

VILLAGE BOARD
Committee of the Whole Meeting

May 14, 2018 – 7:00 PM (following Village Board Meeting)
Lemont Village Hall – Village Board Room
418 Main St., Lemont, IL 60439

AGENDA

- I. Call to Order
- II. Roll Call
- III. Discussion Items
 - A. New Horizon Homes Rezoning 127th Street & Rolling Meadow Dr.
(Community Development)(Stapleton)(Berry)
 - B. Discussion of Engineering Agreement with Living Waters Consultants for
I&M Canal Restoration Project
(Administration)(Egofske)(Schafer)
 - C. FY18 Fourth Quarter Budget Amendment
(Finance)(Sniegowski)(Smith)
 - D. Strategic Plan Update
(Administration)(Egofske)(Schafer)
- IV. Unfinished Business
- V. New Business
- VI. Audience Participation
- VII. Executive Session
- VIII. Adjourn

TO: Committee of the Whole www.lemont.il.us

FROM: Jamie Tate, AICP, Consulting Planner

THRU: Jason Berry, AICP, Community Development Director

SUBJECT: Case 18-02 New Horizon Homes Rezoning 127th Street & Rolling Meadow Dr.

DATE: May 14, 2018

SUMMARY/BACKGROUND

John Jurinek of New Horizon Home Builders, the owner of the subject property, is seeking Rezoning to R-5 Single Family Detached District from B-3 Arterial Commercial District with Preliminary Plat approval. The purpose of the requested zoning change is to allow the construction of a residential subdivision comprised of 10 single-family detached dwelling units and 18 attached two-family dwelling units.



This area first began to develop in 1996, when the formerly Lemont Aero landing field was proposed and approved as the Rolling Meadows Subdivision by Jurinek & Riskus. At that time, approximately 76 acres were annexed and zoned which included 42 acres of R-4 Single Family Detached zoning district and 34 acres of B-3 Commercial Zoning District. In 2002, there was an Amendment to the Annexation Agreement for this site to rezone 18.09 acres of the B-3 Arterial Commercial District to R-4 Detached Single Family District. After the rezoning was approved, only 15.91 acres of land fronting 127th Street remained as B-3 Arterial Commercial district. The commercially zoned land has been slowly reduced over the years to become residential. The proposal today is for the remaining 8.5 acres to be rezoned from B-3 Arterial Commercial Zoning to R-4 Detached Single Family Residential zoning in order to construct single family homes. The rezoning of this proposal would remove the opportunity of a commercial project nearest to the I355 (west) exit at 127th Street.

PROCESS & PROPOSAL

New Horizon Homes first had a public hearing at the January 17, 2018 PZC Meeting to discuss the rezoning of this property from B-3 to R-5 for a 22 home single-family detached residential subdivision. The rezoning received a positive recommendation from the Commission after the applicant changed their request, with the encouragement of the PZC, to rezone to R-4 Single-Family Detached Zoning District rather than R-5 Single-Family Attached Residential District. At that time, the applicant did not have a preliminary plat attached to the rezoning proposal and the PZC was uncomfortable with a rezoning to R-5 without an attached plan. The applicant agreed at that meeting to change the proposal to R-4 rather than R-5 and would proceed with a PUD in the future requesting several variances for the subdivision. Even with the prospect of setback variances, the PZC recommended in favor of the rezoning to R-4 Single Family Detached Residential District and the project went to Committee of the Whole.

At the Committee of the Whole meeting on February 26, 2018, the Trustees discussed New Horizon's first rezoning proposal and had concerns regarding the disconnection of the terminating Kayla Drive cul-de-sac, the mismatched lot lines between this proposal and Phase III of Rolling Meadows, the smaller lots that will require setback variances, and the loss in potential revenue from a commercial property to a low-medium density single-family detached home subdivision. After this meeting, New Horizon regrouped and decided to revise their proposal in order to take into consideration the Village Board's comments and concerns in order to create a more palatable plan that satisfies everyone involved.

Contrary to New Horizon's first proposal in January 2018, the subdivision will no longer require a PUD. After enlarging the lots on the south side of Kayla Drive that abut Phase III of Rolling Meadows, and changing the north Kayla Drive lots to duplexes, this allowed more room to meet setbacks and eliminated the need for exception requests within a PUD. The preliminary subdivision plan shows one east-west Street (Kayla Drive) off of Rolling Meadow Drive now connecting to Willow Drive. There are 28 dwelling units, a mix of single-family detached and single-family attached duplexes, proposed with approximate 12,320 sf – 23,986 sf lots.

GENERAL ANALYSIS

Consistency with Lemont 2030 Plan. The Comprehensive Plan map designates the subject property as Employment Center (EC) land use. The proposed rezoning is inconsistent with the land use goals of the Lemont 2030 Comprehensive Plan since it would change the land use to a residential element. Consequently, the proposed subdivision now with a mix of attached and detached single-family homes does further the housing goal of the Comprehensive Plan, to provide Lemont residents with more opportunities for diverse housing choices.



Compatibility with Existing Land Uses. The proposed rezoning to residential is compatible with adjacent land uses. The land use to the south of the proposal is zoned residential and new homes are currently under construction. Although the land to the west is zoned commercial, a single-family home currently occupies this property and it is for sale. Recently, staff has received an inquiry regarding the process to rezone the nearby commercial land to the west to residential.

Traffic & Site Access. The additional traffic created by residential versus commercial should not significantly affect the level of service or travel times of nearby roads.

Landscaping. A landscape plan has not been provided at this time but it will be a part of the site development process if the proposal is to move forward. Staff has suggested a landscape easement should be provided along the northern property line with enhanced and uniform landscaping to give the new residential subdivision screening and the sense of completion. This would help further the Comprehensive Plan's goal of developing inviting gateways into Lemont. The applicant is agreeable to providing the requesting landscape easement off the future homeowner's property and around the stormwater detention basin.

PZC Hearing. The Planning & Zoning Commission held a public hearing on April 25, 2018. One neighbor spoke in favor of the rezoning to residential; none were opposed. The PZC Chairman applauded New Horizon Homes for providing a proposed subdivision that did not require variances or exceptions to the UDO. The PZC did have comments regarding access onto Rolling Meadow Drive and requested to disallow driveways on the corner lots adjacent to the Rolling Meadow Drive. Other technical details were suggested and made a part of the recommendation. They discussed the landscape easement near the detention basin and the applicant agreed to provide extra landscaping off of the lots and placed around the detention basin. The Park District was present at the meeting and verbalized their willingness to discuss impact fees and open space.

The Plan Commission voted 5-0 in a motion to approve the rezoning to R-5 Single-Family Detached District from B-3 Arterial Commercial District with the following conditions:

1. Provide a landscape berm and screening along the north property line, which will put it north of the stormwater detention area; and
2. Provide a no access easement onto Rolling Meadow Drive for Lots 1 and 19; and
3. Remove the keywalks at Rolling Meadow Drive; and
4. Lot 19 will have a garage left; and
5. Typical lot side yard setbacks need to be consistent throughout the plan; and
6. In lieu of impact fees, work with the Park District on open space site improvements on the Park District property that was recently purchased from the tollway.



CONCLUSIONS

Although the proposed rezoning would not follow the future land use map in the 2030 Lemont Comprehensive Plan, it would allow for faster development as the applicant is ready to start constructing homes. The proposed rezoning would remove the opportunity for a non-residential use at the west exit of 127th and I-355. The proposed rezoning with the attached preliminary plat would further a housing goal of the Comprehensive Plan to provide more diversity in housing choices. The PZC found the proposal to be appropriate and recommends approval of the rezoning to R-5, Single-Family Detached District.

ATTACHMENTS

1. PZC Hearing Minutes Excerpt (April 25, 2018)
2. PZC Staff Report (April 25, 2018)
3. Findings of Fact

SPECIFIC VILLAGE BOARD ACTION REQUIRED

Motion to approve an Ordinance adopting the Rezoning to R-5 Single-Family Attached Residential District for New Horizon Homes at 127th Street and Rolling Meadow Drive.



Village of Lemont
Planning and Zoning Commission
Special Meeting of April 25, 2018

A special meeting of the Planning and Zoning Commission for the Village of Lemont was held at 6:30 p.m. on Wednesday, April 25, 2018 in the second floor Board Room of the Village Hall, 418 Main Street, Lemont, Illinois.

I. CALL TO ORDER

A. Pledge of Allegiance

Chairman Spinelli called the meeting to order at 6:38 p.m. He then led the Pledge of Allegiance.

B. Verify Quorum

Upon roll call the following were:

Present: Cunningham, Plahm, McGleam, O'Connor, Spinelli

Absent: Glomp and Zolecki

Community Development Director Jason Berry and Consulting Planner Jamie Tate were also present.

II. CHAIRMAN'S COMMENTS

Chairman Spinelli welcomed the new Commissioner Kevin O'Connor to the Board. He then asked everyone in the audience to stand and raise his/her right hand. He then administered the oath.

III. PUBLIC HEARINGS

A. 18-02 New Horizon Homes Rezoning for 127th Street and Rolling Meadows Drive.

Chairman Spinelli called for a motion to open the public hearing for Case 18-02.

Commissioner McGleam made a motion, seconded by Commissioner Cunningham to open the public hearing for Case 18-02. A voice vote was taken:

Ayes: All

Nays: None

Motion passed

Staff Presentation

Jamie Tate, Consulting Planner, said John Jurinek of New Horizon Home Builders, the owner of the property, is seeking rezoning to R-5 Single Family Attached Residential from B-3 Arterial Commercial and it is attached with a Preliminary Plat. The purpose of the requested zoning change is to allow the construction of a residential subdivision comprised of 10 single-family detached dwelling units and 18 attached two-family dwelling units. The property is 8.5 acres and currently sits vacant. The surrounding land uses are R-4 Single Family to the south, B-3 Arterial Commercial Zoning to the west and Unincorporated Cook County vacant land to the north and east. The Comprehensive Plan designates this area as Employment Center.

In 1996, the property was annexed into the Village and was approved as the Rolling Meadows Subdivision. At that time, approximately 76 acres were annexed and 42 acres were zoned R-4 Single Family Detached and 34 acres were zoned B-3 Commercial. In 2002, there was an amendment to the annexation for rezoning of 18.09 acres from B-3 Commercial to R-4 Single Family Detached. After that rezoning was approved that left about 15.91 acres which were left at the B-3 Commercial zoning. The proposal today is to rezone the remaining 8.5 buildable acres to R-5 Attached Single-Family Residential Zoning. The rezoning of the proposal would remove the opportunity of a commercial project nearest to the I-355 exit.

Mrs. Tate stated New Horizon Homes had a public hearing that came before the Planning and Zoning Commission (PZC) on January 17, 2018 and that was to discuss the rezoning from B-3 Commercial to the R-5 for 22 homes detached subdivision. The rezoning did receive a positive recommendation from the Commission after the applicant changed their request to rezone to R-4 Single-Family Detached Zoning rather than R-5 Single-Family Attached Residential. There was no preliminary plat attached to the rezoning at that time. The applicant agreed at that meeting to change the proposal to R-4 and would proceed with a PUD in the future requesting several variances for the subdivision. Even with the prospect of setback variances, the PZC recommended in favor of the rezoning to R-4 Single Family Detached Residential and the project went to the Committee of the Whole (COW).

After the meeting with the COW, New Horizon decided to revise their proposal in order to take into consideration the Village Board's comments and concerns to create a more palatable plan that makes sense for the Village Board, PZC, residents, and developer. The new plan today will no longer require a PUD as currently proposed. They enlarged the lots on the south side of Kayla Drive, changed the north Kayla Drive lots to duplexes which allowed more room to meet setbacks and eliminated the need for variances. The preliminary plan shows one east-west Street (Kayla Drive) off of Rolling Meadows Drive now connecting to Willow Drive. There are 28 units, a mix of single-family detached and single-family attached duplexes. The lots will range in size from 12,320 square feet (sf) to 23,986 sf. New Horizon will be requesting 27' for pavement width on Kayla Drive for their new plan.

Mrs. Tate said the Comprehensive Plan shows this area as “Employment Center” (EC). The EC District is characterized by a mix of uses all which generate high employment per square foot of building area. The EC District has the primary benefit of generating local employment and may have a secondary benefit of providing useful services to local residents. Within the Comprehensive Plan there is a Target Industries Report that included this area. The report identifies ten locations within the Village or its planning area as economic activity centers. This area is one of the activity centers, most likely because of its close proximity to I-355. If the property was to be rezoned to R-5, the 2030 Plan does encourage this zoning appropriate for infill locations. The Our Homes section of the plan states that the Village should be receptive to new development proposals that mix housing types and lot sizes.

For the Standards for Rezoning the Village looks at the LaSalle Factors, which are a useful guide to planners and elected officials who are contemplating zoning changes. She then read the factors that would be relevant, which are included in staff’s packet. The proposed rezoning is inconsistent with the land use goals of the Lemont 2030 Comprehensive Plan. The proposed rezoning removes the opportunity to implement the Lemont Comprehensive land use that suggests an Employment Center type use for the subject site. Consequently, the subdivision now proposed has a more diverse housing and opportunities for housing choices. It is also compatible with adjacent land uses and the additional traffic created should not be significant to the level of service to nearby roads.

Mrs. Tate stated a landscape plan has not been provided at this time. Staff has suggested a landscape easement should be provided along the northern property line with enhanced and uniform landscaping to give the new residential subdivision screening and the sense of completion. This would help further the Comprehensive Plan’s goal of developing inviting gateways into Lemont and the 127th Street exit is a key corridor and point of entry into Lemont. The applicant has not provided documentation on building design at this time. The Fire District and Village Engineer have reviewed the plan and provided comments that were included in staff’s packet. The Lemont Park District mentioned concerns about impact fees. Since the previous rezoning was done through an annexation agreement amendment, the impact fees were not generated and distributed to the appropriate entities. They would like to see impact fees worked in to the approval process for the new homes if the area is to be rezoned. This would conclude staff’s presentation.

Chairman Spinelli said currently the applicant is showing their stormwater management on their property between their duplexes and the tollway property. Instead of the landscape easement being on lots 1 through 7, he would rather see the developer enhance the landscaping in the detention area as opposed to the private property lots. It would give the people buying those lots more opportunity to use their yards. Also along the east side, the properties that are abutting up to the Park District property, he would rather open that up and give those properties the opportunity to see directly into the park. In regards to the 27’ of pavement, this goes

back to the discrepancies in the code. They are currently showing their plan as having 30' back-to-back with 27' of pavement. He is not sure if this is a deviation or not. It is his understanding that it matches the majority of the streets in Rolling Meadows.

Commissioner McGleam asked if the detention basin will be wet or dry.

Mrs. Tate said the applicant can answer that.

Commissioner Cunningham stated the property has been zoned B-3 for the last 22 years. He asked if staff knew of how many inquiries there have been for commercial for the parcel.

Mrs. Tate said the applicant can answer that.

Chairman Spinelli stated part of the problem with the lot is there is no direct access to 127th Street. The house on the corner of Rolling Meadows Drive and 127th Street is zoned commercial and has been for sale for at least 10 years.

Jason Berry, Community Development Director, said he handed out an application for rezoning for that lot. They are also interested in rezoning it to residential.

Chairman Spinelli stated the preliminary plan that is presented would be tied to the zoning request. He then asked if there were any further questions for staff. None responded. He then asked the applicant to come up to make a presentation.

Applicant Presentation

John D. Jurinek, Project Manager for New Horizon Homes, said there is no HOA in any of their phases for Rolling Meadows and there will not be one for Phase IV. The property has been for sale for the past 14 to 15 years. There has been two serious inquiries with one being from a banquet hall and the other was for a truck parking lot.

Chairman Spinelli asked if the banquet hall inquiry was before or after Phase III.

Mr. Jurinek stated it was after and they said the 8.5 acreage was too much property for the hall.

Chairman Spinelli said he has a few suggestions for the plan. The first is for lots 1 and 19; he would like to see a no access easement for along Rolling Meadows Drive. The plan currently shows keywalks for the sidewalk onto Rolling Meadows Drive and there is no receiving keywalks on the opposite side of the street which is in violation with the ADA. He would also suggest a garage left on lot 19. On the lower right corner of the drawing, there is a detail for typical lot setbacks. It indicates that the side setback for corner lots is 15 feet and the drawing is showing 25 feet so the detail

needs to be updated. He would like to applaud the applicant for coming back and presenting a subdivision that has no variance requests.

Mr. Jurinek stated for the detention basin, their engineer was recommending a wet basin. He also agrees with the extra landscaping being removed off of the lots and being put around the detention basin.

Chairman Spinelli asked if the Park District wanted to make any comments.

Larry Rizzo, Director of Parks and Maintenance, said in lieu of impact fees they are willing to discuss with New Horizon Homes about creating an open space on the property that they purchased from the tollway. The property is located between the new Mayfair Park and the New Horizon Home property. The property is approximately two acres and they were thinking of putting a walking path through there with connectivity to the new park.

Chairman Spinelli stated this is for the rezoning so hopefully the Park District can work something out with New Horizon Homes before they come back with an actual plat. He then asked if there was anyone in the audience that wanted to speak in regards to this public hearing.

Public Comment

Dawn Witbrod said she currently lives in Briarcliff and is looking for a new home. They were looking at the homes on Willow Drive but they were concern with what could be developed behind there. She does not want any business on 127th by their subdivision. She was very unhappy about the nursery that is open across from them. She is fine with the duplexes and feels that New Horizon builds a great home.

Chairman Spinelli asked if there was anyone else in the audience that wanted to speak. None responded. He then called for a motion to close the public hearing.

Commissioner McGleam made a motion, seconded by Commissioner Cunningham to close the public hearing for Case 18-02. A voice vote was taken:

Ayes: All

Nays: None

Motion passed

Plan Commission Discussion

Chairman Spinelli stated he would like to see the no access on the two lots. These are the only two lots that could possibly have a driveway on Rolling Meadows Drive. This is the main access for the whole subdivision and there is a landscape island that would adjacent to lot 19. He said to staff that lots 11 and 12 are showing a 30 foot rear yard setback on the north side of those lots. He asked if they will be addressed as Willow Drive.

Mrs. Tate stated she would assume that also.

Chairman Spinelli said in Rolling Meadows Phase III A the outlot designation is still showing up on this drawing. The applicant's engineer would have to correct that before coming back for Final Plat. He asked if any of the Commissioners had any further questions or comments. None responded.

Plan Commission Recommendation

Commissioner McGleam made a motion, seconded by Commissioner O'Connor to recommend to the Mayor and Board of Trustees approval of Case 18-02 New Horizon Homes Rezoning for 127th Street and Rolling Meadow Drive with the following conditions:

1. Landscape berm and screening along the north property line, which will put it north of the stormwater detention area.
2. No access easement onto Rolling Meadow Drive for Lots 1 and 19.
3. The keywalks at Rolling Meadow Drive be removed.
4. Lot 19 needs to have a garage left.
5. Typical lot side yard setbacks need to be consistent throughout the Plan.
6. In lieu of impact fees, work with the Park District on open space site improvements on the Park District property that was recently purchased from tollway.

A roll call vote was taken:

Ayes: McGleam, O'Connor, Cunningham, Plahm, Spinelli

Nays: None

Motion passed

Findings of Fact

Commissioner McGleam made a motion, seconded by Commissioner Cunningham to authorize the Chairman to approve the Findings of Fact for Case 18-02 as prepared by staff. A voice vote was taken:

Ayes: All

Nays: None

Motion passed

IV. ACTION ITEMS

None

V. GENERAL DISCUSSION

Chairman Spinelli asked staff to go to page 21 on the PDF which is the zoning map. The area for Rolling Meadows is misleading. The red B-3 Zoning box looks like it is shifted north and shows a strip of residential zoning on those two parcels. If this gets rezoned it will be corrected, but if it does not get rezoned then it needs to be

TO: Planning & Zoning Commission

FROM: Jamie Tate, AICP, Consulting Planner

THRU: Jason Berry, AICP, Community Development Director

SUBJECT: Case 18-02 New Horizon Homes Rezoning 127th Street & Rolling Meadows

DATE: April 25, 2018

SUMMARY

John Jurinek of New Horizon Home Builders, the owner of the subject property, is seeking Rezoning to R-5 Single Family Attached Residential District from B-3 Arterial Commercial District with Preliminary Plat approval. The purpose of the requested zoning change is to allow the construction of a residential subdivision comprised of 10 single-family detached dwelling units and 18 attached two-family dwelling units.



PROPOSAL INFORMATION

Case No. 18-02
Project Name New Horizon Homes Rezoning 127th Street & Rolling Meadows

General Information	
Applicant	John Jurinek
Status of Applicant	Land Owner
Requested Actions:	Rezoning
Purpose for Requests	Construct 10 single-family detached homes and 18 single-family attached homes
Site Location	Southeast corner of 127 th Street & Rolling Meadows Drive: 16519 W 127 th Street (PIN: 22-31-101-010-0000) and 16455 W 127 th Street (PIN: 22-31-101-009-0000)
Existing Zoning	B-3 Arterial Commercial District
Size	8.5 acres
Existing Land Use	Vacant land
Surrounding Land Use/Zoning	North: Unincorporated Cook County (vacant Tollway land with a radio/cell tower)
	South: R-4 Single Family Detached District (Rolling Meadows Subdivision)
	West: B-3, Arterial Commercial Zoning District (Single family residence and Sun & Shade nursery center)
	East: Unincorporated Cook County (Vacant Park District and Tollway land); and R-1 Single Family Detached District (vacant Tollway land).
Lemont 2030 Comprehensive Plan	The Comprehensive Plan map designates this area Employment Center (EC).

BACKGROUND

In 1996, the formerly Lemont Aero landing field was proposed and approved as the Rolling Meadows Subdivision by Jurinek & Riskus. At that time, approximately 76 acres were annexed and zoned which included 42 acres of R-4 Single Family Detached zoning district and 34 acres of B-3 Commercial Zoning District. In 2002, there was an Amendment to the



Annexation Agreement for this site to rezone 18.09 acres of the B-3 Arterial Commercial District to R-4 Detached Single Family District. After the rezoning was approved, only 15.91 acres of land fronting 127th Street remained as B-3 Arterial Commercial district. The commercially zoned land has been slowly reduced over the years to become residential. The proposal today is for the remaining 8.5 acres to be rezoned from B-3 Arterial Commercial Zoning to R-5 Attached Single Family Residential zoning in order to construct single and two-family homes. The rezoning of this proposal would remove the opportunity of a commercial project nearest to the I-355 (west) exit at 127th Street.

PROCESS & PROPOSAL

New Horizon Homes had a public hearing at the January 17, 2018 PZC Meeting to discuss the rezoning of this property from B-3 to R-5 for a 22 home single-family detached subdivision. The rezoning received a positive recommendation from the Commission after the applicant changed their request to rezone to R-4 Single-Family Detached Zoning District rather than R-5 Single-Family Attached Residential District. At that time, the applicant did not have a preliminary plat attached to the rezoning and the PZC was generally uncomfortable with a rezoning to R-5 without an attached plan. The applicant agreed at that meeting to change the proposal to R-4 rather than R-5 and would proceed with a PUD in the future requesting several variances for the subdivision. Even with the prospect of setback variances, the PZC recommended in favor of the rezoning to R-4 Single Family Detached Residential District and the project went to Committee of the Whole.

At the Committee of the Whole meeting on February 26, 2018, the Trustees discussed concerns regarding the disconnection of the terminating Kayla Drive cul-de-sac, the mismatched lot lines between this proposal and Phase III of Rolling Meadows, the smaller lots that will require setback variances, and the loss in potential revenue from a commercial property to a low-medium density single-family detached home subdivision. After this meeting, New Horizon decided to revise their proposal in order to take into consideration the Village Board's comments and concerns to create a more palatable plan that makes sense for both the Village Board, PZC, residents and developer.

Contrary to New Horizon's first proposal in January 2018, the subdivision will no longer require a PUD as currently shown. After enlarging the lots on the south side of Kayla Drive that abut Phase III of Rolling Meadows, and changing the north Kayla Drive lots to duplexes, this allowed more room to meet setbacks and eliminated the need for exception requests within a PUD. The preliminary subdivision plan shows one east-west Street (Kayla Drive) off of Rolling Meadows Drive now connecting to Willow Drive. There are 28 dwelling units, a mix of single-family detached and single-family attached duplexes, proposed with approximate 12,320 sf – 23,986 sf lots. New Horizon will be requesting 27' for pavement width on Kayla Drive rather than 30'.

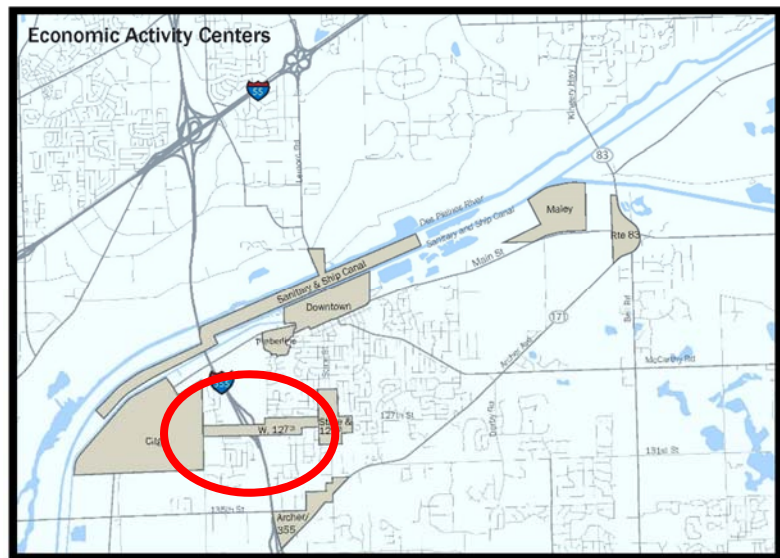


COMPREHENSIVE PLAN

The Comprehensive Plan shows this area as “Employment Center” (EC). The EC District is characterized by a mix of uses, all which generate high employment per square foot of building area. The EC District shares some characteristics with the retail districts, but the primary purpose of the EC district is different from the retail districts. The Employment Center district has the primary benefit of generating local employment, and may have a secondary benefit of providing useful services to local residents. Retail districts primarily exist to provide services of use to residents and visitors, with the secondary benefit of adding employment.

The buildings in this district general house professional offices, but those offices are typically larger than the professional offices that would be found in a retail district. The buildings may vary widely in size but are generally no more than three stories high. On-site parking is typically provided and primarily for employees, while also accommodating visitors. New development in this district will be designed to accommodate non-motorized access, both for local employees who wish to bike or walk to work and to provide pedestrian and bicycle connections to nearby retail destinations.

Within the Comprehensive Plan, a Target Industries report was created based on careful examination of Lemont’s competitive position in the marketplace, its assets and its liabilities. The Target Industries Report identifies ten locations within the Village or its planning area as economic activity centers. Economic Activity Centers are existing or potential future hubs of business activity; they are not intended to represent the locations of all commercial activity within the Village, but rather those areas where there already are or may in the future be significant concentrations of economic activity. These activity centers are the locations where the Village’s targeted industries are already located or may be located in the future. This area being proposed for a zoning change is one of the Economic Activity Centers that is a growth target area for the health care industry and the professional, scientific & technical service industry.



Source: Lemont Comprehensive Plan page 29

While the Comprehensive Plan labels this area as EC, if the property were to be rezoned to R-5, the 2030 Plan does encourage this zoning in appropriate infill locations. The Our Homes



section of the plan calls for the Village to encourage single-family detached housing alongside other complementary housing products, such as single-family attached housing. It states that the Village should be receptive to new development proposals that mix housing types and lot sizes.

STANDARDS FOR REZONING

Illinois courts have used an established set of criteria when evaluating the validity of zoning changes. The criteria are known as the LaSalle factors, as they were established in a 1957 lawsuit between LaSalle National Bank and Cook County. Additionally, the eight “LaSalle factors” serve as a useful guide to planners and appointed and elected officials who are contemplating zoning changes. The LaSalle factors that are not addressed elsewhere in this report are as follows:

1. The extent to which property values are diminished by the particular zoning;

Analysis: Rezoning would not diminish the value of the subject property.

2. The extent to which the destruction of property values of the complaining party benefits the health, safety, or general welfare of the public;

Analysis: The applicant’s property values are not expected to diminish in value.

3. The relative gain to the public as compared to the hardship imposed on the individual property owner;

Analysis: There is no hardship upon the subject property’s owners, as the requested rezoning will allow the owners to achieve their desired development of subject property and increase the value of the land as it stands vacant today.

4. The public need for the proposed use;

Analysis: The proposed use would allow for faster development of a site that is vacant with desirable access to a major highway I-355. The proposed use would provide a transition zone of two-family duplex homes and a more diverse housing choice in this area.

GENERAL ANALYSIS

Consistency with Lemont 2030 Plan. The Comprehensive Plan map designates the subject property as Employment Center (EC) land use.

The proposed rezoning is inconsistent with the land use goals of the Lemont 2030 Comprehensive Plan. The proposed rezoning removes the opportunity to implement the



Lemont Comprehensive land use that suggests an employment center type use for the subject site. Consequently, the subdivision now proposed with a mix of attached and detached single-family homes does further one of the housing goals of the Comprehensive Plan to provide more diverse housing and opportunities for housing choices.

Compatibility with Existing Land Uses. The proposed rezoning to residential is compatible with adjacent land uses. The land use to the south of the proposal is zoned residential and new homes are currently being constructed. Although the land to the west is zoned commercial, a single-family home currently occupies this property and it is for sale.

Traffic & Site Access. The additional traffic created by residential versus commercial should not significantly affect the level of service or travel times of nearby roads.

Landscaping. A landscape plan has not been provided at this time but it will be a part of the site development process if the proposal is to move forward. Staff has suggested a landscape easement should be provided along the northern property line with enhanced and uniform landscaping to give the new residential subdivision screening and the sense of completion. This would help further the Comprehensive Plan's goal of developing inviting gateways into Lemont. The 127th Street exit is a gateway into Lemont and traveling in either direction brings visitors or residents through a key corridor and point of entry. Ensuring that these areas are attractive is key to creating a positive first impression of Lemont for visitors.

Building Design. The applicant has not provided documentation on building design at this time.

TRC COMMENTS

A TRC meeting was held on December 8, 2017 to discuss the rezoning and potential residential subdivision. *At that time the proposal did not include the street connection or the addition of duplexes. The proposal was only a single-family home subdivision with multiple variance requests.* The Fire District and Village Engineer have reviewed the new plan. The Engineer did not have any additional comments than found below. The Fire District's comments are provided as Attachment 5. Comments that are no longer applicable have been removed.

The following comments were provided to the applicant:

Engineering Comments & Stormwater Management. The Village Engineer gave the following comments at the TRC meeting.

1. No preliminary engineering is indicated, such as proposed water main, sanitary sewer, storm sewer and street layout. (The proposed water main needs to be looped to Willow Drive.)
2. The proposed detention area location also currently serves as a detention area for the Rolling Meadows Drive pavement, as part of the Rolling Meadows Unit 1 development.



3. The two, 48-inch diameter culverts under 127th Street appear to be shown draining north to south, which is believed to be incorrect.

Planning Comments. Planning has concerns about changing the zoning from commercial to residential when it does not meet the future land use map in the Comprehensive Plan and with its proximity to the I-355 exit on 127th Street. Planning stated they would like to see a nice landscape buffer between the rear yards of the proposed subdivision with a [possible] landscape easement and uniform landscaping. It is important for this to look very nice and well planned as it's an entryway into the Village of Lemont. The remaining TRC comments have been addressed by adjusting the plan to R-5 and enlarging the lots to meet setbacks. The Applicant will have to meet all UDO requirements through the site development process.

Other TRC Comments. The Lemont Police Department had concerns about street lighting (at the entrance), and adding a stop bar and stop sign.

Representatives from the Lemont Park District mentioned concerns about impact fees. Since the previous rezoning was done through an annexation agreement amendment, the impact fees were not generated and distributed to the appropriate entities. The 18.09 acres that were rezoned from commercial to residential in 2002 did not provide the park with any additional monies to invest in the area for a park. They would like to see impact fees worked in to the approval process for the new homes if the area is to be rezoned.

CONCLUSIONS

The proposed rezoning would not follow future land use map in the Lemont Comprehensive Plan and remove the opportunity for a non-residential use at the west exit of 127th and I-355. The proposed rezoning would allow for faster development as the applicant is ready to start building homes. Subsequently, the proposed rezoning with the attached Preliminary Plat indicating attached and detached homes would further the goals of the Comprehensive Plan to provide a more diverse housing stock than single-family and to provide transition zones for housing along major streets and intersections.

ATTACHMENTS

1. Site Photographs
2. Rezoning Application Package
3. Updated Preliminary Plat by DEI dated 3-28-18.
4. Mayfair Park layout from Building Permit plans
5. Fire Marshal Rezoning and Preliminary Plat Comments
6. 2018 Lemont Zoning Map



Attachment 1 Site Photos



1 of 2: Looking south from 127th Street



2 of 2: Looking east from Rolling Meadows Drive



Rezoning Application Form

APPLICANT INFORMATION

JOHN JURINEK

Applicant Name

NEW HORIZON HOMES BUILDER, INC.

Company/Organization

P.O. BOX 406 LEMONT, IL 60439

Applicant Address

630-886-3927

Telephone & Fax

j.r.jurinek@comcast.net johndjurinek@gmail.com p.jurinek@comcast.net

E-mail

CHECK ONE OF THE FOLLOWING:

- Applicant is the owner of the subject property and is the signer of this application.
- Applicant is the contract purchaser of the subject property.
- Applicant is acting on behalf of the beneficiary of a trust.
- Applicant is acting on behalf of the owner.

PROPERTY INFORMATION

COMMERCIAL LOTS 16455 & 16519 WILLOW AT 127th ST. & ROLLING MEADOWS DR.

Address of Subject Property/Properties

22-31-101-010-0000 & 22-31-101-009-0000

Parcel Identification Number of Subject Property/Properties

8.5 acres

Size of Subject Property/Properties

DESCRIPTION OF REQUEST

Requested Zoning: R-5 PUD

REQUIRED DOCUMENTS

See Form 502-A, *Rezoning Application Checklist of Required Materials*, for items that must accompany this application.

FOR OFFICE USE ONLY

Application received on: _____ By: _____

Application deemed complete on: _____ By: _____

Current Zoning: _____

Fee Amount Enclosed: _____ Escrow Amount Enclosed: _____

Rezoning Application Form

Village of Lemont

APPLICATION FEE & ESCROW

Application Fee (based on size of property to be rezoned):

< 2 acres = \$300 10 to < 20 acres = \$1,000
2 to < 5 acres = \$500 20 acres or more = \$1,250
5 to < 10 acres = \$750

Fee is non-refundable.

Required Escrow = \$500

At the time of application, the applicant shall submit a check for the establishment of an escrow account. The escrow money shall be used to defray costs of public notice, consultants, or other direct costs incurred by the Village in association with the rezoning application. Additionally, should the applicant fail to remove the required public notice sign in a timely manner, the escrow account may be used to defray the costs of the sign's removal. After completion of the rezoning review process, any unused portion of the escrow account will be refunded upon request.

AFFIRMATION

I hereby affirm that I have full legal capacity to authorize the filing of this application and that all information and exhibits herewith submitted are true and correct to the best of my knowledge. I permit Village representatives to make all reasonable inspections and investigations of the subject property during the period of processing of this application. I understand that as part of this application I am required to establish an escrow account to pay for direct costs associated with the approval of this application, such as the fulfillment of public notice requirements, removal of the public notice sign, taking of minutes at the public hearing and fees for consultants hired by the Village to evaluate this application. I understand that the submitted fee is non-refundable and that any escrow amount leftover upon project completion will be refunded upon request. I understand that I am responsible for the posting of a public hearing sign and for the mailing of legal notice to all surrounding property owners as required by Village ordinances and state law.

[Handwritten Signature]

1-4-18

Signature of Applicant

Date

ILLINOIS

COOK

State

County

I, the undersigned, a Notary Public in and for the aforesaid County and State, do hereby certify that *JOHN JURINEK* is personally known to me to be the same person whose name is subscribed to the foregoing instrument, and that said person signed, sealed and delivered the above petition as a free and voluntary act for the uses and purposes set forth.

Patricia A Jurinek
Notary Signature

Given under my hand and notary seal this *4* day of *Jan* A.D. 20 *18*.

My commission expires this *20* day of *April* A.D. 20 *20*.



Rezoning Application Checklist of Required Materials

Materials Required at Submittal of Application

A complete application for a rezoning must include **all** of the following items. Any application that does not include all of the following items will not be considered complete. The Planning & Economic Development Department **will not** schedule a public hearing for any rezoning request until a complete application has been submitted.

Application Form. One original copy of the attached *Rezoning Application Form*, signed by the applicant and notarized.

Application Fee. A non-refundable fee in the appropriate amount.

Escrow Account. \$500 per application. Any unused portion may be refunded upon request after completion of the rezoning review process.

Proof of Ownership & Applicant Authorization. One copy of a deed that documents the current ownership of the subject property. If the applicant is the owner, this is the only documentation necessary. If the applicant is not the owner, the following are required in addition to a copy of the deed:

- If the applicant is the contract purchaser of the property, a copy of said contract must be attached.
- If the applicant is acting on behalf of the beneficiary of a trust, a notarized letter from an authorized trust officer identifying the applicant as an authorized individual acting in behalf of the beneficiaries must be attached. The letter must also provide the name, address and percentage of interest of each beneficiary.
- If the applicant is acting on behalf of the owner, a notarized letter of consent from the owner must be attached.

If the property owner is a company, a disclosure of the principals of the company must be included in the application materials. For example, an LLC may submit a copy of the LLC Management Agreement.

Affidavit of Public Notice

The undersigned John Jurinek, being duly sworn on oath states as follows:

1. That he/she is the owner of record that is subject of the
(owner of record, contract purchaser, authorized agent, etc.)

petition to Rezone B3 Commercial To R5

by NEW HORIZON HOMES BUILDER, INC.
(Designate petitioner(s); and, if applicable, designate Trust numbers and all beneficiaries thereunder)

for

property located at and commonly known as COMMERCIAL LOTS 16455 & 16579 WILLOW @ 127th St. ROLLING MEADOWS ILL.

2. That the attached Public Notice, marked as Exhibit A, was served on all of the parties whose names and addresses are identified on the attached Exhibit B, by one of two means listed below.

Indicate by checkmark the applicable box and enter any requested information:



By mailing a copy of said notice by certified mail, return receipt requested, via United States Mail at the following location: Lemont, ILLINOIS 60439
City and State

OR:



By delivering said notice in person to the individual homes or offices and obtaining the signature of each recipient with name and address on a separate sheet of paper to be submitted as Exhibit C.

3. That the designated delivery took place on the 4 day of Jan 2018.

[Signature]
Signature

(indicate whether owner, contract purchaser, agent, etc.)

Subscribed and sworn before me this 4
day of Jan, 2018

Patricia A. Jurinek
Notary Public

My commission expires on Apr 20, 2020



(Notary Seal Here)

TRUST AGREEMENT

This Trust Agreement, dated this 15th day of November 19 96
and known as Trust Number 96-040 is to certify that HINSBROOK BANK AND TRUST as trustee
hereunder, is about to take title to the following described real estate in Cook
County, Illinois, to-wit:

The East 1/2 of the Northwest 1/4 of Section 31, Township 37 North, Range 11
East of the Third Principal Meridian, except the Easterly 300 Feet of the
726.00 Feet of said Northwest 1/4, all situated in Lemont Township, in Cook
County, Illinois.

Permanent Real Estate Tax Index Number 22-31-101-001 and 22-31-101-006

otherwise known as 127th Street East of Smith Road, Lemont, Illinois IL,
and that when it has taken the title thereto, or to any other real estate deeded to it as trustee hereunder, it will hold it for the
uses and purposes and upon the trusts herein set forth. The following named persons shall be entitled to the earnings, avails,
and proceeds of said real estate according to the respective interests herein set forth, to-wit:

100% in Jurinek & Riskus, Inc., an Illinois corporation

36-3839712

IT IS UNDERSTOOD AND AGREED between the parties hereto, and by any person or persons who may become entitled to any interest under this trust, that the interest of any beneficiary hereunder shall consist solely of a power of direction to deal with the title to said property and to manage and control said property as hereinafter provided, and the right to receive the proceeds from rentals and from mortgages, sales or other disposition of said premises, and that such right in the avails of said property shall be deemed to be personal property, and may be assigned and transferred as such, that in case of the death of any beneficiary hereunder during the existence of this trust, his or her right and interest hereunder shall, except as herein otherwise specifically provided, pass to his or her executor or administrator, and not to his or her heirs at law, and that no beneficiary now has, and that no beneficiary hereunder at any time shall have any right, title or interest in or to any portion of said real estate as such, either legal or equitable, but only an interest in the earnings, avails and proceeds as aforesaid. The death of any beneficiary hereunder shall not terminate the trust nor in any manner affect the powers of the trustee hereunder. No assignment of any beneficial interest hereunder shall be binding on the trustee until the original or a duplicate of the assignment is lodged with the trustee, and every assignment of any beneficial interest hereunder, the original or duplicate of which shall not have been lodged with the trustee, shall be void as to all subsequent assignees or purchasers without notice.

Nothing contained in this agreement shall be construed as imposing any obligation on the trustee to file any income, profit or other tax reports or schedules; it being expressly understood that the beneficiaries from time to time will individually make all such reports, and pay any and all taxes, required with respect to the earnings, avails and proceeds of said real estate or growing out of their interest under this trust agreement.

In case said trustee shall make any advances of money on account of this trust or shall be made a party to any litigation on account of holding title to said real estate or in connection with this trust, or in case said trustee shall be compelled to pay any sum of money on account of this trust, whether on account of breach of contract, injury to person or property, fines or penalties under any law or otherwise, the beneficiaries hereunder do hereby jointly and severally agree that they will on demand pay to the said trustee, all such disbursements or advances or payments made by said trustee, together with its expenses, including reasonable attorney's fees, and that the said trustee shall not be called upon to convey or otherwise deal with said property at any time held hereunder until all of said disbursements, payments, advances, and expenses made or incurred by said trustee shall have been fully paid, together with interest thereon as aforesaid. However, nothing herein contained shall be construed as requiring the trustee to advance or pay out any money on account of this trust or to prosecute or defend any legal proceeding involving this trust or any property or interest thereunder unless it shall be furnished with funds sufficient therefor or be satisfactorily indemnified in respect thereto.

It shall not be the duty of the purchaser of said premises or of any part thereof to see to the application of the purchase money paid therefore, nor shall any one who may deal with said trustee be required or privileged to inquire into the necessity of expediency of any act of said trustee, or of provisions of this instrument.

This trust agreement shall not be placed on record in the Recorder's Office of the county in which the land is situated, or elsewhere, and the recording of the same shall not be considered as notice of the rights of any person hereunder, derogatory to the title or powers of said trustee.

The Trustee may at any time resign by sending by registered mail a notice of its intention so to do to each of the then beneficiaries hereunder at his or her address last known to the Trustee. Such resignation shall become effective ten days after the mailing of such notices by the Trustee. In the event of such resignation, a successor or successors may be appointed by the person or persons then entitled to direct the Trustee in the disposition of the trust property, and the Trustee shall thereupon convey the trust property to such successor or successors in trust. In the event that no successor in trust is named as above provided within ten days after the mailing of such notices by the Trustee, then the Trustee may convey the trust property to the beneficiaries in accordance with their respective interests hereunder, or the Trustee may, at its option, file a bill for appropriate relief in any court of competent jurisdiction. The Trustee notwithstanding such resignation shall continue to have a first lien on the trust property for its costs, expenses and attorney's fees and for its reasonable compensation.

Every successor Trustee or Trustees appointed hereunder shall become fully vested with all the estate, properties, rights, powers, trusts, duties, and obligations of its, his or their predecessor.



It is understood and agreed by the parties hereto and by any person who may hereafter become a party hereto, that said Hinsbrook Bank and Trust will deal with said real estate only when authorized to do so, in writing, and that (notwithstanding any change in the beneficiary or beneficiaries hereunder) it will, unless otherwise directed in writing by any of the beneficiaries, on the written direction of

John Jurinek and George Riskus and Laddie Drahos

or will on the written direction of such other person or persons as shall be from time to time named in writing by the beneficiary or beneficiaries, or on the written direction of such person or persons as may be beneficiary or beneficiaries at the time, make deeds for, including deeds conveying directly to a trustee grantee, or otherwise deal with the title to said real estate, provided, however, that the trustee shall not be required to enter into any personal obligations or liability in dealing with said land or to make itself liable for any damages, costs, expenses, fines or penalties, or to deal with the title so long as any money is due to it hereunder. Otherwise, the trustee shall not be required to inquire into the propriety of any such direction.

The beneficiary or beneficiaries hereunder, in his, her or their own right shall have the management of said property and control of the selling, renting, and handling thereof, and each beneficiary or his or her agent shall collect and handle his or her share of the rents, earnings, avails and proceeds thereof, and said trustee shall have no duty in respect to such management or control, or the collection, handling or application of such rents, earnings, avails or proceeds, or in respect to the payment of taxes or assessments or in respect to insurance, litigation, or otherwise, except on written direction as hereinabove provided, and after the payment to it of all money necessary to carry out said instructions. No beneficiary hereunder shall have any authority to contract for or in the name of the trustee or to bind the trustee personally. If any property remains in this trust twenty years from this date, it shall be sold at public sale by the trustee on reasonable notice, and the proceeds of the sale shall be divided among those who are entitled thereto under this trust agreement.

HINSBROOK BANK AND TRUST shall receive for its services in accepting this trust and in taking title hereunder a fee of \$ _____; also an annual fee based upon its current trust fee schedule so long as any property remains in this trust; also its regular scheduled fees for making deeds, and it shall receive reasonable compensation for any special services which may be rendered by it hereunder, or for taking and holding any other property which may hereafter be deeded to it hereunder, which fees, charges, or other compensation, the beneficiaries hereunder jointly and severally agree to pay.

May the name of any beneficiary be disclosed other than as required by law? _____

To whom shall written inquiries, and bills, be sent? John Jurinek, P.O. Box 2351, Darien, IL 60559

Liquor is, is not being sold in the trust premises. Valuation: _____

IN TESTIMONY WHEREOF, Hinsbrook Bank & Trust has caused these presents to be signed by its Vice President and Trust Officer and attested by its Trust Officer and has caused its corporate seal to be hereto attached as and for the act and deed of said corporation, the date above written.

HINSBROOK BANK AND TRUST

ATTEST: John Johnson
Trust

BY: Judith Harney
Trust Officer

And on said day the said beneficiaries, and others having power of direction only, have signed this Trust Agreement to signify their assent to the terms hereof.
Jurinek & Riskus, Inc.

By: John Jurinek
Its President

Address 99-737 WILLIAM DR.

Soc. Sec. No. 266-15-0674

Phone No. HINSDALE, IL. 630-323-4986

X Laddie Drahos

Address 6150 So. Bentley

Soc. Sec. No. 333-50-9438

Phone No. 21166 PARK IL 60514

X George A. Riskus

Phone No. 630-323-4276

Soc. Sec. No. 336-52-2412

Address 9600 PACIFIC CT.

Phone No. BURE RIDGE, IL. 60521 630-794-0855

Soc. Sec. No. _____

Address _____

Soc. Sec. No. _____

Phone No. _____

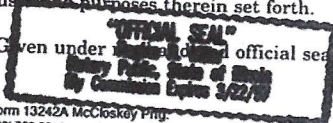
Address _____

Phone No. _____

STATE OF ILLINOIS)
COUNTY OF _____) SS

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that John Jurinek, Laddie Drahos and George Riskus personally known to me to be the same person(s) whose name(s) subscribed to the foregoing instrument as beneficiaries or directors appeared before me this day in person, and acknowledged that them signed, sealed and delivered the said instrument as a free and voluntary act, for the usual purposes therein set forth.

Given under my hand and official seal, this 12th day of February, 19 97.



Regina Miller
Notary Public

EXTENSION OF TRUST AGREEMENT AMENDMENT

Whereas, The Chicago Trust Company, N.A., as Trustee under the terms of a certain agreement dated 11/15/1996, and known as Trust Number 96-040 is presently holding the record title to certain real estate;

And, whereas, the undersigned beneficiaries own the beneficial interest in said trust;

And, whereas, said trust in accordance with the provisions thereof, terminates twenty years from the date of said agreement;

And, whereas, it is the desire of the undersigned to extend the terms of said trust for an additional twenty years,

Now, therefore, for and in consideration of the sum of one dollar and other good and valuable consideration, receipt and sufficiency of which is hereby acknowledged, the undersigned hereby agree that said trust shall continue under the same terms and conditions for an additional twenty years, except however, that the compensations of the Trustee for signing deeds and other instruments shall be its current schedule of charges for services. In addition, the Trustee shall receive each year in advance for continuing to hold title to the real estate an annual fee equal to the fee charged by the Trustee prior to the date of this amendment, or a fee as determined by the Trustee's then current rate schedule, such final fee determination to be made in the sole discretion of the Trustee. Any real estate conveyed of record to the Trustee subsequent to the date of this amendment shall not be subject to this agreement unless the Trustee shall issue its written acceptance thereof.

In witness whereof, the beneficiaries have set their hands and seals, and the Trustee has caused these presents to be executed by its Vice President and Trust Officer, and attached its corporate seal, all the 15th day of April, 2016

Signature(s) of primary beneficiary(ies)
(include Social Security and/or Employer's Identification numbers)

X [Signature] SSN or EIN: ***-**-0614
Signature: Jurinek & Riskus, Inc.

Address: 9. S. 737 WILLIAM DR Phone: _____

City, State, Zip-Code: WILLOWBROOK, IL. 60527

X [Signature] SSN or EIN: ***-**-2412
Signature: _____

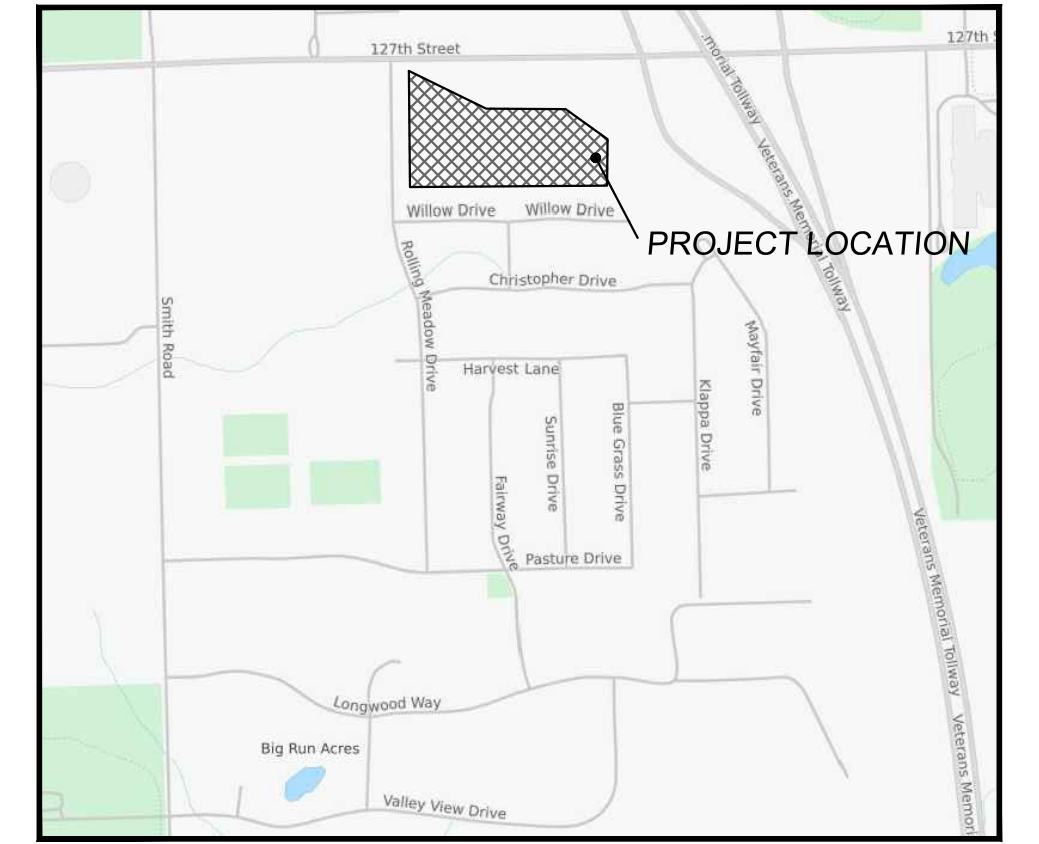
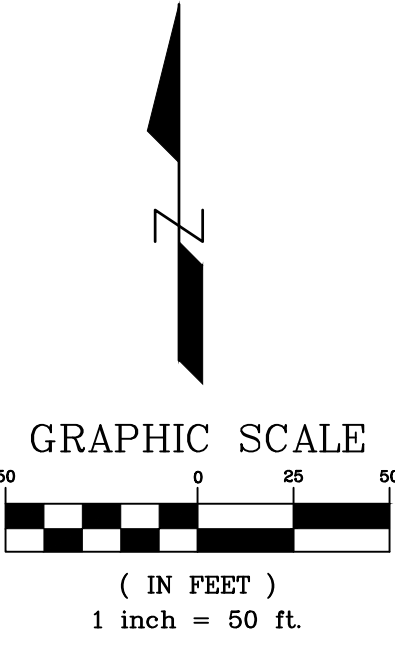
Address: 9660 PACIFIC CR Phone: (708) 670-3543

City, State, Zip-Code: BURN RIDGE, IL 60527

THE CHICAGO TRUST CO., N.A.

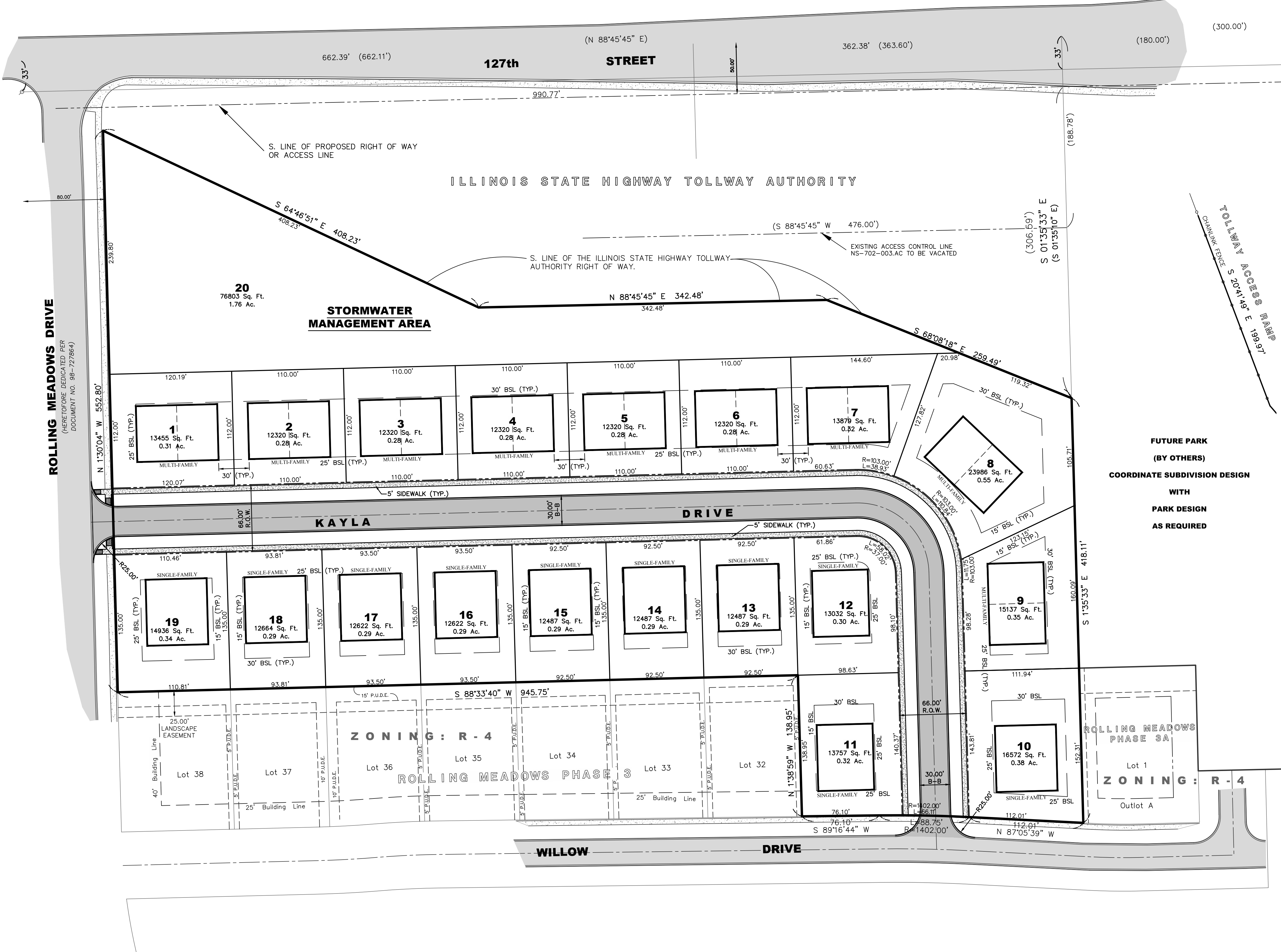
By: _____
Vice President and Trust Officer

PRELIMINARY SITE PLAN FOR ROLLING MEADOWS PHASE 4 LEMONT, ILLINOIS



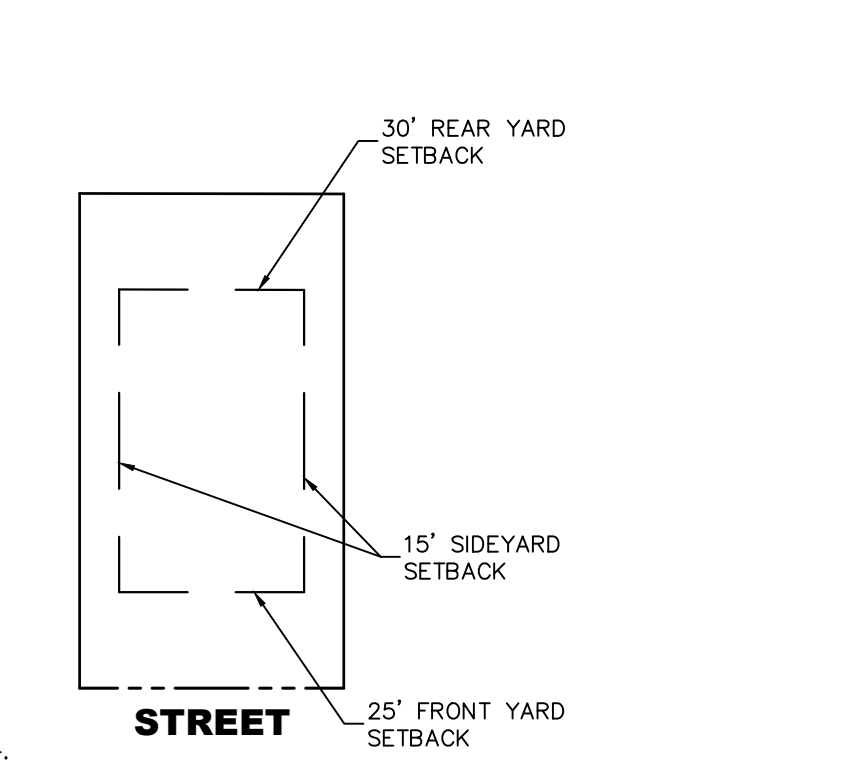
**LOCATION MAP
NOT TO SCALE**

NO.	DATE	DESCRIPTION



Lot #	Area (sq/ft)	Area (Acres)
1	13455	0.31
2	12320	0.28
3	12320	0.28
4	12320	0.28
5	12320	0.28
6	12320	0.28
7	13879	0.32
8	23986	0.55
9	15137	0.35
10	16572	0.38
11	13757	0.32
12	13032	0.30
13	12487	0.29
14	12487	0.29
15	12487	0.29
16	12622	0.29
17	12622	0.29
18	12664	0.29
19	14936	0.34
20	76803	1.76

	Village of Lemont Ordinance	Proposed
Minimum Lot Size (in square feet)	10,000	12,320
Minimum Lot Width (in feet)	80	92.5
Minimum Front Yard Setback (in feet)	25	25
Minimum Side Yard Setback (in feet)	15	15
Minimum Corner Side Yard Setback (in feet)	25	25
Minimum Rear Yard Setback (in feet)	30	30
Maximum Building Height (in feet)	37	37
Maximum Lot Coverage (percent)	65	65
Right-of-Way (in feet)	66	66
Pavement Width (As Measured between Back of Curbs)	30	30



TYPICAL LOT SETBACK

NEW HORIZON HOMES BUILDER, INC.
16590 WILLOW DRIVE
LEMONT, ILLINOIS 60439

PRELIMINARY SITE PLAN
FOR
ROLLING MEADOWS PHASE 4
LEMONT, ILLINOIS

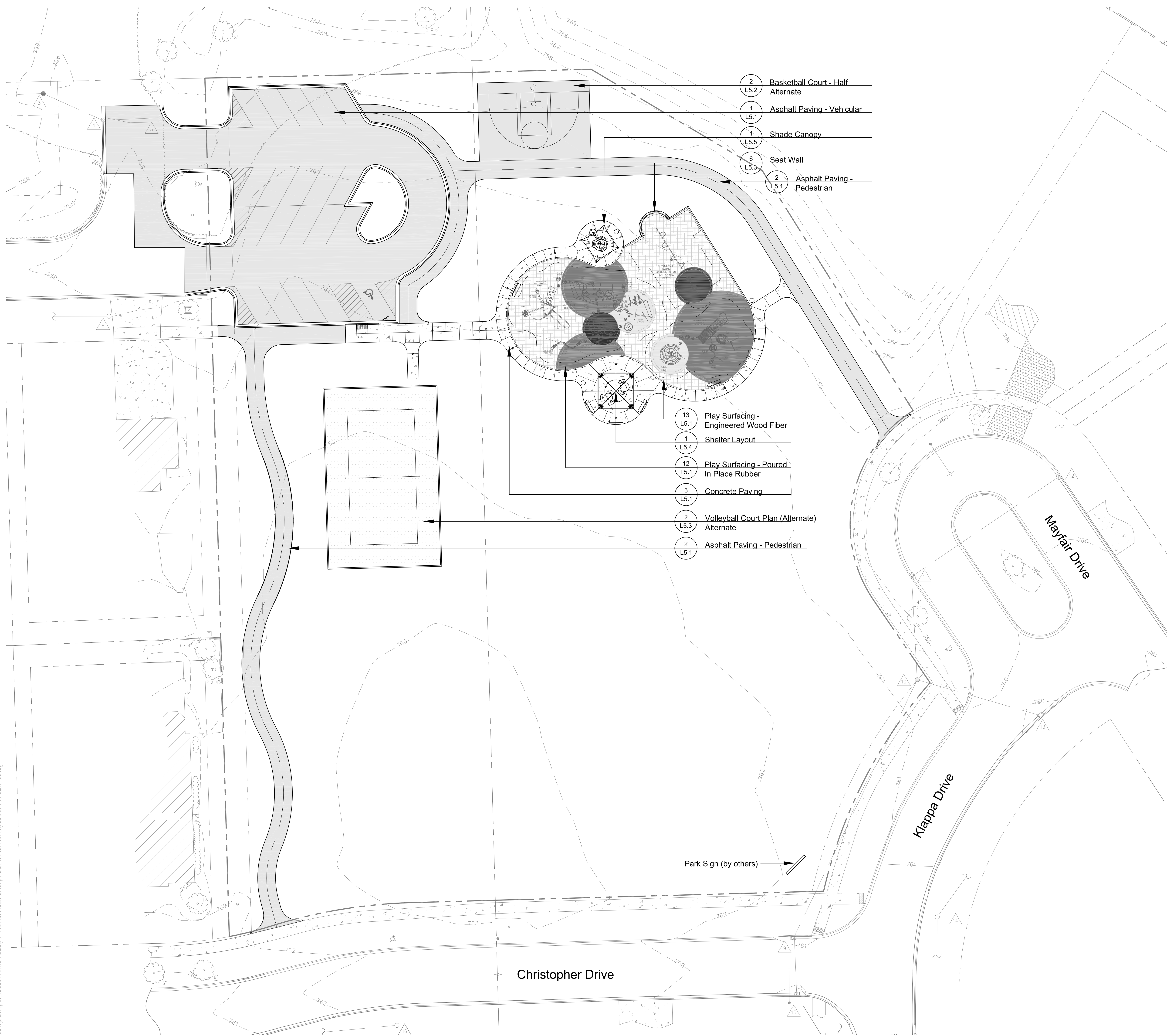
DESIGNTEK ENGINEERING, INC.
CONSULTING AND SITE DESIGN ENGINEERS
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
ILL. PROF. LIC. NO.: 184-003740



PROJECT INFORMATION

Project No.: 12-0035
Scale: 1" = 50'
Date: 3-28-18
Design By: S.D.S.
Drawn By: N.S.M.
Checked By: S.D.S.

PRELIMINARY SITE PLAN



- 2 L5.2 Basketball Court - Half Alternate
- 1 L5.1 Asphalt Paving - Vehicular
- 1 L5.5 Shade Canopy
- 6 L5.3 Seat Wall
- 2 L5.1 Asphalt Paving - Pedestrian
- 13 L5.1 Play Surfacing - Engineered Wood Fiber
- 1 L5.4 Shelter Layout
- 12 L5.1 Play Surfacing - Poured In Place Rubber
- 3 L5.1 Concrete Paving
- 2 L5.3 Volleyball Court Plan (Alternate) Alternate
- 2 L5.1 Asphalt Paving - Pedestrian

LAYOUT NOTES

1. Contractor responsible for field layout of all new improvements. Digital files of geometric information will be provided upon request in AutoCAD format. No additional payment will be made for adjustments necessary to construct the work as drawn.
2. Contractor responsible to coordinate work in order to obtain approval of all layout by Owners Representative prior to construction. No additional payment will be made to correct work if constructed incorrectly without pre-approval by Owners Representative.
3. Contractor responsible to maintain all layout stakes during construction. No additional payment will be made to replace layout stakes.
4. Place stakes at limits of playground, shelter, and every 25 feet on center along centerline of all pathways and fencing for review by the Owner's Representative prior to earthwork operations.
5. All curves and radii to be smooth and not segmented.
6. Contractor to provide layout stakes every 10 feet minimum for large arcs where radius points are not accessible.
7. Adjustment to stake locations due to discrepancies between coordinates and dimensions is incidental to the contract. No additional payments will be made for this work.
8. Contractor responsible to take delivery, assemble and install all materials, equipment, and furnishings, including those provided by owner, per manufacturer's instructions.
9. Place control and expansion joints as shown on plans and details for all curbs, walks, walls, steps, and concrete paving. Where joints are not shown, place control joints a maximum of 10 feet on center, expansion joints a maximum of 30 feet on center, and between all separate pours.
10. Contractor will maintain use zone requirements within play surfacing; no use zone will overlap or be tangent unless noted. Adjust playground barrier curb and/or adjacent paving as needed to accommodate play equipment fall zones.
11. Coordinate location of storm line with playground footings and obtain Owner's approval prior to installation.
12. Refer to specifications for additional conditions, standards and notes.

LAYOUT LEGEND

- Expansion Joint
- Center Line
- Concrete Paving
- Asphalt Paving
- Play Surfacing - Poured-in-Place Rubber
- Play Surfacing - Engineered Wood Fiber
- Play Surfacing - Sand



225 W. Jefferson Avenue
Naperville, IL 60540
T 630.961.1787
F 630.961.9925
hitchcockdesigngroup.com

PREPARED FOR
Lemont Park District
16028 127th Street
Lemont, Illinois 60439

PROJECT
Mayfair Park

16421 Christopher Drive
Lemont, Illinois 60439

CONSULTANTS
Civil Engineer
W-T Civil Engineering, LLC.
2675 Pratum Avenue
Hoffman Estates, Illinois 60192
T 224.293.6333
F 224.293.6444

Issue for Permit
August 14, 2017
REVISIONS

No	Date	Issue

CHECKED BY: JB DRAWN BY: LJJ

SHEET TITLE
Layout and Materials Plan

SCALE IN FEET
1" = 20'
0' 10' 20' 60'

NORTH
SHEET NUMBER
L3.1
©2017 Hitchcock Design Group

J:\Projects\Alpha\Lemont Park District\Mayfair Park CD Phase\09 Graphics\02 DO-COL\3.1 Layout and Materials Plan.dwg



LEMONT FIRE PROTECTION DISTRICT



BUREAU OF FIRE PREVENTION

15900 New Avenue
Lemont, IL 60439
Business: (630) 257-0191
Fax: (630) 257-5318
fpb@lemontfire.com
lemontfire.com

April 17, 2018

Building Department
Village of Lemont
418 Main Street
Lemont, IL. 60439

Re: New Horizon Homes
Lemont, IL, 60439

Dear Building Department;

This Department is in receipt of the site plans for the above mentioned project. The 2015 edition of the International Fire Code along with local amendments were used for this review. These plans are APPROVED AS NOTED subject to the following comments:

1. The address for the properties shall be permanently displayed, either on a sign or on the building. The type and size of the address a minimum four inches (4") - shall be in compliance with Lemont Fire Protection District Ordinance #16-01, and International Fire Code, 2015 Edition (Section 505).
2. Fire hydrants shall be located along a fire apparatus access road so that no portion of a building or facility will be more than 300 feet from any hydrant. Additional hydrants and mains shall be provided where required by the code official. Lemont Fire Protection District Ordinance #16-01 (Section 507.5).
3. When subject to physical damage from vehicles, fire hydrants shall be protected from damage by approved methods, including barriers in accordance with International Fire Code, 2015 Edition (Section 507.5.6).
4. Clear space around hydrants. A 3-foot (914 mm) clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved in accordance with International Fire Code, 2015 Edition (Section 507.5.5).
5. Two family dwellings shall be separated by a 2 hour masonry wall, per the Village of Lemont Building Codes Sections R317.1 and R31. Sprinklers may be substituted for the separation.

The review of these drawings does not relieve the contractor or building owner from designing and installing and completing this project per all code and standard requirements. Fire code and standard requirements not necessarily noted on these plans, in the plan review letter, or noted during inspections are still required to be provided and installed in full compliance with all adopted codes standards and ordinances. I will recommend approval of these plans with the stipulation that the above items are addressed and complied with. This APPROVAL with noted requirements of the Codes and Standards for the submitted project is not to be construed as final approval. This can only be granted after construction and occupancy inspections. If you should have any further questions please don't hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Benjamin DeAnda', written in a cursive style.

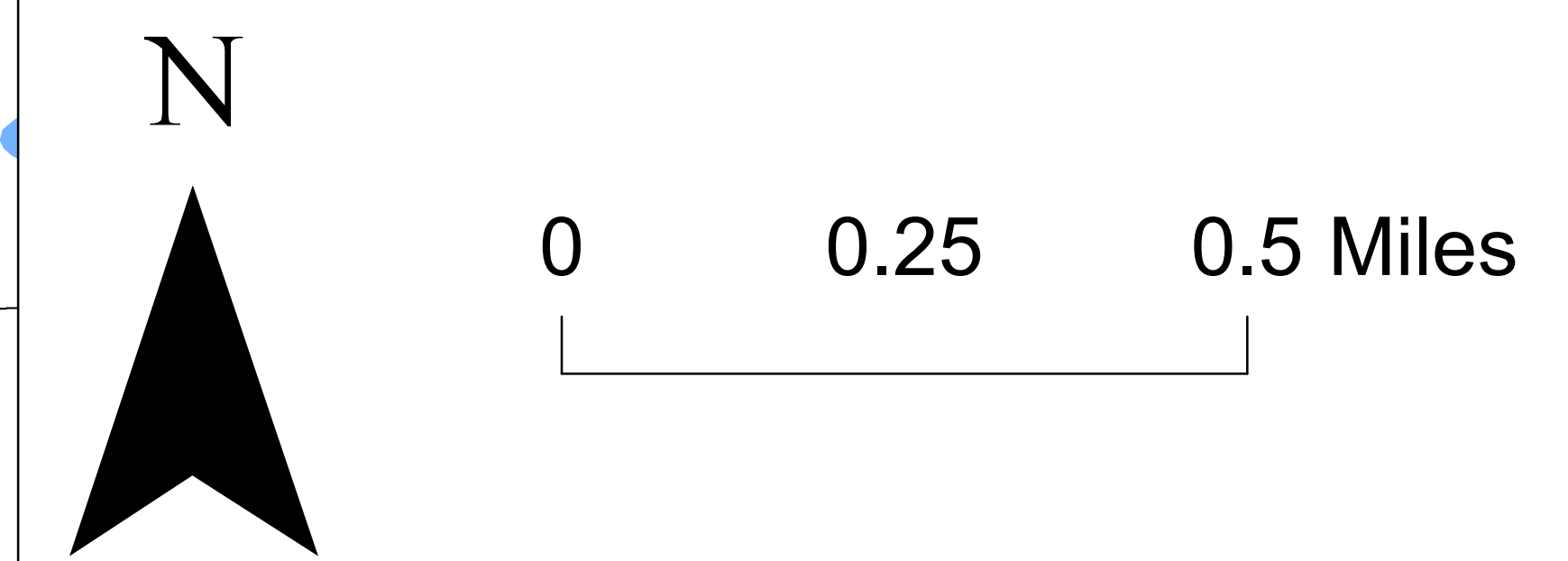
Benjamin DeAnda, MPA, MS, CFO, FM
Fire Marshal

cc: file
Village of Lemont Building Department

Village of Lemont 2018 Zoning Map

Legend

- Corporate Boundary
 - County Boundary
 - Historic District
 - Canal Overlay District
 - Railroads
 - Water
 - Parcel
- Zoning Districts
- R-1 Single-Family Detached Residential District
 - R-2 Single-Family Detached Residential District
 - R-3 Single-Family Detached Residential District
 - R-4 Single-Family Detached Residential District
 - R-4A Single-Family Preservation & Infill District
 - R-5 Single-Family Attached Residential District
 - R-6 Multi-Family Residential District
 - B-1 Office/Retail Transitional District
 - B-3 Arterial Commercial District
 - B-4 Commercial Recreation District
 - DD Downtown District
 - INT Institutional District
 - M-1 Light Manufacturing District
 - M-2 General Manufacturing District
 - M-3 Heavy Manufacturing District



This zoning map reflects
Village zoning as of April 1, 2018





FINDINGS OF FACT AND RECOMMENDATIONS SHEET
CASE # 18-02 NEW HORIZON HOMES REZONING TO R-5

FINDINGS. Based upon the evidence and testimony presented in the public hearing on April 25, 2018, the Planning & Zoning Commission finds the following:

1. The Lemont 2030 Comprehensive Plan's future land use map designates the subject site Employment Center.
2. The subject property does not achieve the land use goal of the Lemont 2030 Comprehensive plan but achieves a housing goal of the 2030 plan.
3. The request is consistent with the surrounding land uses.
4. The rezoning generally meets all of the criteria for evaluating rezoning requests.

RECOMMENDATION. For the reasons set forth above, the Planning & Zoning Commission recommends the following to the Lemont Village Board of Trustees:

 X Approval of the requested zoning amendment

 Denial of the requested zoning amendment

CONDITIONS. The foregoing recommendation is made subject to the following conditions:

1. Landscape berm and screening along the north property line, which will put it north of the stormwater detention area.
2. No access easement onto Rolling Meadow Drive for Lots 1 and 19.
3. The keywalks at Rolling Meadow Drive be removed.
4. Lot 19 needs to have a garage left.
5. Typical lot side yard setbacks need to be consistent throughout the Plan.
6. In lieu of impact fees, work with the Park District on open space site improvements on the Park District property that was recently purchased from tollway.

CHAIRMAN
LEMONT PLANNING & ZONING COMMISSION

DATE

TO: Mayor and Village Board
FROM: George J. Schafer, Village Administrator

SUBJECT: Discussion of Engineering Agreement with Living Waters Consultants for I&M Canal Restoration Project

DATE: May 7, 2018

SUMMARY/ BACKGROUND

To support its downtown redevelopment efforts, it has been a goal of the Village Board for several years to restore the historic I&M Canal waterway that flows through its downtown. During the conclusion of the Downtown TIF District in 2015, remaining surplus funds were held and transferred to the Downtown Canal TIF specifically targeted to restore the canal to be utilized as a natural amenity.

The Village has engaged engineers in the past to study and permit the project. These efforts have either been unsuccessful at receiving appropriate permits for the work and/or proved to be too expensive to for the project to move forward. Staff has been discussing the project with Living Waters Consultants, an engineer/consultant who is recommending a more natural and ecological approach to the restoration project. The new approach will align the Village's goals with those of the permitting agencies and have a greater probability of securing grant funding for the project. The Village had previously engaged Living Water Consultants for a concept plan and preliminary engineering.

This item was presented to the Committee of the Whole in March where the Board gave direction to reduce scope and costs for the project and bring back to the committee of the whole for further discussion. During the last couple months, staff and officials have been able to visit sample sites

Living Waters Consultants has revised the proposed a scope of work for the Final Engineering & Permitting work from \$107,000 down to \$71,000. The fee would be a not to exceed fee without consent of the Village and based on time and material to complete the scope. There are also several grants in which the engineer and/or the Village could apply for to complete this project. The new agreement includes application for an Illinois EPA section 319 grant and outlines other grants with time and material quotes associated with them. The reduction in scope from the previous discussion include the elimination of the walking along the north wall at grade with the I&M Canal. This improvement was eliminated from the project due to the significant additional costs added to the engineering and construction of the project along with the potential operational concerns with having an additional path at this location.

The services to be provided include the following:

- Mapping & Studies
- Canal Corridor Assessment
- Project Plans and Specifications to be used for bidding
- Cost Estimates for the proposed construction of the improvement
- Permitting Submittals with the various agencies including time and material for the numerous meetings required with said agencies.
- Grant writing services for Illinois EPA Section 319 and others at an additional hourly rate.

ATTACHMENTS

1. Final Engineering & Permitting Proposal
2. Concept Plan

SPECIFIC VILLAGE BOARD ACTION REQUIRED

The item is being presented for discussion purposes only.



**I & M CANAL ENHANCEMENT
FINAL ENGINEERING & PERMITTING SERVICES
VILLAGE OF LEMONT**



Proposal to:

**MR. GEORGE SHAFER
VILLAGE ADMINISTRATOR
VILLAGE OF LEMONT
418 MAIN STREET
LEMONT, IL 60439**

By:





MAKING A DIFFERENCE FOR STREAMS, WETLANDS & LAKES

Stream Restoration Engineering • Watershed Management
Stormwater Engineering • Wastewater Recycling

April 27, 2018

Mr. George Shafer
Village Administrator
Village of Lemont
418 Main Street
Lemont, IL 60439

RE: I & M Canal Enhancement Final Engineering & Permitting Services
Village of Lemont, Illinois

Dear Mr. Shafer:

Thank you for the opportunity to work with the Village of Lemont staff, and Board members for I & M Canal Enhancement. Please find enclosed our proposal for the I & M Canal Enhancement Final Engineering & Permitting Services for the Village of Lemont. We look forward to the opportunity to work together with the Village of Lemont for this important project.

Thank you for reviewing this proposal for developing a comprehensive and effective I & M Canal Enhancement Project Final Engineering & Permitting Services. If this proposal is acceptable, please sign and return copies of the attached Agreement Form, pages # 4 and 6. We believe this Project will be an excellent opportunity with regional benefits for the community. Please contact us at 630-321-1133 if there are any questions.

Best Regards,

A handwritten signature in cursive script that reads 'Ted Gray'.

Ted Gray, PE, CFM, CPESC
Engineer / Eco-Hydrologist
Living Waters Consultants, Inc.

I & M CANAL ENHANCEMENT FINAL ENGINEERING & PERMITTING SERVICES VILLAGE OF LEMONT, ILLINOIS

Project Understanding

The I & M Canal at the Village of Lemont is a valuable resource that provides open space, aquatic habitat, flood storage, runoff conveyance, recreational opportunities, and other benefits for the Village of Lemont. But the value of the canal resource is compromised by such problems as extensive sediment deposit accumulations, degraded aesthetics, lack of flow / water stagnation, degraded water quality, algae blooms, carp populations, and other impacts. The area of greatest concern is approximately located between Stephen Street and Ed Bossert Street. Vertical stone walls encompass the sides of the canal. There is no pedestrian access closer to the water's edge. Water depths are very shallow from summer through fall with areas of exposed mud flats depending on the location. Water quality impacts are occurring.

Village of Lemont staff and Board members along with Living Waters Consultants prepared an I & M Canal Enhancement Concept Plan in February, 2018. This Plan was briefly reviewed with the U.S. Army Corps of Engineers for preliminary permit-related considerations. At this time, Final Engineering & Permitting Services are proposed to provide environmentally sound canal enhancement, water quality improvement, recreational benefits, and riparian corridor enhancement throughout the project area. Grant application services will also be pursued with the Village of Lemont staff in order that matching funding may potentially be acquired to implement recommendations of the proposed project.

Project Approach

We propose to provide comprehensive and environmentally sound I & M Canal Enhancement Project Final Engineering & Permitting Services. The proposed Final Engineering & Permitting Services would include engineering services for the conversion of existing sediment deposits within the canal into a stream channel with vegetated wetland margins. Flowing water conditions would be improved. Site survey and channel evaluations would be performed to determine appropriate channel locations, dimensions, and meander parameters. Appropriate wetland construction options would be described. Options include constructing a deeper sediment forebay with a potential limestone stepped outfall for gravity aeration at the existing main storm pipe outfall in the project area. The sediment trap could be accessed with sediment vacuum trucks or with long-reach equipment for period silt cleanout. Shallower water conditions with vegetation would occur in other areas within the canal. Improved water velocities under a longer duration of the year would occur. Stream habitat would be improved. In-stream vegetation would include desirable native plantings. Fish passage and fish habitat would be improved and enhanced. Permitting feasibility would be increased through naturalizing site conditions.

By constructing habitat within the canal in the Baseflow cross section, in-stream flow velocities during baseflow conditions would be increased. Algae blooms may still occur but they would be reduced in size at the project area due to the presence of desirable vegetation and due in part to higher stream velocities. The resulting conditions would include growth of native vegetation during the summer and fall seasons, as well as increased flow velocities at that time. Overall, improved sediment management and substantially increased site aesthetics would result.

In terms of feasibility of implementation, based on a recent site visit it is our opinion that there are cost-effective opportunities to lower the water level in the I & M Canal. If this option is pursued, it is our opinion that several benefits would occur. First, the construction costs may be

significantly lowered. Second, improved flood protection would be provided for first-floor elevations of buildings located downstream of Stephen Street. Third, the proposed project would likely be more eligible for MWRD grants which in some cases are related to improved flood protection and protection of flood-prone structures. Fourth, permitting would likely be less complicated (reduced need for import of fill, better flood protection, etc.). Reducing the existing water level and related tradeoffs would be discussed and reviewed with the Village of Lemont as part of the design process.

Mapping and field assessment services would be provided to identify recommended final engineering practices. Final Engineering Plans would be prepared depicting proposed improvements. Types, locations, and footprints of proposed improvements would be illustrated. The Final Engineering & Permitting Services could be illustrated on County GIS topographic contours. Onsite surveying would include three (3) cross sections across the channel in the project area. The stability of the existing sediment would be evaluated for the proposed project.

Future possible implementation would benefit adjacent residents through improved aesthetics, enhanced recreational opportunity, downtown revitalization, better aquatic habitat and water quality, higher property values, and more diverse species richness. Services to be provided include the following:

Elements of the Final Engineering & Permitting Services:

- a) Cross Section Survey and Field Evaluations
- b) Final Engineering Design Plans and Specifications
- c) Permitting Services
- c) Engineer's Opinion of Construction Costs
- d) Grant Application Assistance
- e) Environmentally Sound Solutions

Benefits of Future Project Implementation:

- a) Improved Downtown Aesthetics (Reduction of Mud Flats, Odors, etc.)
- b) Increased Recreational Benefits
- c) Enhanced Property Values
- d) Aquatic Habitat
- e) Educational Opportunity
- f) Water Quality Improvement
- g) Community Enhancement

Grant Application Assistance

The Final Engineering would be an important component of future grant applications used to support Grant Funding Application Services. Living Waters Consultants proposes to work with the Village of Lemont to prepare submit grant applications. Best management practices could be included as an option to enhance grant applications. Final Engineering for related best management practices including parking lot permeable pavers will be provided for up to 1 acre of existing parking lot area. Final Engineering for up to 850 LF of vegetated bioswale at one location would also be included. Grant application assistance is proposed to be provided at time and materials.

Potential relevant grant applications include:

- Illinois EPA Section 319 Grant (included with this proposal)
- MWRD Green Infrastructure Grant (see costs below)

- MWRD Phase II Stormwater Grant
- FEMA Hazard Mitigation Grant
- Illinois Clean Energy Fund
- National Heritage Area Grant

Project Team Experience

Living Waters Consultants, Inc. provides services for the management and restoration of streams and lakes. Living Waters Consultants has completed Design Engineering Plans, Specifications, Bid Documents, Permitting, Construction Management, Construction Observation, Grant Administration, and Grant Administration services. We have completed projects for bioengineering stabilization, wetland and riparian enhancement, eco-engineering stormwater management, stormwater best management practices, water quality improvement, aquatic plant and algae management, dredging, habitat enhancement, native landscaping, and sediment control techniques. Our experience enables us to provide cost-effective, environmentally sound, and long-term solutions. We offer the following example projects:

- A. Seavey Ditch Streambank Stabilization and Riparian Enhancement Project, Village of Vernon Hills. (Grant Acquisition, Fluvial Geomorphic Evaluations, Survey, Engineering Plans, Details, Specifications, Cost Estimates, Permitting, Bid Document Preparation, Contractor Selection Assistance, Public Presentations, Construction Observation, and Maintenance Inspection services.)
- B. Jelke Quarry / Creek Restoration Project Enhancement Project, Dundee Township. (Grant Acquisition, Lake Survey, Engineering Plans, Details, Specifications, Cost Estimates, Permitting, Bid Document Preparation, Contractor Selection Assistance, Public Presentations, Construction Observation, and Maintenance Inspection services.)
- C. Seavey Ditch Dam Removal and Stream Enhancement Project, Village of Vernon Hills. (Grant Acquisition, Fluvial Geomorphic Evaluations, Survey, Engineering Plans, Details, Specifications, Cost Estimates, Permitting, Bid Document Preparation, Contractor Selection Assistance, Public Presentations, Construction Observation, and Maintenance Inspection services.)
- D. Indian Creek Channel Re-Meandering and Wetland Design and Construction Observation, Chelsea Group / V3 Consultants, North Aurora. (Fluvial Geomorphic Evaluation, Stream Re-Meandering and Stabilization Design, Permitting Assistance, and Construction Observation services.)
- E. Dixie Creek Restoration Project, Dundee Township. (Grant Acquisition, Fluvial Geomorphic Evaluations, Survey, Engineering Plans, Details, Specifications, Cost Estimates, Permitting, Bid Document Preparation, Public Presentations Contractor Selection Assistance, Construction Observation, and Maintenance Inspection services.)

Outreach skills exhibited at conferences and workshops such as American Public Works Association, Chicago Wilderness Stream Restoration Workshops, Illinois Institute of Technology, International Erosion Control Association, and Lake County Workshops. We can also present for community meetings, workshops or other efforts.

Awards

ACEC Engineering Excellence Merit Award (Scottswood Wetland Detention Basin)
 APWA Project of the Year – Prairie Branch (Scottswood Wetland Detention Basin)
 APWA Technical Innovation Award - Chicago Metro Chapter (Atrium Ditch Stabilization)
 Governor's Hometown Award – Sustainability & Beautification (Silver Creek)
 IAFSM Stormwater Management Award—Jelke Quarry / Creek Restoration Project
 IAPD / IPRA Outstanding Sustainability Award – Douglas Creek Restoration Project
 IECA Environmental Achievement Award – Jelke Quarry / Creek Restoration Project

Lake County SMC Stormwater Community of the Year Award (Seavey Ditch & Harvey Lake)
National Visionary Award Top 5 Finalist: Indian Creek Re-Meandering Premium Outlet Mall
U.S. EPA / Chicago Wilderness Native Landscaping Awards (5 Projects)
U.S. EPA – Leadership in Conservation Award

Certifications

Ted Gray has a graduate degree in Aquatic Ecology (M.S.), licensure in Professional Engineering (P.E.), and is a Certified Floodplain Manager (CFM). He is a Certified Professional in Erosion and Sediment Control (CPESC). Ted has provided river engineering / consulting for over 20 miles of stream restoration services for over 40 project sites along 31 streams. Stream services include natural channel design, large-scale stream re-meandering, and stream inventories, and Final Engineering & Permitting Services. His experience in Ecology, Hydrology, Engineering and Fluvial Geomorphology provide your project with the ecological and technical skills needed for successful environmental management. Awards have been received from APWA, ACEC, ASLA, U.S. EPA, Chicago Wilderness, and others. Ted has instructed at Stream Restoration Workshops for colleges, agencies, and other organizations.

Christian Smith, PE is a Professional Engineer (PE) with an emphasis in Hydrology and Hydraulics (H&H). His expertise includes steady and unsteady hydraulic modeling using EPA-SWMM, XP-SWMM, 1-D and 2-D HEC-RAS, WSPRO and FEQ. Hydrologic and Continuous Modeling tools have included HEC-HMS, TR-20 and ArcSWAT. Projects have included stream restoration, flood risk analyses, site civil drainage design, drainage remediation, dam breach analyses, and floodplain/floodway studies.

Ken Johnson, M.S., is a Certified Wetland Scientist. Mr. Johnson has extensive experience with plant identification, floristic inventories, natural area restoration and Best Management Practices including design, monitoring, and maintenance.

Agency References for Living Waters Consultants, Inc.

Municipality: Village of Vernon Hills
Address: 290 Evergreen Drive
City, State, Zip Code: Vernon Hills, IL 60061
Telephone Number: (847) 918-3544
Contact Person: David Brown, PE, Dir. Of Public Works & Village Engineer
Dates of Service: 2004 through present (Seavey Ditch, Harvey Lake, Lake Charles)

Agency: Kane County Department of Environmental Management
Address: 719 Batavia Avenue
City, State, Zip Code: Geneva, IL 60134
Telephone Number: (630) 208-3179
Contact Person: Ken Anderson, Project Manager
Dates of Service: 2008 (Dixie Creek Stabilization Project)

Agency: Lake County Stormwater Management Commission
Address: 500 W. Winchester Rd.
City, State, Zip Code: Libertyville, IL 60048
Telephone Number: (847) 377-7700
Contact Person: Mike Prusila, Watershed Planner, Grant Coordinator
Dates of Service: 2009 through present (Dog Creek, North Mill Creek)

Agency: Dundee Township
Address: 557 Barrington Ave.
City, State, Zip Code: Dundee, IL 60118
Telephone Number: (847) 428-8092
Contact Person: Sue Harney, Township Supervisor
Dates of Service: 2007 through present (Jelkes Quarry / Creek; Dixie Creek)

Agency: Woodridge Park District
Address: 2600 Center Drive
City, State, Zip Code: Woodridge, IL 60517
Telephone Number: (630) 353-3300
Contact Person: Jennifer Knitter, Supt. of Planning & Development
Dates of Service: 2012 through present (Hobson Creek, Crabtree Creek, Triangle Park)

A. I & M Canal Enhancement Plan Final Engineering & Permitting Scope of Services

1.0 Mapping and Studies

- a. Watershed Evaluation: Coordinate with Village of Lemont for the acquisition of an electronic version (preferably AutoCAD or GIS) of topographic data, parcels, buildings, road, utilities / utility maps, and other relevant information.
- b. Review of aerial photos, topographic maps, soils maps, storm sewer layout, wetland maps if any, easements, utilities, and other information available through the existing GIS system. Consultant shall also examine soil boring reports, soil chemistry analyses, historic aerial photos, pre-settlement maps, geology, and other mapping.
- c. Stormwater Studies: LWC has recently obtained most available hydrologic and hydraulic studies for the project area. However, available hydraulic modeling data would be helpful to obtain.

2.0 Canal Corridor Assessment

- a. Field-based canal and riparian corridor investigation shall be performed. The proposed project area includes between Stephen Street and Ed Bossert Drive. Geomorphic assessment of sediment stability, erosion, wetland restoration or stream re-meandering, riparian conditions and other features will be based on soil analysis, slopes, grades, hydrology, hydraulics, observations of sheet and gully erosion, bar formation, inspection of rotational failures, vegetative growth, stormwater utilities in the vicinity, and other characteristics.
- b. Locations of engineering design improvements shall be identified on the proposed final engineering plans.
- c. Site surveying at the project site shall include three (3) cross sections in order to prepare Final Engineering Plans. It is assumed that existing adjacent bridges, roads, and utilities in the project area vicinity have been mapped or surveyed and that such data are available for review, if needed. Surveying would also extend to downstream areas that may be subject to consideration to implement low-cost water level reductions in the project area.
- d. A design-level hydrologic and hydraulic assessment shall occur to evaluate flood recurrence interval flows, water elevations, and durations of inundation. (We assume that a permit submittal of H&H data is not required.)

3.0. Plans and Specifications

- a. Basemap shall be prepared depicting available existing topography, known parcel boundaries, easements, storm sewers, tile drains, topographic benchmarks, utilities, roads, building facilities and/or other information.
- b. Final Engineering Design Plans and Specifications shall be prepared by LWC. Plans shall depict the project location, stream channel, wetland, earthwork, landscaping, details, specifications, removal of invasive plant species, native vegetation, construction ingress and egress, existing utilities as available, species types and quantities of proposed native vegetation, and/or other riparian management practices.
- c. Details and Specifications shall be provided by LWC.
- d. Engineering Plans shall be reviewed by the Village of Lemont. Plans and Specifications shall be integral documents for possible future construction activities.
- e. Engineer's Opinion of Probable Construction Costs shall be prepared.
- f. An artistic rendering shall be provided by the Landscape Architect depicting views of the proposed project within the I & M Canal.

- g. The proposed project includes native plantings. This is due in part to permit requirements as well as potential grant opportunities. The services of an additional consultant will be included to assist with aesthetics and appearance of native plantings in the design process.

4.0. Permitting Submittals

- a. One permit submittal each shall be made to Village of Lemont, U.S. Army Corps of Engineers, Illinois Environmental Protection Agency, Illinois Department of Natural Resources / OWR, SWCD, Illinois Department of Natural Resources – T & E Species, State Historic Preservation Agency, and U.S. Fish & Wildlife Services – T & E species. These permit submittals shall include the permit application submittal requirements for each agency as described in available documentation. However, while Living Waters Consultants, Inc. has extensive experience with permitting similar projects, permit approvals cannot be guaranteed. The final decision of whether to grant final permit approval is the responsibility of the permitting agency.
- b. Up to two plan revisions shall be included with permit re-submittal at no additional charge. However, three or more plan revisions associated with permit re-submittals as may be required in the opinion of one or more permitting agencies are not included in this proposal. Such additional plan revisions associate with permit re-submittals if necessary shall be billed separately at time and materials.
- c. A wetland delineation or OHWM delineation with survey of flagging shall be provided.
- d. Final hydrologic and/or hydraulic modeling may be required and would be provided.
- e. Other than survey described in 2.0.e. above, additional topographic or other survey is not included and would be provided under separate contract.
- f. An As-Built Survey is not included and would be provided under separate contract with a Construction Engineering Phase.

5.0. Grant Application Services

- a. Grant Applications for Illinois EPA Section 319 Grant, MWRD Green Infrastructure, MWRD Phase II Stormwater, FEMA, or other opportunities are described below.

6.0. Bidding Services

Bidding Services are not included and could be provided under separate contract.

7.0. Construction Observation Services

Construction Observation Services are not included and could be provided under separate contract.

8.0. Project Communication

- a. Updates and/or Design Plan reviews shall be provided to the Village of Lemont as required.
- b. Final Engineering review meetings shall be provided with the Village of Lemont as needed.

9.0. Items Not Included:

- a. Bidding, Construction Observation, and Native Plant Maintenance Observation Services are not included and would be provided in a future phase under separate contract.
- b. Grant Application or Grant Administration assistance is proposed to be provided at time and materials.
- c. We understand that State Historic Preservation Agency permitting by Lemont includes relevant archaeological surveys and related fieldwork as may be needed. (In the event that additional surveys are needed, that would be provided by Others.)
- d. Permit assistance for threatened / endangered species does not include field surveys for plant or animal species. In the event that such surveys are needed, that would be provided under separate contract.
- e. It is assumed that a 1-foot topographic survey is not required other than the proposed cross sections to be surveyed along with the County GIS topography, and the topographic survey expected to be provided from past studies.
- f. Permit review fees charged by agencies are not included.
- g. Design for repair of failing stone wall areas is not included.
- h. An As-Built Survey, if required by one or more permitting agencies, is not included and would be provided with a Construction Engineering phase..
- i. FEMA CLOMR / CLOMA permit submittals are not assumed to be needed and are not included.
- j. Design, re-design, or other assistance related to Change Order services are not included and will be billed time and materials.
- k. Maintenance Observations or Monitoring Observations are not included but could be provided under separate contract.
- l. Public Meetings or Presentations or meetings other than described above are not included and shall be billed at a time and materials basis.
- m. Soil borings are not included. We would request than any nearby top-of-bank soil borings such as may have been collected for building foundations, bridges, etc. be provided.
- n. Local highway or road permits are not included and are typically provided by the Contractor during construction at no additional charge to the Owner.
- o. Final permit approvals by agencies are not guaranteed (see 4.0). Up to two plan revisions shall be included with permit re-submittals at no additional charge. However, three or more plan revisions associated with permit re-submittals as may be required in the opinion of one or more permitting agencies are not included in this proposal. Such additional plan revisions associate with permit re-submittals if necessary shall be billed separately at time and materials.

10.0 Items to be Provided by Client

- a. We would request with project implementation that Living Waters Consultants, Inc. would be selected to provide bidding assistance and construction engineering services for the proposed I & M Canal Enhancement Project.
- b. We would request that the Village of Lemont would assist with acquiring GIS-based topography, roads, parcels, utilities and related information (GIS or CAD preferred).
- c. Existing Village utility maps for the project vicinity including but not limited to storm sewers, sanitary, electric, phone, cable, etc. (preferably in GIS but paper copies are acceptable.)
- d. We would request that relatively recent topographic surveys such as from past studies be provided in excel and CAD-compatible drawings.
- e. we would request than any nearby top-of-bank soil borings (other than borings received from within the canal bottom area) be provided for review. Such borings may have been collected for building foundations, bridges, or other purposes.

- f. It is assumed that existing Stephen Street and Ed Bossert Drive bridge crossings, as well as adjacent roads, and utilities have been surveyed and that such data are available for review.
- g. We would request that the Village of Lemont would assist with acquiring digital hydraulic models constructed for MWRD studies and/or other studies such as for the School Gully Project or the Lemont Tunnel Project.
- h. If needed, coordination with utility companies for determination of locations of utilities.
- i. Access to project areas.
- j. Any other items which may be helpful to our completion of this work.

11.0. Draft Schedule

Final Engineering & Permitting Services

May 30, 2018: Final Engineering & Permitting Services Contract Approval
 October 30, 2018: Draft Final Engineering Plans
 November 30, 2018 Final Engineering Plan Completion
 December 15, 2018, Permit Submittals
 June 15, 2019: Permit Completion (Assumes No Individual Permit Required)

Grant Submittal Schedule

Aug. 1, 2018: Illinois EPA Section 319 Grant Application (or wait until 8-2019)
 Spring, 2019: Notice of Award Regarding Illinois EPA Section 319 Grant Application
 2019 (TBA): MWRD Green Infrastructure Grant Application
 2019 (TBA): MWRD Phase II Stormwater Grant Application
 TBA: National Heritage Area Grant
 TBA: FEMA Hazard Mitigation Grant
 TBA: Illinois Clean Energy Fund
 TBA: Community Development Block Grant

Potential Future Schedule / Services:

March 15, 2019: Bidding
 April 15, 2019: Bids Received / Bid Evaluations
 May 15, 2019: Contract Award for Construction (Assumes Permits Received)
 June 25, 2019: Commencement of Construction
 August 15, 2019: Completion of Construction and Installation of Plant Plugs.
 Aug. 15 – Oct. 15, 2019: 2 Month Time Frame To Allow Plants To Stabilize Sediment
 Ongoing: Native Plant Maintenance

Note: *It is Recommended That Construction Ends Before August 15 To Allow At Least 2 Months of Growing Season (Before Winter) to Allow Newly Installed Plants to Stabilize Sediment Deposits.*

Grant funding application, acquisition, and completion schedules could affect the timing of construction.

12.0. Costs:

The I & M Canal Enhancement Project Final Engineering & Permitting Services as described above shall be completed for the following costs not to be exceeded without consent of client. (This cost includes past services for MWRD Phase II Stormwater Grant Application Assistance and Army Corps of Engineers follow up correspondence for hydrologic data and navigational impacts for \$1,050.)

Final Engineering Plans:	\$51,500
Permitting Services:	\$19,500
Illinois EPA Section 319 Grant:	\$0 (Value of \$2,400 Included with Proposal)

See Items Not Included above. We would request that if the I & M Canal Enhancement Project is approved, that Living Waters Consultants, Inc. would be selected to provide bidding and construction engineering for this important project.

Option 1: Grant Application Services

LWC proposes to work with the Village of Lemont to assist with grant applications, as appropriate. It is proposed that Grant Application assistance be provided at time and materials (\$145/hour). Grant Administration assistance as may be needed would be provided at time and materials. We have extensive grant administration experience with the Illinois EPA Section 319 Grant which may be applicable for the proposed project.

Potential grant funding opportunities include:

- Illinois EPA Section 319 Grant (Charge of \$2,400 to be waived.)
- MWRD Green Infrastructure Grant (T & M not to exceed \$1,000)
- MWRD Phase II Stormwater Grant (T & M not to exceed \$1,000)
- FEMA Hazard Mitigation Grant (To be Determined.)
- Illinois Clean Energy Fund (To be Determined.)
- National Heritage Area Grant (To be Determined.)
- Private Organizations for Environmental & Historic Enhancement
- Other Opportunities

Option 2a: Army Corps – Individual Permit

We assume that the U.S. Army Corps will not require an Individual Permit for the proposed project, especially if the water level can be lowered.

Option 2b: Hydraulic Model and Floodplain Calculations

Based on the proposal described above, this likely is not required.

Option 3: Equipment for Water Level Monitoring

We recommend that water level monitoring equipment be included in the proposed project. This information would help to evaluate existing water level fluctuations and the duration of sustained high water levels. The information would help with design of proposed wetland elevations. It would also help calibrate hydraulic modeling results and supplying the information requested by the U.S. Army Corps of Engineers. We have 3 sub-options for water level monitoring

- a) Monitoring could occur through weekday daily monitoring observations of a gauge installed by staff. That would cost \$0.

- b) An automated water level monitoring system could be provided at time and materials. An Onset water level logger with manual download would cost approximately \$850 for equipment only. The data would have to be retrieved manually. The equipment could be installed and monitored by Village staff, or by us at time and materials.
- c) The Onset HOBO RX3000 water level monitoring equipment with sensor for water level and rainfall monitoring with automatic uploading of data would cost approximately \$2,500. The equipment could be installed and monitored by Village staff, or by us at time and materials. No manual access to the monitoring equipment for data acquisition would be needed.

Option 4: Documentation of Local Flood Impacts

If needed for grant applications, this information could be provided at time and materials.

Invoices are due within 30 days. Any services rendered in excess of the specified Scope of Services shall be performed with consent of Client and billed according to the Professional Fee Schedule. Prices quoted assume that an acceptable contract is placed with Living Waters Consultants, Inc. within forty-five (45) days from the date of this proposal. Late fees of 1.5% shall be applied to invoices unpaid after 30 days.

B. Related Services

Related services which may be provided under separate contract include:

Phase 1 Construction Implementation

Bidding Services

Construction Observation

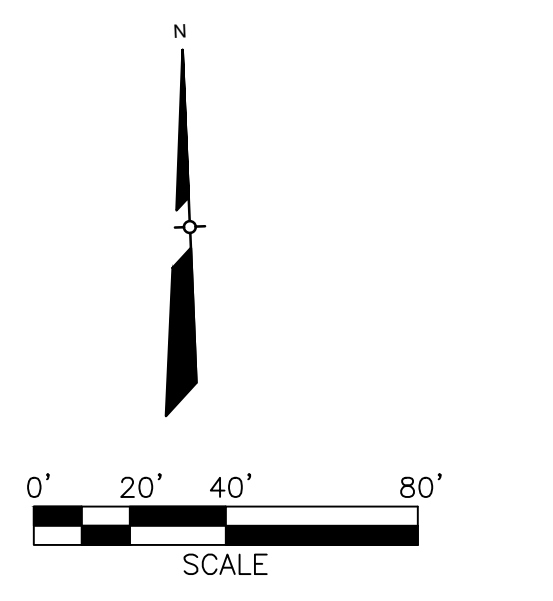
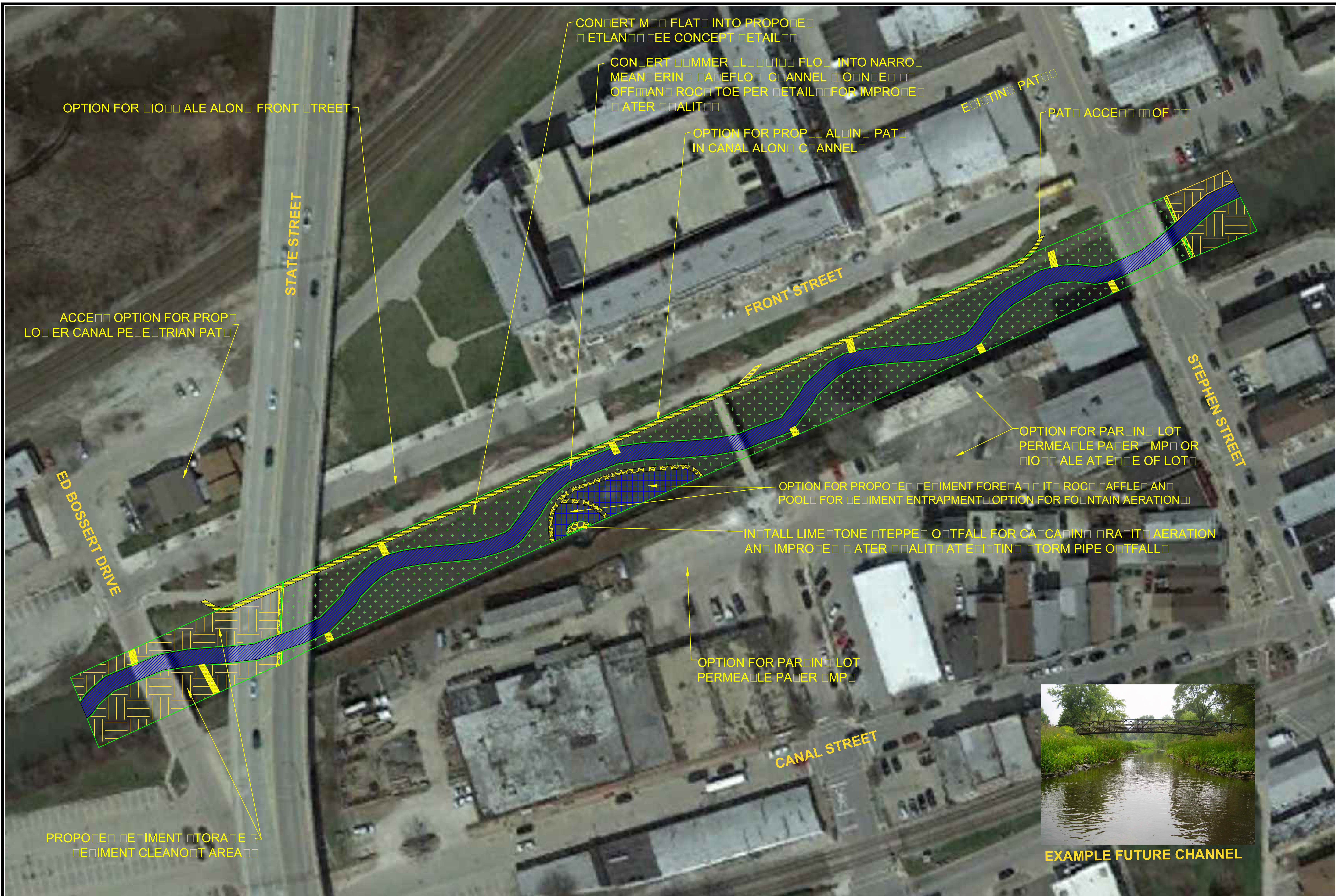
Maintenance & Monitoring Site Inspections

Environmental Education

Environmental Monitoring (Sediment, Water Quality, Wetlands, Fish, Wildlife)

Phase 2 Options:

- Extend I & M Canal Improvements Into Adjacent Areas, such as Downstream.
- Pursue Historic Structural Wall Protection and Improvement with Green Infrastructure Drainage Control for South Wall at Phase 1 Project Area (to be discussed).



- NOTES:**
- 1) EXISTING LIMESTONE WALLS ALONG CANAL SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS.
 - 2) CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE PRIOR TO COMMENCEMENT OF WORK, PROTECT, AND PREVENT DAMAGE TO MARKED OR UNMARKED UTILITIES AND FACILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, DRAINAGE, LIGHTING, IRRIGATION, SPRINKLERS, CABLE, PHONE, ETC.) OVER THE DURATION OF THE PROJECT THROUGHOUT THE PROJECT SITE PER PLANS AND SPECIFICATIONS. ANY DAMAGED STRUCTURES OR UTILITIES SHALL BE REPAIRED AND/OR REPLACED IMMEDIATELY BY CONTRACTOR TO THE SATISFACTION OF THE OWNER AND ENGINEER AT NO ADDITIONAL COST TO OWNER OR ENGINEER.
 - 3) LONG-REACH, LOW GROUND PRESSURE EQUIPMENT SHALL BE USED TO MINIMIZE DAMAGE OR DISRUPTION TO EXISTING PATHS OR STRUCTURES.
 - 4) PLACEMENT OF FILL MATERIALS SHALL OCCUR AT OR BELOW THE SUMMER BASEFLOW WATER LEVEL TO PRESERVE FLOOD STORAGE AND CONVEYANCE CAPACITY EXCEPT FOR LIMITED ROCK OR AGGREGATE STRUCTURES NOTED PER DETAILS.
 - 5) THERE SHALL BE NO PLACEMENT OF FILL ALLOWED WITHIN FLOODPLAIN LIMITS BEFORE, DURING OR AFTER CONSTRUCTION.

LEGEND

- PROP. SUMMER MEANDERING BASEFLOW CHANNEL (NOTE: OFF-BANK ROCK TOE NOT DEPICTED)
- ROCK BERMS FOR SEDIMENT FOREBAY
- PROP. WETLAND HABITAT
- SEDIMENT FOREBAY AT EXIST. STORM PIPE
- OPTION FOR SEDIMENT STORAGE AREAS
- OPTION FOR PROPOSED PATH INSTALLED IN CANAL ALONG CHANNEL
- EXIST. TREE TO BE REMOVED (REVIEW W/ OWNER)
- EXIST. TREE TO KEEP
- ROCK POINTS
- ROCK DEFLECTOR



EXAMPLE FUTURE CHANNEL

JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS

Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)
1-800-892-0123

REVISIONS		DRN	CHK	DATE
DES	TRG	JAN 10 2018		
APP				

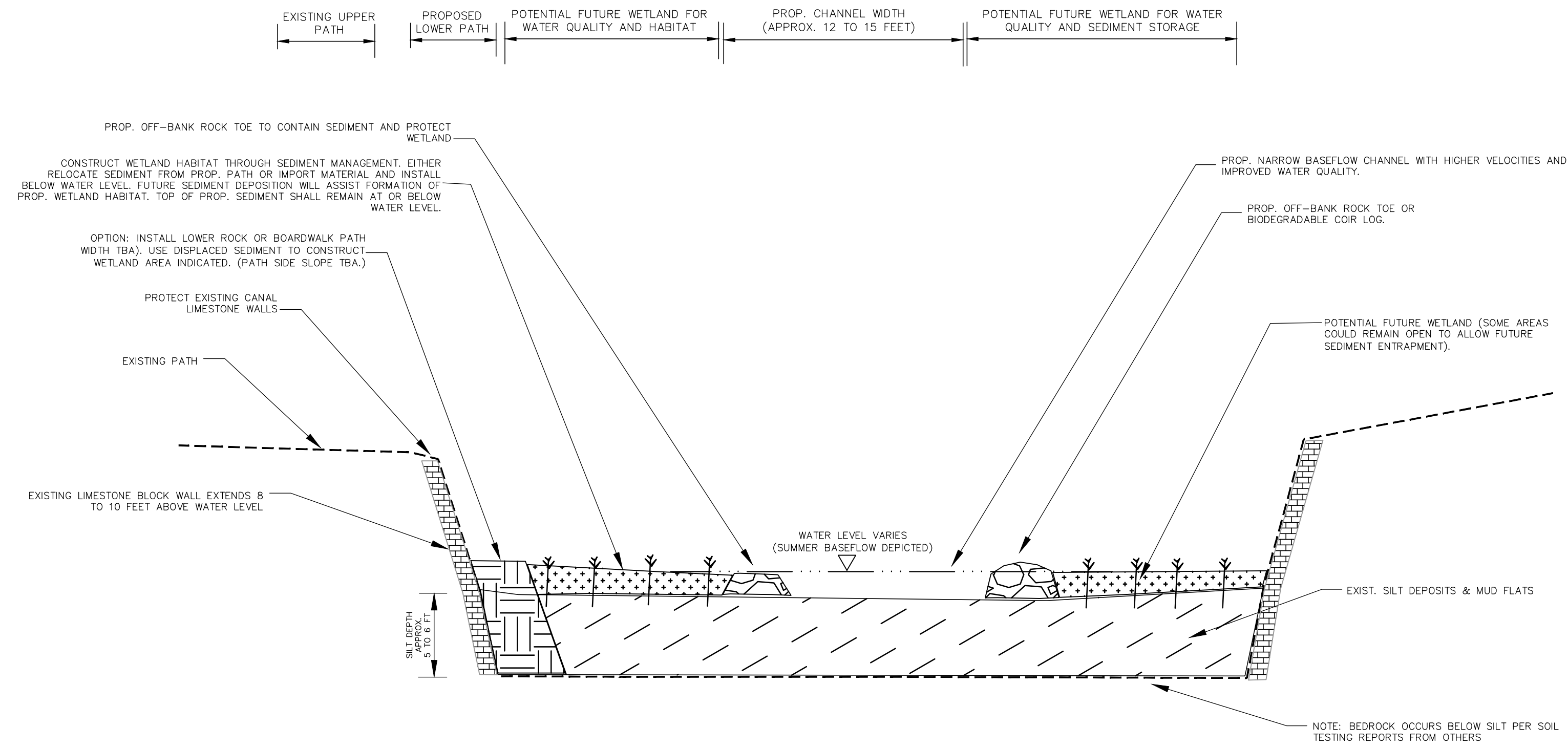
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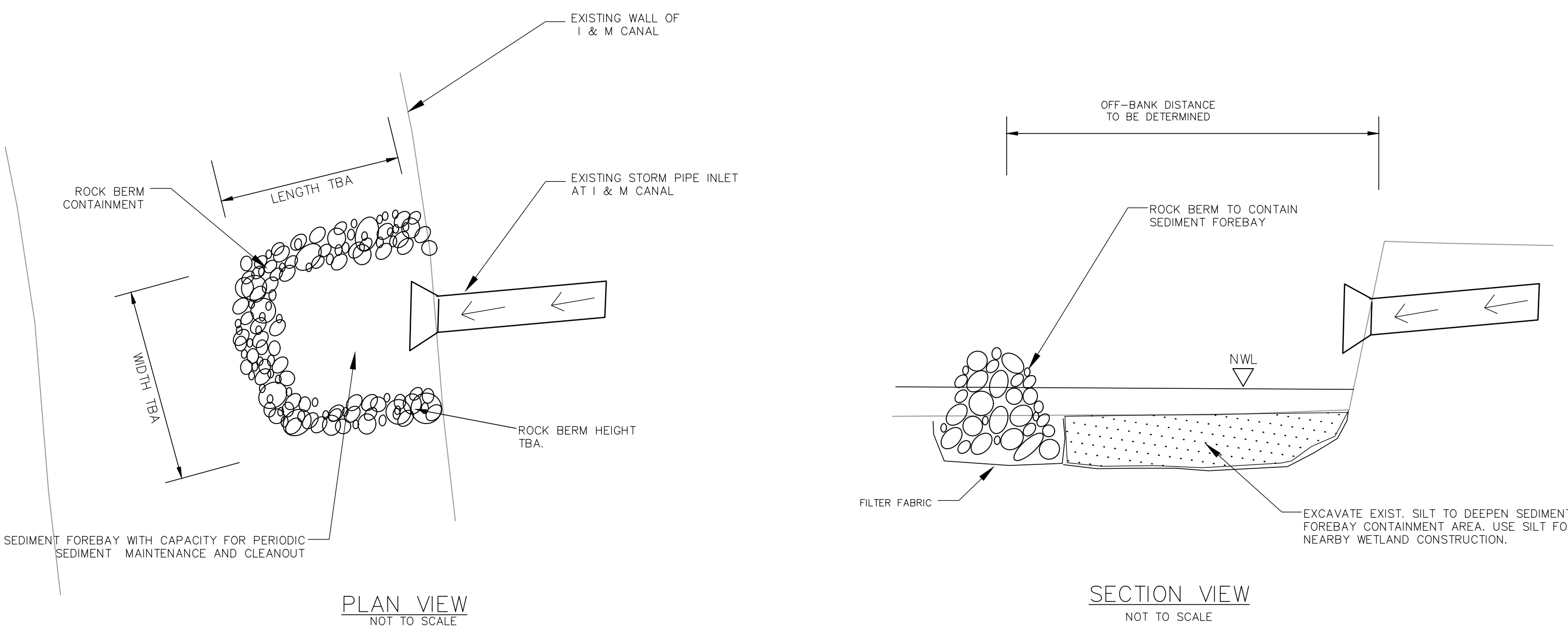


SHEET 1: CONCEPT PLAN
1ST M CANAL ENHANCEMENT PROJECT
VILLAGE OF LEMONT
SHEET 1 OF 3

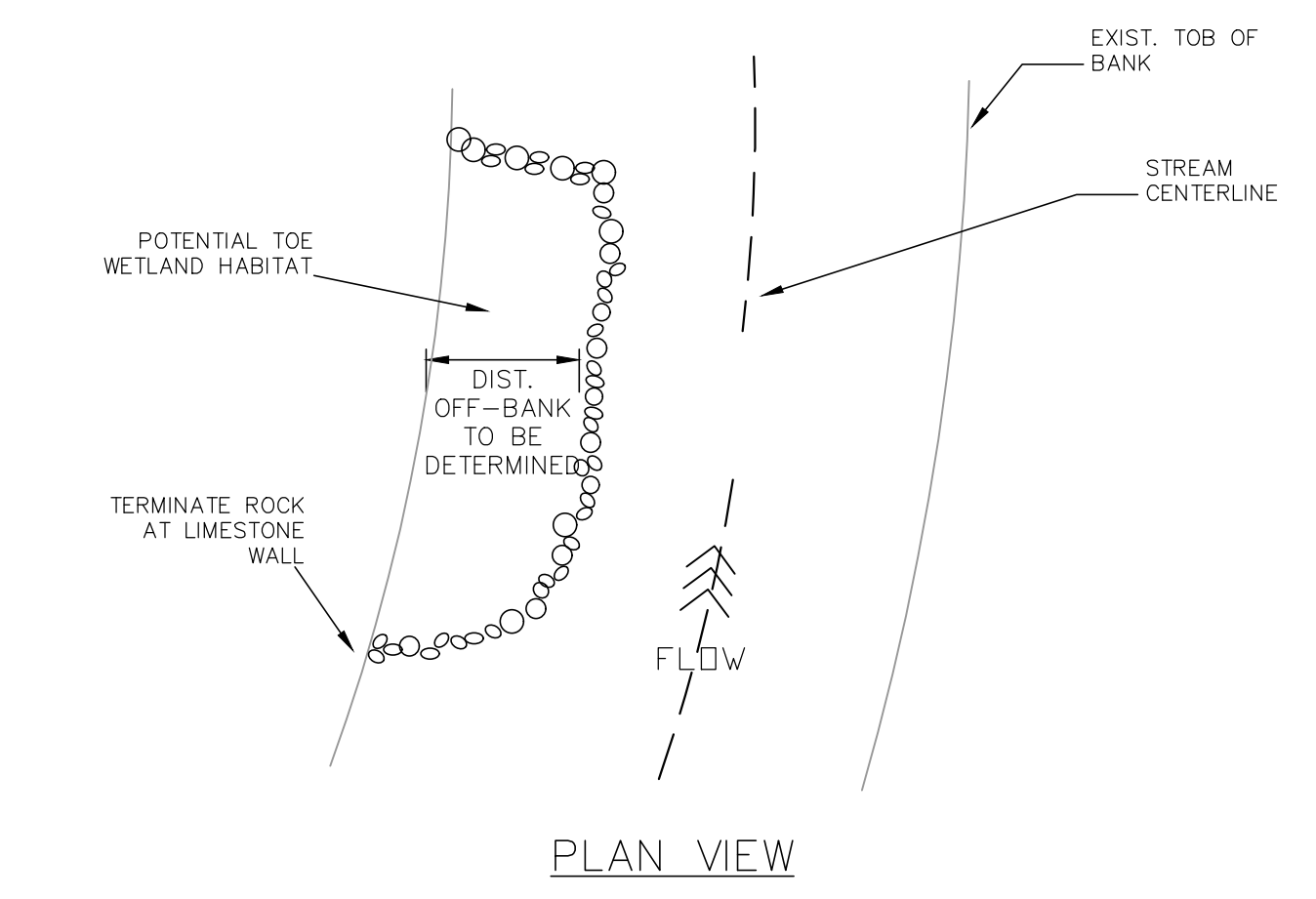


NOTES:
 1) OPTIONS MAY OCCUR TO EXPAND POTENTIAL WETLAND AREA AS INDICATED OR TO RETAIN SOME OPEN AREAS FOR FUTURE SEDIMENT ENTRAPMENT AND/OR FUTURE WETLAND EXPANSION.
 2) POTENTIAL LOWER PATH LOCATION AND TYPE IS PRELIMINARY AND SUBJECT TO FUTURE DESIGN CONSIDERATIONS AND PERMIT APPROVAL.

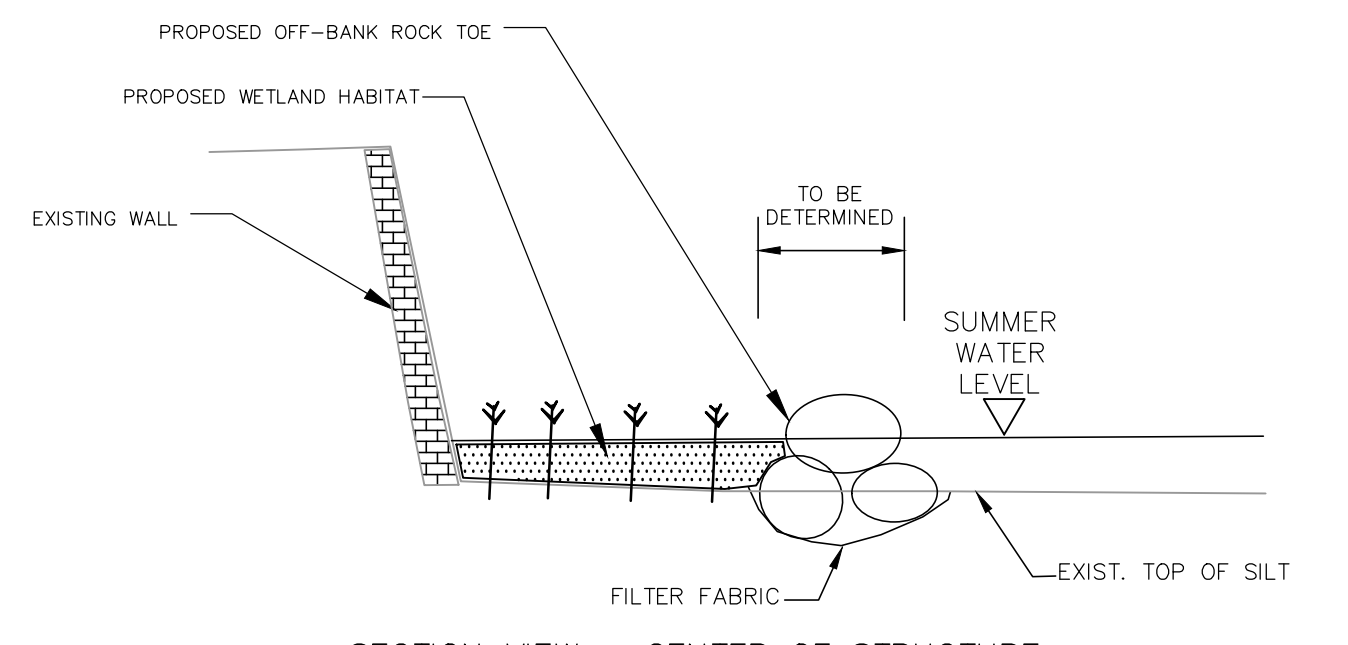
1 PROPOSED I & M CANAL ENHANCEMENT
 NOT TO SCALE



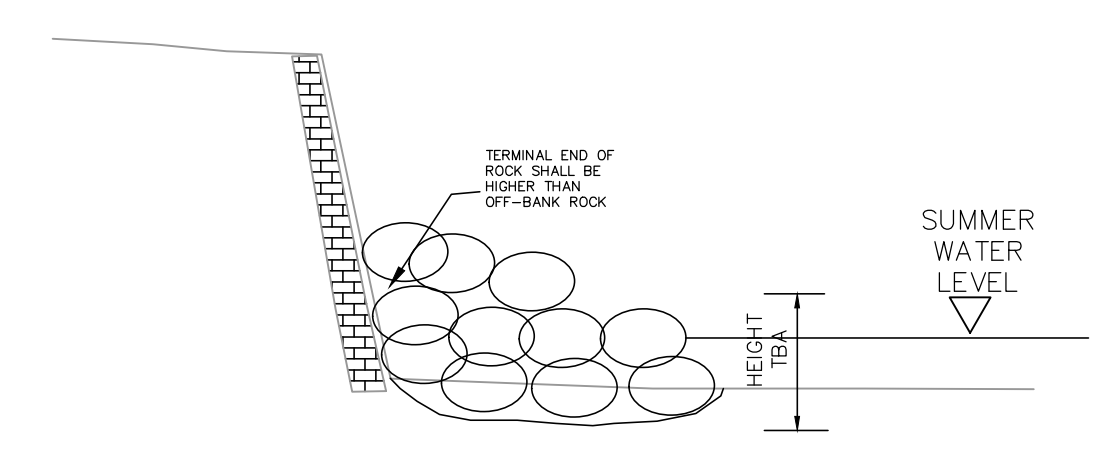
2 SEDIMENT FOREBAY FOR STORM PIPE INFLOW
 NOT TO SCALE



PLAN VIEW

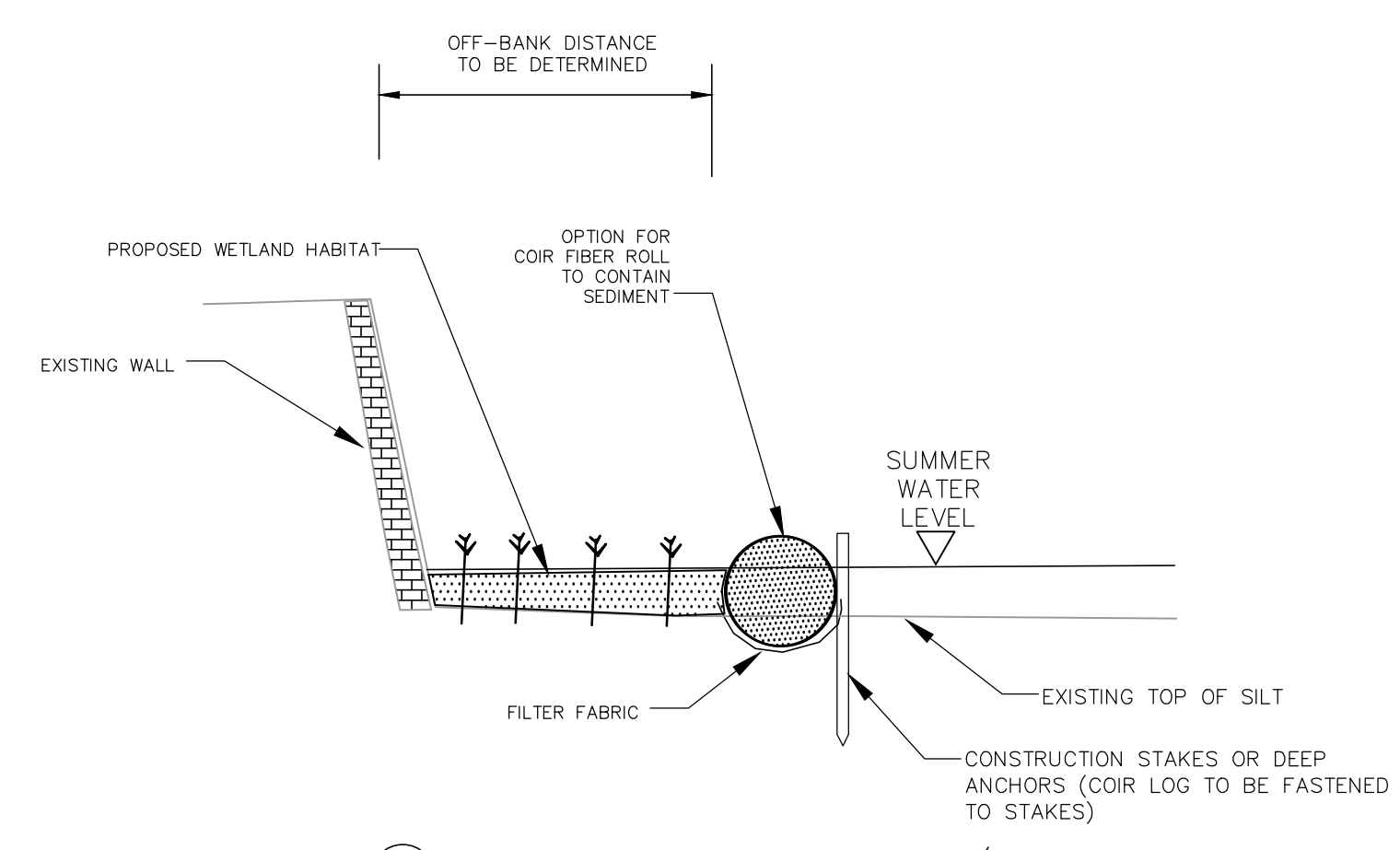


SECTION VIEW - CENTER OF STRUCTURE
 NOT TO SCALE

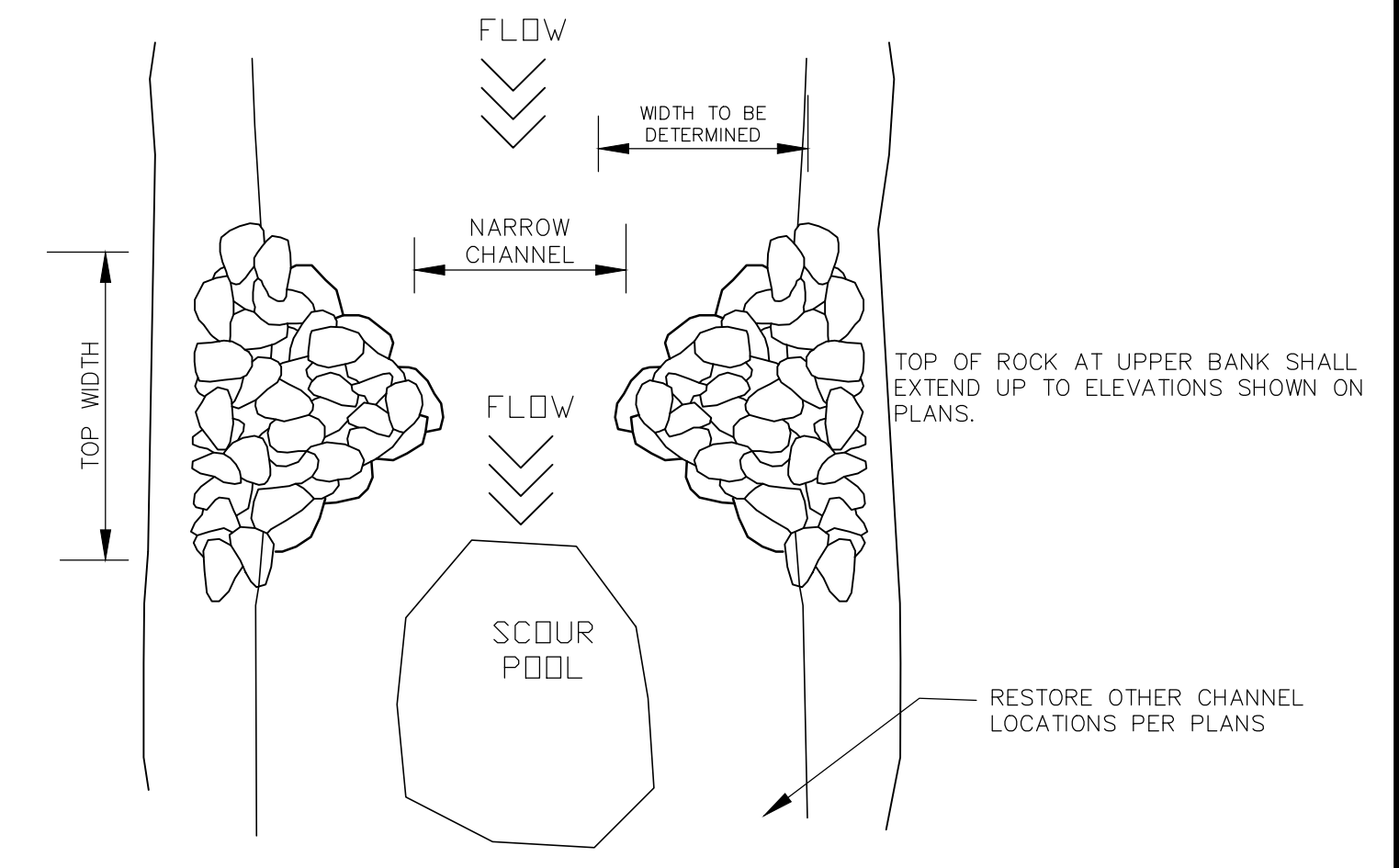


SECTION VIEW - END OF STRUCTURE
 NOT TO SCALE

3 OFF-BANK ROCK FOR WETLAND SEDIMENT CONTAINMENT
 NOT TO SCALE

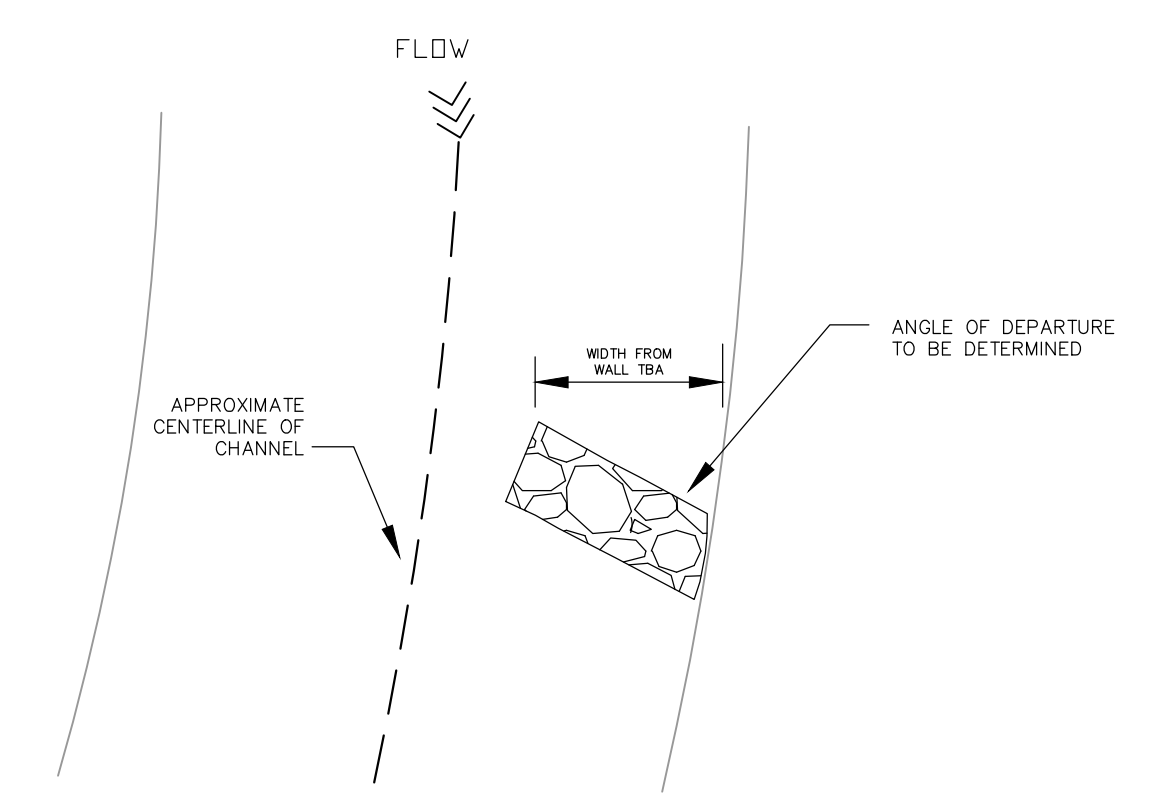


4 BID ALT.: OFF-BANK FIBER ROLL / RE-SLOPE SLOPE
 NOT TO SCALE

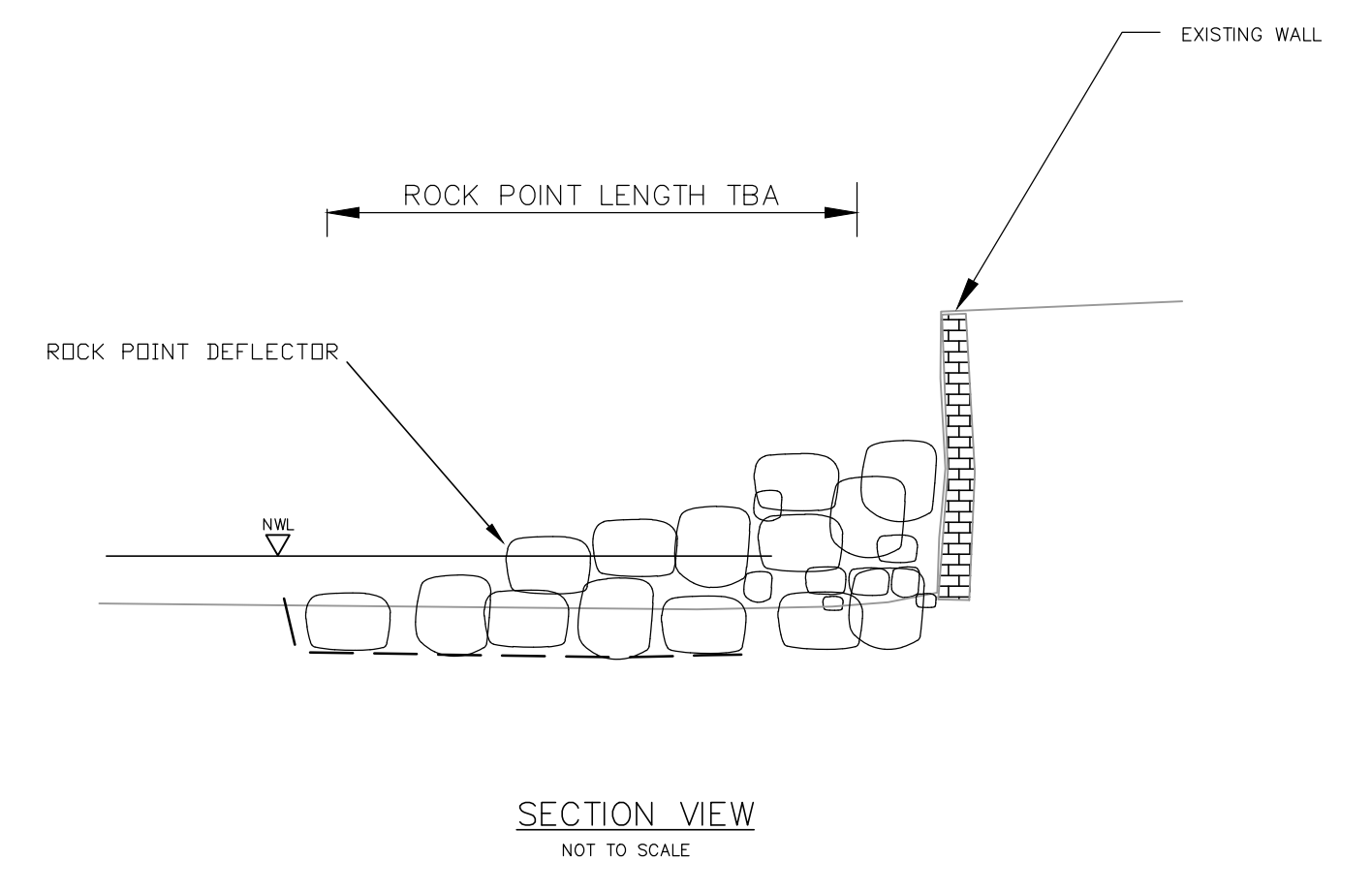


PLAN VIEW
 NOT TO SCALE

5 OPTION: DOUBLE ROCK DEFLECTORS FOR POOL HABITAT
 NOT TO SCALE



PLAN VIEW
 NOT TO SCALE



SECTION VIEW
 NOT TO SCALE

6 ROCK POINT (NO ROCK TOE ADJACENT)
 NOT TO SCALE

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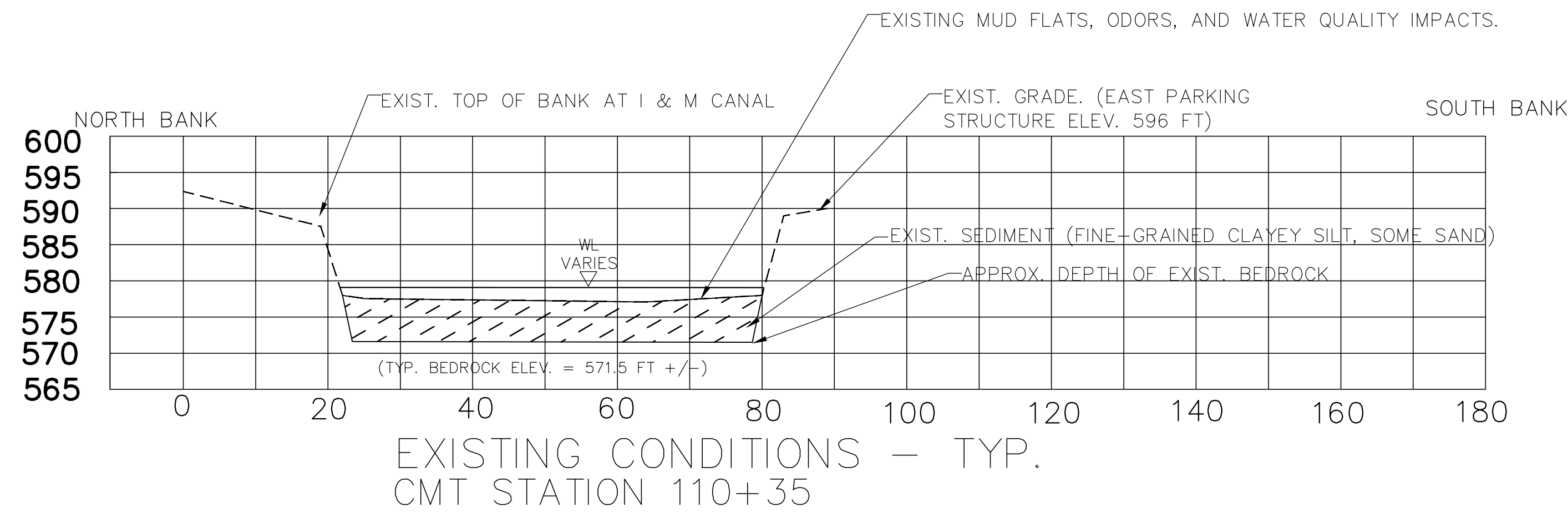


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SHEET 2: CONCEPT DETAILS
 I M CANAL ENHANCEMENT PROJECT
 VILLAGE OF LEMONT ILLINOIS
 SHEET 2 OF 3

ILLINOIS & MICHIGAN CANAL – TYPICAL CROSS SECTION

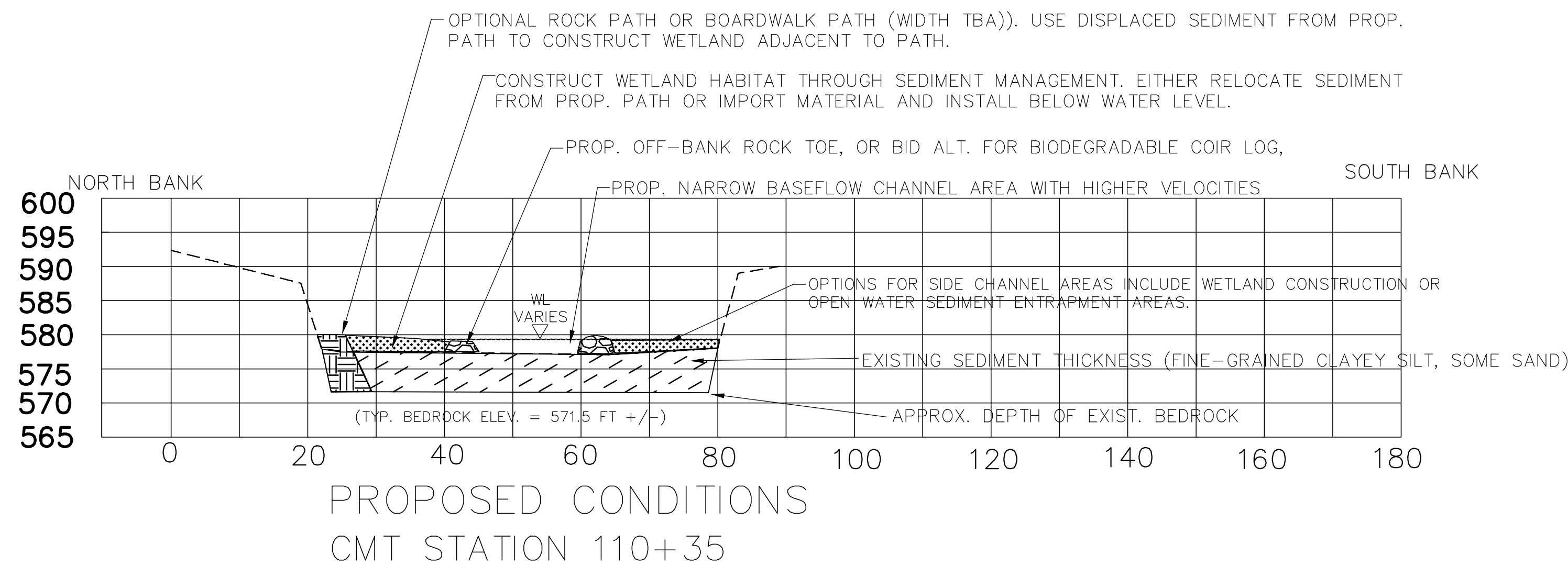


LEGEND:

PROPOSED GRADE _____
 EXISTING GRADE - - - - -

NOTES:

A) SILT THICKNESS AND APPROXIMATE BEDROCK ELEVATIONS
 DEPICTED PER SOIL TESTING STUDIES BY OTHERS.



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SHEET 3: CONCEPT CROSS SECTIONS

I & M CANAL ENHANCEMENT PROJECT
 VILLAGE OF LEMONT ILLINOIS

SHEET 3 OF 3



TO: Village Board
FROM: Chris Smith, Finance Director
THROUGH: George Schafer, Village Administrator
SUBJECT: FY 18 Fourth Quarter Budget Amendment

DATE: May 14, 2018

SUMMARY/ BACKGROUND

Per State Statute a budget needs to be adopted by the Board before the beginning of the fiscal year and can be amended with Board approval during the course of the fiscal year. On April 10, 2017, the Village passed ordinance O-27-17 adopting the FY2017-2018 Operating and Capital Improvement Budget.

This will be the final amendment to the FY18 budget. This amendment changes expenditures to account for contracts, emergency maintenance expenditures, and transfers. As previously stated the increment in the Gateway TIF did not amount to the budget thus the General Fund needed to transfer \$331,000 to the Debt Service fund for Gateway TIF bond debt service payments. Staff and Village Board are committed to balance the budget without the use of fund balance. The transfer of \$331,000 and reduction in Income Tax and Sales Tax revenue created a great challenge for all departments to cut expenditures. For FY18 we anticipate that the General Fund will be balanced with revenues equivalent to expenditures.

The attached table outlines the anticipated budget amendment for all Village Funds. In the General Fund the reduction of revenues are primarily a result of the income tax and Retail Sales tax reductions. The expenditures are primarily the transfer of \$331,000 with an offset of significant budget reductions in each department and deferring capital improvements, such as a generator for Village Hall. A detail listing of the budget amendment will be presented to the Board on June 11th along with the proposed FY18 proposed budget amendment ordinance.

Village of Lemont, Illinois
Revenue Summary by Fund

	Actual 2015-16	Actual 2016-17	Adopted 2017-18	Amended 2017-18 1st quarter	Anticipated Amendment 2017-18 4th quarter- final	Total Amended 2017-18 Budget
General Fund	\$10,190,757	\$10,146,938	\$10,514,497		\$ (245,750)	\$10,268,747
Working Cash Fund	(831)	(228)	0			\$0
Debt Service	4,218,178	1,374,930	1,148,715		331,000	\$1,479,715
IMRF Fund	355,941	382,134	374,038			\$374,038
Social Security	345,276	167,372	305,000			\$305,000
Motor Fuel Tax Fund	511,158	447,243	677,336		10,348	\$687,684
State Forfeiture Fund	33,105	-	-			\$0
State DUI Fund	-	18,000	-			\$0
Vehicle Replacement Fund	18,605	-	-			\$0
Downtown TIF Fund	542,477	3,094	-			\$0
Canal TIF District	1,902,739	285,814	320,015		22,000	\$342,015
Gateway TIF District	-	-	450,000			\$450,000
Special Service Area #1	35,217	35,633	140,815			\$140,815
Gateway Property Acquisition Fund	145	7,157	-			\$0
Road Improvement Fund	1,422,732	1,416,762	1,560,000			\$1,560,000
General Capital Improvement Fund	-	-	-			\$0
Village Hall Improvement Fund	132,009	-	-			\$0
Water & Sewer Bond	-	-	-			\$0
Water & Sewer Fund	4,952,845	5,703,481	5,854,682			\$5,854,682
Parking Garage Fund	25,032	25,582	40,854			\$40,854
Parking Lot Fund	96,363	118,931	93,000		19,693	\$112,693
Police Pension Fund	696,211	2,473,552	1,306,765			\$1,306,765
Revenue Grand Totals:	\$25,477,960	\$22,606,395	\$22,785,717		\$ 137,291	\$ 22,923,008

Village of Lemont, Illinois
Appropriations Summary by Fund

	Actual 2015-16	Actual 2016-17	Adopted 2017-18	Amended 2017-18 1st quarter	Anticipated Amendment 2017-18 4th quarter- final	Total Amended 2017-18 Budget
General Fund	\$9,679,963	\$10,116,128	\$10,506,468	\$ 57,954	\$ (295,675)	\$10,268,747
Working Cash Fund	-	-	-			-
Debt Service	4,188,033	1,392,855	1,148,715		321,270	1,469,985
IMRF Fund	345,917	372,443	372,965			372,965
Social Security	257,042	277,518	290,463			290,463
Motor Fuel Tax Fund	238,333	472,294	677,336	9,220		686,556
State Forfeiture Fund	33,105	18,000	-			-
Vehicle Replacement Fund	18,605	-	-			-
Main/Archer Ave TIF Fund	-	-	-	-		-
Downtown TIF Fund	758,623	-	-		22,036	22,036
Canal TIF District	1,524,611	328,750	320,015		22,000	342,015
Gateway TIF District	90,879	82,937	401,205	88,483		489,688
Special Service Area #1	144,963	145,500	140,815			140,815
Gateway Property Acquisition Fund	451,867	26,800	-			-
Road Improvement Fund	1,520,299	1,820,202	1,353,180	111,585		1,464,765
General Capital Improvement Fund	-	-	-			-
Village Hall Improvement Fund	198,896	26,519	-		10,358	10,358
Water & Sewer Bond	150,000	-	-			-
Water & Sewer Fund	5,462,234	5,403,318	5,854,682	218,225		6,072,907
Parking Garage Fund	35,791	41,205	40,854	-		40,854
Parking Lot Fund	70,763	82,137	52,565	-	19,693	72,258
Police Pension Fund	745,567	754,300	833,350			833,350
Expenditure Grand Totals:	\$25,915,491	\$21,360,906	\$21,992,613	\$485,467	\$ 99,682	\$22,577,762

TO: Mayor and Village Board
FROM: George J. Schafer, Village Administrator

SUBJECT: Strategic Plan Update

DATE: May 9, 2018

SUMMARY/BACKGROUND

The Village has engaged a consultant from the Northern Illinois University Center for Governmental Studies to help conduct a strategic goal setting process and develop a new strategic plan. The extended leadership team, management team, Village Board have all met with the consultant on several occasions to build the plan.

The Village's management team has been collecting and compiling information to assist the Board with the upcoming process. Further, staff had met with the consultant on two separate occasions to review vision, mission and value statements to assist the Board further with the process. In January the Village Board and management team participated in a two-day retreat to further discuss the vision, mission and values along with building strategic priorities, key outcomes/indicators and targets. Subsequently, the management team has met with the consultant on building the strategic initiatives of the plan. There have been several updates and tweaks to the initiatives and detailed action planning is now ready to begin. Before moving forward, we would like to present the final draft to the committee of the whole for final comment and discussion.

The final steps after discussion would be for staff to create detailed action plans for each initiative and subsequently for the consultant to build the full report which can be presented in June or July along with the cloud-based plan tracking and reporting tool.

ATTACHMENTS

1. Final Draft Vision, Mission, and Value Statement
2. Final Draft Strategic Plan Summary Sheet

SPECIFIC VILLAGE BOARD ACTION REQUIRED

The item is being presented for discussion purposes only.



Vision Statement (Final Draft)

The Village of Lemont is a thriving, family-oriented, and fiscally-sound community with a wide range of housing, business, and recreational opportunities. Lemont provides a safe, attractive, and welcoming environment with a true sense of community for our residents, visitors and businesses

Mission Statement (Final Draft)

Our mission is to maintain the quality and character of our community and to preserve its heritage while fostering its growth. We accomplish this through cost-effective services, delivered with the highest degree of professionalism.

Values (Final Draft)

Transparency

- We value honest, open communication and easy access to information. We are committed to accessible and fair governance.

Continuous Improvement

- We value and support the active pursuit of suggestions, ideas, and creative approaches to service delivery and problem solving—leading to continuous improvement in everything we do.

Enthusiasm

- We value positive energy and a “can do” spirit. We foster an enjoyable working environment where we deliver services with a smile and a helpful attitude.

Integrity / Respect

- We are consistent and fair in our words and deeds. We value sincerity, decency and respect in treatment of our residents, visitors and fellow employees

Teamwork / Collaboration

- We are supportive and respectful of each other as we work together to achieve our organizational goals. We value a commitment to service, teamwork and support that achieves our desired outcomes

STRATEGIC PRIORITY	DESIRED OUTCOME	KEY OUTCOME INDICATOR (KOI)	TARGET	STRATEGIC INITIATIVES
COMMUNITY DEVELOPMENT	Consistent levels of new & redeveloped housing	- # new units permits; home sales; reinvestment EAV	-New and redeveloped housing at or above 2016-17 levels	a) Update Regulatory Environment (UDO, UBC, Comp Plan) JB b) Residential strategy / initiative JB c) Develop long-term boundary strategy GJS d) Village Residents / Staff / PZC / Village Board - Development Communication Strategy GJS
	Board, PZC and staff have common vision on development system, growth & redevelopment	-UDO variances; % agreement on PUD requests	Unified vision on development achieved by 12/19	
	A unified, consistent Village boundary	-# of pockets annexed; boundary agreements achieved	-All Pockets completed by 1/2020 -Boundary and annexation issues resolved by 1/2020	
COMMUNITY IMAGE	Regional awareness of Lemont	- social media & Press release reach; community video views	-External awareness of Lemont increased yearly -in survey results - 10% annual increase in-external media mentions starting 2019	a) Implement branding program recommendations LM b) Enhanced and targeted Public / Community Relations Program LM c) Implement Channel 6/Video Streaming collaboration program LM d) Multi-jurisdictional image consistency and/or visioning project. GJS
	A positive Image of Lemont	-resident sentiment; visitor/non-resident sentiment	- % residents surveyed having favorable opinion increased by 10% by 21 - % non-residents surveyed having favorable opinion increased by 10% by 21	
ECONOMIC VITALITY	Downtown and uptown are thriving, stable retail districts	-Occupancy rates; EAV; - Retail sales tax	-Occupancy=> Chicagoland avg. -5% annual retail sales tax growth	a) Develop downtown retail stability strategy JB b) Develop uptown retail stability strategy JB c) Establish Downtown Tourism Program LM c) Implement/Support Lemont Forge and Related HQRA projects GJS d) Establish non-retail commercial enhancement strategy JB
	Downtown Lemont and HQRA are destinations	-# of visitors @ events -# DT touches by non-residents; non-Lemont sales tax,	-Non-Lemont visits increased by 20% 2018- 2021 -Non-Lemont sales tax increased 5% annually	
	Non-retail commercial sectors are economically successful	-#of new businesses -Commercial EAV growth	- \$10M annual commercial EAV growth	
FINANCIAL SUSTAINABILITY	Broad revenue base	New Revenue streams	Increase in annual revenues from new sources by 750 k beginning in FY 2020	a) Home Rule success project GJS b) Establish cost reduction plan CS c) Comprehensive revenue diversification and enhancement program CS d) Develop governmental fund stability strategy – CS e) Legislative Advocacy – Pension Reform, LGDF, mandates, other - MM
	Sound financial fundamentals	Fund balances Pension funding	Fund balance and pension targets met by FY 21.	
	Stability of all governmental funds	- internal loan repayment -operating cost increases	- 83/Main loan100% repaid by FY 23 - Operating costs increase less than CPI	
INFRASTRUCTURE MAINTENANCE	Water storage, supply & sewer capacity meets demands of the community, regulators	-Measured storage supply; Measured Pumping -Overflow events	-2. 3M gallon storage capacity by 1/2020 - Pumping capacity 6.23 MGD by 1/2023 -50% reduction-overflow events 2018-20	a) Implement water storage/supply and sanitary sewer long term control plan - RP b) implement comprehensive pavement improvement plan - RP c) Establish Expenditure and funding plan for facilities and incorporate into 5 yr. capital plan - RP e) Comprehensive Motor Vehicle, Nuisance and other Public safety code compliance program- MM
	A road system that meets Village standards	-% of streets meeting established criteria: --PCI	- 75% streets at/above Village standard by 7/2020	
	Well-maintained facilities	- maintenance & repair \$ -replacement costs	- Life cycle costs of facilities improved by 1/2021	
OPERATIONAL EFFECTIVENESS	Cost efficient operations	-Cost savings; peer, industry standard comparisons	-Operating costs annual increases at or below comparable municipalities	a) Establish Continuous Improvement program - GJS b) Develop a customer excellence program - CS c) Comprehensive employee development and succession plan program - KA d) Updated Pay Plan / Evaluation Program - KA e) comprehensive community policing strategy – MM
	An enhanced customer service experience	-Satisfaction ratings; online availability of information/services; -perception of police	-10%- increase online availability of info/services -Departmental satisfaction ratings increased 10% by 12/21 -Perception of police increased annually	
	A well-trained, capable and engaged workforce	-Certifications, licenses, performance evaluations, engagement	> All departments have qualified staff to assume “next level” positions by 2020. - By 2020 all employees rated on standards and evaluation criteria consistent with strategic plan. - Employee engagement increases annually	

