

# Part II of February 15, 2017 PZC Agenda

## Lion's Packet Pg.100-166



# Vistancia

## Model Portfolio



## PulteGroup Overview

- Among the nation's largest homebuilders with operations in approximately 50 major metro markets
- Delivered over 655,000 homes since being founded in 1950
- Diversified product offering serving all major buyer groups
- Unmatched presence in active adult market through Del Webb brand



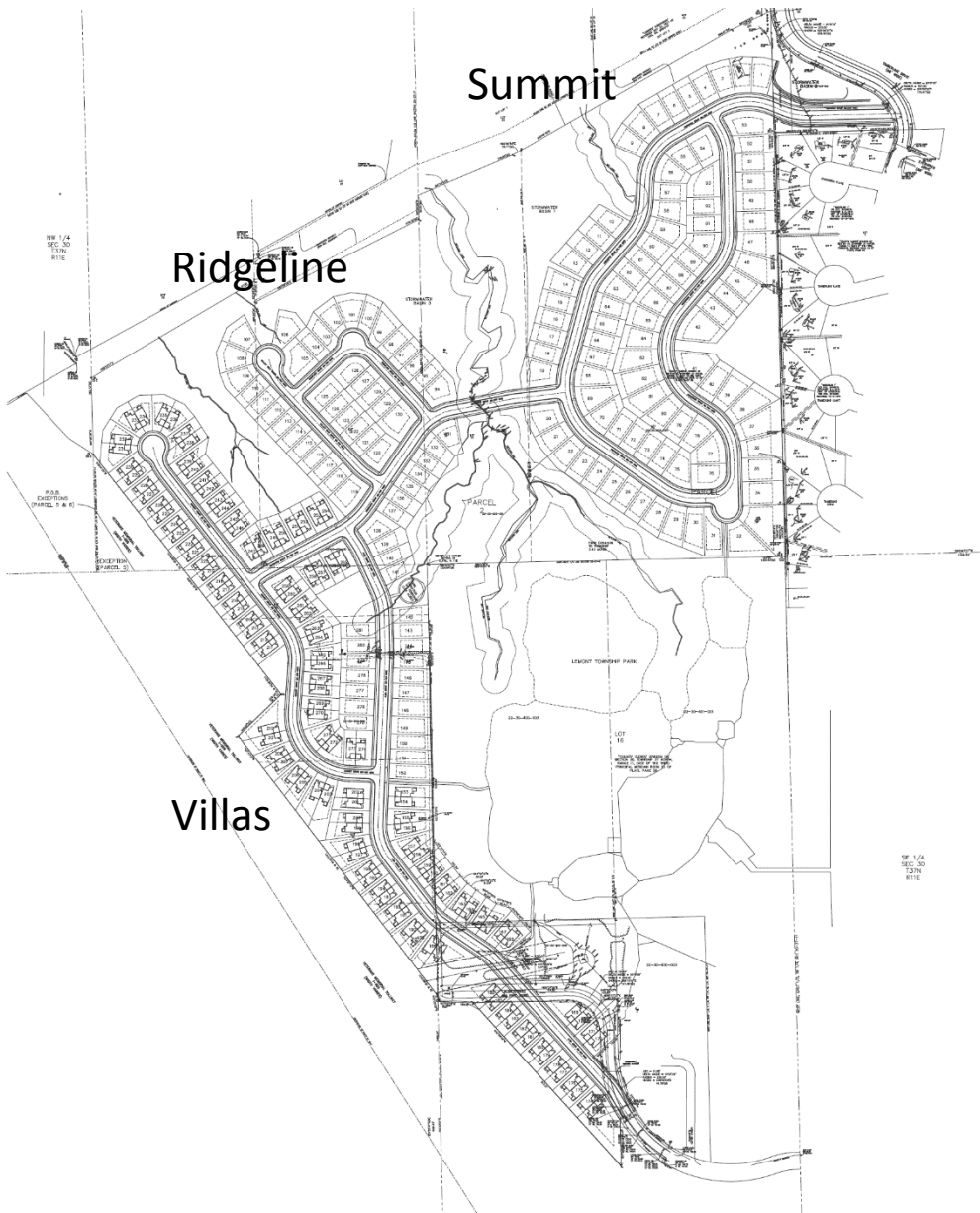
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# Vistancia – Pulte Homes

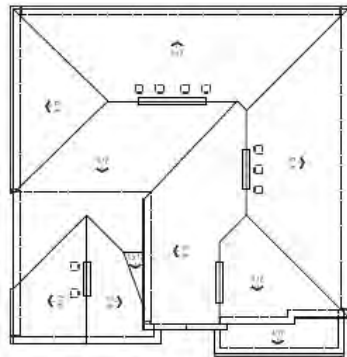
- Vistancia will consist of three neighborhoods with unique homes offered in each neighborhood.
  - “Villas at Vistancia”, a duplex community for move-down homeowners.
  - “Ridgeline at Vistancia”, a single family neighborhood for first time homeowners.
  - “Summit at Vistancia”, a single family neighborhood for move-up homeowners.

# Vistancia

A Master  
Planned  
Community of  
Beautiful  
Homes in a  
unique setting  
adjacent to  
extensive  
natural  
recreational  
resources



# Call Outs for Material Specifications (See Material Specification Matrix)



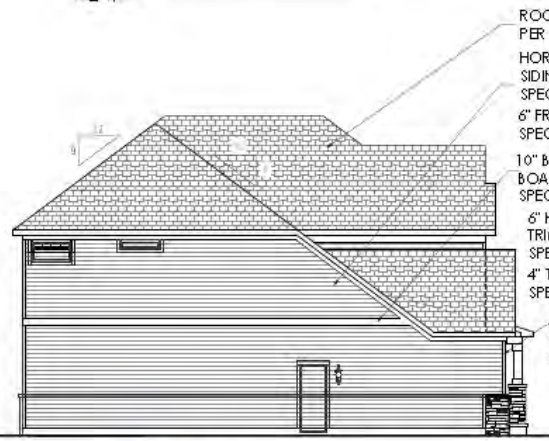
**ROOF PLAN**  
SCALE 1/4" = 1'-0"

- FYPON LV18X30 OR APPROVED EQUAL
- 8" TRIM, PER SPEC
- 6" TRIM, PER SPEC
- 4" TRIM, PER SPEC
- 4" CORNER BOARD, PER SPEC
- STONE SILL, PER SPEC
- STONE VENEER, PER SPEC



**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"

- 6" TRIM, PER SPEC
- ROOF SHINGLES, PER SPEC
- 6" RAKE BOARD, PER SPEC
- 6" FASCIA BOARD, PER SPEC
- 10" FRIEZE, PER SPEC
- SHAKE SIDING, PER SPEC
- HORIZONTAL SIDING, PER SPEC
- 10" COLUMN ON STONE BASE
- 8" TRIM, PER SPEC

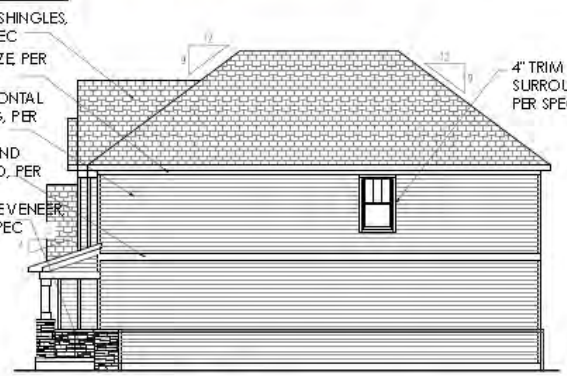


**LEFT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

- ROOF SHINGLES, PER SPEC
- HORIZONTAL SIDING, PER SPEC
- 6" FRIEZE, PER SPEC
- 10" BAND BOARD, PER SPEC
- 6" HEADER TRIM, PER SPEC
- 4" TRIM, PER SPEC
- 4" CORNER BOARD, PER SPEC



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"



- ROOF SHINGLES, PER SPEC
- 6" FRIEZE, PER SPEC
- HORIZONTAL SIDING, PER SPEC
- 10" BAND BOARD, PER SPEC
- STONE VENEER, PER SPEC

- 4" TRIM SURROUND, PER SPEC

**RIGHT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

Note: Brick and Stone elements to return 2' on side elevations and match front elevation height.

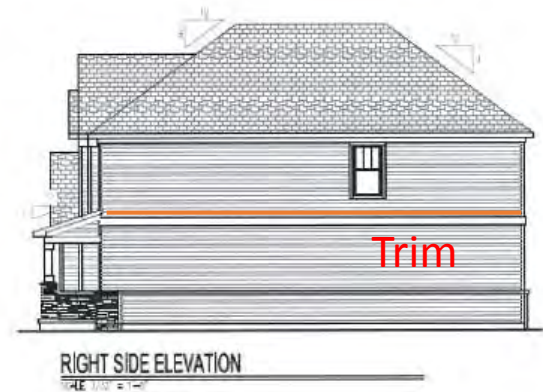
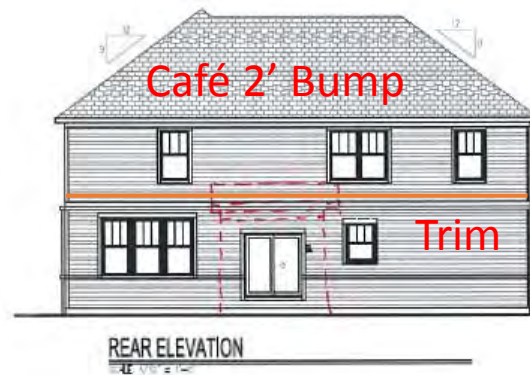
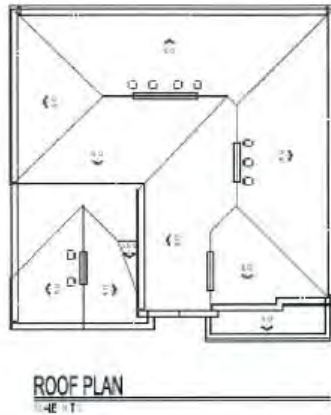
Summit at Vistancia

Lemont, IL



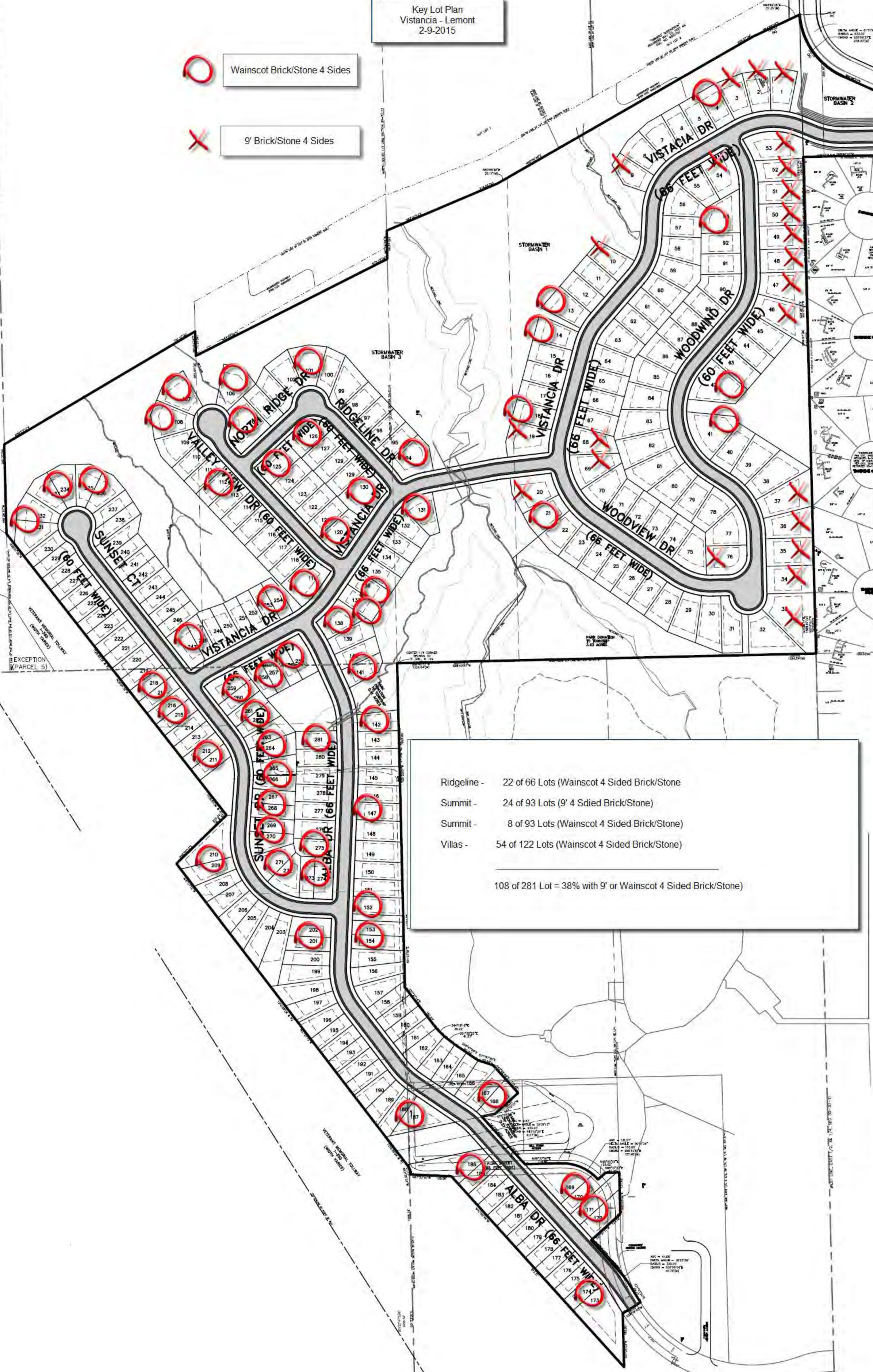
# Key Lot Features in Red – All Models

See Key Lot Map for Location of Key Lots



Key Lot Plan  
Vistancia - Lemont  
2-9-2015

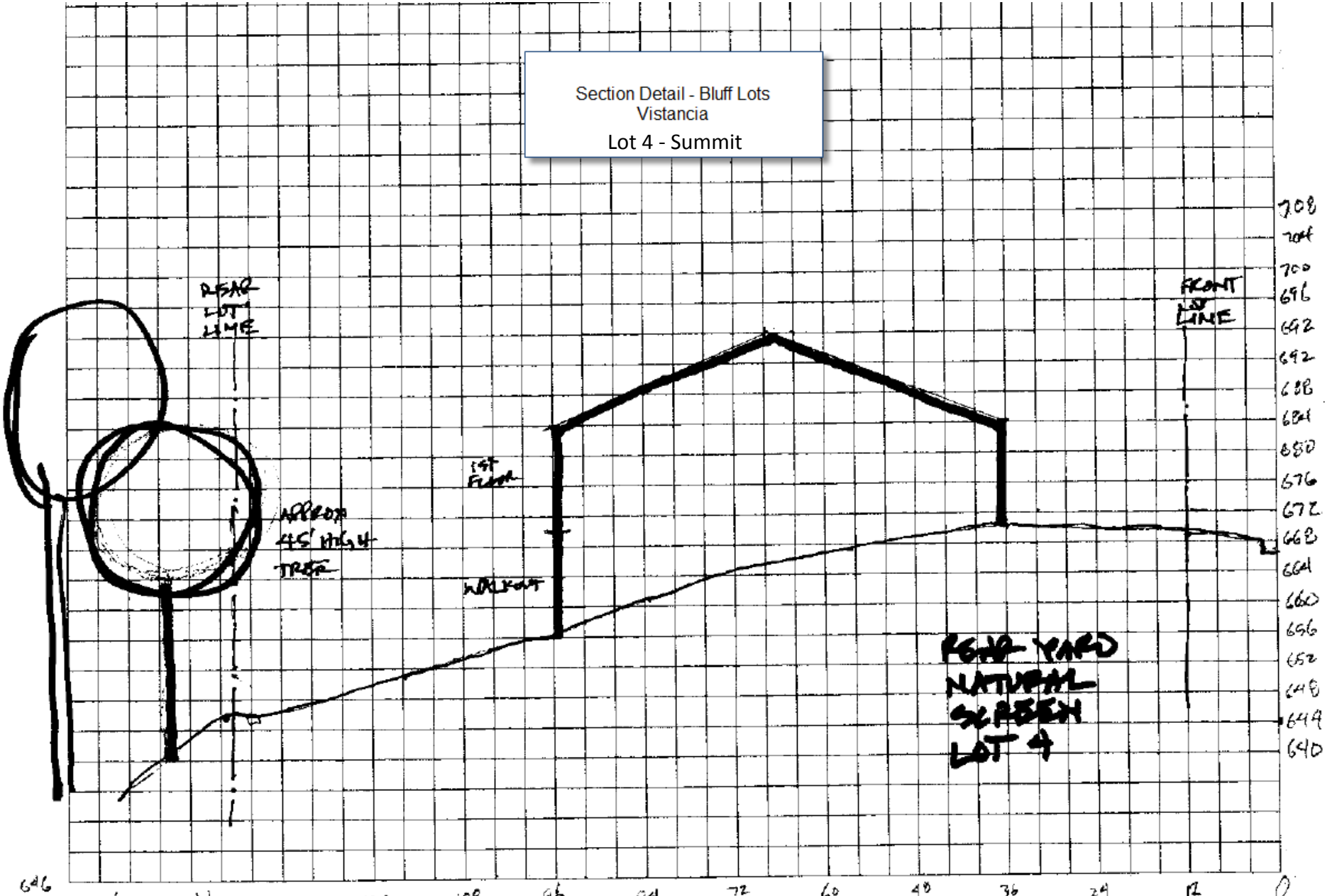
-  Wainscot Brick/Stone 4 Sides
-  9' Brick/Stone 4 Sides



Ridge Line -	22 of 66 Lots (Wainscot 4 Sided Brick/Stone)
Summit -	24 of 93 Lots (9' 4 Sided Brick/Stone)
Summit -	8 of 93 Lots (Wainscot 4 Sided Brick/Stone)
Villas -	54 of 122 Lots (Wainscot 4 Sided Brick/Stone)
108 of 281 Lot = 38% with 9' or Wainscot 4 Sided Brick/Stone)	

# Vistancia – Natural Tree Screening

Section Detail - Bluff Lots  
Vistancia  
Lot 4 - Summit





# Summit @ Vistancia

Hilltop – Elevation HR3S

Offered as Standard on designated **Key** Lots and Optional on all Remaining Summit Homes



LEFT SIDE ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION

**Note: Assumes 9' brick height**



# Summit @ Vistancia

Hilltop – Elevation HR3S

Offered as Standard on designated **Key** Lots and Optional on all Remaining Summit Homes



LEFT SIDE ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION

**Note: Assumes wainscot  
brick height**

# Ridgeline @ Vistancia

Newberry – Elevation HR3S

Offered as Standard on designated **Key** Lots and Optional on all remaining Ridgeline Homes



**Note: Assumes wainscot brick height**

# Villas @ Vistancia

Offered as Standard on designated **Key** Lots and Optional on all remaining Ridgeline Homes

Corsica | Provence



LEFT SIDE ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION

**Note: Assumes wainscot brick height**



# Vistancia - Material Specification Matrix

Refer to Supplement for Complete List

Bid Specifications	Vistancia - TCG 5 40'	Vistancia - TCG 5 48'
<b>MISCELLANEOUS</b>		
Bath Config	Owners Bath 0	Owner's Bath 3
Garage Size	2-Car	2-Car Tandem / 3-Car - NO BOLT ON AVAILABLE
<b>FOUNDATIONS (Site specific)</b>		
Foundation Type	Traditional Footing & Walls	Traditional Footing & Walls
<b>BASEMENT</b>		
Footer PSI	3000	3000
Wall PSI	3000	3000
Basement Slab PSI	3000	3000
Garage Slab PSI	4000	4000
Slab Fill Material	CA-6	CA-6
Footer Size	8" x 16" w/ keyway	8" x 16" w/ keyway
Footer Rebar	None	None
Foundation Height	7.5" x 7'-10"	7.5" x 7'-10"
Foundation Rebar	#4 Horizontal 4 Rows	#4 Horizontal 4 Rows
Soil Condition	60 PCF	60 PCF
Basement Slab	3 1/2"	3 1/2"
Garage & Porch Slab	4"	4"
Garage/Porch Wall Height	3'6"	3'6"
Garage Rebar/Mesh	Fibermesh	Fibermesh
Basement Coating	Asphalt damproof	Asphalt damproof
Egress Wells	One Standard; Option for more (Bowman-Kemp Foundation Wall Mount well)	One Standard; Option for more (Bowman-Kemp Foundation Wall Mount well)
<b>FRAMING</b>		
First Floor Plate Height	9- 0 High	9- 0 High
Second Floor Plate Height	8- 0 High	8- 0 High
Side Gable Rake Overhang	Flush	Flush
Front Accent Gable Rake Overhang	12"	12"
Horizontal Overhang	12"	12"
Interior Non-Bearing Stud	24" O.C. - 2x Single Top Plate	24" O.C. - 2x Single Top Plate
Tray Ceiling	Optional - per plan	Optional - per plan
Floor Joist System	Dimensional first floor or Engineered I Joist (11-7/8" Typical)	Dimensional first floor or Engineered I Joist (11-7/8" Typical)

# Vistancia – Garage Door Styles

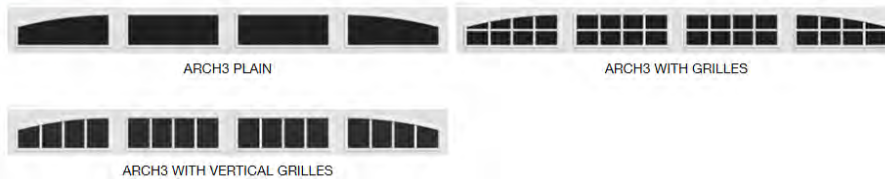
## Gallery – Double - Clopay

### DOOR DESIGNS



## Available Glazing Styles

### DOUBLE TOP SECTIONS



### DOUBLE TOP SECTIONS

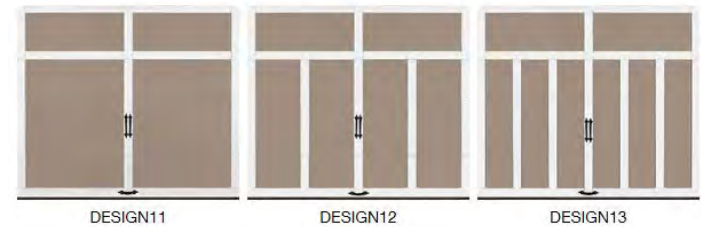


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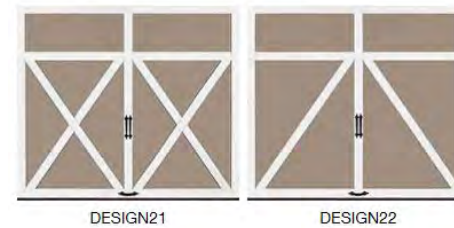
## Grand Harbor – Double - Clopay

### DOOR DESIGNS

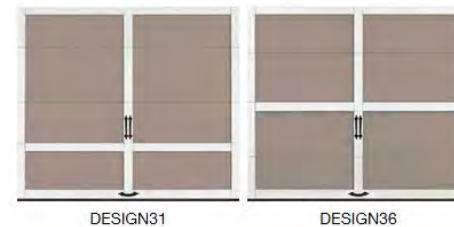
#### SERIES 1



#### SERIES 2



#### SERIES 3



# Vistancia – Exterior Colorization Grid



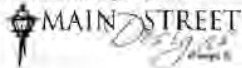
Revised: 10/24/2016

## Illinois - Exterior Color Collections LP Siding - Color Trim

Color Combinations to be Increased and Finalized as part of Final Plat/Plan Approval.

SCHEME	LP SIDING				VINYL	PAINTED PRODUCTS		ALUMINUM		STONE PRODUCT FULL STONE	STONE PRODUCT CULTURED	BRICK PRODUCT	ROOFING PRODUCT
	HORIZONTAL	BOARD & BATTEN	SHAKE	TRIM (SHUTTS, LINEN, FREEZE, EXT. DOOR)	VINYL SHUTTERS	ENTRY DOORS	GARAGE DOORS & PAINTED TRIM	GUTTERS/TRIM (Fascia, Freeze)		ARRIS CRAFT	CORONADO	BRICK CRAFT	TAMKO
					MIL AMERICAN	SHERWIN WILLIAMS	SHERWIN						
4001	Pumice PM138	Country Green PM216	Country Green PM216	SW7014 - B							Tuscan Villa / Country Ruble / Appalachian Travertine		3 Tab (29 y)
4002	Buckeye PM212	Camouflage PM212	Camouflage PM212	SW7014 - B							Tuscan Villa / Country Ruble / Appalachian Travertine		
4003	Pumice PM138	Sand Castle PM210	Sand Castle PM210	SW7014 - B							Tuscan Villa / Country Ruble / Appalachian Travertine		
4004	Outside White	Mineral Gray PM119	Mineral Gray PM119	SW7008 - T							Tuscan Villa / Country Ruble / Appalachian Travertine		
4005	Pumice PM138	Acorn PM314	Acorn PM314	SW7014 - B							Tuscan Villa / Country Ruble / Appalachian Travertine		
4006	Pumice PM138	Outside White	Outside White	SW7047 - I							Tuscan Villa / Country Ruble / Appalachian Travertine		
4007	Buckeye PM212	Acorn PM314	Acorn PM314	SW7014 - B							Tuscan Villa / Country Ruble / Appalachian Travertine		
4008	Sandstone	Pumice PM138	Pumice PM138	SW6076 - Tur							Tuscan Villa / Country Ruble / Appalachian Travertine		
4009	Colonial Gray PM211	Windy Gray PM102	Blue Iron PM130	SW7006 - B							Tuscan Villa / Country Ruble / Appalachian Travertine		
4010	Pumice PM138	Country Green PM216	Country Green PM216	SW7006 - B							Tuscan Villa / Country Ruble / Appalachian Travertine		
4011	Sand Castle PM210	Pumice PM138	Pumice PM138	SW7014 - B							Tuscan Villa / Country Ruble / Appalachian Travertine		
4012	Pumice PM138	Sandstone	Sandstone	SW6076 - Tur							Tuscan Villa / Country Ruble / Appalachian Travertine		
4013	Pumice PM138	Port Wine PM413	Port Wine PM413	SW7047 - Porpoise	Tuxedo Gray D18	SW6285 - Folkstone	SW7047 - Porpoise	Terracotta Bronze / Terra Bronze / Terracotta	Claslet Building Stone 3 Unit Montana Sand	Country Ruble Dakota Brown	Chicago Heritage	Rustic Hickory	
4014	Pumice PM138	Acorn PM314	Acorn PM314	SW7014 - Bider White	Minty Green T22	SW6074 - Arlon	SW7014 - Bider White	Natural Linen / Linen / Heritage Linen	Shed Stone Jasper	Tuscan Villa Romano	Cedar Creek	Weathered Wood	
4015	Sandstone	Sand Castle PM210	Sand Castle PM210	SW7008 - Tony Taupe	Black D02	SW6285 - Ticom Black	SW7008 - Tony Taupe	Tuscan Gray / Jefferson Tan / Stone Gray	Claslet Building Stone 3 Unit Montana Sand	Tuscan Villa Coastal Brown	Country Road	Weathered Wood	
4016	Windy Gray PM102	Outside White	Outside White	SW7006 - Bider White	Black D02	SW6285 - Ticom Black	SW7006 - Bider White	White / 30 Degree White / Liberty White	Claslet Building Stone 3 Unit Albion	Country Ruble Newport Gray	Country Road	Oxford Gray	
4017	Pumice PM138	Outside White	Outside White	SW7047 - Porpoise	Black D02	SW6285 - Ticom Black	SW7047 - Porpoise	Terracotta Bronze / Terra Bronze / Terracotta	Claslet Building Stone 3 Unit Montana Sand	Tuscan Villa Coastal Brown	Cedar Creek	Weathered Wood	
4018	Pumice PM138	Colonial Gray PM211	Colonial Gray PM211	SW7014 - Bider White	Black D02	SW6285 - Ticom Black	SW7014 - Bider White	Natural Linen / Linen / Heritage Linen	Shed Stone Jasper	Country Ruble Newport Gray	Country Road	Weathered Wood	
4019	Blue Iron PM130	Windy Gray PM102	Windy Gray PM102	SW7006 - Bider White	Black D02	SW6285 - Ticom Black	SW7006 - Bider White	White / 30 Degree White / Liberty White	Claslet Building Stone 3 Unit French Country	Country Ruble Newport Gray	Country Road	Oxford Gray	
4020	Camouflage PM212	Sandstone	Sandstone	SW7006 - Bider White	Black D02	SW6285 - Ticom Black	SW7006 - Bider White	White / 30 Degree White / Liberty White	Big Rock Oakwood	Country Ruble Dakota Brown	Sandstone	Weathered Wood	
4021	Buckeye PM212	Camouflage PM212	Camouflage PM212	SW7014 - Bider White	Black D02	SW6285 - Ticom Black	SW7014 - Bider White	Natural Linen / Linen / Heritage Linen	Claslet Building Stone 3 Unit Montana Sand	Country Ruble Dakota Brown	Campsite	Weathered Wood	
4022	Pumice PM138	Country Green PM216	Country Green PM216	SW7006 - Bider White	Musket Brown D10	SW6076 - Turkish Corbe	SW7006 - Bider White	White / 30 Degree White / Liberty White	Claslet Building Stone 3 Unit Montana Sand	Country Ruble Dakota Brown	Campsite	Weathered Wood	
4023	Pumice PM138	Sandstone	Sandstone	SW6076 - Turkish Corbe	Federal Brown D08	SW6076 - Turkish Corbe	SW6076 - Turkish Corbe	Musket Brown / Musket Brown / Musket Brown	Claslet Building Stone 3 Unit Oakwood	Country Ruble Dakota Brown	Campsite	Rustic Hickory	
4024	Camouflage PM212	Sandstone	Sandstone	SW7006 - Bider White	Black D02	SW6285 - Ticom Black	SW7006 - Bider White	White / 30 Degree White / Liberty White	Big Rock Oakwood	Country Ruble Dakota Brown	Campsite	Weathered Wood	
4025	Pumice PM138	Sand Castle PM210	Sand Castle PM210	SW7014 - Bider White	Musket Brown D10	SW6076 - Turkish Corbe	SW7014 - Bider White	Natural Linen / Linen / Heritage Linen	Claslet Building Stone 3 Unit Albion	Country Ruble Coastal Brown	Weathered Wood	Weathered Wood	
4026	Sandstone	Pumice PM138	Pumice PM138	SW6076 - Turkish Corbe	Federal Brown D08	SW6076 - Turkish Corbe	SW6076 - Turkish Corbe	Musket Brown / Musket Brown / Musket Brown	Shed Stone Jasper	Country Ruble Coastal Brown	Weathered Wood	Weathered Wood	
4027	Sandstone	Sand Castle PM210	Sand Castle PM210	SW7008 - Tony Taupe	Black D02	SW6285 - Ticom Black	SW7008 - Tony Taupe	Tuscan Gray / Jefferson Tan / Stone Gray	Claslet Building Stone 3 Unit Montana Sand	Tuscan Villa Coastal Brown	Rustic Hickory	Weathered Wood	
4028	Pumice PM138	Outside White	Outside White	SW7047 - Porpoise	Black D02	SW6285 - Ticom Black	SW7047 - Porpoise	Terracotta Bronze / Terra Bronze / Terracotta	Claslet Building Stone 3 Unit Montana Sand	Tuscan Villa Coastal Brown	Rustic Hickory	Weathered Wood	

Color Selections by:  
www.MainStreetDesignsLLC.com



1/26/2017

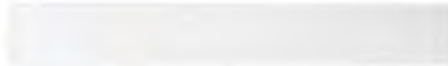


Final Color Combinations to be Approved with Final Plan/Plat. Representative Siding Colors Shown

# Vistancia – LP Siding Colors



LP® Khaki



LP® White



LP® Almond



LP® Blue



Blue Iron PM 120



Pumice PM 138



LP® Country Red



LP® Wheat



LP® Sage



LP® Walnut



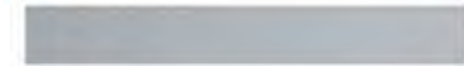
Windy Gray PM 102



Sandstone



LP® Mist Grey



LP® Harbor Grey



LP® Sand



Camouflage PM 312



Sand Castle PM 210



Colonial Grey PM 211



# Vistancia – Monotony Code



## MONOTONY CODE RESTRICTIONS

### **I. Single Family Detached Communities**

- a. The following criteria apply to homes on straight or curved streets, cul-de-sacs and corner lots within the Summit and the Ridgeline neighborhoods at Vistancia.
  1. No house shall have the same configuration that is within two (2) houses on either side or on any of the three houses most directly across the street from the subject house. Additionally, the house directly behind a corner subject house is included in these criteria.
  2. No house shall have the same color package that is within two (2) houses on either side or on any house directly across the street from the subject house. Additionally, the house directly behind a corner subject house is included in these criteria.

### **II. Definitions**

- a. Configuration – a combination of product type, elevation, exterior fenestration (siding or stone), and color package.
- b. Color Package – a combination of siding, stone, trim/gutter, accent, and roof colors incorporated into the exterior color fenestration of a single house.



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# Vistancia – Pulte Homes

## “Ridgeline at Vistancia”

Mercer  
Continental  
Newberry  
Bennett  
Stonebrook

# Mercer Elevations

Note: CR2G and EC2G Replacement Elevations Shown

**Base Elevation - HR2G**



**CR2G**

**HR2H**



**EC2G**

**HR3S**



**Model Elevation - HR3T**

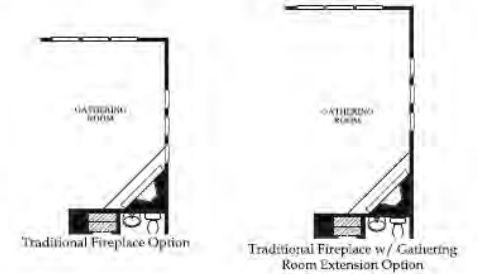


**NC2G**



MERCER  
First Floor

First Floor Options



Second Floor



# Continental Elevations

Note: EC2G Replacement Elevation Shown

CR2G - C



HR2G - C



EC2G

HR2H - C



HR3S - C

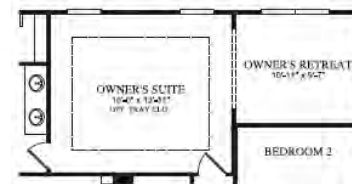
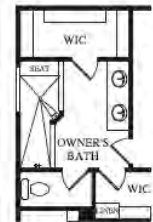


HR3T - C



CONTINENTAL  
First Floor

Second Floor



# Newberry Elevations

Note: CR2G and EC2G Replacement Elevations Shown

HR2G - N



CR2G

HR2H - N



HR3S - N



HR3T - N



EC2G

NC2G - N



# NEWBERRY

## First Floor

## Second Floor





# Stonebrook Elevations

**CR2G**



**EC2M**



**HR2G**



**HR2H**



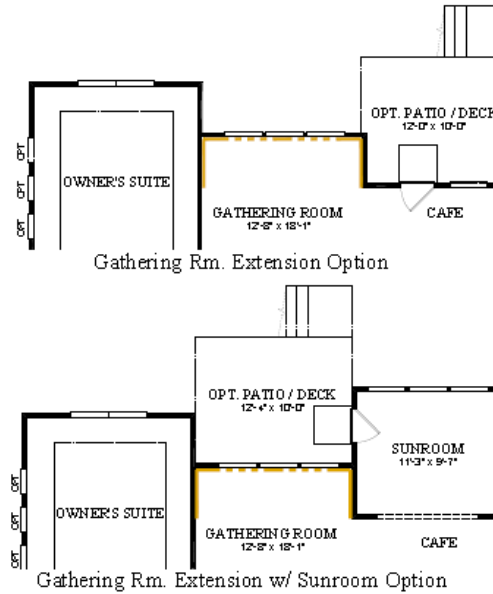
**NC2G**



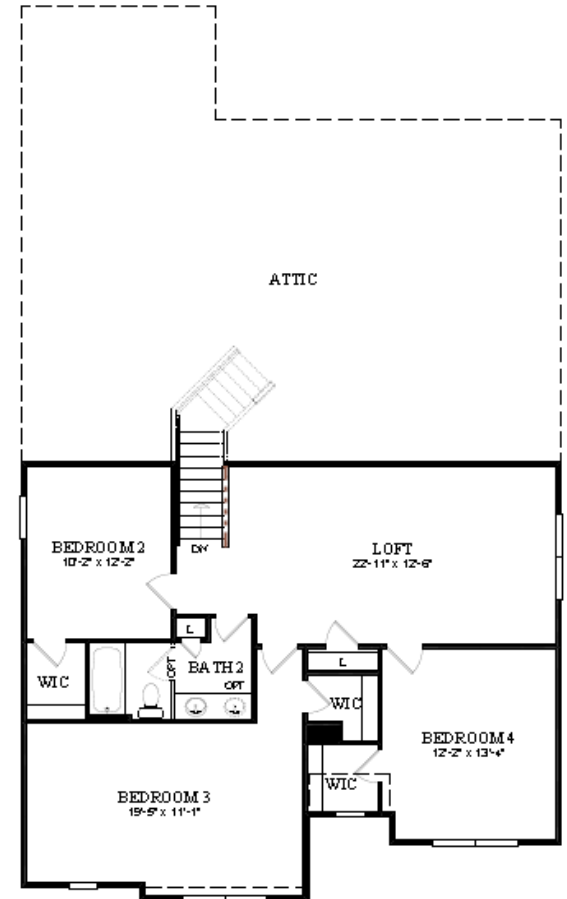
# Stonebrook Floor Plan



**First Floor**  
9'-0" Ceiling



**First Floor Options**  
9'-0" Ceiling



**Second Floor**  
8'-0" Ceiling

# Bennett Elevations

**CR2G**



**EC2G**



**HR2G**



**HR2H**



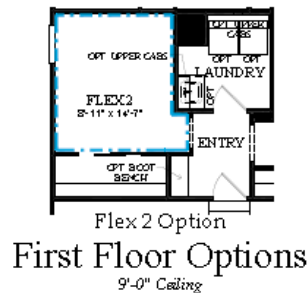
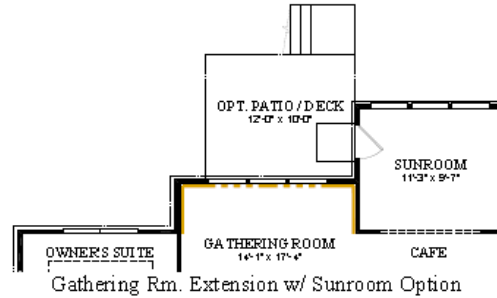
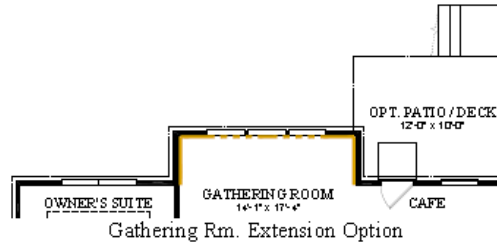
**NC2G**



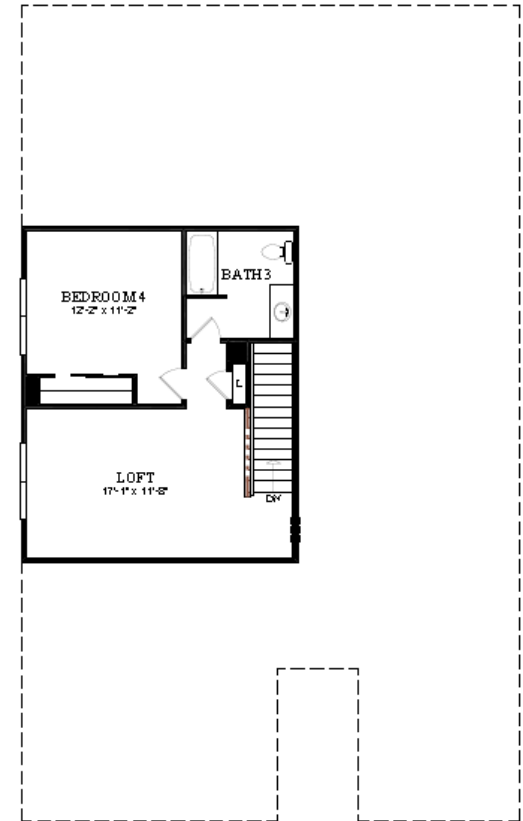
# Bennet Floor Plan



**First Floor**  
9'-0" Ceiling



**First Floor Options**  
9'-0" Ceiling



**Loft w/ Bed and Bath Option**  
8'-0" Ceiling

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# Vistancia – Pulte Homes

## “Summit at Vistancia”

Amberwood  
Greenfield  
Hilltop  
Westchester  
Riverton  
Castleton  
Willwood

# Amberwood Elevations

**CR2M**



**EC2G**



**HR2M**



**HR2S**

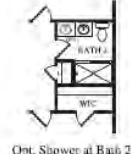


**NC2G**

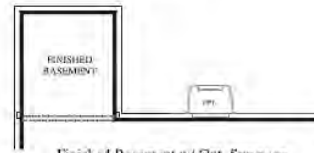
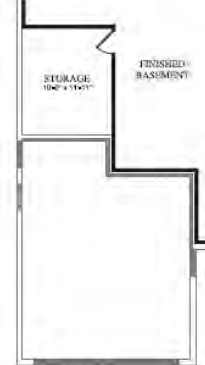
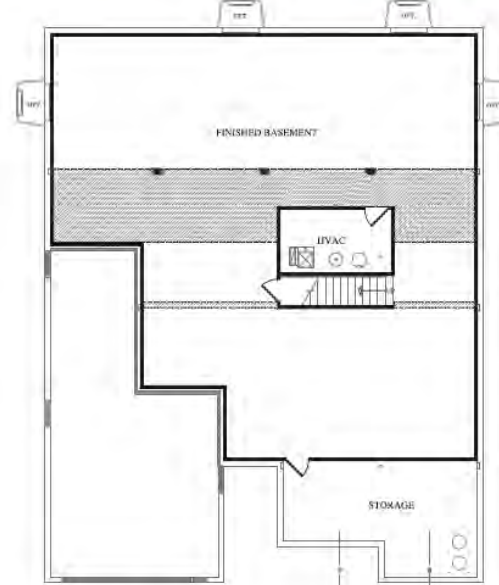


# AMBERWOOD

## First Floor



## Finished Basement



# Greenfield Elevations

**HR1A-01 Brick**



**EC2H**



**HR2G**



**HR3M**



**NC2G**





# GREENFIELD

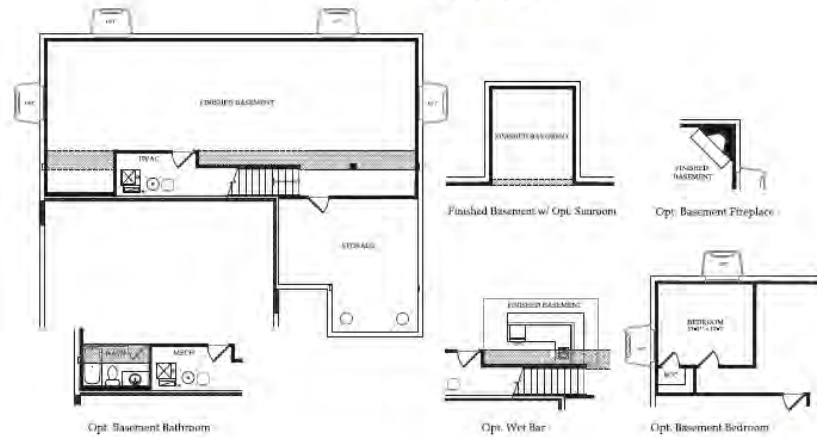
## First Floor



## Second Floor



## Finished Basement



# Hilltop Elevations

**HR2G**



**HR2H**



**HR2I**



**HR3M**



**HR3S**

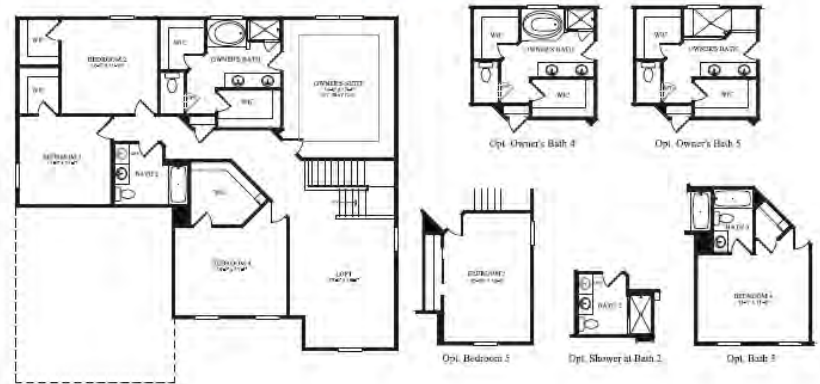


# HILLTOP

## First Floor



## Second Floor



## Finished Basement



# Westchester Elevations

**HR2G**



**EC2G**



**HR2M**



**HR3T**



**NC2G**



# WESTCHESTER

## First Floor



## Second Floor



## Finished Basement



# Riverton Elevations

**HR1A-01 Brick**



**EC2G**



**HR2G**



**HR3M**



**HR3W**



# RIVERTON

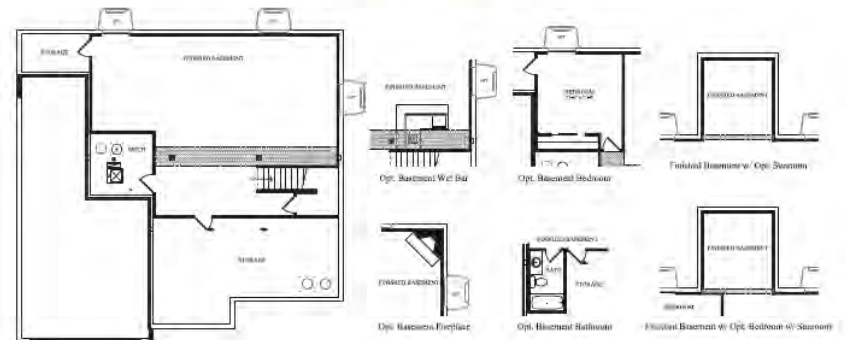
## First Floor



## Second Floor



## Finished Basement



# Castleton Elevations

**HR2N-10 Brick**



**CT2S**



**HR2G**



**NC2G**



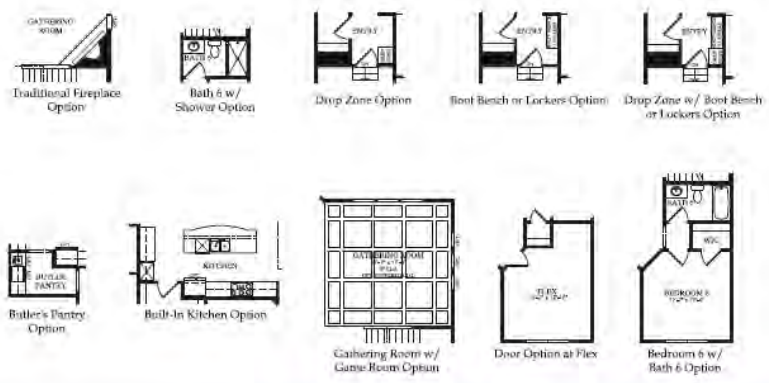
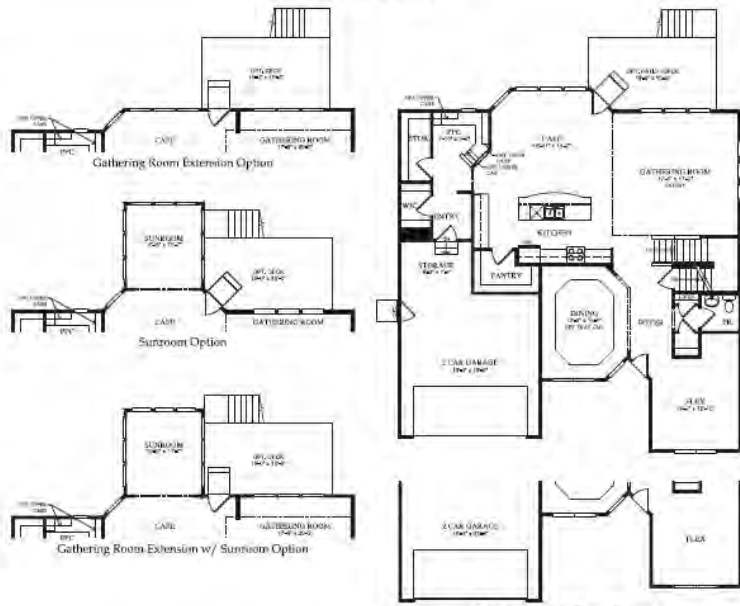
**CR2G**



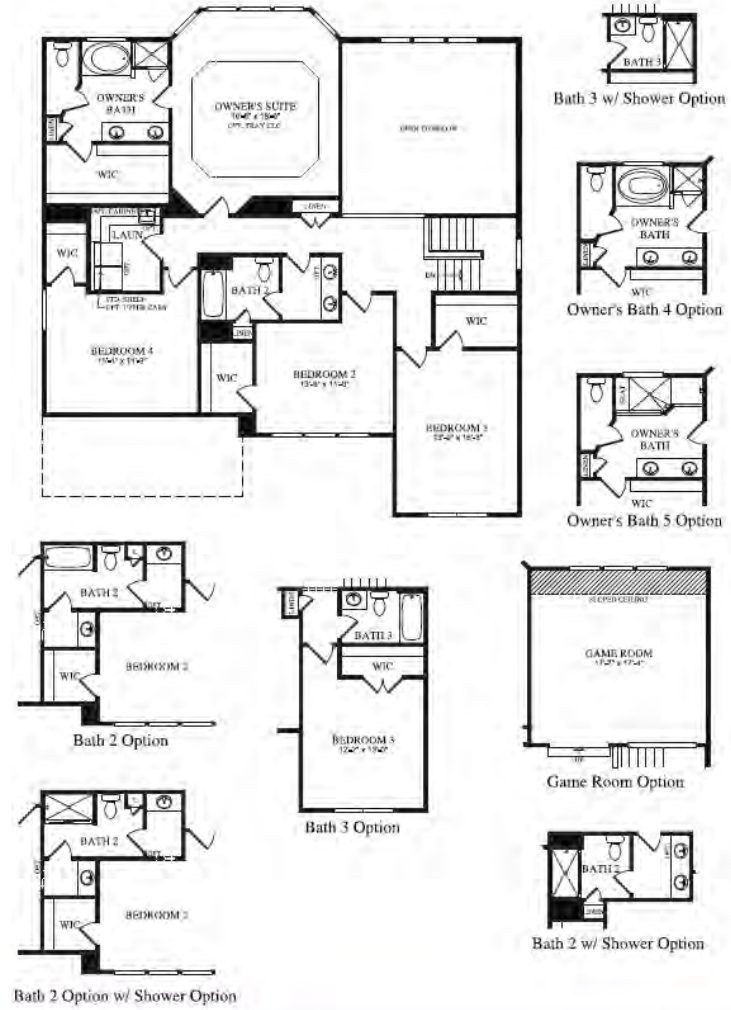


# CASTLETON

## First Floor



## Second Floor



# Willwood Elevations

**HR2G**



**CR2H**



**CT2M**



**HR2U**



**NC2M**





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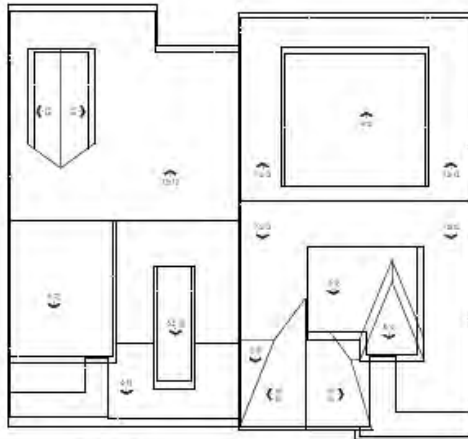
Vistancia – Pulte Homes

“Villas at Vistancia”

Corsica  
Provence

Corsica

Provence



ROOF PLAN  
SCALE 1/8" = 1'-0"



FRONT ELEVATION  
SCALE 1/8" = 1'-0"

Brick and Stone Accents Shown, continue brick/stone to front door.



LEFT SIDE ELEVATION  
SCALE 1/8" = 1'-0"



REAR ELEVATION  
SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE 1/8" = 1'-0"

Optional Ornamental LP Smart Shake shown on Gable end side elevations. .

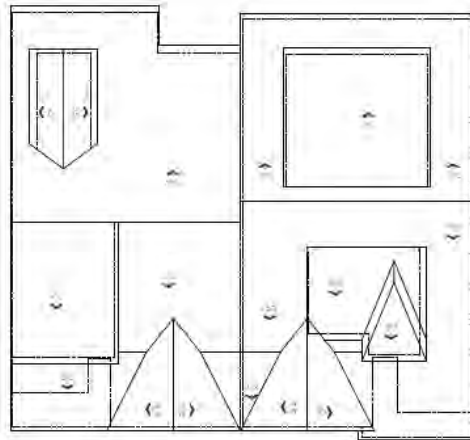


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Villas at Vistancia  
Duplex - Elevation 1

Lemont, IL

10.17.2016



ROOF PLAN  
SCALE 1/8" = 1'-0"



FRONT ELEVATION  
SCALE 1/8" = 1'-0"

Brick and Stone 50% of Front Elevation



LEFT SIDE ELEVATION  
SCALE 1/8" = 1'-0"



REAR ELEVATION  
SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE 1/8" = 1'-0"

Optional Ornamental windows on Right side elevation. .

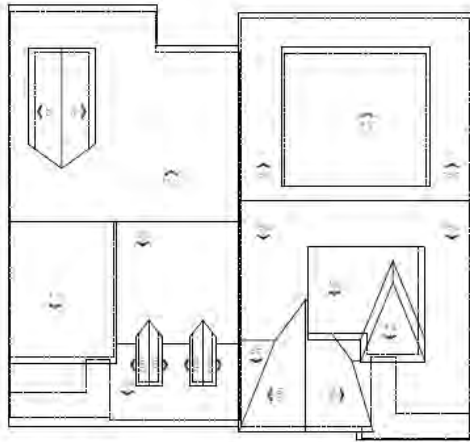


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Villas at Vistancia  
Duplex - Elevation 2

Lemont, IL

10.17.2016

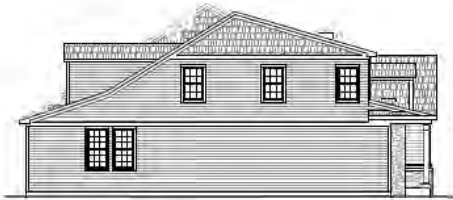


ROOF PLAN  
SCALE 1/4" = 1'-0"



FRONT ELEVATION  
SCALE 1/4" = 1'-0"

### Brick and Stone 50% of Front Elevation



LEFT SIDE ELEVATION  
SCALE 1/4" = 1'-0"



REAR ELEVATION  
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE 1/4" = 1'-0"

Optional Ornamental windows on Right side elevation . .



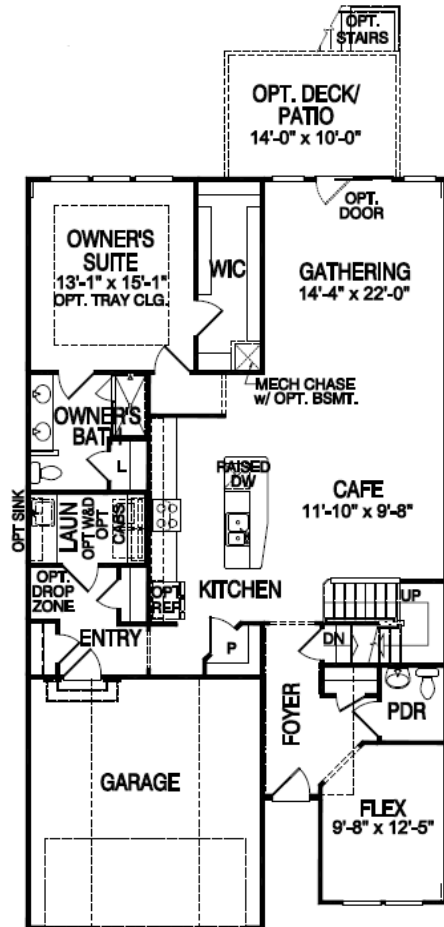
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Villas at Vistancia  
Duplex - Elevation 3

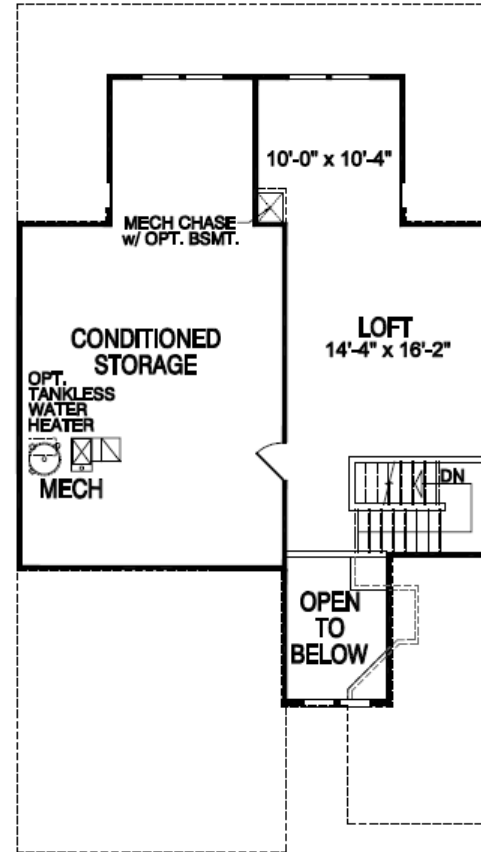
Lemont, IL

10.17.2016

# Provence Floor Plans



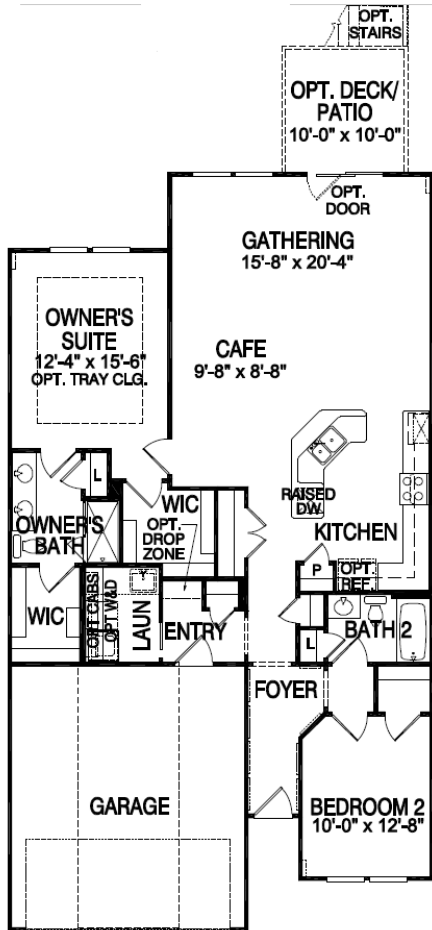
Provence First Floor



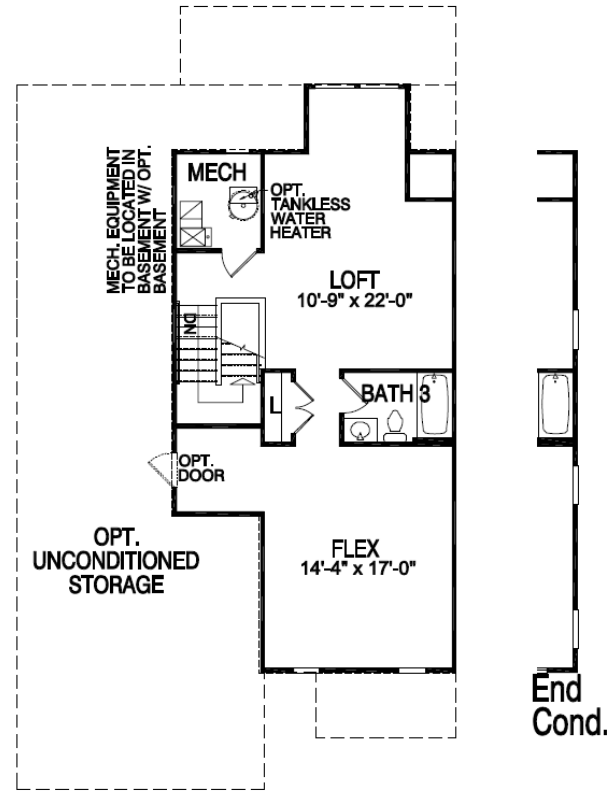
Provence Second Floor



# Corsica Floor Plans

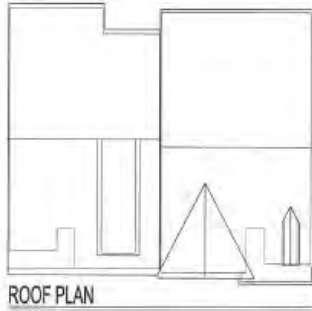


**First Floor**



**Opt. Second Floor with Loft, Bath 3, & Flex**

End Cond.



Brick and Stone Accents Shown, continue  
brick/stone to front door.



Brick Wainscot shown as Optional on side and rear elevations.



Duplex

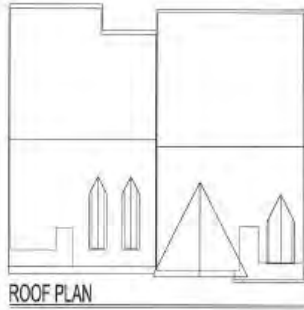
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Vistancia - Ranch Villas

Elevation 1

Lemont

12-12-2016



Brick varies as shown.



Brick Wainscot shown as Optional on side and rear elevations.



Duplex

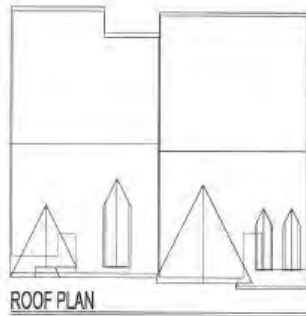
(c) Copyright 2016 PulteGroup, Inc.

Vistancia - Ranch Villas

Elevation 2

Lemont

12-12-2016



ROOF PLAN



FRONT ELEVATION

Brick varies as shown.



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

Brick Wainscot shown as Optional on side and rear elevations.



Duplex

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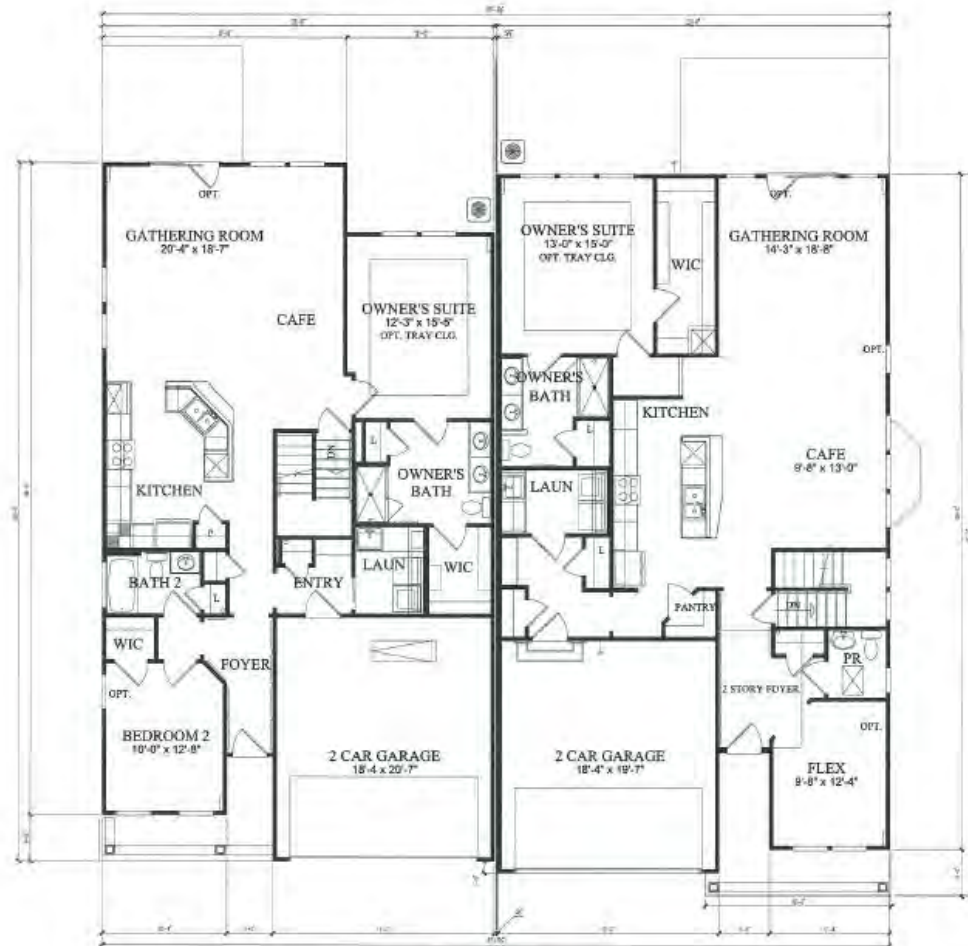
Vistancia - Ranch Villas

Elevation 4

Lemont

12-12-2016

# Corsica and Provence Ranch Floor Plans



Optional Bay Window Shown

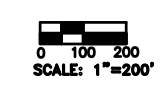
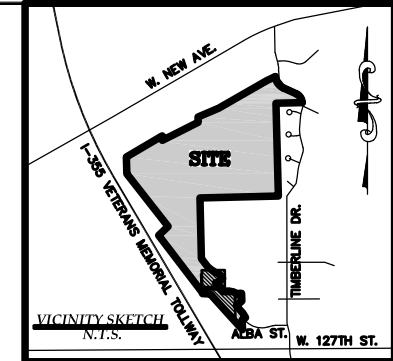
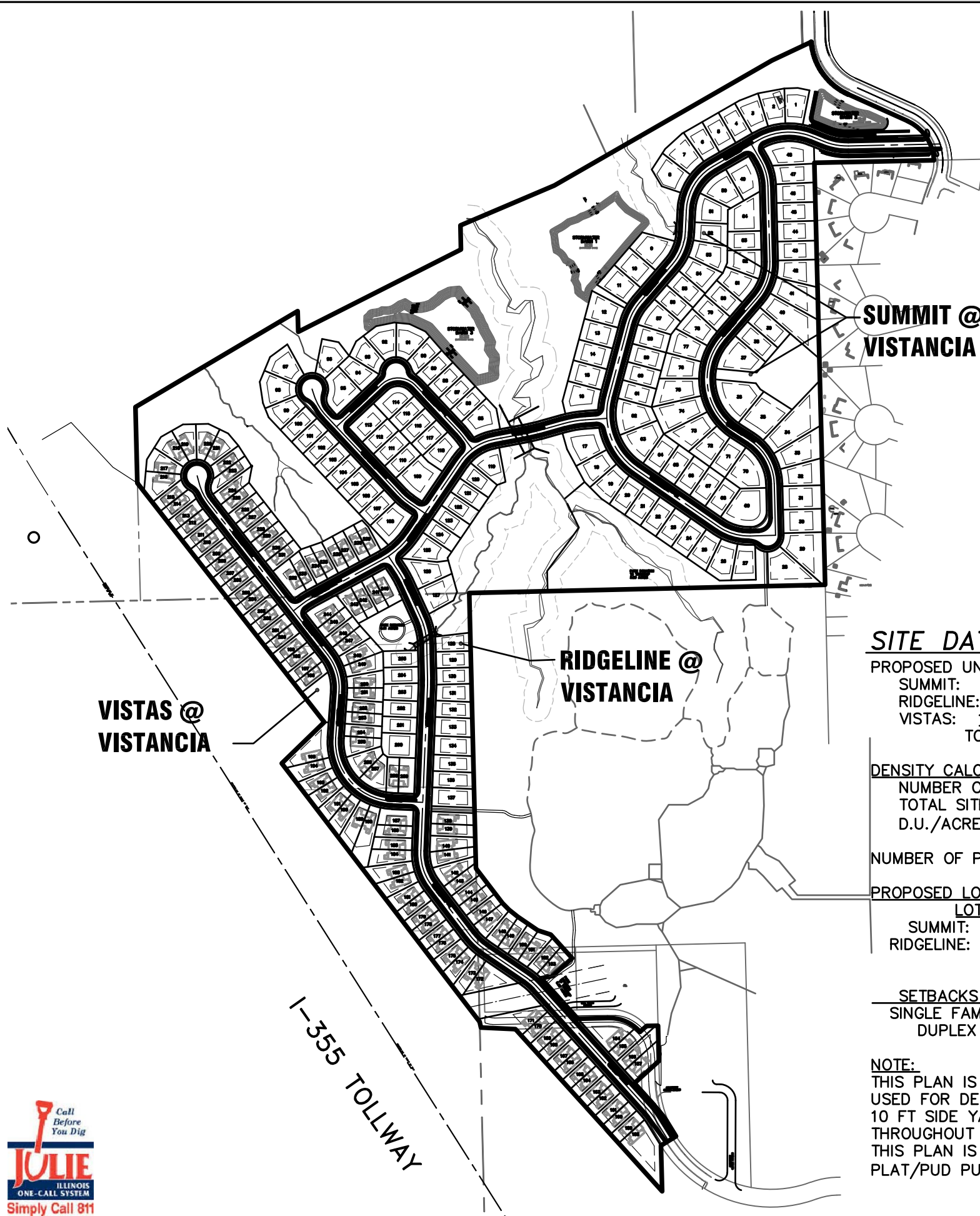
First Floor  
9'-0" Ceiling

**BENCHMARKS:**

- BM#1**  
ARROW ON HYDRANT, SOUTHEAST CORNER  
TIMBERLINE DRIVE & OLD QUARRY ROAD.  
ELEVATION: 598.87 N.A.V.D. 1988
- BM#2**  
MAG NAIL WEST SIDE POWER POLE, 55'± NORTH  
OF LOT 40, 'TIMBERLINE 1' SUBDIVISION.  
ELEVATION: 678.27 N.A.V.D. 1988
- BM#3**  
R.R. SPIKE NORTH SIDE POWER POLE, REAR  
PROPERTY LINE OF #85 TIMBERLINE DRIVE.  
ELEVATION: 726.34 N.A.V.D. 1988
- BM#4**  
MAG NAIL WEST SIDE 6" OAK (TAG #2356)  
95'± EAST OF THE NORTH-SOUTH 1/4 LINE,  
780'± NORTH OF THE CENTER OF SECTION 30.  
ELEVATION: 677.66 N.A.V.D. 1988
- BM#5**  
MAG NAIL SOUTH SIDE OF POWER POLE 785'±  
WEST OF THE NORTH-SOUTH 1/4 LINE, 320'±  
SOUTH OF THE CENTER OF SECTION 30.  
ELEVATION: 723.38 N.A.V.D. 1988
- BM#6**  
ARROW ON HYDRANT, NORTH SIDE OF PARKING  
LOT LEMONT TOWNSHIP PARK BUILDING, EAST  
SIDE OF ALBA RD.  
ELEVATION: 773.49 N.A.V.D. 1988
- BM#7**  
ARROW ON HYDRANT, NORTHEASTERLY SIDE OF  
ALBA RD. 680'± WEST OF TIMBERLINE DR.  
ELEVATION: 766.66 N.A.V.D. 1988

**NOTE:**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.



**SUMMIT @  
VISTANCIA**

**RIDGELINE @  
VISTANCIA**

**VISTAS @  
VISTANCIA**

**SITE DATA:**

PROPOSED UNITS:  
 SUMMIT: 84  
 RIDGELINE: 59  
 VISTAS: 122  
 TOTAL= 265

DENSITY CALCULATION:  
 NUMBER OF UNITS PROPOSED: 265  
 TOTAL SITE AREA= 105 ACRES  
 D.U./ACRE= 2.52

NUMBER OF PHASES= TWO

PROPOSED LOT DATA:  

	<u>LOT WIDTH:</u>	<u>AVG DEPTH:</u>
SUMMIT:	70 FT	130 FT
RIDGELINE:	61 FT	130 FT

SETBACKS :	FRONT:	SIDE:	REAR:
SINGLE FAMILY	25 FT	10 FT	25 FT
DUPLEX	25 FT	10 FT	30 FT

**NOTE:**  
 THIS PLAN IS FOR ILLUSTRATION ONLY. IT IS TO BE USED FOR DETERMINATION OF THE TOTAL LOT COUNT IF 10 FT SIDE YARD SETBACKS WERE TO BE UTILIZED THROUGHOUT THE ENTIRE DEVELOPMENT. THIS PLAN IS NOT TO BE USED FOR PRELIMINARY PLAT/PUD PURPOSES.

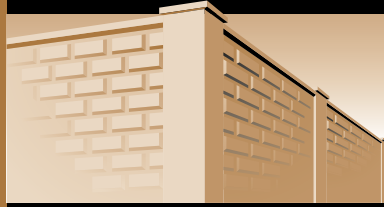
**GREENTECH**  
 ENGINEERING, INC.  
 CIVIL ENGINEERS & LAND SURVEYORS  
 51147 W. Pontiac Trail, Wilmett, IL 48393  
 Phone: (248) 668-0700 Fax: (248) 668-0701

**811**  
 Know what's below  
 Call before you dig.

CLIENT: INTREPID DEVELOPMENT  
**SPECIAL EXHIBIT**  
**PARALLEL PLAN w/10' SIDE SETBACKS**  
 VISTANCIA  
 TOWNSHIP 17N  
 VILLAGE OF LEMONT  
 COOK COUNTY  
 ILLINOIS  
 SECTION: 30  
 RANGE: 11E

DATE: 2-8-2017  
 DRAWN BY: WD  
 CHECKED BY: DJL  
 SCALE: 1"=200 FT  
 VER: 1"=200 FT  
 16-202

ARTISAN



PRECAST

SM

*The Smart Alternative to Masonry Walls.*<sup>SM</sup>

# The Exceptional Nature of Artisan Precast:

Before the early 1980s, fences and walls were built mostly of wood, brick and stone. Costly to create and subject to deterioration, these original building blocks were joined by a new generation of materials that offered aesthetic, functional and economic advantages: concrete fencing.

Now offered by Artisan Precast, the original branded line of custom-molded, concrete-based screening wall and perimeter fence systems was first introduced in 1982. Today our CHISELCRETE®, FENCESTONE®, WOODCRETE®, BRICKCRETE®, CEDARCRETE®, WOODCRETE® RAIL, and SMOOTHCRETE™ products are chosen by architects, engineers, commercial and residential developers, public works and utility companies. The reasons are clear:

***Aesthetics*** Created from our own custom molds, Artisan screening walls and perimeter fences provide the look of stacked stone, crafted wood and old brick to create a warm and welcoming ambiance. Rich custom colors and textures on both sides complement landscapes and existing structures, and can be creatively combined with such elements as wrought iron and masonry columns.

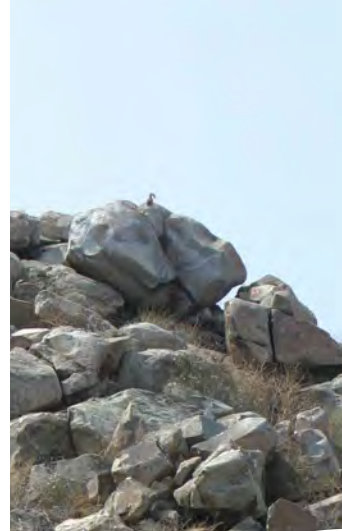
***Durability*** Maintenance-free Artisan products are ideal for diverse soil conditions, termite-free and not subject to warping, fading or rotting. They are precision manufactured in a National Precast Concrete Association certified plant for high quality assurance.

***Versatility*** Artisan products are excellent as sound and security barriers, require no continuous foundation, withstand typical ground movements and can be installed up to 20 feet high. If damaged, components can be replaced without affecting the overall structure. Our products meet technical specifications of cities and counties nationwide, as well as California seismic codes and Florida wind-load requirements.

***Service*** Artisan Precast provides products and installation to create wall and fence systems of the highest quality. The Artisan team includes professionals from engineering and construction industries who have first-hand experience erecting walls and fences. From site plans and shop drawings to recommendations for specific needs, Artisan Precast delivers excellence.

***Value*** Artisan's beautiful screening walls and perimeter fence systems offer all the above advantages at considerably less expense than traditional materials.

Artisan Precast defines walls and fences with solutions designed to last.



*Beautiful walls  
& fencing systems  
designed to endure*



**800.511.2747**

Email: [info@artisanprecast.com](mailto:info@artisanprecast.com)

Website: [artisanprecast.com](http://artisanprecast.com)



# Customized solutions to meet specialized needs

## ENGINEERS

Specifications, calculations and documentation are essential to our relationships with engineers. The Artisan staff is skilled at meeting the requirements of city and county codes, and provide comprehensive CAD product details with the precise specifications engineers need. Here are some details about the product to help with local approval.

- The fence components are thoroughly mixed and vibrated to attain minimum compression strength of 5000 p.s.i. at 28 days, using pea gravel aggregate and a corrosive inhibitor.
- The rebar conforms to ASTM A615, Grade 60.
- The steel mesh is galvanized.
- All components are manufactured with fibrillated fiber as a secondary reinforcement.
- Iron oxide pigment is added for permanent color.



## DEVELOPERS

Permanence and aesthetics are high priorities among developers. Artisan products offer the flexibility to create visual themes that give a property a distinctive and memorable character.

Our perimeter wall systems can be designed to include special colors, periodic columns or wrought iron inserts.

We also specialize in privacy fences that shield homes from street noise and complement the landscape with a fluid visual theme. Artisan works closely with developers to understand their visions, discuss options and craft customized plans. Our commitment to service and array of proven products lay a foundation for successful communities.



## INSTALLATION PROCESS:



### MODULAR CONCRETE COMPONENTS

- **I-shaped posts**
- **one-foot high panels**
- **panel and post caps**

**1.** Postholes are drilled five to eight feet on center in accordance with specifications.

**2.** Posts are set into holes and monolithically filled with 3000 p.s.i. concrete.

**3.** The first panel is guided down the post track. Both ends rest on the post foundations or can be elevated to accommodate drainage under the fence.

**4.** Remaining panels are guided down the post track and interlock with the previously placed panel.

**5.** The fence section is then completed by securing the panel cap to the top panel.

# CHISELCRETE®

CHISELCRETE® is a unique precast screening wall and is a new offering from Artisan Precast. Many customers choose CHISELCRETE® for its aesthetic design to complement specific architectural detail or for serving as a security barrier for sensitive projects.

CHISELCRETE® uses an integral coloring system that creates a superb finished wall for your project. The integral coloring system also eliminates any painting or repairing that a concrete block wall would require.



*Memorandum*

**TO:** Heather Valone  
Jeff Stein

**cc:** Bruce Michael  
Peter Tremulis

**FROM:** Chuck Byrum

**DATE:** February 10, 2017

**RE:** Vistancia

---

I deliver to you herewith the attached collective comments of Intrepid Development Partners – Lions Park, LLC and Pulte Home Corporation to your draft Staff Report of February 10, 2017 regarding Vistancia.

We respectfully request that your Staff Report incorporate or address these comments. Intrepid and Pulte are prepared to meet with you on this subject.

**Contains comments from Intrepid Investment Partners - Lion's Park, LLC and Pulte Home Corporation**

TO: Planning & Zoning Commission  
FROM: Heather Valone, Village Planner  
THUR: Jeffrey Stein, Deputy Village Administrator  
SUBJECT: Case 16-10 Vistancia Annexation, Rezoning, and Preliminary PUD  
DATE: February 10, 2016 - DRAFT REPORT

---

**SUMMARY**

This application is being continued from the regularly scheduled January 18, 2017 Planning and Zoning Commission (PZC) meeting, the applicant has revised the engineering plans and the architectural product book to meet some of the conditions from the previous staff report. Items that are underlined are updated or new information provided by the applicant. Items that are ~~stricken~~ are deletions or information that is no longer applicable.

Bruce Michael of Intrepid Investment Partners Lion's Park, LLC, contract purchaser of the subject property, is requesting preliminary Planned Unit Development (PUD) approval for a ~~234~~ 226 single-family lot subdivision, which will consist of ~~294~~ ~~287~~ 281 dwelling units. As part of the requested entitlements, the applicant is also seeking annexation to the Village of Lemont and Rezoning to R-4 Single-Family Detached Residential District and R-5 Single-Family Attached Residential District. Staff is recommending approval with conditions.



**DEPARTURES FROM ZONING STANDARDS**

Section 17.08.010 of the UDO describes the purpose of PUDs: “Within the framework of a PUD normal zoning standards may be modified. The resulting flexibility is intended to encourage a development that is more environmentally sensitive, economically viable, and aesthetically pleasing than might otherwise be possible under strict adherence to the underlying zoning district’s standards.” The table below illustrates how the application deviates from the current standards of the UDO. Below is a summary of current UDO standards, how the proposed PUD differs from those standards, and staff’s recommendations related to those deviations.

<b>UDO Section</b>	<b>UDO Standard</b>	<b>Proposed PUD</b>	<b>Staff Comments</b>
<u>17.06.030 (Table 17.06.02)</u>	<u>Oriels, provided they project no greater than 2 ft. from side of the building and are at least 3 feet from all lot lines.</u>	<u>The proposal includes bay windows that would extend three (3) feet from the duplex units.</u>	<u>Staff finds the deviation acceptable as the applicant is proposing 20 ft. building separations between the duplexes.</u>
<u>17.06.030.H</u>	<u>The combined square footage of all accessory structures, driveways, sidewalks, to include the surface area of swimming pools and all types of pavers or paving brick, or other areas with an impervious surface shall not exceed 36% of the area of a required front or rear yard except:</u> <u>1. As provided for in §17.07.02</u>	<u>The applicant is proposing that the rear yard impervious lot coverage be increased to 40%.</u>	<u>Staff finds this deviation unacceptable. The stormwater management plan does not account for this increase in stormwater run-off.</u>

**Comment #1**  
**Comment #2**

Comment #3

	<p><u>of this ordinance, which covers specific standards for the R-4A zoning district;</u></p>		
<p><b>17.07.010 (Table 17.07.01)</b></p>	<p>15 ft. minimum interior side yard setbacks in R-5</p>	<p>The proposal includes <del>7.5</del> 10 ft. interior side yard setbacks on all R-5 lots.</p>	<p>Staff finds the deviation unacceptable as <del>the duplexes will be double the size of the proposed 40 ft. wide models (Ridgeline lots) that are near the proposed duplexes.</del> Additionally 10 ft. is more consistent with other attached single-family residences in the Village. Woodglen, Ashbury, and the Estates of Montefiore have interior side setbacks of 10 ft., which is acceptable to staff.</p>
<p><b>17.07.010 (Table 17.07.01)</b></p>	<p>30 ft. minimum rear yard setback in R-5</p>	<p>The proposed rear yard setbacks are 25 ft.</p>	<p>Staff finds the deviation acceptable for a majority of the duplexes either back up to open spaces or the tollway. Staff does find the deviation unacceptable for units <del>283-294 257-260 and 265-278 263-274</del> as these units back up to single family homes. However the plans indicate that the duplexes will not extend to the proposed 25 foot setback thus the change to 30 ft. should be easily accommodated.</p>
<p><b>17.07.01 (Table 17.07.01)</b></p>	<p>Minimum lot size is 12,500 sf for R-4.</p>	<p><del>The proposal includes a variety of lot sizes for each of the single-family detached neighborhoods (Attachment 5). The minimum proposed lot is for the Ridgeline neighborhood is 7,000 sf with an average of 8,000</del></p>	<p>Staff finds the deviation acceptable given the guidance of the Lemont 2030 Comprehensive Plan. The 2030 Plan indicates that this area could have up to five (5) dwelling units per acre. The applicant is proposing approximately three (2.9) dwelling units per acre. Please see the "Consistency with the Lemont 2030 Plan" section for a more detailed discussion.</p>

<p><b>Comment #4</b></p>	<p><b>17.07.01 (Table 17.07.01)</b></p>	<p>The minimum interior side setback is 15 ft. for R-4 districts.</p>	<p>The lots proposed have interior side setbacks of seven and half (7.5)-<del>eight</del> <del>(8)</del> feet and 10 ft. for lots that are <u>proposed with utilities placed in the interior side yard and the Summit neighborhood.</u></p>	<p>Staff finds the deviation unacceptable. Staff <del>would</del> finds the deviation acceptable <u>based on the applicant's proposed masonry plans for lots 1-4, 9, 10, 13, 14, 18-21, 33-38, 41, 42, 46-54, 68, 69, 76, 93, 94, 101, 105-108, 112, 119, 120, 125, 126, 130, 131, 136-138, 141, 142, 147, 152, 153, 275, and 281. if high profile lots (1-21, 35-57, 98, 106-111, 133, and 152-1-20, 35-57, and 100-113) had masonry extending from grade to the top of the first storey. The decrease in requested interior side yard setbacks to of seven and half (7.5) feet is to accommodate brick requirements. Additionally, the applicant has increased the setbacks for the Summit neighborhood to 10 ft. and has increased any setbacks to 10 ft. where the proposed utilities are located in the interior side yards. Additionally, an increase of all interior side yards to 10 ft. would be a loss of 16 lots.</u></p>
<p><b>Comment #5</b></p>	<p><b>17.07.01 (Table 17.07.01)</b></p>	<p>The Minimum rear setback of R-4 is 30 ft.</p>	<p>The applicant is proposing 25 ft.</p>	<p>Staff finds the deviation acceptable for a majority of the single-family homes back up to open spaces. Staff does find the deviation unacceptable for lots <del>35-39, 51-56, 129-134, 279-287 275-281</del> as these units back up to either existing single family homes, proposed single family homes, or to proposed duplexes. <u>The applicant has indicated 40 ft. rear setbacks for lots 33-38 and 45-53 that back up to existing single family homes.</u></p>
<p><b>Comment #6</b></p>	<p><b>17.11 (Signs)</b></p>	<p>The UDO regulates the permitted signage in residential</p>	<p>The applicant is proposing 16 signs for the subdivision.</p>	<p>Staff finds some of the deviations for 12 of the signs acceptable. Staff finds the deviation for four (4) of the signs unacceptable. Please see</p>

see a higher increase in enrollment than School District 210. The School District will also receive impact fees for both proposed housing types.

## CONCLUSIONS & RECOMMENDATIONS

Overall, the proposed development is well designed and complies with most requirements of the UDO considering the unique challenges the site contains. The proposal also achieves the goals of the Lemont 2030 Comprehensive plan. Therefore, staff recommends approval with the following conditions:

1. Revise the rear setbacks for duplex units ~~257-260 and 265-278~~ 263-274 to 30 ft.
2. Revise the rear setbacks for single-family lots 35-39, 51-56, 129-134, 279-287 275-281 to 30 ft.
3. Update the road network to have a minimum 33 ft. back-to-back curb pavement widths for Vistancia Dr. and Alba St and 30 ft. back-to-back curb pavement widths for the rest streets within the subdivision. Revise the ROW widths for Alba, Dr., portions of Woodview Dr., and portions of Vistancia Dr. to 66 ft.;
4. The applicant will work with staff on the appearance of the ~~box~~ span culvert. The span culvert should be finished as pressed and colored concrete to appear as if it is constructed of limestone.
5. Submit a contribution of \$150,000 for the New Ave. and Timberline Rd. left turn lane.
6. Remove three (3) of the parkway trees along the north side of Vistancia Dr. and the landscaping for the subdivision sign be shifted west at the proposed Timberline Dr. Entrance. Additionally, remove one (1) parkway tree and one (1) evergreen tree along the south side of Vistancia Dr. at the Timberline Dr. entrance.
7. Update the key lot plan to include a wainscot of brick on duplex units 263-272;  
Comply with the following masonry requirements:
  - a. The single family detached lots 1-21, 35-57, 98, 106-111, 133, and 152 1-20, 35-57, and 100-113 shall have masonry extending from grade to top of the first story; and
  - b. The single family attached units 280-294 257-260 and 265-278 shall have masonry extending from grade to top of the first story.
8. Correct the nine (9) models listed above that have brick on the façade which does not wrap around the entry/porch.

**Comment #8**

**Comment #9**

9. Comply with the following anti-monotony requirements:
  - a. No one model in the Summit neighborhood shall be constructed on more than 30% of the lots;



- b. No one model in the Ridgeline neighborhood shall be constructed on more than 30% of the lots; and
- c. No model, in either of the Ridgeline or Summit neighborhoods, with the same elevation and color package shall be constructed with in two (2) lots of one another or across the street. Additionally no model with the same elevation and color package be constructed within three (3) lots of one another along cul-de-sacs.

10. The applicant shall work with staff to finalize the Ridgeline and Summit models as described above;

11. The applicant shall work with staff to finalize the rear and side elevations for all the proposed single-family detached models;

12. The applicant shall work with staff to finalize the color packages for all the models (detached and attached);

13. The applicant will revise the request for the signs to eliminate the billboard sign and the temporary “Flexible Living Space” signs;

**Comment #10**

14. Comply with the requirement that all the temporary advertising signs shall be removed once the subdivision has reached 90% occupancy for the lots. Except to two proposed signs that are outside of the development, those signs shall be removed once 90% of the lots in the subdivision have been sold;

15. Prior to the submittal of the Final PUD application, an approved and fully executed 404 permit from the U.S. Army Corps of Engineers to disturb the waters of the U.S. areas shall be submitted to the Village;

16. Address any additional outstanding issues as noted by the Village Arborist, Village Engineer, Village Ecologist, and Fire Marshal;

17. ~~The eliminate the street name Woodview Dr. Vistancia Dr. should begin from the Timberline Dr. entrance and continue across the bridge to the duplexes. Vistancia Dr. along lots 21 32 and 73 79 should be renamed Woodwind Dr. Valley View Ct. should be eliminated and Valley View Dr. should replace the street name. Ridgeline Dr. along lots 108 to 109 should be renamed; and~~

18. ~~Eliminate lot 98.~~

19. ~~Remove the request for the rear lot coverage to have a maximum of 40% impervious coverage.~~

20. ~~Comply with the UDO’s Native Plantings Guideline for the detention facilities prior to Final PUD.~~

21. ~~Comply with the Village Arborist’s requirements for the Woodland Restoration and Management plan prior to Final PUD.~~

**Comments 11 to 14**

## Group Comments to Staff Report

### **Comment No. 1**

Add 45% impervious front yard for 3 car SF lots.

Add 40% impervious for duplex front yard.

### **Comment No. 2**

Our stormwater management plan will be updated to accommodate additional impervious surface requirements of departures.

### **Comment No. 3**

We are meeting requirements.

### **Comment No. 4**

Eliminate the words “Staff finds deviation unacceptable” from the response, in order to clarify.

### **Comment No. 5**

Insert the following in memo after “10 ft.”: “on the lots whose rear lot lines are contiguous with rear lot lines of Timberline Subdivision”

### **Comment No. 6**

Delete second sentence from the response and insert the following: “Applicant proposing 30 foot rear yard setbacks for Lots 275-281.”

### **Comment No. 7**

Applicant requests approval of signs as per Application.

### **Comment No. 8**

Insert after the words “span culvert” on the first line the following: “The head wall and wing walls of the”

Add after the last sentence: “Applicant shall provide an access drive to allow maintenance of the culvert. The entire culvert, head walls and wing walls will be dedicated as part of the public road dedication.”

**Comment No. 9**

Delete the word “following”. Remove the colon after the word “requirements” and add: “set forth in the Pulte Model Portfolio, which shall replace Village Monotony Code for Vistancia.”

**Comment No. 10**

Delete “90%” in the second and fourth lines and replace with “100%”.

**Comment No. 11**

Applicant may install a fence up to 12 feet tall and abutting Tollway.

**Comment No. 12**

Applicant may install fences in rear and side yards of lots, up to 5 feet in height.

**Comment No. 13**

Plan Commission approval includes: 1) Preliminary Plat; 2) Zoning; 3) Special Use for PUD; 4) Variances, as applied for.

**Comment No. 14**

Items 1, 2, 7, 8, 9, 10 and 11 of the Conclusions and Recommendations of the Staff Report shall be modified to replace the outcome of the meeting that took place on February 9 between Heather Valone and Peter Tremulis.