W/ 10" MIN. EMBED. USE 1" PLATE WASHERS.
3. 1/2" STEEL STIFFENER PLATES.
4. CONCRETE FOUNDATION.
5. (6) #5 VERTICALS W/ #3 CLOSED TIES @ 12" O.C. AND (2) TIES @ TOP.
6. HSS3.500x187" ARCH ARM.
7. 1/2" STEEL ROUND INSERT TO BE SANG INSIDE COLUMN. CRIMP AS REQ'D AT ARCH ARM TO ACHIEVE FULL ALL AROUND WELDING.
8. GRADE OR PAWING.



01 A1 VACUUM ARCH AND FOOTING DETAIL
N.T.S.

Notes: Unless otherwise specified

VACUUM SYSTEM ENGINEERING, LICENSING, PERMITS AND FEES
VACUUM SYSTEM STRUCTURAL ENGINEERING
AUTOVAC ENGINEERS ALL OF ITS VACUUM SYSTEMS IN HOUSE. THIS CONSISTS OF VACUUM USAGE ANALYSIS, PIPE SIZING AND PIPE ROUTING. STRUCTURAL ENGINEERING
ADDITIONAL FEE AND IS NOT INCLUDED IN THE QUOTED PRICE OF THE PROJECT UNLESS SPECIFICALLY NOTED AS STRUCTURAL ENGINEERING INCLUDED. STRUCTURAL ENGINEERING IS COMPLETED BY A LICENSED STRUCTURAL ENGINEER IN THE MUNICIPALITY OF THE JOB SITE.

GENERAL STRUCTURAL NOTES:

CODE:
INTERNATIONAL BUILDING CODE, 2012 EDITION.

LOADS:

SEISMIC: NOT CRITICAL
WIND: 115-MPH (EXP. C)
FABRIC DEAD LOAD: 1-PSF.
ROOF LIVE LOAD: 5-PSF.

FOUNDATIONS:

SEE SOILS REPORT BY: NONE, CLAYEY SILT SOIL
DESIGN SOIL BEARING CAPACITY: 1500 PSF
FOUNDINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL.

CONCRETE:

MINIMUM 28 DAY STRENGTH TO BE 2500 PSI.
MAXIMUM SLUMP: 5 IN. TYPE 6-4"
MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED.

REINFORCING:

ASTM A-615 GRADE 60 (FY=60 KSI)
CLEAR CONCRETE COVERAGE AS FOLLOWS:
CAST AGAINST EXH. 3 IN.

STRUCTURAL STEEL:

FABRICATED AND ROLLED SHAPES U.S.A. ASTM A36 (FY = 36 KSI)
ROUND HSS ASTM A500 (FY = 46 KSI)
DETAILING, FABRICATION AND CONSTRUCTION PER LATEST AISC MANUAL
FINISH PER AUTOVAC.
ANCHOR BOLTS TO BE ASTM A36 EQUAL OR F1554-36.
PIPE FLANGE BOLTS TO BE GR50 5 OR EQUAL.

WELDING:

PER LATEST AWS STANDARDS BY CERTIFIED WELDERS
USE E70 LOW HYDROGEN RODS UNLESS NOTED OTHERWISE.



888-628-8882
www.autovacinc.com
sales@autovacinc.com

CLIENT APPROVAL
DRAWN BY:
NAME AND DATE:
REV: SIGNATURE:

PROJECT TITLE:
A1 VACUUM ARCH AND FOOTING DETAIL

PROJECT NO.:
188-1000

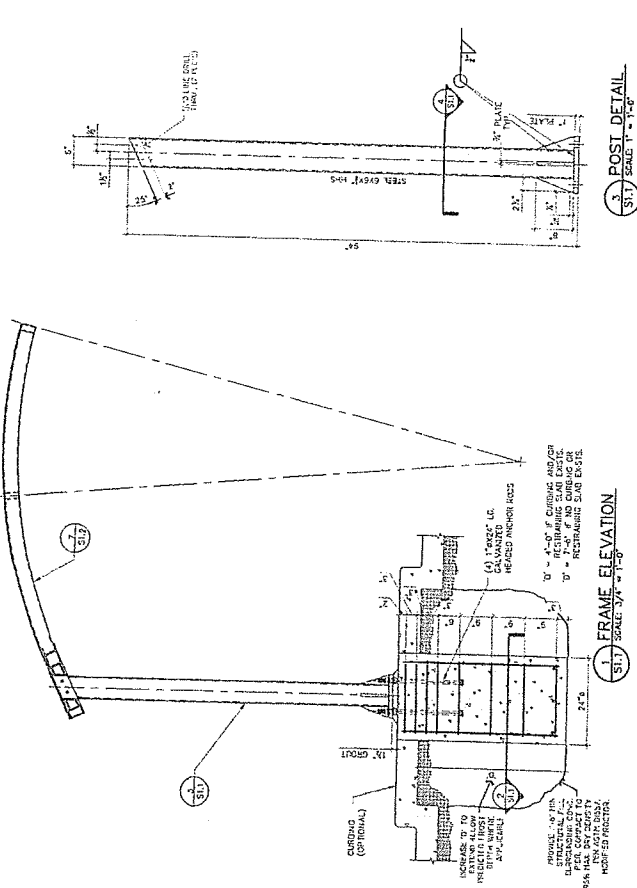
STRUCTURAL STEEL NOTES

- COMPLY WITH AISC'S "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS—ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN," SUPPLEMENT FOR STRUCTURAL JOINTS USING ASTM A 324 OR A 490 BOLTS, AND AISC D1.1 "STRUCTURAL WELDING CODE—STEEL".
 - BOLTS USED FOR THE TOP OF COLUMN CONNECTION SHALL BE 3/4" DIAMETER ANSI/AISC B18.2.1, SAE J429 STEEL, GRADE 8.
 - HOLLOW STEEL SECTIONS: ASTM A500, GRADE B, FT = 46 KSI.
 - PLATES, BARS & OTHER SHAPES: ASTM A36.
 - ANCHOR BOLTS & NUTS: ASTM F1554, GR. 36, HEADED RODS, AND WELDED RODS THAT RODS ARE FREE OF OIL AND DEBRIS PRIOR TO PLACEMENT.
 - GROUT: ASTM C 1107, NONMETALLIC, SHRINKAGE RESISTANT, PREBLENDED.
 - FABRICATE STRUCTURAL STEEL ACCORDING TO AISC SPECIFICATIONS AND TOLERANCE LIMITS OF AISC'S "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIGES" FOR STRUCTURAL STEEL.
 - SHOP PRIMER: ONE COAT OF RED OXIDE, MIN. (3) MILS THICK.
 - FIELD STRUCTURAL STEEL ACCORDING TO AISC SPECIFICATIONS AND TOLERANCE LIMITS OF AISC'S "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIGES".
 - SET BASE AND BEARING PLATES ON WEDGES, SHIMS, OR SETTING PLUSH, TIGHTEN ANCHOR BOLTS, CUT OFF WEDGES OR SHIMS BETWEEN BEARING SURFACES AND PLATES.
 - ALL WELDING SHALL BE DONE IN ACCORDANCE WITH AWS BY CERTIFIED WELDER. ALL WELDING SHALL BE ONE OF THE FOLLOWING: E7018, E7018, E7018, OR E7018.
 - BREAK ALL SHARP EDGES.
 - ALL ALUMINUM SHALL BE 6061 ALLOY.
 - THE STRUCTURE IS DESIGNED FOR LOADS IN ACCORDANCE WITH THE 2009 EDITION OF THE INTERNATIONAL BUILDING CODE AND THE 2005 EDITION OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS' "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES", ASCE-05.
 - ROOF LIVE LOAD: 25 PSF
 - WIND LOAD:
 - BASIC WIND SPEED: V = 120 MPH
 - EXPOSURE CATEGORY: I = 1
 - OCCUPANCY CATEGORY: B
 - WIND EXPOSURE: EXPOSURE B
 - INTERNAL PRESSURE COEFFICIENT GCPI = 0.0
 - FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF.

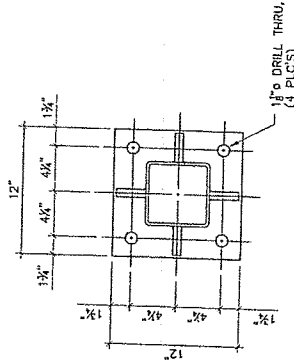
CAST-IN-PLACE CONCRETE

- CONCRETE SHALL BE ASTM C94, ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR STRUCTURAL CONCRETE"; AND AISC'S "MANUAL OF STANDARD PRACTICE".
- CONCRETE EXPOSED TO FREEZE-THAW CYCLES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI. CONCRETE THAT WILL NOT BE EXPOSED TO FREEZE-THAW CYCLES SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- REINFORCING BARS SHALL NOT BE SPLICED.
- DEFORMED REINFORCING BARS: ASTM A615, GRADE 60.
- FLY ASH: ASTM C618, TYPE F (LIMITED TO 15 PERCENT OF TOTAL CEMENT CONTENT).
- PROPORTION NORMAL-WEIGHT CONCRETE MIXES TO PROVIDE THE FOLLOWING PROPERTIES:
 - CONCRETE SHALL BE 3000 PSI AT 28 DAYS FOR BUILDING FOUNDATIONS AND FOOTINGS.
 - DO NOT ADD WATER TO CONCRETE DURING DELIVERY, AT TRANSFER TO SITE, OR DURING PLACEMENT, UNLESS APPROVED BY ENGINEER.
 - PROTECT CONCRETE FROM PHYSICAL DAMAGE OR REDUCED STRENGTH DUE TO WEATHER EXTREMES DURING MIXING, PLACING, AND CURING; REPAIR SURFACE DEFECTS AS REQ'D.
 - STRUCTURAL FILL SHALL BE CLEAN, NON-FROST SUSCEPTIBLE SAND AND GRAVEL MEETING THE GRADATION REQUIREMENTS GIVEN BELOW.

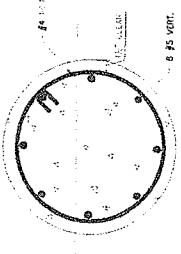
SIEVE SIZE	PERCENT FINER BY WEIGHT
4 INCH	100
3 INCH	80 TO 100
1/2 INCH	25 TO 30
#40	0 TO 10
#200	0 TO 5



3. POST DETAIL
SCALE: 1/4" = 1'-0"



4. SECTION THRU FOUNDATION
SCALE: 1/4" = 1'-0"



5. SECTION THRU BASE PLATE
SCALE: 1/4" = 1'-0"

NO.	DATE	REVISION

TSS, Inc.
11450 Stephens Rd
Warren, MI
23 PSF
CURVED CANOPY STRUCTURE -

REGISTERED ENGINEER IN
MAINE
NEW HAMPSHIRE
MASSACHUSETTS
VERMONT
NEW YORK
FLORIDA

Lincoln/Haney
Engineering Associates, Inc.
6 Federal Street
Burlington, Maine 04011
Phone: 207-729-1801 Fax: 207-250-8941

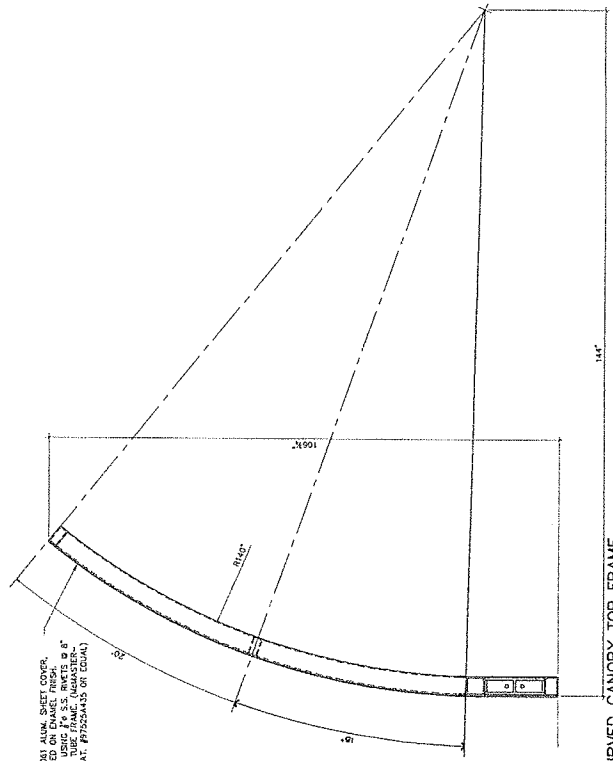
S.I.1

Lincoln/Haney
Engineering Associates, Inc.
6 Federal Street
Brunswick, Maine 04011
Phone: 207-729-1001 Fax: 207-729-2941

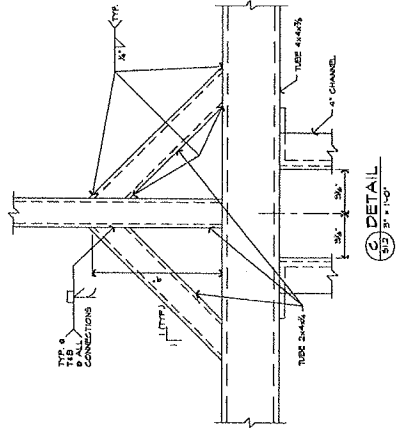
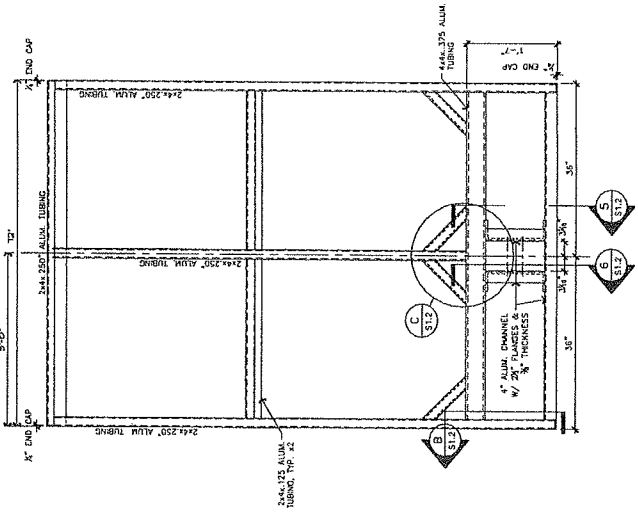
PROFESSIONAL ENGINEER
LICENSED ENGINEER IN:
MAINE
NEW HAMPSHIRE
VERMONT
MASSACHUSETTS
NEW YORK
FLORIDA

TSS, Inc.
1450 Stephens Rd
Warren, MI
KAC
1-16
KAC/CSB
25 PSF
CURVED CANOPY STRUCTURE -

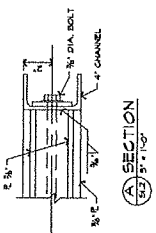
NO.	DATE	REVISION



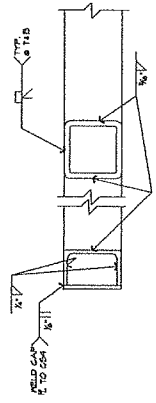
7. CURVED CANOPY TOP FRAME
SCALE: 1/8" = 1'-0"
BEST AND PRACTICE



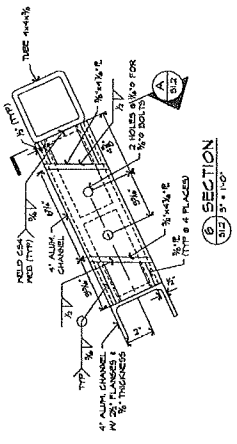
DETAIL
3/8" DIA. BOLT
4x4x125' ALUM. CHANNEL



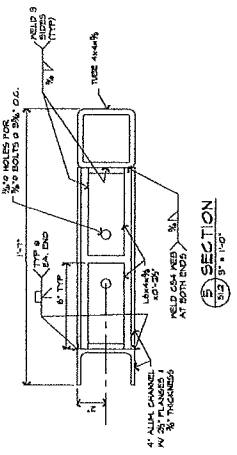
A SECTION
3/8" DIA. BOLT
4x4x125' ALUM. CHANNEL



B SECTION
3/8" DIA. BOLT
4x4x125' ALUM. CHANNEL



C SECTION
3/8" DIA. BOLT
4x4x125' ALUM. CHANNEL



D SECTION
3/8" DIA. BOLT
4x4x125' ALUM. CHANNEL

6061-T6 ALUM. SHEET COVER
W/ BASKET ON CHANNEL FRAMES
ATTACH USING 2x4 S.S. RIVETS @ 8"
ON CENTER. SEE DRAWING FOR
COVER CAT. #17525-2435 (IF EQUAL)

W/ 2x4 S.S. RIVETS @ 8" ON CENTER
ATTACH TO CHANNEL FRAMES
W/ 2x4 S.S. RIVETS @ 8" ON CENTER
W/ 2x4 S.S. RIVETS @ 8" ON CENTER

Clearance 7'2" ///

EXPRESS
cut/vault

Shade

COVER

\$10

\$7

\$35

Water

Shade

COVER

EXPRESS

cut/vault

Mon-Sat	8 am - 5 pm
Sun	8 am - 3 pm
EXTERIOR EXPRESS HOURS	
Mon-Fri	8 am - 7 pm
Sat	8 am - 6 pm
Sun	8 am - 5 pm

WASHINGTON
WATERWAYS
A TRUSTEES COMPANY
ART

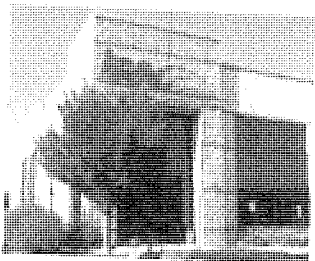
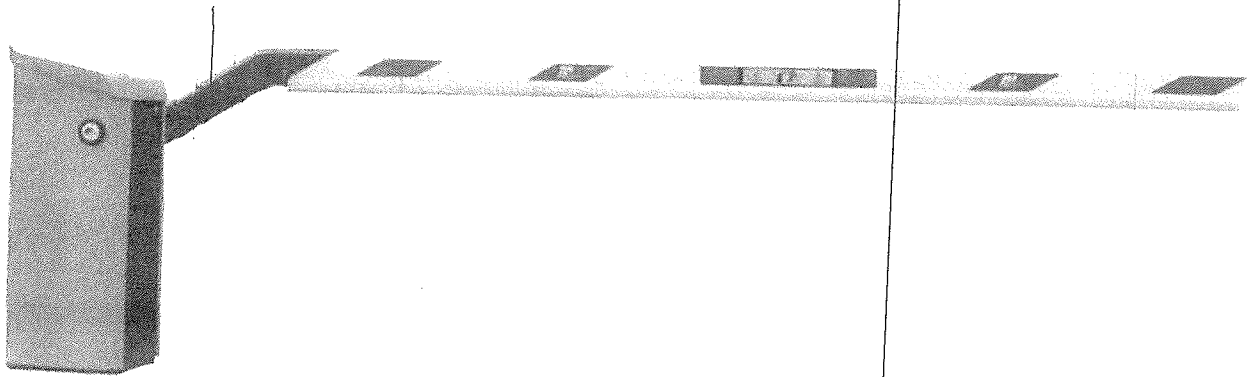
Waterdrop
TRULANDS
WATER FILTERS

PL 00
POLARIS
11
3000
DARK OCEAN



Magnetic Pro Gate

Installation Guide - Version 2.0



icsi
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Sales: 800.642.9396 | Email: sales@icscarwashsystems.com | icscarwashsystems.com

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CHAPTER 1: SITE LAYOUT

GATE DESIGN AND FUNCTION

The barrier consists of a barrier housing with drive system and a barrier arm.

The drive system consists of an electric motor, control unit, and the lever system. The lever system locks the barrier arm in both end positions. In case of a power outage, the barrier arm can easily be moved by hand. Integrated balancing springs in the lever system balance out the arm weight exactly. These balancing springs are pre-set in the factory.

Sensors integrated in the motor supply exact data on every correct position of the barrier arm and thus serve the control unit to control the best acceleration and deceleration.

The VarioBoom is an angled barrier arm that enables driving through even at an opening of only 35°.

MAGNETIC PRO GATE WIRING GUIDELINES

When running wires to and from the Magnetic Pro Gate unit, follow these guidelines:

- Run conduit and wire up through stainless-steel base into unit.
- For an existing site, use a hole saw to drill new conduit holes through stainless steel base if necessary. File and tape edges of new holes before affixing conduit.
- Use wiring ties and wire clamps inside unit to contain wires.
- All conduit runs should meet local and national codes. Conduits shall be properly connected and securely fastened to the boxes with listed conduit hubs, and should be tightened to the torque specs of the manufacturer.

CONDUIT WIRING GUIDELINES

- All conduits must be rigid PVC or metal.
- High-voltage (AC) and low-voltage (DC) must not be combined in a common conduit, junction box, or wire trough.

EQUIPMENT DIMENSIONS, MEASUREMENTS, AND RATINGS

When mounting the unit, minimum clearances must meet local codes.

Table 1: Dimensions, Measurements, and Ratings

Dimension	Amount	Notes
Width	12.4" (315)	—
Height	36.0" (915)	—
Depth	13.6" (360)	—
Boom Length	10'	—
Weight	88.2 lbs. (40)	(weight is without boom) —
Operating Temp. Range	-22° F— 131° F	—
Frequency	60 MHZ US 50 MHZ EU	—
Supply Voltage	85 - 264 V AC	Intended for permanently connected supply.
Max. Amps	1.2 AMPS for 115 V AC 2.3 AMPS for 220 V AC	— Rated for single phase.
IPX Rating	IP 54	

GROUNDING

The Magnetic Pro Gate must be properly grounded.

Recommended and Accepted Grounding Methods

Proper system grounding is an extremely important part of the system installation. Grounds for all system devices should be wired to the breaker panel ground bus bar which, in turn, should be grounded to a ground rod. A conduit ground does not provide a sufficient ground. It is recommended that the neutral and ground bus bars be bonded together when it is not prohibited by local codes.

LOOK NU CAR WASH & DETAIL CENTER



FRONT VIEW OF BUILDING



LOOK NU CAR WASH & DETAIL CENTER



N.E. CORNER VIEW - CAN NOT SEE RESIDENTS TO THE NORTH
DUE TO MATURE LANDSCAPE



N.E. CORNER VIEW FROM DRIVEWAY ON NORTH END - CAN
NOT SEE TRUCK PARKED OR CAR WASH BUILDING

LOOK NU CAR WASH & DETAIL CENTER



N.W. CORNER VIEW - CAN NOT SEE RESIDENTS BEHIND TREE LINE



LOOK NU CAR WASH & DETAIL CENTER



VIEW FROM PAY STATION AREA - WALL SIGNS WILL BE REMOVED
SMALLER VERSIONS WILL BE PLACED AT NEW PAY STATION



CURRENT ENTRY SIGN

LOOK NU CAR WASH & DETAIL CENTER



S. W. CORNER VIEW - CAN NOT SEE COMED SUB STATION, OFFICE MAX OR RESIDENCE DUE TO MATURE LANDSCAPE



S.W. CORNER VIEW FROM RESIDENTS DRIVEWAY ON SOUTH END - CAN NOT SEE RED TRUCK OR BUILDING BECAUSE OF MATURE LANDSCAPE

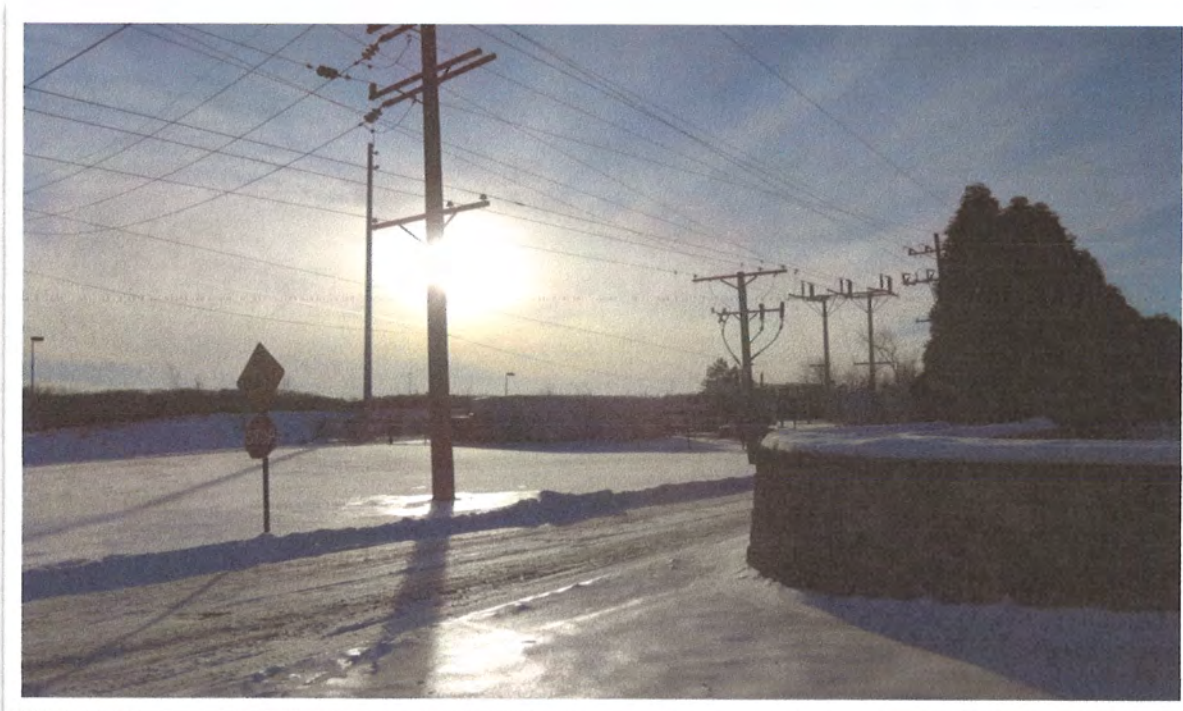
LOOK NU CAR WASH & DETAIL CENTER



STAGING WITH NEW FREE VACCUM LANES FOR CUSTOMER USE



LOOK NU CAR WASH & DETAIL CENTER



VIEW OF PROPERTIES IMMEDIATELY SOUTH

SHOPPING CENTER LOADING DOCKS AND COMED SUB STATION

LOOK NU CAR WASH & DETAIL CENTER



EXAMPLE OF VACUUM SYSTEM OF OTHER CAR WASH – STATE STREET VIEW

LOOK NU CAR WASH & DETAIL CENTER



EXAMPLE OF PAY STATION SYSTEM OF OTHER CAR WASH

