
PLANNING & ZONING COMMISSION
Regular Meeting
Wednesday, September 4, 2019
6:30 p.m.

**Planning and
Zoning Commission**

Anthony Spinelli,
Chairman

Commission
Members:
Sean Cunningham
Samuel Glomp
Jerry McGleam
Kevin O'Connor
Joe Plahm
Matthew Zolecki

I. CALL TO ORDER

A. Pledge of Allegiance

B. Verify Quorum

C. Approval of Minutes: August 7, 2019 meeting

II. CHAIRMAN'S COMMENTS

III. PUBLIC HEARINGS

IV. ACTION ITEMS

**A. Case 15-05 Final Plat of Subdivision of 1A, 3A and
5A in the Townhomes at Seven Oaks**

V. GENERAL DISCUSSION

VI. AUDIENCE PARTICIPATION

VII. ADJOURNMENT

**Community
Development: Planning
Division Staff**

Jason Berry, AICP,
Community Development
Director
Mark Herman, MPA, AICP
Community Development
Manager
Jamie Tate, AICP,
Consulting Planner

Village of Lemont
Planning and Zoning Commission
Regular Meeting of August 7, 2019

A regular meeting of the Planning and Zoning Commission for the Village of Lemont was held at 6:30 p.m. on Wednesday, August 7, 2019 in the second floor Board Room of the Village Hall, 418 Main Street, Lemont, Illinois.

I. CALL TO ORDER

A. Pledge of Allegiance

Chairman Spinelli called the meeting to order at 6:37 p.m. He then led the Pledge of Allegiance.

B. Verify Quorum

Upon roll call the following were:

Present: Cunningham, Glomp, McGleam, O'Connor, Plahm, Zolecki, Spinelli

Absent: None

Community Development Director Mark Herman and Village Trustee Ron Stapleton were also present.

C. Approval of Minutes - July 10, 2019 Special Meeting

Commissioner McGleam made a motion, seconded by Commissioner Zolecki to approve the minutes from the July 10, 2019 special meeting with no changes. A voice vote was taken:

Ayes: All

Nays: None

Motion passed

II. CHAIRMAN'S COMMENTS

Chairman Spinelli welcomed the audience to the meeting. He then asked everyone in the audience to stand and raise his/her right hand. He then administered the oath.

III. PUBLIC HEARINGS

**A. 19-05 THE FORGE LEMONT QUARRIES REZONING FOR 14411 –
14597 MAIN STREET AND PUD AMENDMENT**

Chairman Spinelli called for a motion to open the public hearing.

Commissioner McGleam made a motion, seconded by Commissioner O'Connor to open the public hearing for Case 19-05. A voice vote was taken:

Ayes: All
Nays: None
Motion passed

Staff Presentation

Mark Herman, Community Development Manager, said the request is for the rezoning of parcels on Main Street. The Forge has been to the Planning and Zoning Commission in May of 2019. At that time they were requesting rezoning, Preliminary PUD Phase II and the Final PUD for Phase I. This was approved by the Village Board on June 10, 2019. With the rezoning there was a request to rezone the property that was owned by the Forge and the Lemont Township to B-4 north of the tracks. The request also included rezoning for B-3 for the Main Street Parcels on the south side of the tracks, but to limit the uses to hotel, restaurant, office/administration and/or indoor recreation facilities.

The current request specifically only pertains to the parcels on Main Street that based on the approval in June currently have B-3 zoning. The current request is to rezone them from the B-3 to B-4 Commercial Recreation District which is consistent with the rest of the rezoning of the Forge project. The rezoning of the parcels is a specific condition of the approval as documented on the Phase II Preliminary PUD approval as approved by the Village Board in June. He showed the subject property on the overhead.

Mr. Herman stated in 2009, the subject property was part of a townhome proposal called Windsor Court where there was a separate annexation agreement and one ordinance that had both a rezoning to the R-5 at the time and Preliminary PUD approval. The annexation agreement to Windsor Court contained a provision that the zoning would revert to R-1 single-family zoning if a Final PUD application was not filed within one year. There were a few extensions that were granted the last was done in 2011 and the zoning reverted back to R-1 on June 13, 2012. At the time, the zoning maps continued to show R-5 zoning.

The purpose of the B-4 zoning is to provide for orderly compatible development of land and maximum recreation potential of the land since the Forge is an outdoor recreation adventure park. There are accessory uses, like a restaurant, for the Forge outdoor recreation. The B-3 zoning is an arterial commercial district, which is meant for the highest intensity of commercial uses. Some examples would be on State Street where we have the Aldi, Jewel and where the Pete's Fresh Market is going. The Forge proposed use does not quite fit the B-3 intent. Staff is suggesting as a part of the conditions of the request, to remove certain B-4 uses that are entirely unrelated to an adventure park use, such as cemetery, garden center and animal uses.

Mr. Herman said staff did look at the LaSalle Factors for the standards for rezoning. The compatibility with the existing use and zoning of nearby property is primarily vacant residential, zoned both medium and high density. The property to the south is

zoned R-5 and developed as Franciscan Village. Property values of the subject property are not diminished by the existing zoning restrictions but will likely increase with a rezoning to B-4 with the additional specific uses. The development of the adventure park will likely increase the property values of all adjacent parcels as it is a unique and attractive development not available in this metropolitan area, region or state.

Another factor is the extent to which the proposed amendment promotes the public health, safety and welfare of the Village. The proposal encourages outdoor activity and physical activities for residents of the Village. The improvement of the adjacent intersection at the corner of Main and Walker with a stoplight will promote safety with better traffic management. The proposal as a whole will promote the welfare of the Village as it will attract visitors from the surrounding region that will then spend time and money in the Village of Lemont.

The Comprehensive Plan designates this area as multi-family midrise. According to the 2030 plan, multi-family midrise (MFM) are larger scale condominium buildings on sites of at least 10 acres. The subject property is less than ten acres and the adjacent properties that are also designated MFM are smaller narrow and are less than ten acres each. Again, the property has sat vacant for at least a minimum of 10 years. Staff feels that MFM would be more appropriate downtown closer to the Metra station.

Mr. Herman stated it is difficult to fully determine the public need for the proposed use without a formalized plan. The B-4 zoning would be consistent with the adventure park. A hotel space could host people coming in from out of town which could possibly be a public need at that time, in addition to other potential uses that would be compatible to the overall outdoor adventure park. The last standard is the thoroughness with which the municipality has planned and zoned its land use. The Comprehensive Plan is used as a guide and the property is zoned, as stated previously, MFM. The property has sat vacant for over 10 years and is only 6.5 acres compared to the recommend 10 acres. The Comprehensive Plan was adopted in 2014 and it would be expected the future land use plan would be in line with the zoning of vacant land in the Village at time of the adoption. Since there was a residential proposal (unbuilt), it is typical to assume it would develop as another residential development in the Comprehensive Plan even if this may not be the most appropriate land use for this site.

In conclusion, the proposed development overall meets and accomplishes many of the goals and objectives of the Lemont 2030 Comprehensive Plan. Pertaining to the rezoning of the Main Street parcels to B-4, the proposed rezoning of the subject property allows for complementary land uses to the entire Forge project. Staff has conditions for approval which are as follow:

1. The B-3 uses of a hotel, restaurant, office/administration building, and/or indoor recreation facilities are allowed on the 6.5 acre Main Street Parcels as part of the rezoning and PUD Amendment.

2. For the 6.5 acre Main Street property at the northwest intersection of Walker and Main, the animal shelter and kennel use, animal grooming and sales, animal veterinarian, garden center use or cemetery on this property, are not allowed as part of the approved Forge PUD.
3. Obtain a Plat of Consolidation for the Main Street parcels to create on B-4 lot.

He said this conclude staff's report. He asked if there were any questions from the Commission.

Chairman Spinelli verified the 6.5 acres was part of the previous approval.

Mr. Herman said that is correct.

Chairman Spinelli asked if a right-of-way dedication for the half road is going to be required on Walker Road going north of Main Street.

Mr. Herman stated the improvements to Walker Road are part of Phase II, which is only a Preliminary PUD at this time. The applicant is working with their engineer and it also involves the railroad with the extension of the crossing. Those specifics would need to be part of the Final PUD.

Chairman Spinelli said when a development comes in adjacent to a public road they would have to dedicate their half of the road to the Village of Lemont. Also, typically the annexation goes through the entire right-of-way, but in this case the right-of-way does not exist. Currently, both owners east and west own up to the center line of the road. He wants to make sure that dedication does happen because this road serves a property north of the tracks.

Mr. Herman said it could be in the annexation agreement from 10 years ago, but they only received preliminary approval and never received the final approval.

Chairman Spinelli stated when this goes to Final Plat there should be a formal dedication for a half road to Walker. The Township has some major issues with this roadway, not structurally, but with the road and the property owner to the north of the tracks.

Commissioner Cunningham asked if the proposed improvements are a special use in the B-4.

Mr. Herman said it is a PUD, which is a special use. They have a PUD which is a special use approval for the outdoor recreation. There is nothing shown on these parcels in the Preliminary Phase II approval. There would need to be follow plans showing those improvements and they would have to go through the process as a PUD amendment.

Commissioner O'Connor said the zoning is currently B-3 which has all the attributes that the applicant is looking for such as hotel and restaurant. He asked why there was the requirement for the B-4 zoning.

Mr. Herman stated the applicant was comfortable with the B-4 zoning as it was proposed. It was a timing issue of getting PUD and the rezoning of the other parcels done. They did not receive a positive recommendation for the B-3 zoning from the Planning and Zoning Commission and the Village Board stated as part of the approval they would have to come back and rezone it to B-4. The B-3 zoning, which has the highest intensity of commercial use, does not fit the purpose. As part of the PUD there are some related uses that aren't listed in the B-4 that the applicant would like to have use of.

Commissioner Zolecki said with the PUD there are going to be conditions of any manner off of any zoning. This is staff working with the developer and finding the most appropriate underlying zoning as a basis with the conditions that staff stated.

Commissioner McGleam asked if in the B-4 was there a height restriction on multiunit buildings.

Mr. Herman stated it is 35 feet in both the B-3 and B-4 zoning.

Commissioner McGleam verified that the applicant is not looking for any variances from the B-4 other than the uses that are provided in B-3.

Mr. Herman said they are comfortable with the B-4 zoning provided that they have those additional uses. Staff suggested that they limit some of the other uses that were found in the B-3 zoning.

Chairman Spinelli asked if there were any further questions for staff from the Commission. None responded. He then asked the applicant to come up to make a presentation.

Applicant Presentation

Jeanette Virgilio, applicant, stated the uses that they intended for this piece fell in between B-3 and B-4. They always wanted to have a restaurant, indoor recreation, and administrative building associated with the park's function. They felt it would be more consistent for the overall zoning for the area to be B-4.

Chairman Spinelli asked if there was any issues regarding his comment about the half dedication of Walker Road.

Mrs. Virgilio said they have no issues and that is their intent.

Chairman Spinelli asked if any of the Commissioners had any questions for the applicant. None responded. He then asked if there was anyone in the audience that wanted to speak in regards to this case.

Public Comment

None

Chairman Spinelli called for a motion to close the public hearing.

Commissioner McGleam made a motion, seconded by Commissioner Cunningham to close the public hearing for Case 19-05. A voice vote was taken:

Ayes: All

Nays: None

Motion passed

Plan Commission Discussion

Chairman Spinelli asked if there were any further questions or comments from the Commission regarding the public hearing. None responded. He then called for a motion for recommendation.

Plan Commission Recommendation

Commissioner Zolecki made a motion, seconded by Commissioner McGleam to recommend to the Mayor and Board of Trustees approval of Case 19-05 The Forge Lemont Quarries Rezoning for Parcels at 14411 – 14597 Main Street with staff's conditions listed in staff's report on page 9. A roll call vote was taken:

Ayes: Zolecki, McGleam, Cunningham, O'Connor, Glomp, Plahm, Spinelli

Nays: None

Motion passed

Findings of Fact

Commissioner Glomp made a motion, seconded by Commissioner Cunningham to authorize the Chairman to approve the Findings of Fact for Case 19-05 as prepared by staff. A voice vote was taken:

Ayes: All

Nays: None

Motion passed

IV. ACTION ITEMS

None

V. GENERAL DISCUSSION

Mr. Herman stated the Village Board did approve the Quarry Pub & Grill special use and variations, the Pete's Fresh Market EMC sign and the plat of consolidation for River Street. The next Village Board meeting should have Covington Knolls Phase 8 and Hartz Marble Landing.

VI. AUDIENCE PARTICIPATION

None

VII. ADJOURNMENT

Chairman Spinelli called for a motion to adjourn the meeting.

Commissioner McGleam made a motion, seconded by Commissioner Cunningham to adjourn the meeting. A voice vote was taken:

Ayes: All

Nays: None

Motion passed

Minutes prepared by Peggy Halper

TO: Planning & Zoning Commission

FROM: Jamie Tate, AICP, Consulting Planner

THRU: Mark Herman, MPA, AICP, Community Development Manager

SUBJECT: Case 15-05 Townhomes of Seven Oaks Final Plat of Subdivision for 1A, 3A and 5A

DATE: September 4, 2019

SUMMARY

John McDonnell of Castletown Homes, owner of the subject property, is seeking a Final Plat of Subdivision for 1A, 3A and 5A for the Townhomes of Seven Oaks (14280 McCarthy Road). The purpose of the request is to move Lot 5 approximately five feet to avoid utility conflicts and adjust Lots 1 and 3 in order to maintain the setbacks and PUD standards approved in the Final PUD for Seven Oaks (O-20-15). Staff is recommending approval .



Subject property highlighted in red.

PROPOSAL INFORMATION

Case No. 15-05
Project Name Seven Oaks Townhomes

General Information

Applicant	John McDonnell of Castletown Homes
Status of Applicant	Property owner
Requested Actions:	Subdivision, Final Plat and Minor PUD Amendment
Purpose for Requests	Move lot lines for 1A, 3A and 5A
Site Location	14280 McCarthy Road, Building 1, 3 and 5 (PINS: 22-27-300-089-0000, 22-27-300-087-0000, 22-27-300-085-0000)
Existing Zoning	R-5, Attached Single-Family Residential District
Size	Approx. 4.2 acres
Existing Land Use	Vacant and under construction townhome subdivision
Surrounding Land Use/Zoning	North: Single-family residential, unincorporated Cook County R-3 and Lemont R-3 South: Commercial and single-family residential, Lemont B-3 and unincorporated Cook R-3 West: Single-family residential, unincorporated Cook R-3 East: Derby Plaza offices and shopping center, B-3 Arterial Commercial District
Lemont 2030 Comprehensive Plan	The Comprehensive Plan map designates this area multi-family midrise (MFM) land use.

BACKGROUND

The Townhomes at Seven Oaks Subdivision was annexed and zoned R-5 on June 22, 2015 as O-19-15 and granted a special use for a final planned unit development for a 26-unit townhome development at 14280 McCarthy Road and recorded as O-20-15. There are a total of six buildings to be built located on nearly 5.5 acres with each building having between three and five units. Building 2 and Building 4 have already been completed and Building 6 is currently under construction in the subdivision.

PROPOSAL

Due to the location of live ComEd power lines that were installed near the southwest side of Building 5, the applicant is proposing to shift the building and lot lines to accommodate the power lines. Lot 5A is proposed to be shifted north by approximately 5 feet but still allowing the minimum of 20 feet between the buildings that is the standard for the entirety of the Seven Oaks development. The building shift will provide more room between the common area south of Building 5 and stormwater detention area which will impact the grading in this area. An updated grading plan has been provided.



Figure 1: Site plan from Castletown website.

Along with the shift of Lot 5A, Lots 1 and 3 are proposed to be moved north toward Lacey Drive by 1 foot. This modification is due to the original engineering plans showing the front entry doors being farther back than what was approved for architecture, so the shift north will allow still for the 22-foot front and corner setback and also keeping the space between buildings to still be at least 20 feet.

GENERAL ANALYSIS

Unified Development Ordinance. While the UDO requires a minimum of 15 feet side yard setbacks, an exception was granted in the Seven Oaks PUD that allows between 20-25 feet between buildings. The shift in the lot lines stills allows for the buildings to meet this minimum. All lot line and building modifications proposed with this plat meet the standards set forth in O-20-15, the Final PUD for the Townhomes at Seven Oaks.

Engineering Comments. The Village Engineer has reviewed the proposal and is ok with the revised grading for Lot 5A and the Final Plat of Subdivision for 1A, 3A and 5A.

CONCLUSIONS & RECOMMENDATIONS

The proposal is not a significant change to the approved plans found in O-20-15 (Final PUD for Townhomes at Seven Oaks) and the updated plat of subdivision will bring the approved architecture and engineering into agreement. The proposed changes still meet the minimums set forth in the approved Final PUD. Therefore, staff is recommending approval of the Final Plat of Subdivision for Lots 1A, 3A and 5A of the Townhomes at Seven Oaks.

ATTACHMENTS

1. Site Photographs
2. Application Package
3. Final Plat of Subdivision for Lots 1A, 3A and 5A
4. Grading Plan for Lot 5A
5. O-20-15 PUD for Townhomes at Seven Oaks

Attachment 1 Site Photos



Figure 2: Lots 1A and 3A



Figure 3: Looking down Lacey Drive at completed Buildings 2 and 4



Figure 4: Building 3 will be on the left.



Figure 5: Lot 5A and Stormwater Detention area

Final Plat Application Form

Community Development Department
418 Main Street Lemont, Illinois 60439
phone (630) 257-1595
fax (630) 257-1598

APPLICANT INFORMATION

Applicant Name: JOHN McDonnell

Company/Organization: Castletown Homes Inc

Applicant Address: 12 W CONNACKT Rd Lemont IL 60439

Telephone & Fax: 630 257 2600

E-mail: castletownhomes@sbglobal.net

CHECK ONE OF THE FOLLOWING:

- Applicant is the owner of the subject property and is the signer of this application.
- Applicant is the contract purchaser of the subject property.
- Applicant is acting on behalf of the beneficiary of a trust.
- Applicant is acting on behalf of the owner.

PROPERTY INFORMATION

Address of Subject Property/Properties: see attached

Parcel Identification Number of Subject Property/Properties: see attached

Size of Subject Property/Properties: 0-3 acres

REQUIRED DOCUMENTS

See Form 505-A, *Final Plat Application Checklist of Required Materials*, for items that must accompany this application.

FOR OFFICE USE ONLY

Application received on: 6/20/19 By: _____

Application deemed complete on: _____ By: _____

Current Zoning: R-5

Fee Amount Enclosed: _____ Escrow Amount Enclosed: _____

Final Plat Application Form

Village of Lemont

APPLICATION FEE & ESCROW

Application Fee (based on size of property and number of proposed and/or existing dwelling units):

- < 3 acres = \$300, plus \$25 per existing and/or proposed dwelling unit $\times 14 = 350^{00}$
- 3 to <5 acres = \$600, plus \$25 per existing and/or proposed dwelling unit
- 5 to <10 acres = \$1000, plus \$25 per existing and/or proposed dwelling unit
- 10 acres or more = \$1200, plus \$25 per existing and/or proposed dwelling unit

Fee is non-refundable.

Required Escrow = \$750

At the time of application, the applicant shall submit a check for the establishment of an escrow account. The escrow money shall be used to defray costs of public notice, consultants, or other direct costs incurred by the Village in association with the preliminary plat application. After completion of the review process, any unused portion of the escrow account will be refunded upon request.

AFFIRMATION

I hereby affirm that I have full legal capacity to authorize the filing of this application and that all information and exhibits herewith submitted are true and correct to the best of my knowledge. I permit Village representatives to make all reasonable inspections and investigations of the subject property during the period of processing of this application. I understand that as part of this application I am required to establish an escrow account to pay for direct costs associated with the approval of this application, such as the fulfillment of public notice requirements, removal of the public notice sign, taking of minutes at the public hearing and fees for consultants hired by the Village to evaluate this application. I understand that the submitted fee is non-refundable and that any escrow amount leftover upon project completion will be refunded upon request.

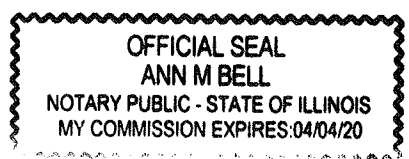
John D. [Signature] 8.20.19
 Signature of Applicant Date
Illinois Cook
 State County

I, the undersigned, a Notary Public in and for the aforesaid County and State, do hereby certify that JOHN McDONNELL is personally known to me to be the same person whose name is subscribed to the foregoing instrument, and that said person signed, sealed and delivered the above petition as a free and voluntary act for the uses and purposes set forth.

[Signature]
Notary Signature

Given under my hand and notary seal this 20 day of AUGUST A.D. 2019.

My commission expires this 4 day of April A.D. 2020.



TOWNHOMES AT SEVEN OAKS
Revised Plat addresses and PIN's

Building #5 – **22-27-300-089**
Unit 13 – 12426 Lacey Drive
Unit 14 – 12428 Lacey Drive
Unit 15 – 12430 Lacey Drive
Unit 16 – 12432 Lacey Drive

Building #3 – **22-27-300-087**
Unit 17 – 14276 Lacey Drive
Unit 18 – 14272 Lacey Drive
Unit 19 – 14268 Lacey Drive
Unit 20 – 14264 Lacey Drive
Unit 21 – 14260 Lacey Drive

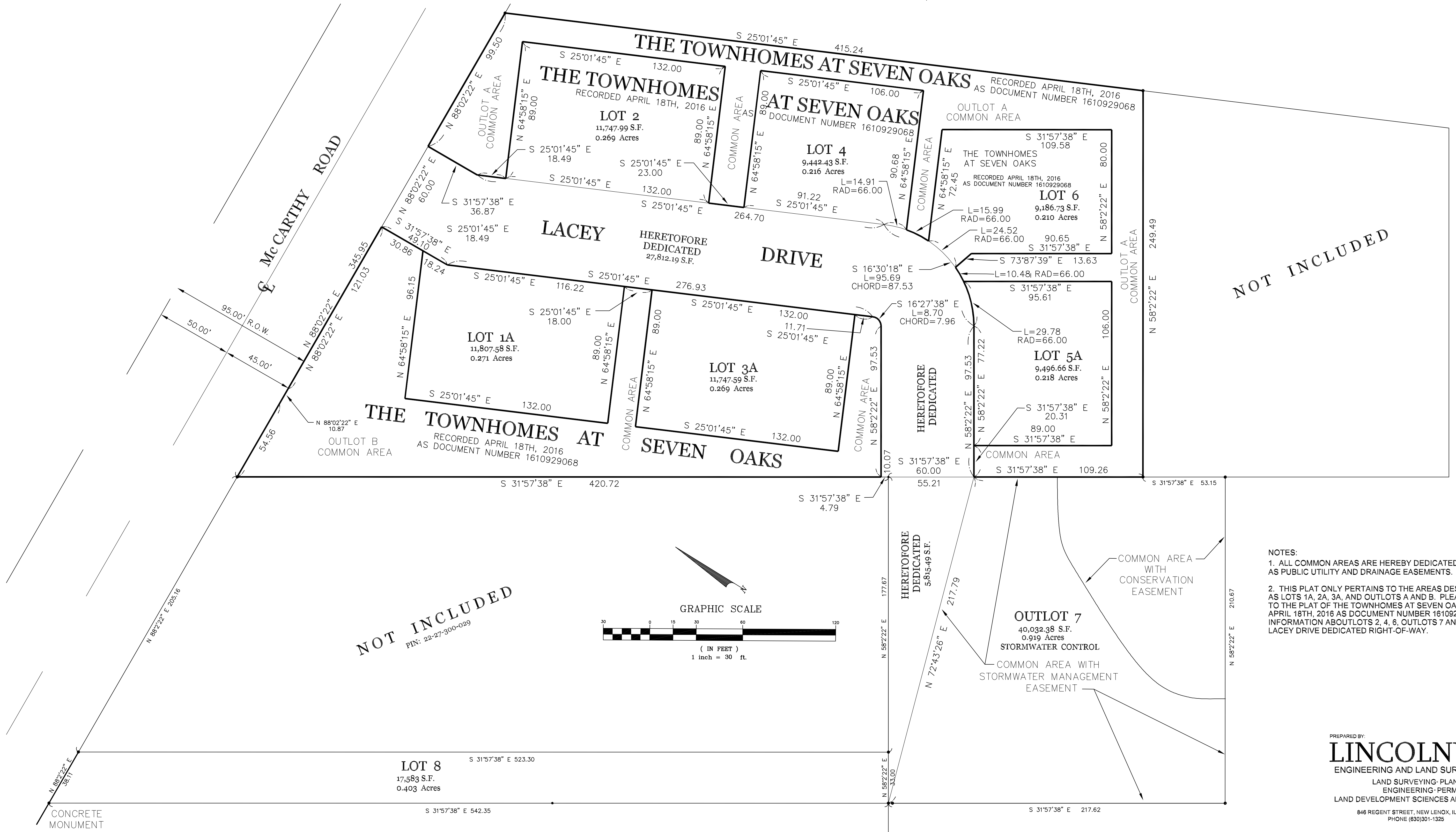
Building #1 – **22-27-300-085**
Unit 22 – 14256 Lacey Drive
Unit 23 – 14252 Lacey Drive
Unit 24 – 14248 Lacey Drive
Unit 25 – 14244 Lacey Drive
Unit 26 – 14240 Lacey Drive

PLAT OF SUBDIVISION

of:

LOTS 1A, 3A AND 5A IN THE TOWNHOMES AT SEVEN OAKS

A RESUBDIVISION OF LOTS 1, 3, 5, OUTLOT A AND OUTLOT B IN THE TOWNHOMES AT SEVEN OAKS PLAT OF SUBDIVISION, PART OF SECTION 27, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED APRIL 18TH, 2016 AS DOCUMENT NUMBER 1610929068, IN COOK COUNTY, ILLINOIS.



NOT INCLUDED
PIN: 22-27-300-029

NOT INCLUDED

- NOTES:
1. ALL COMMON AREAS ARE HEREBY DEDICATED AS PUBLIC UTILITY AND DRAINAGE EASEMENTS.
 2. THIS PLAT ONLY PERTAINS TO THE AREAS DESIGNATED AS LOTS 1A, 2A, 3A, AND OUTLOTS A AND B. PLEASE REFER TO THE PLAT OF THE TOWNHOMES AT SEVEN OAKS RECORDED APRIL 18TH, 2016 AS DOCUMENT NUMBER 1610929068 FOR ALL INFORMATION ABOUT LOTS 2, 4, 6, OUTLOTS 7 AND 8 AND THE LACEY DRIVE DEDICATED RIGHT-OF-WAY.

PREPARED BY:
LINCOLNWAY
ENGINEERING AND LAND SURVEYING LTD.
LAND SURVEYING · PLANNING
ENGINEERING · PERMITS
LAND DEVELOPMENT SCIENCES AND CONSULTING
846 REGENT STREET, NEW LENOX, IL. 60451
PHONE (630)301-1328

SITE GRADING PLAN

LOT 5A IN THE PLAT OF SUBDIVISION OF LOTS 1A, 3A AND 5A IN THE TOWNHOMES AT SEVEN OAKS, A RE-SUBDIVISION OF LOTS 1, 3, 5, OUTLOT A AND OUTLOT B IN THE TOWNHOMES AT SEVEN OAKS PLAT OF SUBDIVISION, PART OF SECTION 27, TOWNSHIP 37 NORTH, RANGE 1 EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED APRIL 18TH, 2016 AS DOCUMENT NUMBER 1610929068, ALL IN COOK COUNTY, ILLINOIS..

LEGAL DESCRIPTION

LOT 5A IN THE PLAT OF SUBDIVISION OF LOTS 1A, 3A AND 5A IN THE TOWNHOMES AT SEVEN OAKS, A RE-SUBDIVISION OF LOTS 1, 3, 5, OUTLOT A AND OUTLOT B IN THE TOWNHOMES AT SEVEN OAKS PLAT OF SUBDIVISION, PART OF SECTION 27, TOWNSHIP 37 NORTH, RANGE 1 EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED APRIL 18TH, 2016 AS DOCUMENT NUMBER 1610929068, ALL IN COOK COUNTY, ILLINOIS..

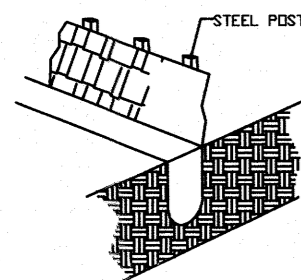
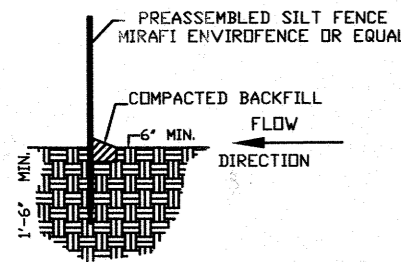
TOTAL LOT COVERAGE COMPUTATION

TOTAL LOT AREA (NOT INCL. COMMON AREAS)	= 9496.66 S.F.
4 UNIT BUILDING	= 5248 S.F.
DRIVEWAYS	= 1434 S.F.
ENTRY WALKS AND FRONT PORCHES	= 408 S.F.
PATIOS	= 432 S.F.
TOTAL HARD SURFACE	= 7522 S.F.

% HARD SURFACE COVERAGE (7522/9496.66)x100 = 79.21%

NOTES:

- BACK OF PUBLIC SIDEWALK SHALL BE ONE FOOT (1') OFFSET FROM RIGHT-OF-WAY LINE.
- SIDEWALK SHALL BE FIVE INCHES THICK, (SEVEN INCHES AT DRIVEWAYS) ON TWO INCHES COMPACTED STONE BASE.
- SIDEWALK SHALL HAVE 2% CROSS PITCH TOWARDS STREET.
- SIDEWALK SHALL BE 0.5 FEET HIGHER THAN TOP OF CURB.
- B-BOX MUST BE IN PUBLIC PARKWAY AND NOT LOCATED IN EASEMENT OR DRIVEWAYS.
- THE DRIVEWAY WIDTH SHALL BE LABELED AND MAY NOT EXCEED TWENTY-TWO (22) FEET AT THE RIGHT-OF-WAY LINE.
- DRIVEWAY SLOPE SHALL BE LABELED AND MAY NOT EXCEED A MAXIMUM 8% GRADE.
- WATER SERVICE AND SANITARY SERVICE LINES SHALL BE LABELED AND A TEN (10) FOOT MINIMUM SEPARATION IS REQUIRED.
- PARKWAY TREES TO BE PLANTED SHOWN IN THE PARKWAY PER THE APPROVED LANDSCAPE PLAN. REMAINDER OF LOT AND SURROUNDING COMMON AREAS (INCLUDING THE SHOWN PARKWAY TREES) SHALL BE LANDSCAPED PER THE APPROVED LANDSCAPE PLAN AFTER FINAL GRADING AND WHILE FINAL GROUND COVER IS BEING INSTALLED, THUS, SILT, AND/OR CONSTRUCTION FENCING AROUND SAID TREES SHOULD NOT BE NECESSARY. ALL OTHER ASPECTS OF THE APPROVED LANDSCAPE PLAN SHALL BE FOLLOWED IN ADDITION TO THE PARKWAY TREES SHOWN ON THIS PLAN.
- THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE APPROVED GRADING AND UTILITY PLANS PREPARED BY DAJ CIVIL ENGINEERS AND SURVEYORS (AKA: DAVE JOHNSON AND ASSOCIATES, LTD.) DATED 3-24-15 WITH MODIFICATIONS TO IMPROVE OVERLAND DRAINAGE.
- THIS PLAN IS FOR PERMIT TO CONSTRUCT THE FOUR UNIT TOWNHOME BUILDING ON LOT 5, ITS APPURTENANCES AND CONNECTIONS TO INFRASTRUCTURE WERE BY OTHER PERMIT. TOPOGRAPHY IS FROM 2-11-2019. DOWNSPOUT AND SUMP TILES SHALL BE PART OF THIS PERMIT. OTHER TILES SHALL BE THE RESPONSIBILITY OF THE DEVELOPER (IN THIS CASE AND IN THE CASE OF EACH LOT IN THIS DEVELOPMENT, CASTLETOWN HOMES, IS BOTH THE APPLICANT FOR THIS PERMIT AND THE DEVELOPMENT PERMIT HOLDER.)
- BUILDING SETBACK LINES DO NOT APPEAR ON THE SUBJECT PLAT OF SUBDIVISION. THE SITE IS ANNEXED INTO LEMONT AS R5 PUD AND THE ONLY EVIDENCE FOUND FOR SETBACKS IS IN THE PROJECTS GEOMETRIC PLAN THAT IS AN ATTACHMENT TO THE APPROVED ANNEXATION AGREEMENT. SAID GEOMETRIC PLAN SHOWS:
 - FRONT - BUILDINGS ARE TO BE 22 FEET FROM THE FRONT RIGHT-OF-WAY LINE OF LACEY DRIVE.
 - SIDE - BUILDINGS ARE TO BE 25 FEET APART AND 25 FEET FROM SIDE LINES OF THE DEVELOPMENT. WEST SIDE MATCHES THAT SHOWN ON APPROVED SUBDIVISION PLANS.
 - REAR - BUILDINGS ARE TO BE 30 FEET FROM THE REAR LINES OF THE DEVELOPMENT (NOT FROM THE REAR LINES OF THE INDIVIDUAL LOTS).
- 1.0' BRICK LEDGE TO ELEVATION 738.25 ADDED TO PART OF THE WESTERLY SIDE OF THIS BUILDING TO ALLOW SIDE TO GRADE TO NATURAL AREAS AT ACCEPTABLE SLOPE. DECKS AT FIRST FLOOR ELEVATION SHALL BE OFFERED ON THIS BUILDING. PATIOS MAY REQUIRE OTHER REAR YARD GRADES.



SILT FENCE DETAIL

- SILT FENCE SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE.
- DEPENDING UPON CONFIGURATION ATTACH FABRIC TO WIRE MESH WITH HOG RINGS, STEEL POSTS WITH TIE WIRES, WOOD POSTS WITH NAILS.
- PREFABRICATED SILT FENCE MAY BE USED, UNITS BY GEOFAB OR ENVIROFENCE.
- MAXIMUM POST/ STAKE SEPERATION: 10 FEET CENTER TO CENTER.

CALL J.U.L.I.E. JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS 48 HOURS BEFORE YOU DIG Excluding Sat., Sun. & Holidays



1-800-892-0123

TOLL FREE INCLUDE THE FOLLOWING INFORMATION

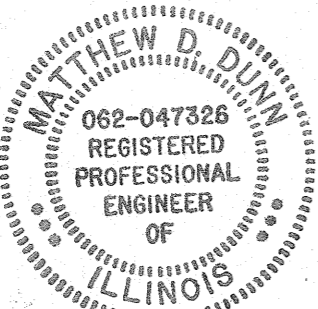
- | | |
|---|---|
| - COUNTY, CITY SECTION & 1/4 SECTION NO. OR COUNTY, TOWNSHIP SECTION & 1/4 SECTION NO. CALLERS NAME AND FIRM - FIRM ADDRESS | - CAN BE REACHED PHONE NO. - BEST TIME TO CALL - LOCATION OF PROPOSED EXCAVATION - TYPE AND EXTENT OF WORK - STARTING TIME AND DATE |
|---|---|

NOTES: WATER SERVICE TO BE 1.5" TYPE K COPPER SANITARY SERVICE TO BE 6" DIA. AT 1.00% MIN. SLOPE. MATERIAL PER VILLAGE CODE.

EROSION CONTROL TO BE APPLIED PER THE ILLINOIS PROCEDURES FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL MANUAL LATEST EDITION

JOB NO. 190207 ORDERED BY: CASTLETOWN HOMES

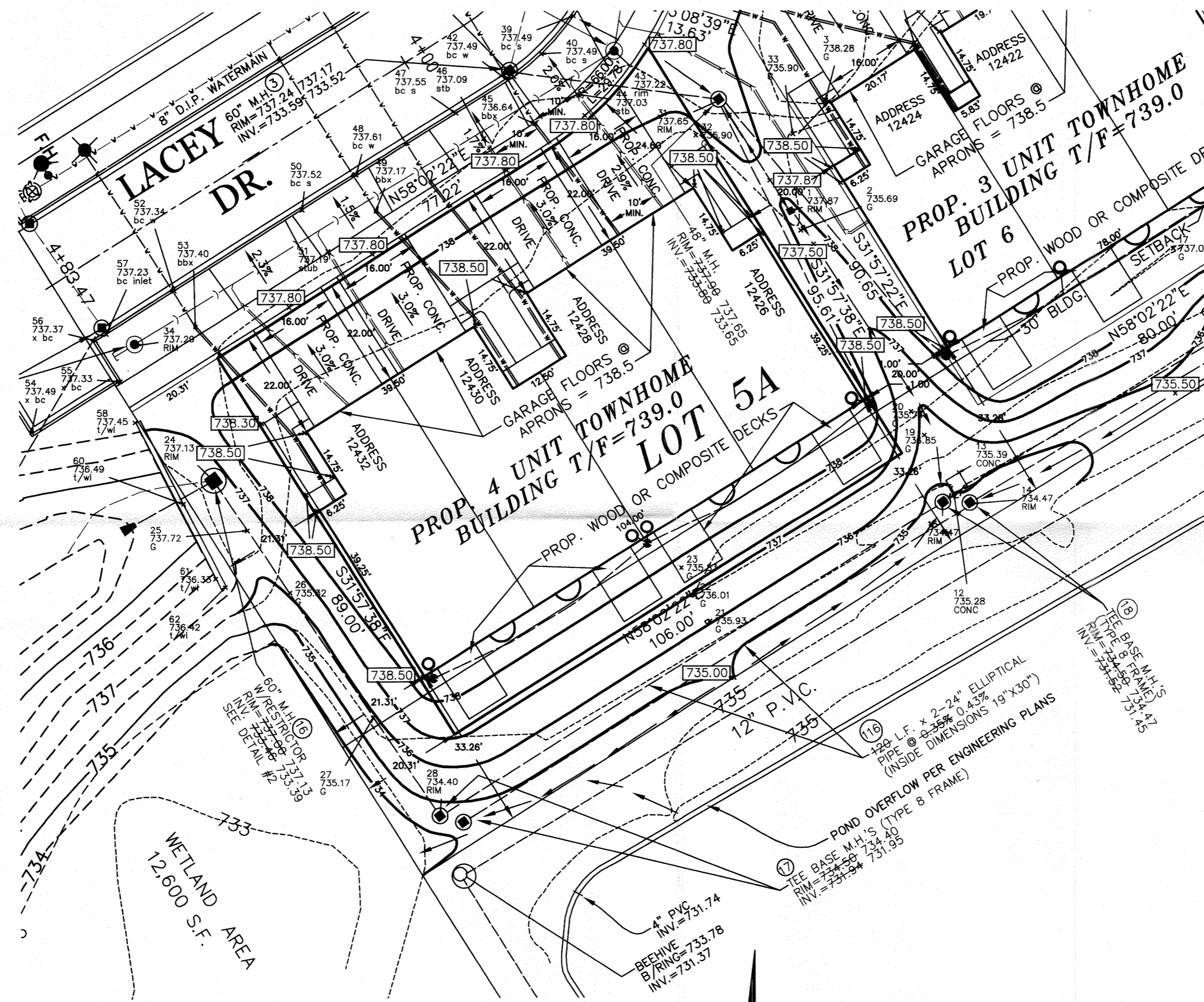
LINCOLNWAY ENGINEERING AND LAND SURVEYING LTD. AN ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM, SURVEY AND PROFESSIONAL ENGINEERING CORP. HAS PREPARED THIS PLAN. SURVEY AND SITE ENGINEERING DATA WERE COMPILED FROM PLANS IN THE PUBLIC RECORD. LINCOLNWAY ENGINEERING AND LAND SURVEYING CORPORATE LICENSURE EXPIRES APRIL 30, 2019.



DATED: 2-14-19 CORP. LIC.#184.006823

BY ILLINOIS LICENSED PROFESSIONAL ENGINEER, MATTHEW D. DUNN ILLINOIS PROFESSIONAL ENGINEER # 47326, MY LICENSE EXPIRES 11/30/2019

REV. 2-28-19 CHANGED BOUNDARY GRADES BETWEEN 5 AND 6 PER VILLAGE ENGINEER.
REV. 8-17-19 CHANGED TO RE-PLATTED BOUNDARY 5' NORTHWESTERLY AND GRADES TO AVOID COMED POWER SOUTHWEST OF BUILDING
REV. 8-21-19 PER VILLAGE COMMENTS



- ## LEGEND
- SMH-1 RIM=737.5
 - PROP. SANITARY MANHOLE W/ PROP. RIM (LARGE TEXT) BY OTHER INFRASTRUCTURE PERMIT AND EX. OBSERVED RIM (SMALL TEXT)
 - PROP. STORM STRUCTURE W/RIM (LARGE TEXT) BY OTHER INFRASTRUCTURE PERMIT AND EX. OBSERVED RIM (SMALL TEXT)
 - EXISTING PUBLIC STREET LAMP
 - PROP. PARKWAY 3" TREE (W/SURROUNDING CONST. FENCE ONLY AS NEEDED)
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - x xxx.xx = EXISTING GRADES
 - x xxx.xx = PROPOSED GRADES
 - PROPOSED OVERLAND FLOW DIRECTION
 - W = PROPOSED WATER SERVICE
 - W = EXISTING WATER MAIN
 - W = PROPOSED SANITARY SERVICE
 - W = EXISTING SANITARY SEWER
 - X = PROPOSED SILT FENCE
 - P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
 - B.L. = BRICK LEDGE
 - o = B-BOX LOCATION
 - x xxx.xx MATCH = PROPOSED GRADE TO MATCH EXISTING GRADE
 - x.xx% = PROPOSED DRIVE SLOPE
 - = TYPICAL DESCRIPTION OF PROPOSED WORK BY UNDERLYING DEVELOPMENT PERMIT (NOT THIS PERMIT)
 - SMALL TEXT = (OR AS DESCRIBED EXTRA LARGE ITALICS) TYPICALLY EXISTING CONDITIONS OR PROP. WORK BY THE SUBJECT PERMIT
 - = PROP. ASSOCIATED WITH OTHER UNDERLYING INFRASTRUCTURE PERMIT

COPYRIGHT 2014 LINCOLNWAY ENGINEERING AND LAND SURVEYING LTD.

LINCOLNWAY

ENGINEERING AND LAND SURVEYING LTD.

LAND SURVEYING • PLANNING
ENGINEERING • PERMITS
LAND DEVELOPMENT SCIENCES AND CONSULTING

846 REGENT STREET, NEW LENOX, IL. 60451
PHONE (630)301-1325

SCALE 1" = 20'

**THIS DOCUMENT PREPARED
BY AND AFTER RECORDING
RETURN TO:**

Jeffrey M. Stein
Tressler LLP
233 South Wacker Drive
22nd Floor
Chicago, IL 60606



Doc#: 1521519115 Fee: \$104.00
Karen A. Yarbrough
Cook County Recorder of Deeds
Date: 08/03/2015 1:17 PM Pg: 0

This space Reserved for Recorder's use only.

VILLAGE OF LEMONT

Ordinance No. O-20-15

**An Ordinance Granting a Special Use for a Final Planned Unit Development (PUD)
and Zoning Map Amendment for a Townhome Development
at 14280 McCarthy Road, in Lemont, Illinois
(Seven Oaks Townhomes)**

RECORDING FEE 104
DATE 8-3-15 COPIES 4
OK BY RV

VILLAGE OF LEMONT
ORDINANCE NO. 0-2015

AN ORDINANCE GRANTING A SPECIAL USE FOR A FINAL PLANNED UNIT DEVELOPMENT (PUD) AND ZONING MAP AMENDMENT FOR A TOWNHOME DEVELOPMENT AT 14280 MCCARTHY ROAD, IN LEMONT, ILLINOIS.

(Seven Oaks Townhomes)

**ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT
THIS 22nd DAY OF JUNE, 2015**

**PUBLISHED IN PAMPHLET FORM BY
AUTHORITY OF THE PRESIDENT AND
BOARD OF TRUSTEES OF THE VILLAGE
OF LEMONT, COOK, WILL AND DUPAGE
COUNTIES, ILLINOIS,
THIS 22ND DAY OF JUNE, 2015**

ORDINANCE NO. 0-20-15

AN ORDINANCE GRANTING A SPECIAL USE FOR A FINAL PLANNED UNIT DEVELOPMENT (PUD) AND ZONING MAP AMENDMENT FOR A TOWNHOME DEVELOPMENT AT 14280 MCCARTHY ROAD, IN LEMONT, ILLINOIS.

(Seven Oaks Townhomes)

WHEREAS, Seven Oaks Developers, LLC (hereinafter referred to as “Petitioner”) is the owner of the subject property covering approximately 4.2 acres located at 14280 McCarthy Road (PINs# 22-27-300-020, 22-27-300-030, 22-27-300-039, and 22-27-300-040) which is legally described and depicted in the Final Plat of Subdivision titled “The Townhomes at Seven Oaks Plat of Subdivision” attached hereto and incorporated herein as Exhibit A; and

WHEREAS, the Petitioner applied for final plan/plat approval, special use for a planned unit development, and zoning map amendment to Lemont R-5 Single-family Attached Residential District for a 26 unit townhome development; and

WHEREAS, the Petitioner has submitted a PUD Final Plan/Plat consisting of the following (hereinafter referred to as “Seven Oaks PUD Final Plan/Plat”):

- A. The Townhomes at Seven Oaks Plat of Subdivision, prepared by DJA Civil Engineers & Surveyors, dated 03/24/15;
- B. The Townhomes at Seven Oaks Geometric Plan, prepared by DJA Civil Engineers & Surveyors, dated 03/24/15, with a revision date of 04/27/15;
- C. The Townhomes at Seven Oaks Utility Plan, prepared by DJA Civil Engineers & Surveyors, dated 3/24/15, with a revision date of 4/27/15;
- D. The Townhomes at Seven Oaks Grading Plan, prepared by DJA Civil Engineers & Surveyors, dated 3/24/15, with a revision date of 4/27/15;
- E. The Townhomes at Seven Oaks Final Landscape & Tree Preservation Plan, prepared by Beary Landscaping, dated 3/23/15, with a revision date of 6/18/15;
- F. The Townhomes at Seven Oaks Wetland Impact & Native Landscape Plan, prepared by Gary R. Weber, dated 2/11/15;
- G. The Townhomes at Seven Oaks Building Elevations, prepared by Kirk Design Inc., dated 3/23/15;

H. The Townhomes at Seven Oaks Sign Plan, prepared by Kirk Design Inc., dated 05/13/15; and

WHEREAS, the Planning & Zoning Commission (PZC) held a hearing for this matter on April 15, 2015 and voted 5-0 to recommend approval of the petitioner's requests.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE, AND WILL, ILLINOIS:

SECTION 1: Incorporation of Recitals. The foregoing findings and recitals are hereby adopted as Section 1 of this Ordinance and are incorporated by reference as if set forth verbatim herein.

SECTION 2: Special Use & Zoning Map Amendment. A special use for a planned unit development and a zoning map amendment to Lemont R-5 Single-Family Attached Residential District is granted for the subject property.

SECTION 3: Conditions. The approvals set forth in this Ordinance are contingent upon the following conditions:

General Conditions. The Subject Property shall be developed, constructed and maintained in accordance with Village Code, the approved plans, the Annexation Agreement pertaining to the Subject Property and the exhibits to this Ordinance.

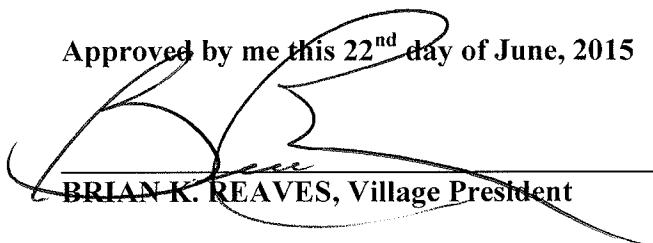
SECTION 4: That the Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

SECTION 5: That this Ordinance shall be in full force and effect from and after its passage, approval and publication provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE AND WILL, ILLINOIS, ON THIS 22nd DAY OF JUNE, 2015.

	<u>AYES</u>	<u>NAYS</u>	<u>ABSENT</u>	<u>ABSTAIN</u>
Debby Blatzer	✓			
Paul Chialdikas	✓			
Clifford Miklos	✓			
Ron Stapleton	✓			
Rick Sniegowski	✓			
Jeanette Virgilio	✓			

Approved by me this 22nd day of June, 2015



BRIAN K. REAVES, Village President

Attest:



CHARLENE M. SMOLLEN, Village Clerk

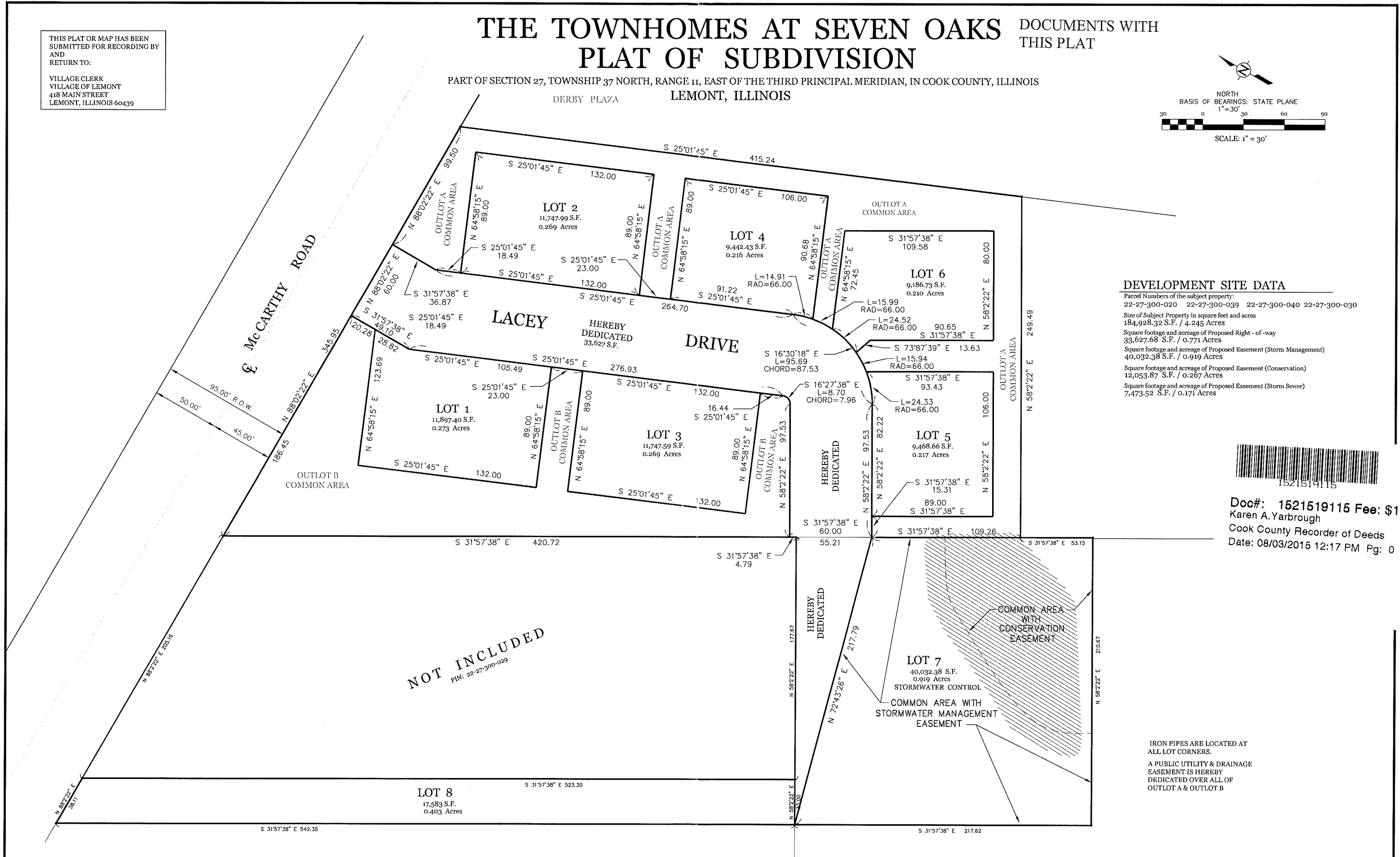
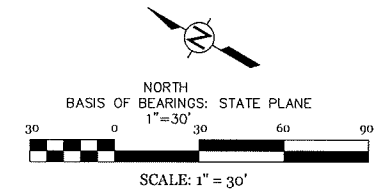
1521519115 1 of 9

THE TOWNHOMES AT SEVEN OAKS PLAT OF SUBDIVISION

DOCUMENTS WITH
THIS PLAT

PART OF SECTION 27, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS
DERBY PLAZA LEMONT, ILLINOIS

THIS PLAT OR MAP HAS BEEN
SUBMITTED FOR RECORDING BY
AND
RETURN TO:
VILLAGE CLERK
VILLAGE OF LEMONT
418 MAIN STREET
LEMONT, ILLINOIS 60439



DEVELOPMENT SITE DATA
Parcel Numbers of the subject property:
22-27-300-020 22-27-300-039 22-27-300-040 22-27-300-030
Size of Subject Property in square feet and acres
184,928.32 S.F. / 4.245 Acres
Square footage and acreage of Proposed Right-of-way
33,627.68 S.F. / 0.771 Acres
Square footage and acreage of Proposed Easement (Storm Management)
40,032.38 S.F. / 0.919 Acres
Square footage and acreage of Proposed Easement (Conservation)
12,053.87 S.F. / 0.267 Acres
Square footage and acreage of Proposed Easement (Storm Sewer)
7,473.52 S.F. / 0.171 Acres



Doc#: 1521519115 Fee: \$104.00
Karen A. Yarbrough
Cook County Recorder of Deeds
Date: 08/03/2015 12:17 PM Pg: 0

IRON PIPES ARE LOCATED AT ALL LOT CORNERS.
A PUBLIC UTILITY & DRAINAGE EASEMENT IS HEREBY DEDICATED OVER ALL OF OUTLOT A & OUTLOT B

REVISIONS: <table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>03-24-15</td> <td>D.J.</td> <td>PER REVIEW</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>				DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	03-24-15	D.J.	PER REVIEW				DRAWN BY: DJM DATE: 03-24-15 CHECKED BY: WDJ DATE: 03-24-15 APPROVED BY: WDJ DATE: 3-24-15				DJA CIVIL ENGINEERS & SURVEYORS DAVE JOHNSON and ASSOCIATES, Ltd. 312 S. Hale Street Wheaton, IL 60187 ph: 630 752 8600 fax: 630 752 9556 e-mail: DJA@DJAonline.net				CLIENT: SEVEN OAKS DEVELOPERS, LLC. 440 NORTH WABASH #1406 CHICAGO, IL. 60611				TITLE: PLAT OF SUBDIVISION THE TOWNHOMES AT SEVEN OAKS 14280 MCCARTHY ROAD LEMONT, ILLINOIS 60439				SCALE: 1" = 30' DATE: 03-24-15 JOB NO: 3456 SHEET 1 OF 3			
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION																														
03-24-15	D.J.	PER REVIEW																																	

1521519115 3 of 9

THE TOWNHOMES AT SEVEN OAKS PLAT OF SUBDIVISION

DOCUMENTS WITH
THIS PLAT

PART OF SECTION 27, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS
LEMONT, ILLINOIS

Public Utility and Drainage Easement Provisions

A non-exclusive personal easement is hereby reserved and granted to the Village of Lemont, and their successors and assigns over all areas designated "Public Utility and Drainage Easement" and those areas designated "PU & DE" on the plat, to construct, reconstruct, repair, inspect, maintain and operate various transmission, distribution, and collection systems, including but not limited to water lines, sanitary sewers and storm sewers, together with any and all necessary valve vaults, fire hydrants, manholes, catch basins, connectors, appurtenances and other structures and appurtenances as may be deemed necessary by said Village, over, upon, along, under and through the surface of the property shown on the plat, together with the right of access for necessary labor, materials and equipment to do any of the above work. The right is also granted to cut down, trim or remove, without obligation to restore or replace any obstruction, including but not limited to trees, shrubs, other plants, structures or improvements on the easement that interfere with the operation of such lines and sewers. No permanent buildings or structures shall be placed on said easement, but same may be used for gardens, landscape areas, and other purposes that do not then or later interfere with the aforesaid uses or rights. Where an easement is used for both sewer and other utilities, the other utility installation shall be subject to the ordinance of the Village of Lemont and to Village approval as to design and location.

Perpetual easements are hereby reserved for and granted to the Village of Lemont and other governmental authorities having jurisdiction of the land, over the entire easement area for ingress, egress, and the performance of municipal and other governmental services including water, storm and sanitary sewer service and maintenance and emergency and routine police, fire, and other public safety related services.

COMED COMPANY AND AT&T CORPORATION

An easement is hereby reserved for and granted to ComEd Company and AT&T Corporation, their respective successors and assigns, jointly and severally, for the installation, maintenance, relocation, renewal and removal of overhead and underground electric and communications cables and appurtenances in, over, under, across, along and upon the surface of the property shown on the plat and designated as "Public Utility and Drainage Easement" or "PU & DE" and the property designated on the plat for streets and alleys required to provide the planned development and other property, whether or not contiguous thereto, with electric and communications services, together with the right to install required service connections over or under the surface of such lot to serve improvements thereon, or on adjacent lots, the right to cut, trim or remove trees, bushes and roots, as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes.

No building or other obstruction shall be placed over grantees' facilities or in, upon or over the property within the "Public Utility and Drainage Easement" or "PU & DE" without the prior written consent of grantees. Nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby. After installation of any such facilities, the grade of subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

NICOR CORPORATION / NICOR GAS COMPANY

An easement is hereby reserved for and granted to Nicor Corporation and Nicor Gas Company, their successors and assigns, jointly and severally, for the installation, maintenance, relocation, renewal and removal of gas mains and appurtenances in, under, across, along and upon the surface of the property shown on the plat and designated as "Public Utility and Drainage Easement" or "PU & DE" and the property designated on the plat for streets and alleys as required to provide the planned unit development and other property, whether or not contiguous thereto, with gas supply services, together with the right to install required service connections for each lot. No buildings or other obstruction shall be constructed or erected in any such "Public Utility and Drainage Easement" or "PU & DE" areas, without the prior written consent of grantees. Nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby.

COMCAST COMMUNICATIONS

An easement is hereby reserved for and granted to Comcast Communications Corporation, operating within the Village of Lemont, its successors and assigns, jointly and severally, for the installation, maintenance, relocation, renewal and removal of cable communication and broadcast signal systems in, under, across, along and upon the surface of the property shown on the plat and designated as "Public Utility and Drainage Easement" or "PU & DE" and the property designated on the plat for streets and alleys as required to provide the planned unit development and other property, whether or not contiguous thereto, with communications and broadcast TV services, together with the right to install required service connections for each lot. No buildings or other obstruction shall be constructed or erected in any such "Public Utility and Drainage Easement" or "PU & DE" areas, without the prior written consent of grantees. Nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby.

Drainage and Stormwater Detention Easement

Declarant hereby reserves and grants to the Village of Lemont easements in, over, under, through and upon those areas designated on the Plat as "Drainage and Stormwater Detention Easement" or "D.E." for purposes of providing adequate stormwater drainage control together with reasonable access thereto. Said easements shall be perpetual and shall run with the land and shall be binding upon the declarant, its successors, heirs, executors and assigns. To ensure the integrity of the stormwater facilities, no obstruction shall be placed, nor alterations made, including alterations in the final topographic grading plan which in any manner impede or diminish stormwater drainage or detention in, over, under, through or upon said easement areas. In the event such obstruction or alterations are found to exist, the Village shall, upon seventy-two (72) hours prior notice to the property owner, have the right, but not the duty, to perform, or have performed on its behalf, the removal of said obstruction or alterations or to perform other repair, alteration or replacement as may reasonably be necessary to ensure that adequate stormwater storage, storm drainage, detention and retention facilities and appurtenances thereto remain fully operational and that the condition of said drainage easement complies with all applicable Village codes. In the event of an emergency situation, as determined by the Village, the seventy-two (72) hours prior notice requirement set forth above shall not apply, and the Village shall have the right, but not the duty, to proceed without notice to the property owner.

In the event the Village shall perform, or have performed on its behalf, removal of any obstruction or alteration in or upon the stormwater facilities drainage easement, as set forth in this easement, the cost of such work shall, upon recordation of Notice of Lien with the Recorder of Deeds of Cook County, Illinois, constitute a lien against the assets of the property owner which caused such obstruction or alteration.

The cost of the work incurred by the Village shall include all expenses and costs associated with the performance of such work including, but not limited to, reasonable engineering, consulting and attorneys' fees related to the planning and actual performance of the work.

Subdivision Entry Sign Easement Provisions

A perpetual easement is hereby reserved and granted for a Subdivision Entry Sign Easement for the (Property Owner(s) / Homeowner's Association) and the Village of Lemont (the "Village") and their successors and assigns, over, upon, under, through, and along all areas marked "Subdivision Entry Sign Easement" on the plat. Said easement shall be for the perpetual right, privilege and authority to construct, reconstruct, repair, replace, inspect, trim, cut down, remove, and maintain, a subdivision entry sign and landscaping appurtenance thereon as may be determined necessary by the (Property Owner(s) / Homeowner's Association), and in a manner consistent with plans rendered to and approved by the Village. No alteration, permanent structures, landscaping, grading, or appurtenances therein shall be allowed in this easement without the prior written approval of the (Property Owner(s) / Homeowner's Association) and the Village.

The (Property Owner(s) / Homeowner's Association) shall maintain the subdivision entry sign and landscaping appurtenance hereon in a manner consistent with the plans approved by the Village and the standards typical of private property maintenance throughout the community. In the event the (Property Owner(s) / Homeowner's Association) fails to properly maintain this easement, the Village shall, upon seventy-two (72) hours prior notice to the (Property Owner(s) / Homeowner's Association), have the right, but not the duty, to perform, or have performed on its behalf, any maintenance work in or upon the subdivision entry sign and its appurtenant structures and landscaping. In the event of an emergency situation, as determined by the Village, the seventy-two (72) hours prior notice requirement set forth above shall not apply, and the Village shall have the right, but not the duty, to proceed without notice to the (Property Owner(s) / Homeowner's Association).

In the event the Village shall perform, or have performed on its behalf, any maintenance work within this easement, the cost of such work shall, upon recordation of Notice of Lien with the Recorder of Deeds of Cook, DuPage or Will County, Illinois, constitute a lien against the assets of the (Property Owner(s) / Homeowner's Association) and against each and every lot within the Sub-division.

The cost of the work incurred by the Village shall include all expenses and costs associated with the performance of such work including, but not limited to, reasonable engineering, consulting and attorneys' fees related to the planning and actual performance of the work.

Restricted Access Easement Provisions

Restricted access easements are hereby reserved for and granted to the Village of Lemont and its successors and assigns, over, upon, across, under, and through those areas depicted on the Plat as a "Restricted Access Easement". The purpose of said easements is to allow the Village of Lemont to prohibit any and all improvements, driveways, curb cuts, and related facilities intended for the purpose of ingress and egress by motorized vehicles from the public right-of-way to the private property.

Said easements herein granted are perpetual easements and shall run with the land and all covenants, agreements, terms, conditions, obligations, rights, and interest herein contained are provided for and shall likewise inure to the benefit of the parties hereto, their heirs, executors, successors, grantees, lessees, and assigns.

Landscaping Easement Provisions

A perpetual easement is hereby reserved and granted for subdivision landscaping for the (Property Owner(s) / Homeowner's Association) and the Village of Lemont (the "Village") and their successors and assigns, over, upon, under, through, and along all areas marked "Landscaping Easement" on the plat. Said easement shall be for the perpetual right, privilege and authority to plant, maintain, repair, replace, irrigate, trim, cut down, or remove landscaping as may be determined necessary by the (Property Owner(s) / Homeowner's Association) and in a manner consistent with plans rendered to and approved by the Village. No alteration, permanent structures, landscaping, grading, or appurtenances therein shall be allowed in this easement without the prior written approval of the (Property Owner(s) / Homeowner's Association) and the Village.

The (Property Owner(s) / Homeowner's Association) shall maintain the landscaping in said easement in a manner consistent with the plans approved by the Village and the standards typical of private property maintenance throughout the community. In the event the (Property Owner(s) / Homeowner's Association) fails to properly maintain this easement, the Village shall, upon seventy-two (72) hours prior notice to the (Property Owner(s) / Homeowner's Association), have the right, but not the duty, to perform, or have performed on its behalf, landscaping maintenance as described herein. In the event of an emergency situation, as determined by the Village, the seventy-two (72) hours prior notice requirement set forth above shall not apply, and the Village shall have the right, but not the duty, to proceed without notice to the (Property Owner(s) / Homeowner's Association).

In the event the Village shall perform, or have performed on its behalf, any maintenance work within this easement, the cost of such work shall, upon recordation of Notice of Lien with the Recorder of Deeds of Cook, DuPage or Will County, Illinois, constitute a lien against the assets of the (Property Owner(s) / Homeowner's Association) and against each and every lot within the subdivision.

The cost of the work incurred by the Village shall include all expenses and costs associated with the performance of such work including, but not limited to, reasonable engineering, consulting and attorneys' fees related to the planning and actual performance of the work.

Wetland Conservation Easement Provisions

The area shown herein as "Wetland Conservation Easement" is hereby subject to the following:

The U.S. Army Corps of Engineers and the Village of Lemont (hereinafter the "Village") will each have the right to enter the Wetland Conservation Easement at reasonable times and to enforce by proceedings in law or equity the covenants and restrictions herein.

The following actions are not permitted except by prior written consent from the Village:

- A. Placing, dredged or fill material, piling, mining, or removal of leysed or other materials
- B. Construction of buildings, structures, or developments
- C. Removal or destruction of wildlife, tree or plants, mowing, application of pesticides or herbicides, or removal of flora or fauna except as required for the maintenance of the property as a wetland
- D. Operation of motorcraft, cars, trucks, snowmobiles, motorcycles, or any other types of motorized vehicles
- E. Hunting, trapping, grazing or keeping of livestock
- F. New or additional utilities placed overhead or underground, without specific permission of the Village of Lemont.

These restrictions and covenants shall run with the land and be binding on the Owner and its assigns forever.

REVISIONS:		DESCRIPTION		DATE		BY		DESCRIPTION	
DATE	BY								
03-24-15	D.J.	PER REVIEW							

DRAWN BY:	DJ	DATE:	03-24-15
CHECKED BY:	WDJ	DATE:	03-24-15
APPROVED BY:	WDJ	DATE:	3-24-15

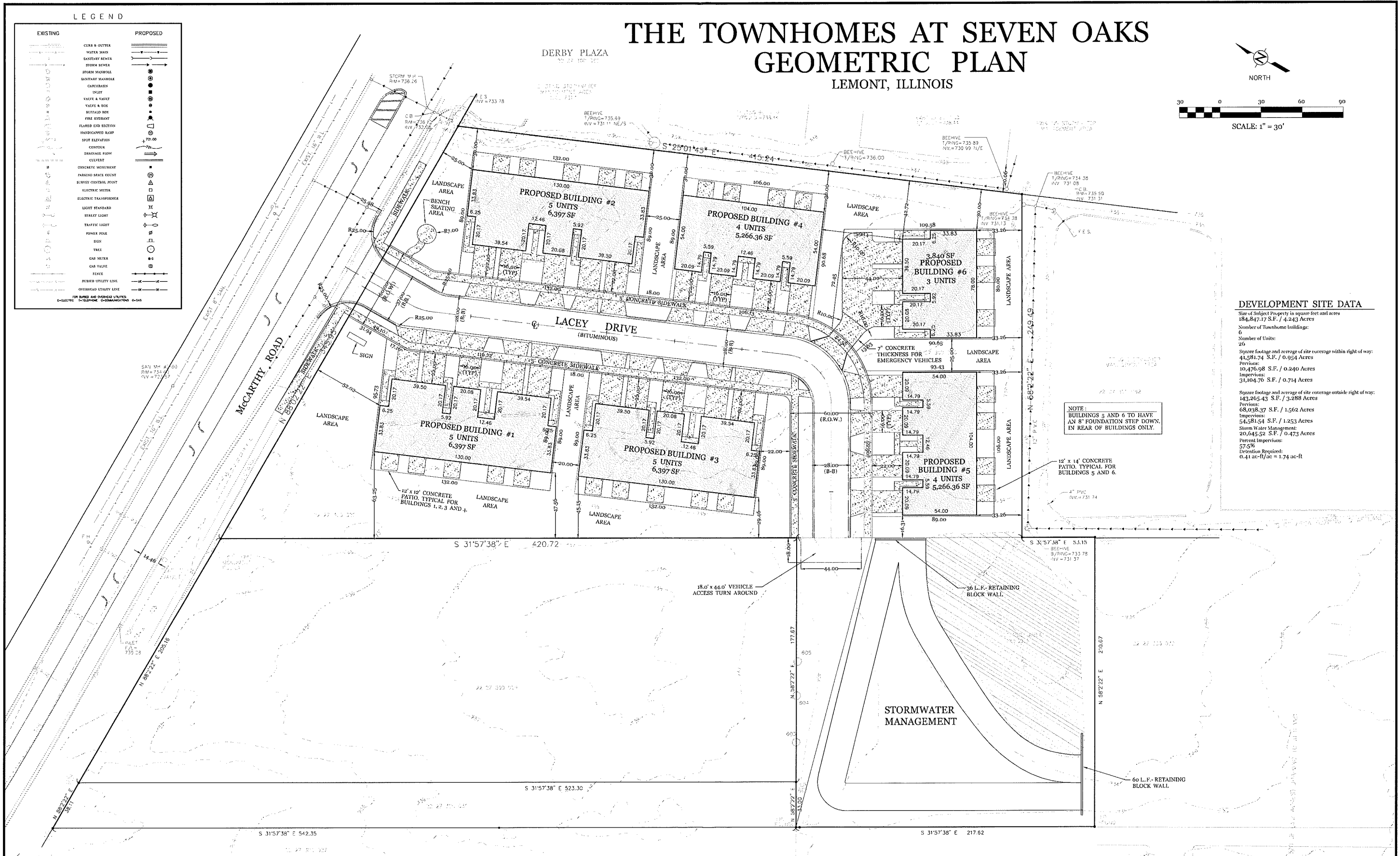
DJA CIVIL ENGINEERS & SURVEYORS
DAVE JOHNSON and ASSOCIATES, Ltd.
312 S. Hale Street Wheaton, IL 60187
ph. 630 752 8600 fax. 630 752 9556
e-mail: DJA@DJAonline.net

SEVEN OAKS DEVELOPERS, LLC.
440 NORTH WABASH #1406
CHICAGO, IL. 60611

PLAT OF SUBDIVISION
THE TOWNHOMES AT SEVEN OAKS
14280 MCCARTHY ROAD
LEMONT, ILLINOIS 60439

SCALE:	1" = 30'
DATE:	03-24-15
JOB NO:	3456
SHEET	3 OF 3

1521519115 4 of 9



DEVELOPMENT SITE DATA
 Size of Subject Property in square feet and acres
 184,847.17 S.F. / 4.243 Acres
 Number of Townhome buildings:
 6
 Number of Units:
 26
 Square footage and acreage of site coverage within right of way:
 41,581.74 S.F. / 0.954 Acres
 Pavement:
 10,476.98 S.F. / 0.240 Acres
 Impervious:
 31,104.76 S.F. / 0.714 Acres
 Square footage and acreage of site coverage outside right of way:
 143,265.43 S.F. / 3.288 Acres
 Pavement:
 68,038.37 S.F. / 1.562 Acres
 Impervious:
 54,581.54 S.F. / 1.253 Acres
 Storm Water Management:
 20,645.52 S.F. / 0.473 Acres
 Forest/Impervious:
 57.5%
 Detention Required:
 0.41 ac-ft/ac = 1.74 ac-ft

NOTE:
 BUILDINGS 5 AND 6 TO HAVE
 AN 8" FOUNDATION STEP DOWN,
 IN REAR OF BUILDINGS ONLY.

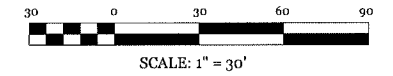
REVISIONS: <table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>PER REVIEW</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>03-24-15</td> <td>D.J.</td> <td>PER REVIEW</td> <td></td> </tr> <tr> <td>04-27-15</td> <td>D.J.</td> <td>PER REVIEW</td> <td></td> </tr> </tbody> </table>				DATE	BY	PER REVIEW	DESCRIPTION	03-24-15	D.J.	PER REVIEW		04-27-15	D.J.	PER REVIEW		<table border="1"> <thead> <tr> <th>DRAWN BY:</th> <th>DJ</th> <th>DATE:</th> <th>03-24-15</th> </tr> <tr> <th>CHECKED BY:</th> <th>WDJ</th> <th>DATE:</th> <th>03-24-15</th> </tr> <tr> <th>APPROVED BY:</th> <th>WDJ</th> <th>DATE:</th> <th>3-24-15</th> </tr> </thead> </table>				DRAWN BY:	DJ	DATE:	03-24-15	CHECKED BY:	WDJ	DATE:	03-24-15	APPROVED BY:	WDJ	DATE:	3-24-15	DJA CIVIL ENGINEERS & SURVEYORS DAVE JOHNSON AND ASSOCIATES, LTD. 312 S. Hale Street Wheaton, IL 60187 ph. 630 752 8600 fax. 630 752 9556 e-mail: DJA@DJAonline.net				CLIENT: SEVEN OAKS DEVELOPERS, L.L.C. 440 NORTH WABASH #1406 CHICAGO, IL. 60611				TITLE: GEOMETRIC PLAN THE TOWNHOMES AT SEVEN OAKS 14280 MCCARTHY ROAD LEMONT, ILLINOIS 60439				SCALE: 1" = 30' DATE: 06-01-15 JOB NO: 3456 SHEET 2 OF 13			
DATE	BY	PER REVIEW	DESCRIPTION																																												
03-24-15	D.J.	PER REVIEW																																													
04-27-15	D.J.	PER REVIEW																																													
DRAWN BY:	DJ	DATE:	03-24-15																																												
CHECKED BY:	WDJ	DATE:	03-24-15																																												
APPROVED BY:	WDJ	DATE:	3-24-15																																												

1521519115 3 of 9

THE TOWNHOMES AT SEVEN OAKS UTILITY PLAN

DERBY PLAZA
120 W. 50th St.
LEMONT, ILLINOIS

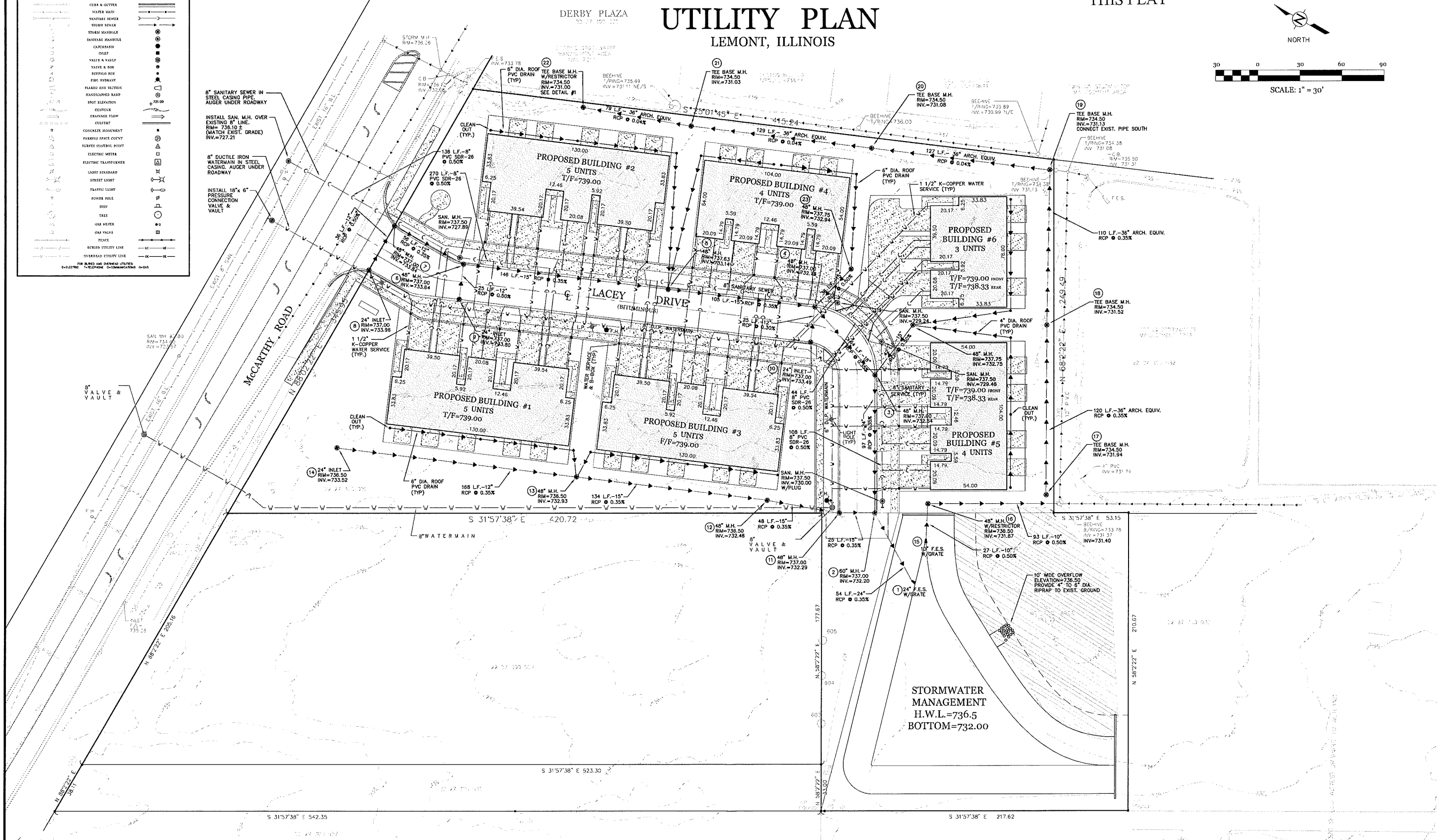
DOCUMENTS WITH
THIS PLAT



LEGEND	
EXISTING	PROPOSED

INSTALL SAN. M.H. OVER EXISTING 8" LINE. RIM=736.10 (MATCH EXIST. GRADE) INV.=727.21

INSTALL 18" x 6" PRESSURE CONNECTION VALVE & VAULT



REVISIONS:					
DATE	BY	PER REVIEW	DESCRIPTION	DATE	BY
03-24-15	D.J.	PER REVIEW			
04-27-15	D.J.	PER REVIEW			

DRAWN BY:	DJ	DATE:	03-24-15
CHECKED BY:	WDJ	DATE:	03-24-15
APPROVED BY:	WDJ	DATE:	3-24-15

DJA CIVIL ENGINEERS & SURVEYORS
 DAVE JOHNSON and ASSOCIATES, Ltd.
 312 S. Hale Street Wheaton, IL 60187
 ph. 630 752 8600 fax. 630 752 9556
 e-mail: DJA@djaonline.net

CLIENT: SEVEN OAKS DEVELOPERS, LLC.
 440 NORTH WABASH #1406
 CHICAGO, IL. 60611

TITLE: UTILITY PLAN
 THE TOWNHOMES AT SEVEN OAKS
 14280 MCCARTHY ROAD
 LEMONT, ILLINOIS 60439

SCALE:	1" = 30'
DATE:	06-01-15
JOB NO.:	3456
SHEET	3 OF 13

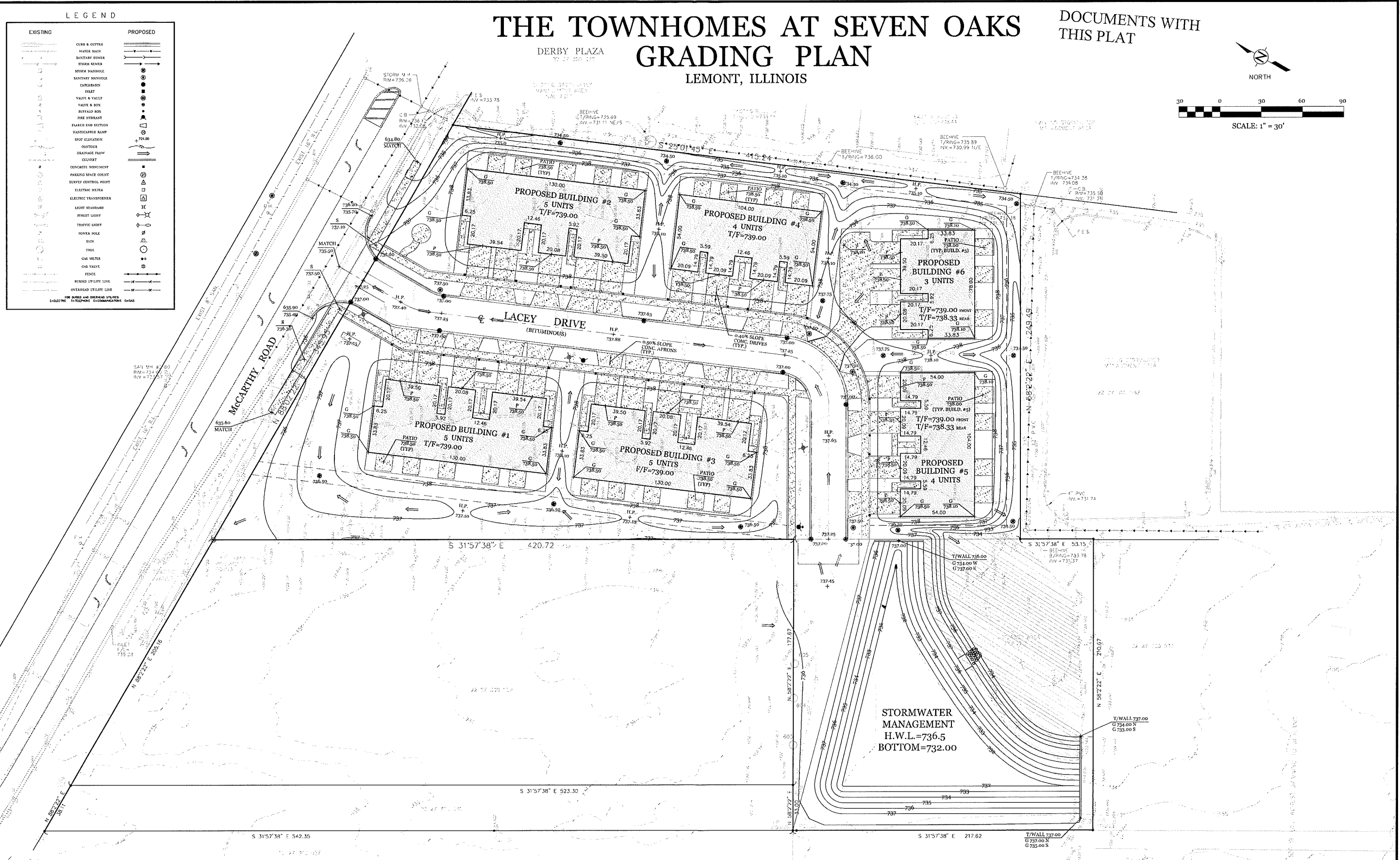
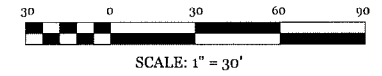
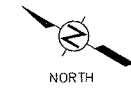
1521519115 6 of 9

THE TOWNHOMES AT SEVEN OAKS

GRADING PLAN

DERBY PLAZA
731 57 250 250
LEMONT, ILLINOIS

DOCUMENTS WITH THIS PLAT

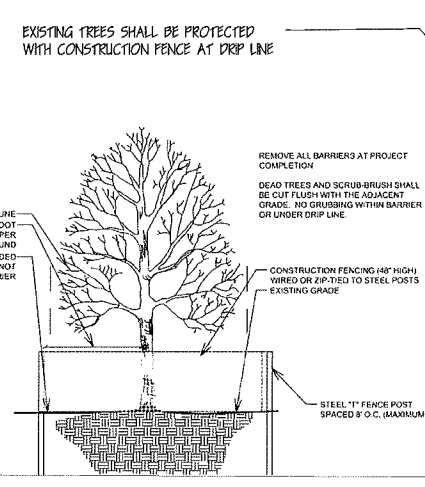
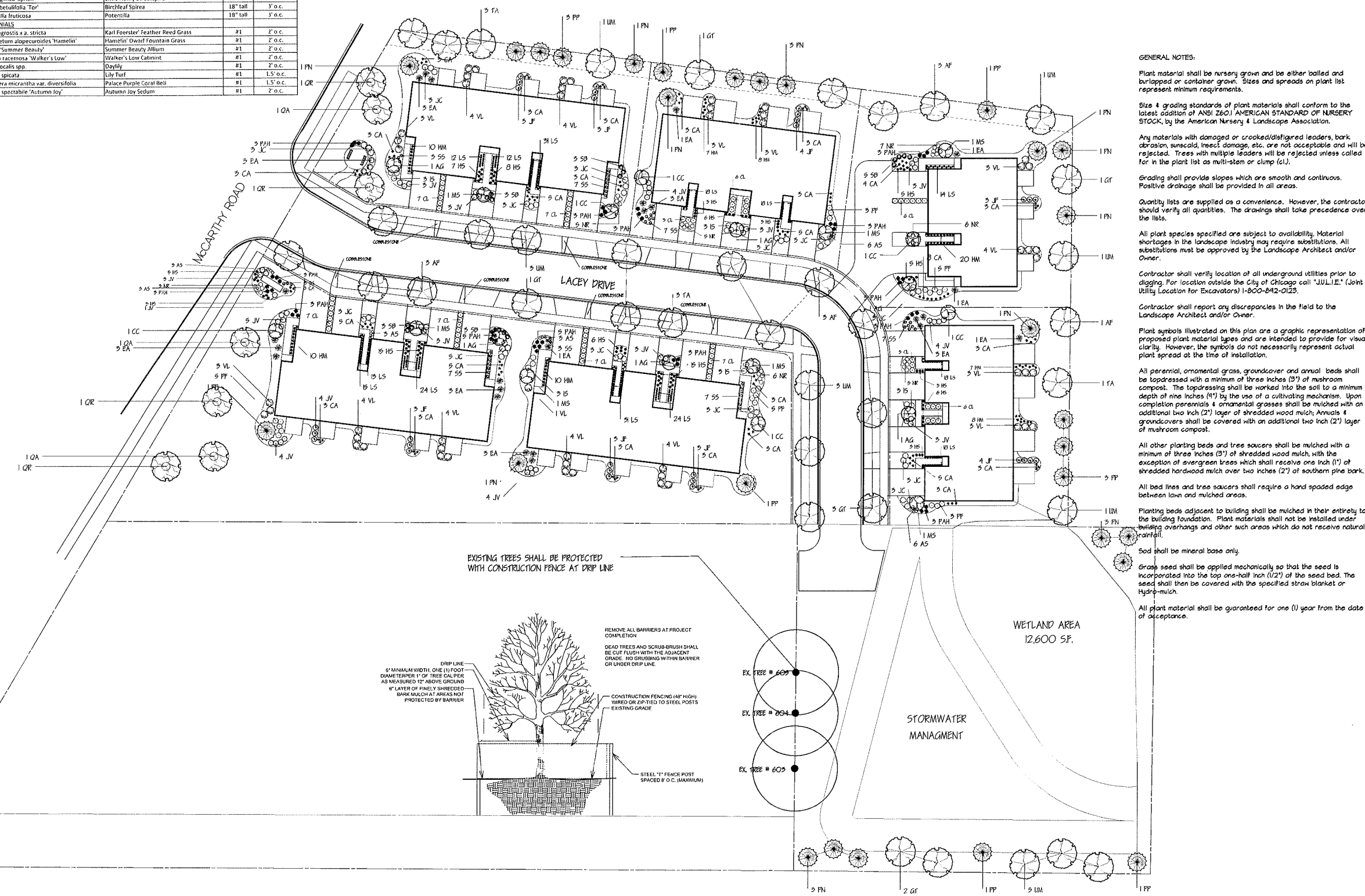
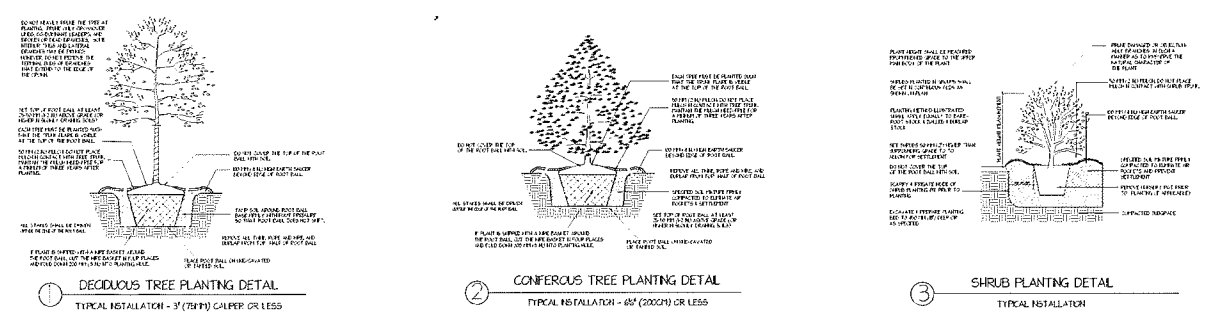


LEGEND	
EXISTING	PROPOSED

REVISIONS: <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>03-24-15</td> <td>D.J.</td> <td>PER REVIEW</td> </tr> <tr> <td>04-27-15</td> <td>D.J.</td> <td>PER REVIEW</td> </tr> </tbody> </table>		DATE	BY	DESCRIPTION	03-24-15	D.J.	PER REVIEW	04-27-15	D.J.	PER REVIEW	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		DATE	BY	DESCRIPTION				<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DRAWN BY:</th> <th>DATE:</th> </tr> </thead> <tbody> <tr> <td>DJ</td> <td>03-24-15</td> </tr> </tbody> </table>		DRAWN BY:	DATE:	DJ	03-24-15	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>CHECKED BY:</th> <th>DATE:</th> </tr> </thead> <tbody> <tr> <td>WDJ</td> <td>03-24-15</td> </tr> </tbody> </table>		CHECKED BY:	DATE:	WDJ	03-24-15	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>APPROVED BY:</th> <th>DATE:</th> </tr> </thead> <tbody> <tr> <td>WDJ</td> <td>3-24-15</td> </tr> </tbody> </table>		APPROVED BY:	DATE:	WDJ	3-24-15	DJA CIVIL ENGINEERS & SURVEYORS DAVE JOHNSON AND ASSOCIATES, LLC 312 S. Hale Street Wheaton, IL 60187 ph. 630 752 8600 fax. 630 752 9555 e-mail: DJA@DJAonline.net		CLIENT: SEVEN OAKS DEVELOPERS, LLC. 440 NORTH WABASH #1406 CHICAGO, IL. 60611		TITLE: GRADING PLAN THE TOWNHOMES AT SEVEN OAKS 14280 MCCARTHY ROAD LEMONT, ILLINOIS 60439		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>SCALE:</th> </tr> </thead> <tbody> <tr> <td>1" = 30'</td> </tr> </tbody> </table>		SCALE:	1" = 30'
DATE	BY	DESCRIPTION																																												
03-24-15	D.J.	PER REVIEW																																												
04-27-15	D.J.	PER REVIEW																																												
DATE	BY	DESCRIPTION																																												
DRAWN BY:	DATE:																																													
DJ	03-24-15																																													
CHECKED BY:	DATE:																																													
WDJ	03-24-15																																													
APPROVED BY:	DATE:																																													
WDJ	3-24-15																																													
SCALE:																																														
1" = 30'																																														
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE:</th> <th>JOB NO.:</th> <th>SHEET</th> <th>OF</th> </tr> </thead> <tbody> <tr> <td>06-01-15</td> <td>3456</td> <td>4</td> <td>13</td> </tr> </tbody> </table>										DATE:	JOB NO.:	SHEET	OF	06-01-15	3456	4	13																													
DATE:	JOB NO.:	SHEET	OF																																											
06-01-15	3456	4	13																																											

EXHIBIT E - THE TOWNHOMES AT SEVEN OAKS FINAL LANDSCAPE & TREE PRESERVATION PLAN

QTY	Symbol	Botanical Name	Common Name	Size	Type
SHADE TREES					
10	AF	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	3" cal	Single Stem
8	GT	Gloditsia triacanthos 'Skyline'	Skyline Honeylocust	3" cal	Single Stem
3	QA	Quercus alba	White Oak	2.5" cal	Single Stem
4	QR	Quercus rubra	Red Oak	2.5" cal	Single Stem
13	UM	Ulmus 'Morton' 'accolade'	Morton Elm	3" cal	Single Stem
7	TA	Tilia americana 'Redmond'	Redmond Linden	3" cal	Single Stem
EVERGREEN TREES					
17	PN	Pinus nigra	Austrian Pine	8' tall	Natural Form
12	PP	Picea pungens	Norway Spruce	8' tall	Natural Form
ORNAMENTAL TREES					
7	CC	Crataegus crusgalli inermis	Thornless Cockspur Hawthorn	6' tall	Multi Stem
6	AC	Ampelocleris x grandiflora	Autumn Brilliance Serviceberry	6' tall	Multi Stem
6	MS	Malus spp.	Flowering Crabapple	6' tall	Multi Stem
SHRUBS					
86	CL	Cotoneaster lucidus	Hedge Cotoneaster	24" tall	3' o.c.
26	EA	Euonymus alatus 'Compactus'	Dwarf Burning Bush	36" tall	4' o.c.
50	VL	Viburnum lantana 'Mohican'	Mohican Viburnum	36" tall	4' o.c.
41	JC	Juniperus chinensis 'Sea Green'	Sea Green Juniper	24" tall	3' o.c.
29	JF	Juniperus chinensis 'Falconview'	Falconview Juniper	5' tall	3' o.c.
46	JV	Juniperus chinensis var. 'sargentii' 'Viridis'	Green Sargent Juniper	18" tall	3' o.c.
15	IS	Itea virginica 'Sprich'	Little Henry Sweetgum	18" tall	3' o.c.
17	SB	Spiraea betulifolia 'Tor'	Birchleaf Spiraea	18" tall	3' o.c.
21	PF	Potentilla fruticosa	Potentilla	18" tall	3' o.c.
PERENNIALS					
88	CA	Calamagrostis x. stricta	Karl Foerster Feather Reed Grass	#1	2' o.c.
43	PAH	Pennisetum alopecuroides 'Hamelin'	Hamelin Dwarf Fountain Grass	#1	2' o.c.
24	AS	Asium 'Summer Beauty'	Summer Beauty Allium	#1	2' o.c.
26	NR	Nepeta racemosa 'Walker's Low'	Walker's Low Catmint	#1	2' o.c.
95	HS	Hemerocallis spp.	Daylily	#1	2' o.c.
248	LS	Liriope spicata	Lily Turf	#1	1.5' o.c.
78	HM	Heuchera micrantha var. diversifolia	Palace Purple Coral Bell	#1	1.5' o.c.
41	SS	Sedum spectabile 'Autumn Joy'	Autumn Joy Sedum	#1	2' o.c.



GENERAL NOTES:

Plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and spreads on plant list represent minimum requirements.

Size & grading standards of plant materials shall conform to the latest edition of ANSI Z601 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association.

Any materials with damaged or crooked/distorted leaders, bark abrasion, sunscald, insect damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump (cl).

Grading shall provide slopes which are smooth and continuous. Positive drainage shall be provided in all areas.

Quantity lists are supplied as a convenience. However, the contractor should verify all quantities. The drawings shall take precedence over the lists.

All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.

Contractor shall verify location of all underground utilities prior to digging. For location outside the City of Chicago call "JULIE" (Joint Utility Location for Excavators) 1-800-842-0123.

Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.

Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.

All perennial, ornamental grass, groundcover and annual beds shall be topdressed with a minimum of three inches (3") of mushroom compost. The topdressing shall be worked into the soil to a minimum depth of nine inches (9") by the use of a cultivating mechanism. Upon completion perennials & ornamental grasses shall be mulched with an additional two inch (2") layer of shredded wood mulch; Annuals & groundcovers shall be covered with an additional two inch (2") layer of mushroom compost.

All other planting beds and tree saucers shall be mulched with a minimum of three inches (3") of shredded wood mulch, with the exception of evergreen trees which shall receive one inch (1") of shredded hardwood mulch over two inches (2") of southern pine bark.

All bed lines and tree saucers shall require a hand spaded edge between lawn and mulched areas.

Planting beds adjacent to building shall be mulched in their entirety to the building foundation. Plant materials shall not be installed under building overhangs and other such areas which do not receive natural rainfall.

Sod shall be mineral base only.

Grass seed shall be applied mechanically so that the seed is incorporated into the top one-half inch (1/2") of the seed bed. The seed shall then be covered with the specified straw blanket or Hydro-mulch.

All plant material shall be guaranteed for one (1) year from the date of acceptance.

NOTES

BEARY LANDSCAPING, INC.

15001 W. 159TH STREET
LOCKPORT, IL 60441

P: 815-838-4100
F: 815-838-3200

No.	Date	Description
1	4/15/15	BRNCH SEATING AREA & ADDITIONAL LANDSCAPE
2	6/3/15	BUILDING FOOTPRINT & PLANTINGS
3	6/15/15	DRIVEWAY & PLANT ADJUSTMENT



FINAL LANDSCAPE & TREE PRESERVATION PLAN

THE TOWNHOMES AT SEVEN OAKS
LEMONT, ILLINOIS

SCALE: 1" = 30'	PROJECT:
DESIGNED BY: MFW	DRAWN BY:
CHECKED BY: SK	DATE OF PLOT:
CARE: 3/25/15	
DATE OF PLOT:	

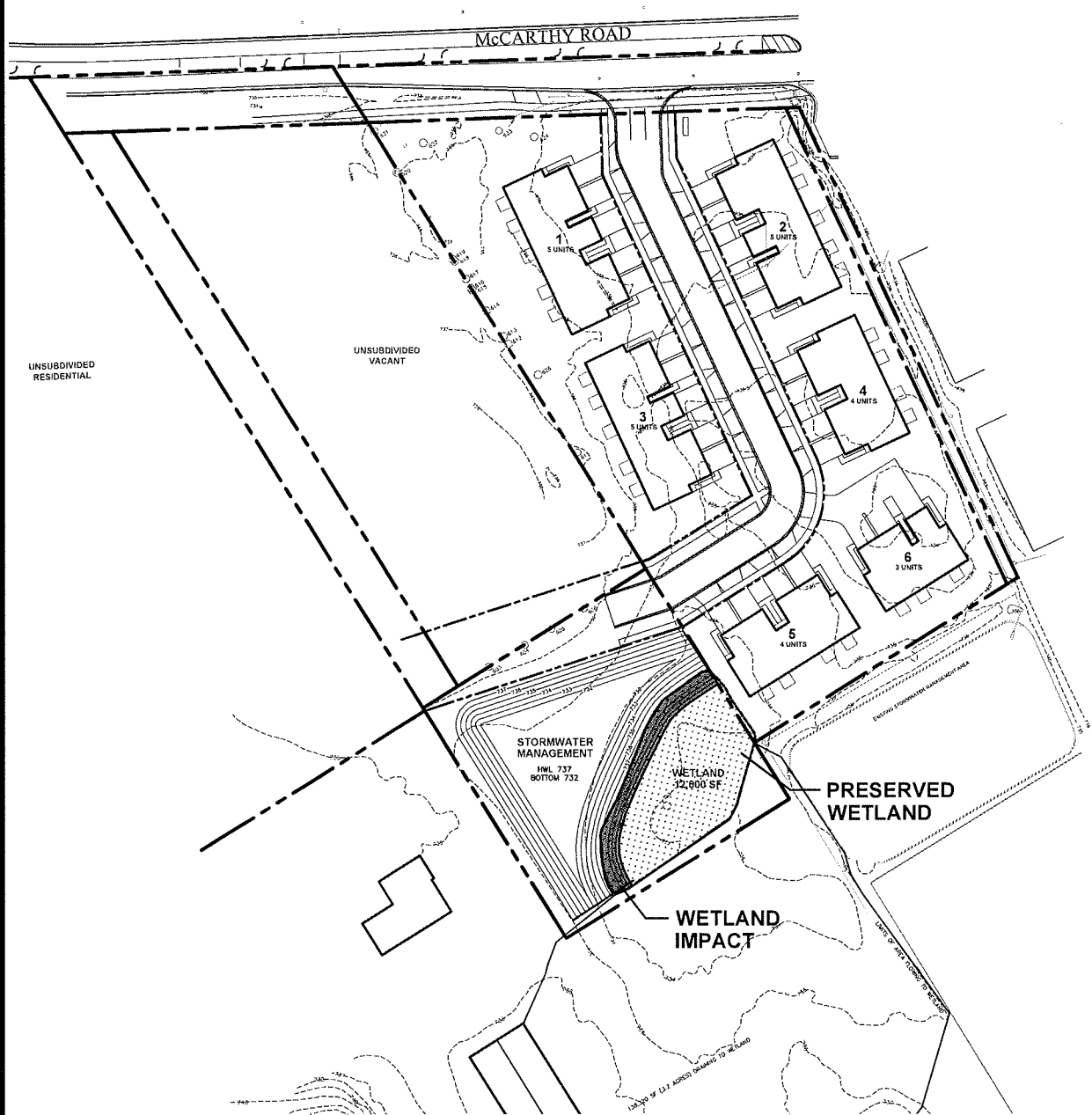
1521519115 7469 DOCUMENTS WITH THIS PLAT

EXHIBIT F - THE TOWNHOMES AT SEVEN OAKS WETLAND IMPACT & NATIVE LANDSCAPE PLAN



GARY R. WEBER ASSOCIATES, INC.
 LAND PLANNING
 ECOLOGICAL CONSULTING
 LANDSCAPE ARCHITECTURE
 212 SOUTH MAIN STREET
 WHEATON, ILLINOIS 60187
 PHONE: 630-668-7197

CIVIL ENGINEER:
 DAVE JOHNSON & ASSOC.
 312 S. HALE STREET
 WHEATON, ILLINOIS 60187

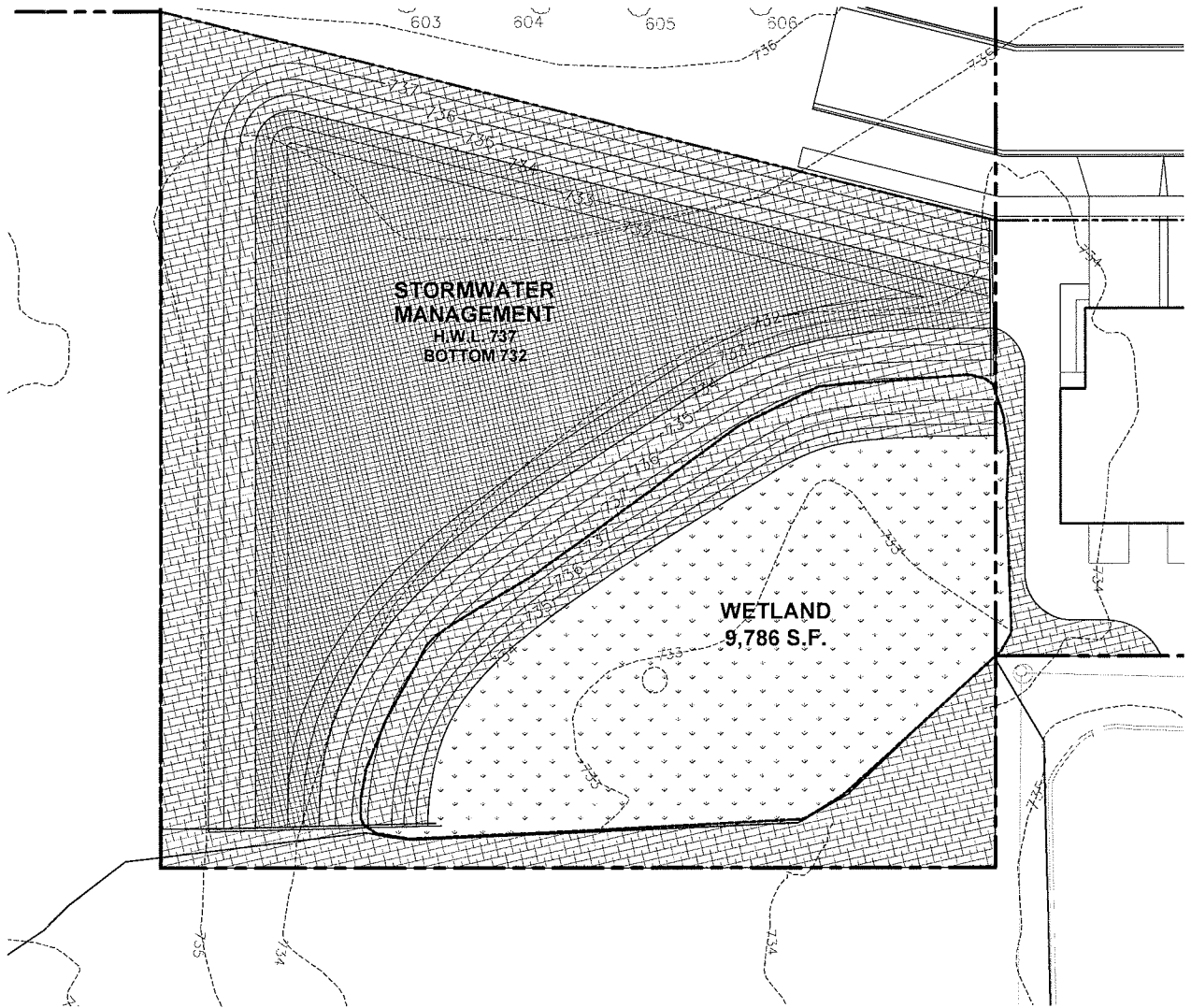


WETLAND IMPACT PLAN

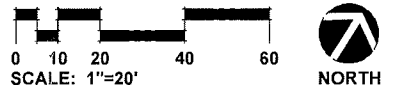


LEGEND

- AREA OF WETLAND IMPACT: 2,814 S.F. (0.0646 AC.)
- AREA OF PRESERVED WETLAND: 9,786 S.F. (0.2247 AC.)
- TOTAL ONSITE WETLAND AREA: 12,600 S.F. (0.2893 AC.)

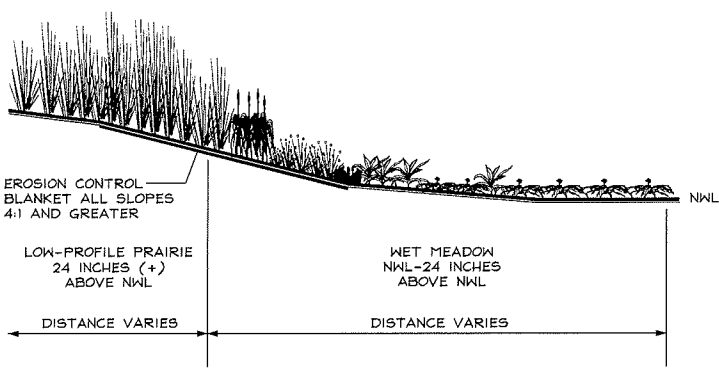


NATIVE LANDSCAPE PLAN



LEGEND

	QTY.
WET MEADOW SEED MIX	0.310 AC.
LOW-PROFILE PRAIRIE w/ FLOWERS SEED MIX	0.396 AC.
EXISTING WETLAND	



PLANT COMMUNITY SECTION
 NOT TO SCALE

THE TOWNHOMES AT SEVEN OAKS
 LEMONT, ILLINOIS
 WETLAND IMPACT & NATIVE LANDSCAPE PLAN

REVISIONS

DATE	BY
2.11.15 <td>TRC</td>	TRC
PROJECT NO.	PCR1401
DRAWN	TRC
CHECKED	CMP
SHEET NO.	

1521519115 9 of 9



GARY R. WEBER
ASSOCIATES, INC.
LAND PLANNING
ECOLOGICAL CONSULTING
LANDSCAPE ARCHITECTURE
212 SOUTH MAIN STREET
WHEATON, ILLINOIS 60187
PHONE: 630-668-7197

CIVIL ENGINEER:
DAVE JOHNSON & ASSOC.
312 S. HALE STREET
WHEATON, ILLINOIS 60187

THE TOWNHOMES AT SEVEN OAKS
LEMONT, ILLINOIS
NATIVE LANDSCAPE SPECIFICATIONS

REVISIONS
DATE 2.11.15
PROJECT NO. PCR1401
DRAWN TRC
CHECKED CMP
SHEET NO.
2 OF 2

LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required for:
1. The establishment of Post Construction Best Management Practices (PCBMPs), consisting of a Naturalized Detention Area

1.2 QUALITY ASSURANCE

- A. Work shall conform to U.S. Army Corps of Engineers (USACE), DuPage County and local municipal requirements.
- B. Quality Control Procedures:
 - 1. Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
 - 2. Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material.
 - 3. Analysis and Standards: Package standard products with manufacturer's certified analysis.

1.3 SUBMITTALS

- A. Planting Schedule
Submit three (3) copies of the proposed planting schedule showing dates for each type of planting
- B. Submit two (2) copies of soil test of existing topsoil with recommendations for soil additive requirement to Landscape Architect for review and written approval.
- C. Nursery packing lists indicating the species and quantities of material to be installed must be provided to the Owner and/or City prior to planting.

1.4 JOB CONDITIONS

- A. Examine and evaluate grades, soils and water levels. Observe the conditions under which work is to be performed and notify Landscape Architect of unsatisfactory conditions. Do not proceed with the work until satisfactory conditions have been corrected in an acceptable manner.
- B. Utilities: Review underground utility location maps and plans; notify local utility location service; demonstrate an awareness of utility locations; and certify acceptance of liability for the protection of utilities during course of work. Contractor shall be responsible for any damage to utilities or property.
- C. Excavation: When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

1.5 GUARANTEES

- A. Naturalized Detention Area Performance Criteria
 - 1st Full Growing Season: 90% of cover crop shall be established. There shall be no bare areas greater than two (2) square feet in seeded areas. At least 25% of vegetation coverage shall be native, non-invasive species. At least 50% of the emergent species, if planted as plugs shall be alive and apparent.
 - 2nd Full Growing Season: All areas with the exception of emergent zones shall exhibit full vegetative cover. At least 50% of the vegetation coverage shall be native, non-invasive species.
 - 3rd Full Growing Season: At least 75% of vegetation coverage shall be native, non-invasive species. Non-native species shall comprise no more than 25% relative aerial coverage of the planted area. Invasive species for this project shall include the following: *Ambrosia artemisiifolia* f. *trifida* Common f. *Giant Ragweed*, *Cirsium arvense* Canada Thistle, *Dipsacus laciniatus* Cut-leaved Teasel, *Dipsacus sylvestris* Common Teasel, *Lytthrum salicaria* Purple Loosestrife, *Melilotus* sp. Sweet Clover, *Phalaris arundinacea* Reed Canary Grass, *Phragmites australis* Giant Reed, *Polygonum cuspidatum* (Fallopia japonica) Japanese Knotweed, *Rhynchos cathartica* f. *fragilis* Common f. *Glossy Buckhorn*, *Typha* sp. Broadleaf, Narrowleaf, and Hybrid Cattail.

LANDSCAPE WORK PART 2 - PLANT MATERIALS

2.0 NATIVE PLANTING MIXTURES

Provide fresh, clean, new crop of the species and proportions as specified. Native seed and live plant material shall be obtained from a reputable supplier (approved by Landscape Architect) that has collected from sources east of the Mississippi River within the same EPA Level III Ecoregion as the project site (Central Corn Belt Plains). Any material sourced from outside this ecoregion must be approved by the Landscape Architect prior to installation.

For each species, the amount of seed indicated on the specifications shall mean the total amount of pure live seed (PLS) per acre. Seed tags and PLS testing information shall be provided to the Landscape Architect prior to seeding.

It is the sole responsibility of the Native Landscape Contractor to provide approved seed that meets industry-standard PLS requirements.

A. Temporary Cover Crops

Cover crops shall be installed in all planting areas containing dry mesic, mesic, and wet mesic soils to stabilize soils, and combat weed pressure during the germination and establishment of the native seeded area.

For spring plantings use Seed Oats at the specified rates below:

Botanical Name Common Name lbs./AC

Avena sativa Seed Oats 30.0 lbs.

For fall or dormant plantings, use Regreen at the specified rates below:

Botanical Name Common Name lbs./AC

Triticum aestivum Regreen 10.0 lbs.

B. Wet Meadow Seed Mixture - Lower slopes of basin

Botanical Name Common Name lbs./AC

Grasses and Sedges		
<i>Carex bebbii</i>	Bebbs Oval Sedge	0.250
<i>Carex bicknellii</i>	Bicknells Sedge	0.125
<i>Carex breviflora</i>	Plains Oval Sedge	0.250
<i>Carex cristatella</i>	Crested Oval Sedge	0.060
<i>Carex molesta</i>	Field Oval Sedge	0.250
<i>Carex normalis</i>	Spreading Oval Sedge	0.015
<i>Carex scoparia</i>	Pointed Broom Sedge	0.180
<i>Carex stipitata</i>	Common Fox Sedge	0.060
<i>Carex vulpinoidea</i>	Brown Fox Sedge	0.250
<i>Elymus virginicus</i>	Virginia Wild Rye	3.000
<i>Glyceria striata</i>	Faul manna grass	0.150
<i>Juncus dudleyi</i>	Dudleys Rush	0.020
<i>Juncus torreyi</i>	Torreys Rush	0.030
<i>Panicum virgatum</i>	Switch Grass	3.000
<i>Scirpus atrovirens</i>	Dark Green Rush	0.060
<i>Scirpus cyperinus</i>	Wool Grass	0.030
Total Grasses and Sedges: 8.036		
Wildflowers/Broadleaves		
<i>Alciclopedia incornata</i>	Swamp Milkweed	0.125
<i>Bidens cernua</i>	Nodding Bur Marigold	0.190
<i>Bulbostylis alternata</i>	Falset Aster	0.031
<i>Chamaecrista fasciculata</i>	Partridge pea	0.188
<i>Euthamia graminifolia</i>	Grassleaved Goldenrod	0.300
<i>Eupatorium perfoliatum</i>	Common Boneset	0.015
<i>Helenium autumnale</i>	Sneezeweed	0.063
<i>Iris virginica albrevei</i>	Blue Flag	1.000
<i>Loebelia spicata</i>	Great Blue Lobelia	0.031
<i>Mimulus ringens</i>	Monkey Flower	0.031
<i>Symphoricarpon novae-angliae</i>	New England Aster	0.250
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	0.063
<i>Rudbeckia fulgida var. sullivantii</i>	Showy Black-Eyed Susan	0.250
<i>Zizia aurea</i>	Golden Alexanders	0.500
Total Wildflowers/Broadleaves: 3.037		
Total Wet Meadow Seed Mixture: 11.073		

C. Low Profile Prairie With Flower Seed Mixture - Upper Basin Slopes

Botanical Name Common Name lbs./AC

Grasses		
<i>Bouteloua curtipendula</i>	Side Oats Grama	8.000
<i>Panicum virgatum</i>	Prairie Switch Grass	0.125
<i>Elymus trachycaulus</i>	Slender Wildgrass	2.000
<i>Elymus canadensis</i>	Prairie Wild Rye	1.000
<i>Schizachyrium scoparium</i>	Little Blue Stem	6.000
Total Grasses: 17.125		
Wildflowers/Broadleaves		
<i>Allium cernuum</i>	Nodding Wild Onion	0.190
<i>Ammophila canescens</i>	Lead Plant	0.125
<i>Asclepias tuberosa</i>	Butterflyweed	0.500
<i>Asclepias canadensis</i>	Whorled Milkweed	0.063
<i>Astragalus canadensis</i>	Canada Milk Vetch	0.063
<i>Coneopsis palmata</i>	Prairie Coneopsis	0.025
<i>Echinacea pallida</i>	Pale Purple Coneflower	1.000
<i>Echinacea purpurea</i>	Purple Coneflower	0.500
<i>Eryngium yuccifolium</i>	Rattlesnake Master	0.125
<i>Lespedeza capitata</i>	Round-Headed Bush Clover	0.125
<i>Liatris scarpia</i>	Rough Blazing Star	0.250
<i>Liatris pycnostachya</i>	Prairie Blazing Star	0.188
<i>Moranda fistulosa</i>	Prairie Bergamont	0.063
<i>Parthenium integrifolium</i>	Wild Quinine	0.016
<i>Penstemon digitatus</i>	Foxglove Beardtongue	0.125
<i>Petalostemum candidum</i>	White Prairie Clover	0.125
<i>Petalostemum purpureum</i>	Purple Prairie Clover	0.156
<i>Potentilla arguta</i>	Prairie Cinquefoil	0.031
<i>Pycnanthemum tenuifolium</i>	Slender Mt. Mint	0.031
<i>Ratibida pinnata</i>	Yellow Coneflower	0.125
<i>Rudbeckia fulgida var. sullivantii</i>	Showy Black-Eyed Susan	0.500
<i>Rudbeckia hirta</i>	Black-Eyed Susan	0.500
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	0.063
<i>Symphoricarpon laeve</i>	Smooth Blue Aster	0.063
<i>Tradescantia ohioensis</i>	Spiderwort	0.063
<i>Verbena stricta</i>	Hairy Vervain	0.125
<i>Zizia aurea</i>	Golden Alexanders	0.500
Total Wildflowers/Broadleaves: 4.051		
Total Lo Pro Prairie Seed Mixture: 21.176		

2.7 EROSION CONTROL

- A. Hydroseed Mulch: Conweb 2000 wood fiber mulch with tacifier. Other mulches may be used subject to approval of Landscape Architect.
- B. Erosion Control Blanket: North American Green 575, or equivalent approved equal. To be installed per manufacturer's recommendations.
- C. Shoreline Erosion Control Blanket: North American Green SC150, or approved equal. To be installed per manufacturer's recommendations.

2.8 MULCH

Provide mulch consisting of shredded hardwood. Provide sample to Landscape Architect for approval prior to ordering materials.

LANDSCAPE WORK PART 3 - EXECUTION

3.1 PLANTING SCHEDULE

At least thirty (30) days prior to the beginning of work in each area, submit a planting schedule for approval by the Landscape Architect.

3.2 PLANTINGS

- A. Sodding New Lawns
 - 1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site, do not turn over into soil being prepared for lawns.
 - 2. Till to a depth of not less than 6", apply soil amendments as needed; remove high areas and fill in depressions; till soil to a homogeneous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
 - 3. Sodded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq. ft. and shall have an analysis of 16-8-8.
 - 4. Lay sod within 24 hours from time of stripping.
 - 5. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent grass.
 - 6. Water sod thoroughly with a fine spray immediately after planting.
- B. Seeding New Lawns
 - 1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site. Do not turn over into soil being prepared for lawns.
 - 2. Till to a depth of not less than 6", apply soil amendments; remove high areas and fill in depressions; till soil to a homogeneous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
 - 3. Seeded lawn areas shall receive an application of commercial fertilizer at the rate of 5 lbs. per 1,000 sq. ft. and shall be 6-24-24. Fertilizer shall be uniformly spread and mixed into the soil to a depth of 1" inches.
 - 4. Do not use wet seed or seed which is moldy or otherwise damaged in transit or storage.
 - 5. Sow seed using a spreader or seeding machine. Do not seed when wind velocity exceeds five (5) miles per hour. Distribute seed evenly over entire area by sowing equal quantity in two directions at right angles to each other.
 - 6. Sow not less than specified rate.
 - 7. Rake lawn seed lightly into top 1" of soil, roll lightly and water with a fine spray.
 - 8. After the seeding operation is completed, spray a wood fiber mulch (Conweb 2000 with tacifier or approved equal) over the entire grassed area at the rate of 2,000 lbs. per acre. Use a mechanical spray unit to insure uniform coverage. Exercise care to protect buildings, automobiles and people during the application of the mulch.

C. Seeding Native Areas

- 1. The period for planting prairie seed shall be from April 1 to June 15 or September 15 to just before the first frost. Seeding outside of these timeframes must be approved by the landscape architect.
- 2. The General Contractor and Native Landscape Contractor shall be responsible for performing all work necessary to achieve and maintain an acceptable seeded prior to seeding. All areas must be properly prepared before seeding begins. Equipment having low unit pressure ground contact shall be utilized within the planting areas.
- 3. If present, compacted soils shall be disked or raked prior to seeding. Remedial measures for the access area may, at the direction of the Wetland Consultant, involve ripping from 12 to 18 inches of the soil horizon prior to diskling.
- 4. Prior to seeding, planting areas shall have at least twelve inches of clean un-compacted topsoil. Clumps of clods, stones over 2" diameter, roots and other extraneous matter shall be removed and disposed of legally off-site.
- 5. Granular mycorrhizal inoculants shall be installed with the seed mix at a rate of 40lbs/ acre. Inoculant can be banded under seed, worked into seed or added into spray tanks. Native areas shall not receive fertilizer.
- 6. Contractor shall be solely responsible for the proper handling and storage of the seed according to the best seed handling and storage practices, including fungicide treatments and stratification considerations. Owner shall make no compensation for damage to the seed because of improper storage, cleaning, threshing, or screening operations.

- 7. Except where site conditions preclude their use, seeding shall be performed using a Truax drill, Truax Trillion seeder, or comparable equipment designed specifically for installation of native seed. For areas where site conditions preclude the use of specialized equipment, seed may be installed through hand broadcasting and followed by light raking. Hand broadcast seed shall be spread at twice the specified rate. Other methods of seed installation may be used with prior approval from the Landscape Architect.
- 8. Prior to starting work, all seeding equipment shall be calibrated and adjusted to sow seeds at the proper seeding rate. In general, the optimum seeding depth is 0.25 inch below the soil surface. Areas where the seed has not been incorporated into the soil to the proper depths will not be accepted, and no compensation for materials or labor for the rejected work will be made by the Owner.
- 9. Seeding and soil tracking/firming shall not be done during periods of rain, severe drought, high winds, excessive moisture, frozen ground, or other conditions that preclude satisfactory results.
- 10. Wet mesic and emergent areas shall be planted, and seed allowed to germinate (if possible), prior to flooding with significant amounts of water. Any areas of significant permanent water located within the planting area will receive live plugs in lieu of seed.
- 11. After the seeding operation is completed, install erosion control blanket per manufacturer's specifications.
- 12. Emergent plugs shall be planted in natural groupings within designed areas containing saturated soils or shallow inundation. Plants within groupings shall be planted at 2 foot centers.
- 13. Emergent plugs shall not be planted less than the specified rate and shall be protected with goose enclosures surrounding all natural groupings of plugs.

E. Groundcover and Perennial Beds

Groundcover, perennials, and annuals shall be planted in continuous beds of planting soil mixture a minimum of 8" deep. Install per spacing indicated on plan.

F. Trees and Shrubs

- 1. Set balled and burlapped (BBB) stock plumb and in center of pit or trench with top of ball at an elevation that will keep the root flare exposed upon backfill and mulching. Remove burlap from top and sides of balls; retain on bottom. When set, place additional topsoil backfill around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill.
- 2. Dish top of backfill to allow for mulching. Provide additional backfill berm around edge of excavations to form shallow saucer to collect water.
- 3. Mulch pits, trenches and planted areas. Provide not less than 2" thickness of mulch and work into top of backfill and finish level with adjacent finish grades. Maintain exposed root flare at all times.
- 4. Prune only injured or dead branches from flowering trees, if any. Protect central leader of tree during shipping and pruning operations. Prune shrubs to retain natural character in accordance with standard horticultural practices.
- 5. Remove and replace excessively pruned or ill-formed stock resulting from improper pruning.
- 6. The Contractor shall be wholly responsible for ensuring that all trees are planted in a vertical and plumb position and remain so throughout the life of this contract and guarantee period. Trees may or may not be staked and guyed depending upon the individual preference of the Contractor; however, any bracing procedure(s) must be approved by the Owner prior to its installation.

3.3 INITIAL MAINTENANCE

- A. Begin maintenance immediately after planting, continuing until final acceptance. A minimum of thirty (30) days.
- B. Maintain planted and seeded areas by watering, rolling/grading, replanting and implementing erosion control as required to establish vegetation free of eroded or bare areas.
- C. Highlands Fescue and Native Planting areas are to be mowed only once per spring during the initial three year establishment period.

3.4 NATIVE LANDSCAPED AREAS

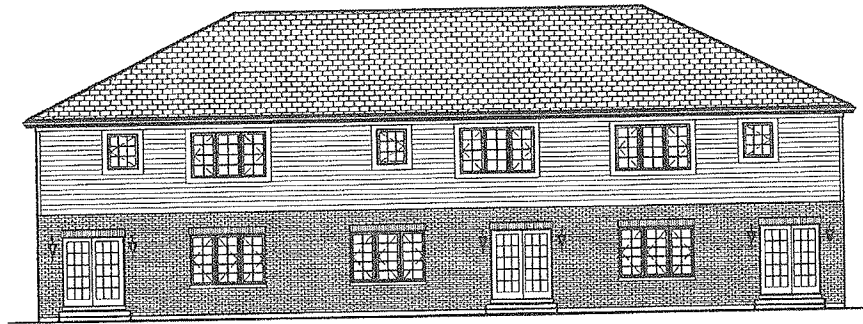
- CONTINUED MONITORING & MAINTENANCE
- A. Monitoring
The Owner shall notify the City and MWRD upon completion of plantings. The Owner's Environmental Specialist shall inspect the plantings and provide the City and MWRD with a copy of the planting locations, species, and quantities for verification by the City and MWRD.
The Owner's Environmental Specialist shall inspect the plantings at least once per year during the three-year term of the Establishment and Maintenance. A monitoring report will be provided to the City and MWRD by January 31st following each growing season.
- B. Maintenance:
First Season
With the exception of the emergent area, native seeding areas should be mowed to a height of 6" to control native and invasive species early in the growing season. Mowing, including weed whipping, should be conducted during prior to weed seed production. Mowing height and timing may need to be adjusted per target species. Small quantities of undesirable plant species, shall be controlled by hand pulling prior to the development and maturity of the plant. Hand removal shall include the removal of all above-ground and below-ground stems, roots and flower masses prior to development of seeds. Herbicide shall be applied as necessary by a trained and licensed operator that is competent in the use of native and non-native herbaceous plants. Debris and litter shall be removed from the native areas and storm structures shall be inspected and maintained as necessary.
Second Season
Control of undesirable plant species during the second growing season shall consist primarily of precise herbicide application. Mowing and weed whipping shall be conducted as needed during the early growing season and as needed to a height of 6 to 8 inches to prevent annual weeds from producing seed. Debris and litter shall be removed from the native areas and storm structures shall be inspected and maintained as necessary.
Third, Fourth, and Fifth Years:
Seasonal mowing and herbicide will continue as above but should be reduced over time. Debris and litter shall be removed from the native areas and storm structures shall be inspected and maintained as necessary. At the completion of the third growing season (dependent on fuel availability, dominance of graminoid species, and favorable weather conditions), fire may be introduced to the planted areas as the primary management tool.
State and local permits shall be required prior to controlled burning. Burning shall be conducted by trained professionals experienced in managing smoke in urban environments. Prior to a controlled burn, surrounding property owners as well as local fire and police departments shall be notified by detailing permit number, burning direction and speed, location of fire breaks, and necessary personnel and equipment shall be prepared and utilized in planning and burn implementation.
The initial burn shall be dependent on fuel availability which is directly related to the quantity and quality of grasses contained within the plant matrix. Timing of the burn shall be determined based on results of the annual monitoring indicating species composition of the management area and other analysis of management goals. Generally, burns shall be scheduled from spring to fall on a rotational basis. Burn frequency shall also be dependent on the species composition within the management area. Generally, a new prairie restoration area shall be burned annually for two years after the second or third growing season after planting and then every 2-3 years thereafter, burn 50-75% of the area.
C. Long Term Wetland and Prairie Management/Maintenance
A final compliance report and Long-Term Operation and Maintenance Plan shall be submitted by the Developer/Owner's Environmental Specialist no less than 60 days prior to the expiration of any landscape Cash Bond or Letter of Credit posted for the native areas. Final acceptance and release shall be determined by the County/City/USACE upon inspection of the site to verify compliance.
The Long-Term Operation and Maintenance Plan shall be written to include guidelines and schedules for burning, mowing, application of herbicide, debris/litter removal and inspection schedule for storm structures and sediment removal.

EXHIBIT G - THE TOWNHOMES AT SEVEN OAKS BUILDING ELEVATIONS



Front Elevation

Prepared by: Kirk Design Inc
Prepared on: 3/23/15

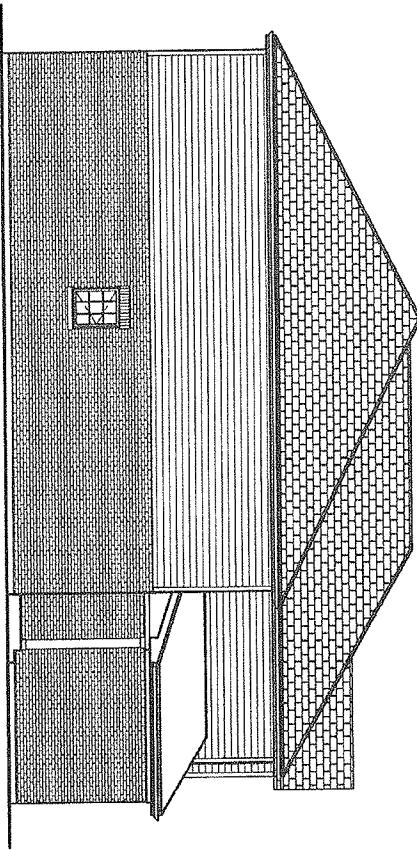


Rear Elevation

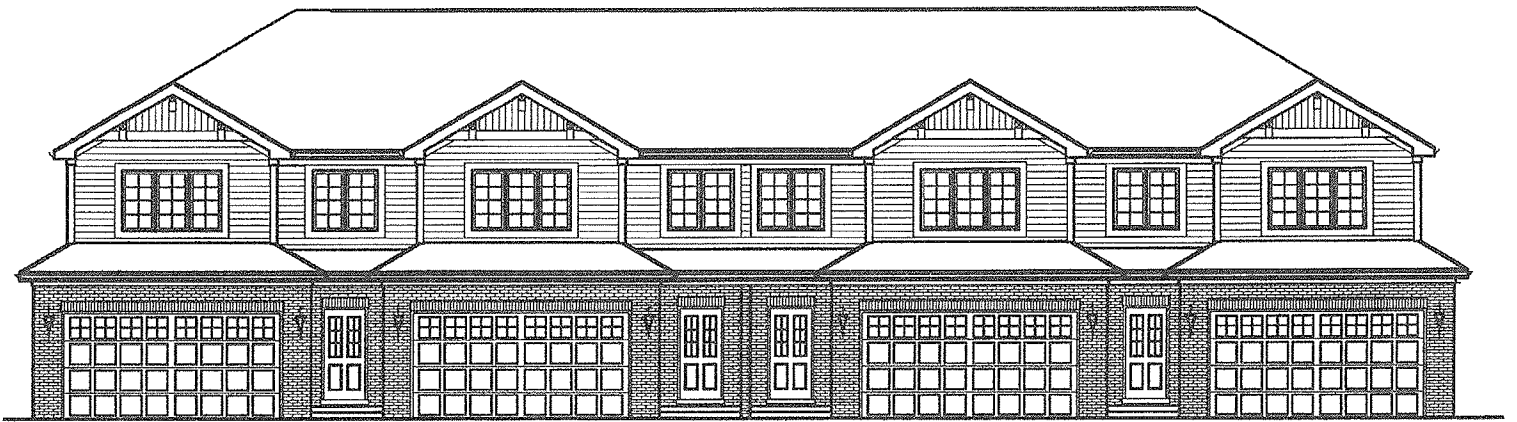
Prepared by: Kirk Design Inc

Prepared on: 3/23/15

Side Elevations



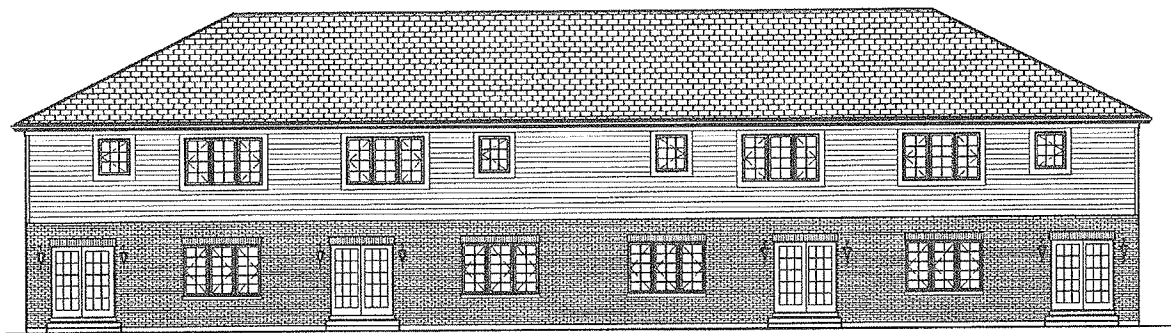
Prepared by: Kirk Design Inc
Prepared on: 3/23/15



Front Elevation

Prepared by: Kirk Design Inc

Prepared on: 3/23/15

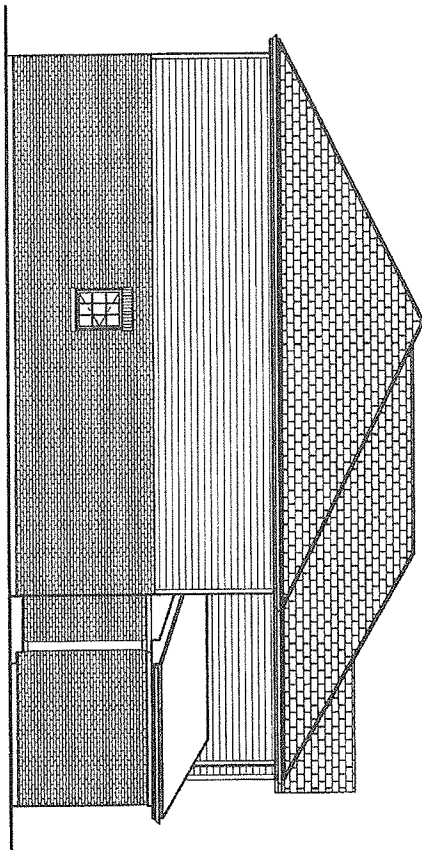


Rear Elevation

Prepared by: Kirk Design Inc

Prepared on: 3/23/15

Side Elevations



Prepared by: Kirk Design Inc
Prepared on: 3/23/15



Front Elevation

Prepared by: Kirk Design Inc

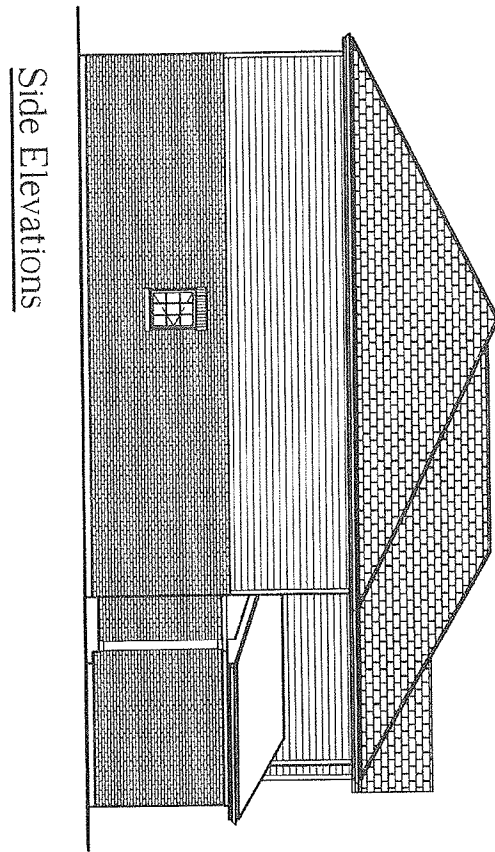
Prepared on: 3/23/15



Rear Elevation

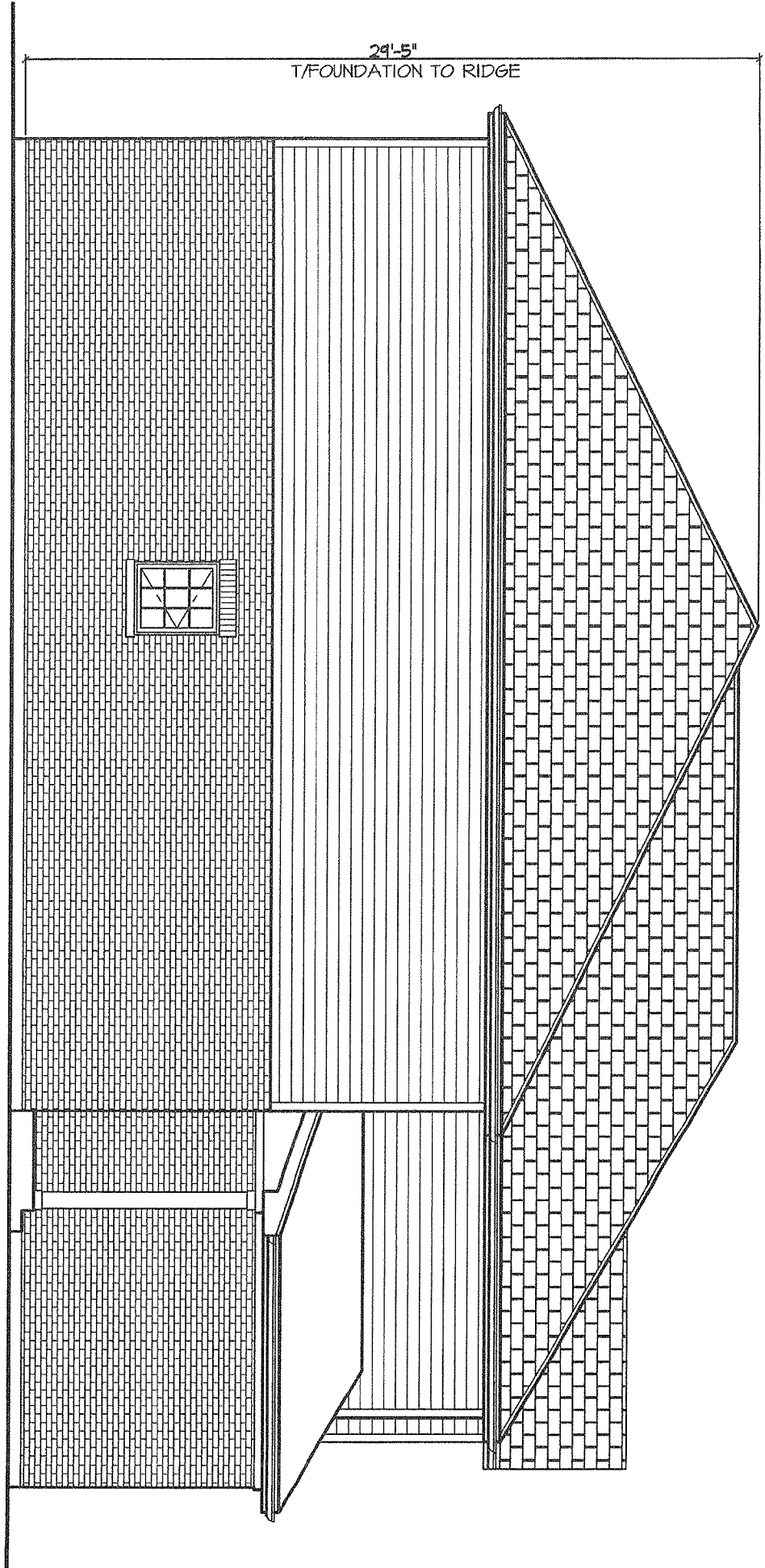
Prepared by: Kirk Design Inc
Prepared on: 3/23/15

REVISED BY PJC
6/19/2015



Side Elevations

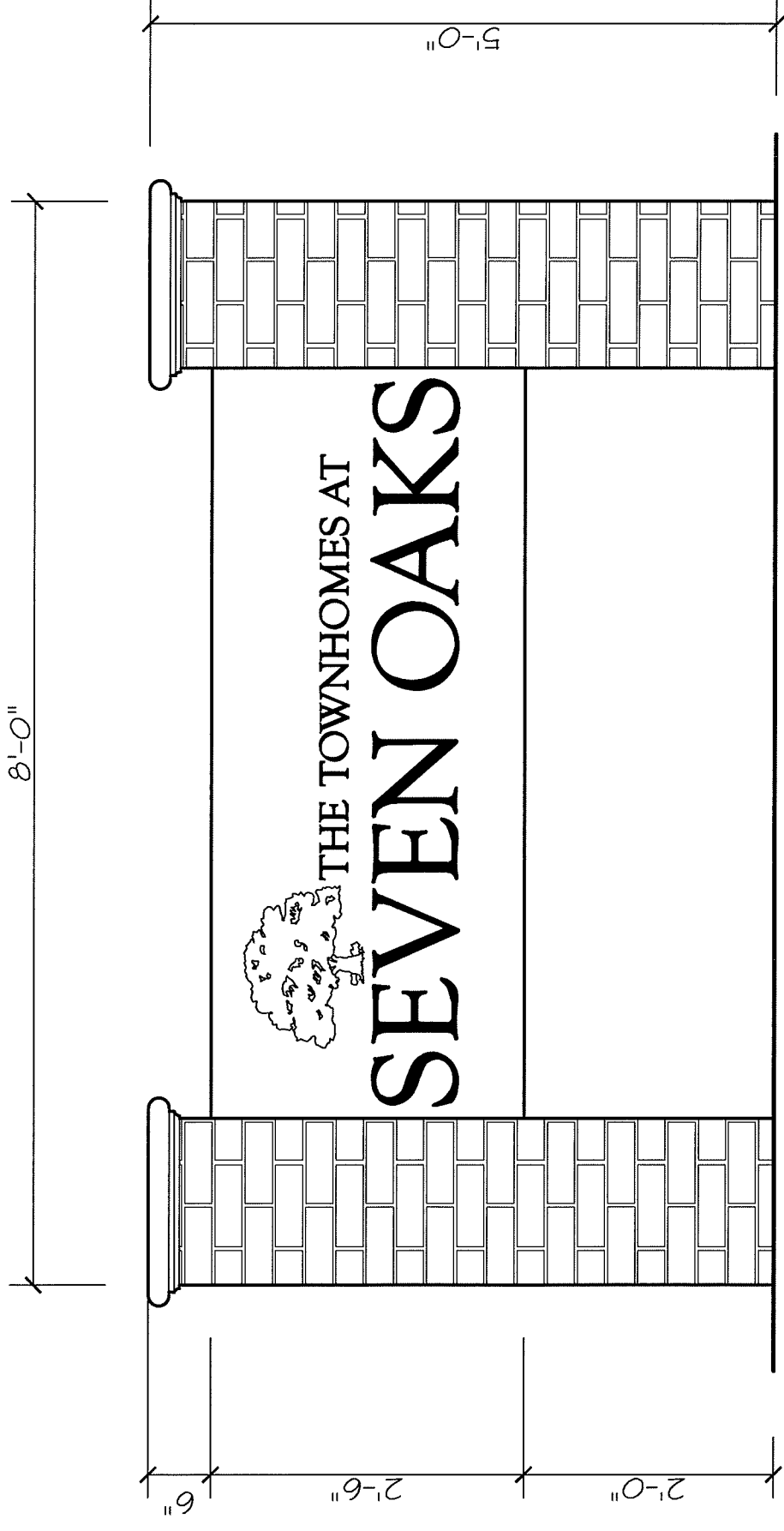
Prepared by: Kirk Design Inc
Prepared on: 3/23/15



Side Elevations

KIRK DESIGN INC.
• ARCHITECTS •

EXHIBIT H - THE TOWNHOMES AT SEVEN OAKS SIGN PLAN



PREPARED BY: KIRK DESIGN INC

PREPARED ON: 5/13/15