

Village of Lemont

Mayor
Brian K. Reaves

Village Clerk
Charlene Smollen

Administrator
George J. Schafer



Trustees
Debby Blatzer
Paul Chialdikas
Clifford Miklos
Rick Sniegowski
Ronald Stapleton
Jeanette Virgilio

VILLAGE BOARD MEETING

June 27, 2016 – 7:00 PM
Village Hall – 418 Main Street

AGENDA

- I. PLEDGE OF ALLEGIANCE**
- II. ROLL CALL**
- III. CONSENT AGENDA**
 - A. APPROVAL OF MINUTES**
 - 1. JUNE 13, 2016 VILLAGE BOARD MEETING MINUTES**
 - 2. JUNE 20, 2016 COMMITTEE OF THE WHOLE MEETING MINUTES**
 - B. APPROVAL OF DISBURSEMENTS**
 - C. AN ORDINANCE ESTABLISHING PREVAILING RATE OF WAGES FOR PUBLIC WORKS CONSTRUCTION PROJECTS FOR THE VILLAGE OF LEMONT, COOK, WILL AND DUPAGE COUNTIES, IL**
 - D. AN ORDINANCE AUTHORIZING SALE AND DISPOSAL OF SURPLUS VILLAGE PROPERTY**
 - E. AN ORDINANCE RESTRICTING PARKING ALONG ROADS WITHIN THE VILLAGE OF LEMONT**
 - F. A RESOLUTION APPROVING AN INTERGOVERNMENTAL AGREEMENT BY AND BETWEEN THE VILLAGE OF LEMONT AND THE STATE OF ILLINOIS THROUGH THE ILLINOIS DEPARTMENT OF TRANSPORTATION FOR THE IMPROVEMENT OF ILLINOIS STREET AND LEMONT ROAD**
 - G. A FUNDING RESOLUTION FOR STATE JOB No.: C-91-036-15, STATE CONTRACT NUMBER: 60Y92**
 - H. A RESOLUTION APPROVING THE PURCHASE OF A JOHN DEERE COMPACT TRUCK LOADER**

I. A RESOLUTION APPROVING A PROFESSIONAL SERVICES AGREEMENT WITH CRAWFORD, MURPHY & TILLY, INC.

IV. MAYOR'S REPORT

A. PUBLIC HEARING – FOX MEADOWS (AMENDMENT TO THE PARADISE PARK ANNEXATION AGREEMENT)

B. MAYOR'S DRIVE FOR CHARITY CHECK DISTRIBUTION

C. ILACP CHIEF CERTIFICATION PRESENTATION

D. AUDIENCE PARTICIPATION

V. CLERK'S REPORT

A. CORRESPONDENCE

B. ORDINANCES

1. AN ORDINANCE AUTHORIZING THE EXECUTION OF AN AMENDED ANNEXATION AGREEMENT FOR PARADISE PARK (PLANNING &ED)(STAPLETON)(JONES/VALONE)

2. AN ORDINANCE GRANTING PRELIMINARY PLAN/PLAT APPROVAL, SPECIAL USE FOR A PRELIMINARY PLANNED UNIT DEVELOPMENT (PUD), AND ZONING MAP AMENDMENT FOR A TWENTY-SEVEN LOT SINGLE-FAMILY DETACHED RESIDENTIAL SUBDIVISION LOCATED AT 13101 PARKER ROAD IN LEMONT, ILLINOIS (FOX MEADOWS) (PLANNING &ED)(STAPLETON)(JONES/VALONE)

3. AN ORDINANCE GRANTING FINAL PLANNED UNIT DEVELOPMENT (PUD) PLAN/PLAT APPROVAL FOR PHASE 1 OF A SINGLE-FAMILY DETACHED RESIDENTIAL SUBDIVISION LOCATED AT 12150 BELL ROAD IN LEMONT, ILLINOIS (EQUESTRIAN MEADOWS PHASE 1) (PLANNING &ED)(STAPLETON)(JONES/VALONE)

C. RESOLUTIONS

1. A RESOLUTION APPROVING A FINAL PLAT OF SUBDIVISION FOR A PROPERTY LOCATED AT 12150 BELL ROAD IN LEMONT, ILLINOIS (EQUESTRIAN MEADOWS PHASE 1) (PLANNING &ED)(STAPLETON)(JONES/VALONE)

2. A RESOLUTION APPROVING AN AGREEMENT FOR MARKETING SERVICES (PLANNING &ED)(CHIALDIKAS)(JONES)

VI. VILLAGE ATTORNEY REPORT

VII. VILLAGE ADMINISTRATOR REPORT

VIII. BOARD REPORTS

- IX. STAFF REPORTS**
- X. UNFINISHED BUSINESS**
- XI. NEW BUSINESS**
- XII. EXECUTIVE SESSION DISCUSSION UNDER CHAPTER 5 ILCS
- PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE VILLAGE - SECTION 2(c)5**
- XIII. ACTION ON CLOSED SESSION ITEM(S)**
- XIV. MOTION TO ADJOURN**

Minutes
VILLAGE BOARD MEETING
Village Hall – 418 Main Street
June 13, 2016
7:00 p.m.

The regular meeting of the Lemont Village Board was held on Monday, June 13, 2016 at 7:00 p.m., with Mayor Brian Reaves presiding.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL

Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton and Virgilio present.

III. CONSENT AGENDA

Motion by Blatzer, seconded by Stapleton, to approve the following items on the consent agenda by omnibus vote:

A. Approval of Minutes

1. May 9, 2016 Village Board Meeting Minutes.
2. May 9, 2016 Committee of the Whole Meeting Minutes.

B. Approval of Disbursements.

C. Ordinance O-9-16 Amending Lemont Municipal Code Chapter 5.04: Liquor Licenses (Decreasing and Issuing Class A-3 Liquor License).

D. Ordinance O-10-16 Authorizing Sale and Disposal of Surplus Village Property.

E. Resolution R-26-16 Providing for the Destruction of Certain Verbatim Recordings of Closed Session Meetings.

F. Resolution R-27-16 Reviewing the Need for Confidentiality of Closed Session Meetings.

G. Resolution R-28-16 Authorizing the Release of a Letter of Credit for the Glens of Connemara Subdivision.

H. Resolution R-29-16 Approving Proposal from Water Resources Inc. for Purchase of Water Meters.

I. Resolution R-30-16 Approving Proposal from Compass Minerals for Purchase of Salt.

J. Resolution R-31-16 for Maintenance of Streets and Highways by Municipality Under the Illinois Highway Code.

Roll Call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Blatzer; 6 ayes. Motion passed.

IV. **MAYOR'S REPORT**

- A. The Mayor attending a Water Agency meeting and gave an update on the American Water pipeline issue.
- B. The Mayor announced several deaths that occurred recently which included:
 - Ed Buettner – past Village Building Commissioner
 - Former Trustee Joe Murray
 - Marty Tomczak Sr. who owned Canal Street Pub for 18 years
 - David Feltz, father of Police Officer Jason Boyer and LEMA Deputy Director Jim Boyer
- C. Dunkin Donuts will be holding their grand opening on June 17th at 2p.m.
- D. Audience Participation – None.

V. Clerk's Report

A. Correspondence

- 1. Clerk Smollen attended the 70th International Municipal Clerks Conference as well as the Southwest Municipal Clerks meeting in Chicago Ridge.

B. Ordinances

- 1. Ordinance O-11-16 Amending the Budget for Fiscal Year 15-16 for the Village of Lemont. Motion by Sniegowski, seconded by Blatzer, to adopt said ordinance. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Blatzer; 6 ayes. Motion passed.
- 2. Ordinance O-12-16 Amending Title 17 of the Lemont Municipal Code, the Lemont Unified Development Ordinance of 2008 (UDO Amendments). Motion by Miklos, seconded by Blatzer, to adopt said ordinance. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Blatzer; 6 ayes. Motion passed.

C. Resolutions

- 1. Resolution R-32-16 Determining the Appropriateness for Class 6b Status Pursuant to the Cook County Real Property Classification Ordinance as Amended, for Property Located at 16548 New Avenue, Lemont, Illinois (McMahon Class 6b). Motion by Miklos, seconded by Chialdikas, to adopt said ordinance. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Blatzer; 6 ayes. Motion passed.
- 2. Resolution R-33-16 Authorizing Award of Contract – McCarthy Street Water Main Replacement. Motion by Blatzer, seconded by Chialdikas, to adopt said ordinance. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Blatzer; 6 ayes. Motion passed.
- 3. Resolution R-34-16 Authorizing the Order and Purchase of Police Vehicles (One 2016 Ford Taurus SE). Motion by Miklos, seconded by Stapleton, to adopt said ordinance. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Blatzer; 6 ayes. Motion passed.

4. Resolution R-35-16 Authorizing the Order and Purchase of Police Vehicles (Four 2017 Road Utility Police Interceptors). Motion by Miklos, seconded by Stapleton, to adopt said ordinance. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Blatzer; 6 ayes. Motion passed.

VI. Village Attorney Report

VII. Village Administrator Report

VIII. Board Reports

IX. Staff Reports

A. Planning & Economic Development

1. CITGO is celebrating their 90th year in October. This Friday between 1-5 p.m., Village residents are asked to sign a card for them in downtown at Budnik Plaza.

B. Police Department

1. The renewal reminder for license plates will be sent electronically now. Emissions control reminders will start being mailed out again.

X. Unfinished Business

XI. New Business - None

XII. Motion for Executive Session

Motion by Blatzer, seconded by Stapleton, to move into Executive Session(s) for the purpose of discussing under Chapter 5 ILCS Purchase or Lease or Real Property for the Use of the Village – Section 2(c)5 and Pending Litigation or Probable or Imminent Litigation - 2(c)11 of the Open Meetings Act. Roll Call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Blatzer; 6 ayes. Motion passed.

XIII. Action on Closed Session Item – None

XIV. Motion to Adjourn

There being no further business, a motion was made by Blatzer, seconded by Stapleton, to adjourn the meeting at 7:52 p.m. VV 6 ayes. Motion passed.

Village Board
Committee of the Whole Meeting Minutes
June 20, 2016 – 7:00 p.m.
Lemont Village Hall - 418 Main St., Lemont, IL 60439

I. Call to Order

Mayor Reaves called the COW Meeting to Order at 7:00 p.m.

II. Roll Call

Present were Trustees, Blatzer, Chialdikas, Miklos, Stapleton, Sniegowski, present. Trustee Virgilio, absent. Also present, George Schafer, Charity Jones, Marc Maton and Linda Molitor.

III. Discussion Items

A. FY17 Marketing Initiative

Planning and Economic Development Director Charity Jones presented the Integrated Marketing & Communications Plan by the Heritage Corridor Convention & Visitors Bureau. The Village completed our brand and visual identity projects and will begin promoting the brand through a marketing strategy. The Village has a current membership with the Heritage Corridor, and this affords us a cost savings and potential matching funds. Mrs. Jones reviewed the proposed marketing strategy. The item will be up for approval at a future board meeting.

B. IGA with IDOT Regarding Lemon Road and Illinois Street Improvements

Village Administrator, George Schafer, presented the recent improvements of Lemont Road from Bluff to Illinois Street from New Avenue to Main Street that we were recently made aware of. With this, the Village is responsible for the portion of the Lemont Road project between Illinois Street and Cass Street. We are also responsible for the portions of the Illinois Street project. We have secured funding from the SCM, as a portion of that is eligible for federal funds. After applying for 80% of the federal funds, the Village's portion is estimated at \$35,995. The Board had no issues with the item, and it will be up for approval at a future board meeting.

C. McCarthy Road Proposed Bicycle/Pedestrian Facilities

Staff is seeking direction for the McCarthy Road Proposed Bicycle/Pedestrian Facilities on the specific type of improvements desired from the board. Mrs. Jones presented options of three scenarios for a bike lane or separated bike path on McCarthy Road from Walker to Illinois Street. The different options were discussed as well as funding options. The opinion of the board was that the third option was the preferred scenario. The scope of this option is to provide a dedicated center turn lane for vehicles from Houston to Walker, add curb and gutter throughout corridor, and add a separated 10 ft. bidirectional multi-use path on the north of McCarthy Road from Holmes to Derby.

D. Gateway TIF Discussion

The Village is not receiving any increments from the 2009 Gateway Tax Increment Finance (TIF) District for the development of the northeastern gateway area. The general fund is absorbing the obligation of the Gateway TIF. Village Administrator, George Schafer, presented what modifications can be made, which included creating a new TIF from the land parcels that were identified as not producing increments.

Staff recommended that Village owned parcels and northern properties not producing increments be deleted from the Gateway TIF, which would be done through action via an ordinance at a future board meeting. If the property is deleted from the TIF, a new TIF could be established with the parcels that would be deleted. The board requested that a professional opinion from our Village Attorney, with concurrence from FB Freidman, be sought whether these properties will still qualify and be included in the new TIF and that removal of the properties from the existing TIF will not have an impact on their inclusion in the Village.

IV. New Business

- A. Fifth Street – Mr. Brennan inquired if he would be given approval to begin building on his property on Fifth Street. The Board intends to meet and discuss this issue with the residents. The Village needs to look at this as a whole, as the Village cannot finance the cost of bringing water to the area, and has not yet completed this part. All of the properties could receive Village water at a cost of 1.6 million. Moving forwards, as a timeline, the Village will need to determine what the desire is for the residents for water, and what the goal is for 5th Street. An onsite visit will be held on Wednesday, July 13, at 6:30 p.m.
- B. Logan Street Property – The builder for a parcel of property on Logan Street inquired about putting the access to the garage off Logan Street rather than via alley access, which is the current stipulation in the UDO. In the UDO if a property has alley access, they have to access the garage from the alley. Discussion took place on the requirement of the alley access. Previously, the PZ&C denied the applicants appeal because the alley would provide access to the garage. Maintenance of the alley would be a consideration, as this is a regular issue with snow and wear. The majority of the board felt that the UDO should be met for consistency and the access for the garage should be from the alley.
- C. Glens of Connemara – There are various issues with this subdivision that staff is looking into it.
- D. Various downtown buildings need to be looked at for proper building codes.
- E. The Village received a notice of appeal to the Village Board from the firm representing St. Patrick's and the title holder, the Catholic Bishop of Chicago, for the denial of their

Certificate of Economic Hardship from the Historic Preservation Commission's April 14 decision. Staff is looking for direction from the board if this items should be put on the July 11 Village Board Agenda. The board was in agreement with the July 11 date.

V. **Audience Participation - None**

VI. **Adjourned at 9:00 p.m.**

DRAFT

Payment Register

From Payment Date: 6/14/2016 - To Payment Date: 6/27/2016

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
FM-Clearing - Accounts Payable									
Check									
14190	06/27/2016	Open			Accounts Payable	American Environmental Corporation	\$5,775.00		
	Invoice		Date	Description		Amount			
	367016-0001		05/16/2016	Apr 2016 OAN consulting		\$5,775.00			
14191	06/27/2016	Open			Accounts Payable	Amoonjump4u Inc	\$1,550.00		
	Invoice		Date	Description		Amount			
	41947		05/23/2016	7/23/16 entertainment - 50% deposit		\$1,550.00			
14192	06/27/2016	Open			Accounts Payable	Arthur Peterson, Inc.	\$36.47		
	Invoice		Date	Description		Amount			
	16-05-31		05/31/2016	May 16 hardware purchases		\$36.47			
14193	06/27/2016	Open			Accounts Payable	Ashbury Woods Development LLC	\$2,000.00		
	Invoice		Date	Description		Amount			
	2015-00000738		06/13/2016	refund clean up deposit - 664 Woodglen Ct		\$1,000.00			
	2015-00000738(T)		06/13/2016	refund Temp Occ bond - 664 Woodglen Ct		\$500.00			
	2015-00000739		06/13/2016	refund Temp Occ bond - 668 Woodglen Ct		\$500.00			
14194	06/27/2016	Open			Accounts Payable	Aspen Valley Landscape	\$23.84		
	Invoice		Date	Description		Amount			
	INV312660		06/03/2016	maintenance supplies		\$23.84			
14195	06/27/2016	Open			Accounts Payable	AT&T Illinois	\$976.89		
	Invoice		Date	Description		Amount			
	63024304480616		06/13/2016	630 243-0448 146 1 chestnut crossing l/s		\$103.66			
	63024304590616		06/13/2016	630 243-0459 681 3 oak tree l/s		\$113.09			
	63024373750616		06/13/2016	630 243-7375 749 4 art & culture commission		\$164.79			
	63024317390616		06/13/2016	630 243-1739 155 8 well #6		\$196.96			
	63024312300616		06/13/2016	630 243-1230 805 2 eagle ridge l/s		\$109.13			
	63024314680616		06/13/2016	630 243-1468 926 9 parking garage		\$209.01			
	63024316090616		06/13/2016	630 243-1609 403 9 kohls-target l/s		\$80.25			
14196	06/27/2016	Open			Accounts Payable	AT&T Illinois	\$138.33		
	Invoice		Date	Description		Amount			
	16-06-9005		06/02/2016	126379005 - metra station internet		\$72.00			
	16-05-1261		05/31/2016	142021261 - Village Hall internet		\$66.33			
14197	06/27/2016	Open			Accounts Payable	Automated Forms & Graphics Inc	\$622.56		
	Invoice		Date	Description		Amount			
	25831		05/31/2016	imprinted flash drives		\$622.56			
14198	06/27/2016	Open			Accounts Payable	Avalon Petroleum Company	\$3,390.00		
	Invoice		Date	Description		Amount			
	459610		06/02/2016	1500 gals unl fuel		\$3,390.00			
14199	06/27/2016	Open			Accounts Payable	Azavar Audit Solutions	\$4,545.14		
	Invoice		Date	Description		Amount			
	11904		05/01/2016	May 2016 contingency payment		\$2,272.57			
	11989		06/01/2016	Jun 2016 contingency payment		\$2,272.57			
14200	06/27/2016	Open			Accounts Payable	Bode, Denise, G	\$250.00		
	Invoice		Date	Description		Amount			
	16-05-25		05/25/2016	5/23, 5/25 classes		\$250.00			

Payment Register

From Payment Date: 6/14/2016 - To Payment Date: 6/27/2016

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
14201	06/27/2016	Open			Accounts Payable	Call One	\$2,443.78		
	Invoice		Date	Description		Amount			
	16-06-15		06/15/2016	1210965-1129040 v.h., p.d., p.w. phones		\$2,443.78			
14202	06/27/2016	Open			Accounts Payable	Chicago Badge & Insignia Co.	\$128.43		
	Invoice		Date	Description		Amount			
	14242		05/28/2016	badge & belt clip - GS		\$128.43			
14203	06/27/2016	Open			Accounts Payable	Chicago Parts Sound, LLC	\$178.24		
	Invoice		Date	Description		Amount			
	763818		06/06/2016	Parts		\$217.84			
	763543		06/03/2016	credit memo		(\$39.60)			
14204	06/27/2016	Open			Accounts Payable	CivicPlus	\$16,734.98		
	Invoice		Date	Description		Amount			
	377		05/16/2016	website redesign and setup fee		\$13,739.80			
	158511		05/01/2016	quarterly fee - 5/1/2016-7/31/2016		\$2,995.18			
14205	06/27/2016	Open			Accounts Payable	Closed Circuit Innovations	\$2,430.00		
	Invoice		Date	Description		Amount			
	JUL 2016		06/03/2016	security camera maintenance		\$2,430.00			
14206	06/27/2016	Open			Accounts Payable	Comcast	\$480.29		
	Invoice		Date	Description		Amount			
	16-06-9805		06/04/2016	8771 20 147 0039805 v.h. cable/internet		\$221.46			
	16-06-2700		06/04/2016	8771 20 147 0042700 p.d. cable/internet		\$258.83			
14207	06/27/2016	Open			Accounts Payable	ComEd	\$526.35		
	Invoice		Date	Description		Amount			
	16-06-3016		06/06/2016	9338003016 - street lights - houston 1N schultz		\$19.83			
	16-06-2063		06/06/2016	1443022063 - street lights - KA Steel path		\$30.41			
	16-06-0229		06/14/2016	0171030229 - street lights - athen knoll		\$23.04			
	16-06-0155		06/03/2016	1515080155 - street lights - 451 Talcott		\$19.45			
	16-06-3015		06/03/2016	0432203015 - street lights - 44 Stephen St		\$72.60			
	16-06-9011		06/06/2016	6534089011 - street lights - 411 Singer Ave Rear		\$308.65			
	16-06-4009		06/06/2016	0348764009 - street lights - 47 Stevens St		\$52.37			
14208	06/27/2016	Open			Accounts Payable	Compass Minerals America	\$5,519.34		
	Invoice		Date	Description		Amount			
	71482361		05/02/2016	softener salt		\$2,757.11			
	71487989		05/20/2016	softener salt		\$2,762.23			
14209	06/27/2016	Open			Accounts Payable	Cook County Recorder of Deeds	\$72.00		
	Invoice		Date	Description		Amount			
	2725312016		05/31/2016	272 - document recording		\$72.00			
14210	06/27/2016	Open			Accounts Payable	Courtney's Safety Lane Inc	\$140.00		
	Invoice		Date	Description		Amount			
	7133		06/07/2016	safety inspection - 1011		\$35.00			
	7149		06/09/2016	safety inspection - 1061		\$35.00			
	7155		06/10/2016	safety inspection - 1132		\$70.00			
14211	06/27/2016	Open			Accounts Payable	Crawford, Murphy, Tilly, Inc.	\$20,447.50		
	Invoice		Date	Description		Amount			
	109165		05/19/2016	Derby Rd bridge maintenance		\$18,067.50			
	108747		04/19/2016	Derby Rd bridge repair and maintenance		\$2,380.00			

Payment Register

From Payment Date: 6/14/2016 - To Payment Date: 6/27/2016

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
14212	06/27/2016	Open			Accounts Payable	Dustcatchers, Inc.	\$68.10		
	Invoice		Date	Description		Amount			
	17297		05/11/2016	2052 - p.d. carpet mat service		\$68.10			
14213	06/27/2016	Open			Accounts Payable	Dynegy Energy Services LLC	\$2,907.87		
	Invoice		Date	Description		Amount			
	153917616051		05/31/2016	GMCVLG1004 - May 2016		\$2,907.87			
14214	06/27/2016	Open			Accounts Payable	ecology + vision, llc	\$596.95		
	Invoice		Date	Description		Amount			
	377		05/31/2016	site inspections		\$596.95			
14215	06/27/2016	Open			Accounts Payable	EJ USA, Inc.	\$373.74		
	Invoice		Date	Description		Amount			
	110160030899		06/03/2016	repair clamps		\$373.74			
14216	06/27/2016	Open			Accounts Payable	Esri, Inc.	\$1,500.00		
	Invoice		Date	Description		Amount			
	93141155		06/02/2016	ArcGIS update		\$1,500.00			
14217	06/27/2016	Open			Accounts Payable	Fastenal Company	\$86.62		
	Invoice		Date	Description		Amount			
	ILROM60816		05/31/2016	parts & supplies		\$86.62			
14218	06/27/2016	Open			Accounts Payable	Frank Novotny & Associates, Inc.	\$300.00		
	Invoice		Date	Description		Amount			
	16269-1		06/03/2016	12985 Dunmoor Dr		\$150.00			
	16355-1		06/03/2016	13301 Kettering Blvd		\$150.00			
14219	06/27/2016	Open			Accounts Payable	G & K Services, Inc.	\$68.32		
	Invoice		Date	Description		Amount			
	1028359944		06/09/2016	V.H. carpet mats		\$68.32			
14220	06/27/2016	Open			Accounts Payable	Great Southwest Recreation, LLC	\$1,147.49		
	Invoice		Date	Description		Amount			
	16-06-15		06/15/2016	Jul 2016 payment		\$1,147.49			
14221	06/27/2016	Open			Accounts Payable	Halper, Peggy	\$171.50		
	Invoice		Date	Description		Amount			
	0079		06/01/2016	5/18/16 PZC meeting minutes		\$171.50			
14222	06/27/2016	Open			Accounts Payable	Homer Tree Care, Inc.	\$62,424.00		
	Invoice		Date	Description		Amount			
	20979		02/17/2016	ash tree removal		\$62,424.00			
14223	06/27/2016	Open			Accounts Payable	Hoppy's Landscaping	\$3,800.00		
	Invoice		Date	Description		Amount			
	6753		05/31/2016	leak repair - Rose Ct		\$3,800.00			
14224	06/27/2016	Open			Accounts Payable	Hy-Test Safety Shoe Service	\$2,028.84		
	Invoice		Date	Description		Amount			
	1100-1016388		05/27/2016	work boots		\$2,028.84			
14225	06/27/2016	Open			Accounts Payable	Illinois State Police	\$208.25		
	Invoice		Date	Description		Amount			
	16-04-30		04/30/2016	Cost Center: 01600		\$59.50			
	16-03-31		03/31/2016	Cost Center: 01600 ORI: ILL03542S		\$148.75			

Payment Register

From Payment Date: 6/14/2016 - To Payment Date: 6/27/2016

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
14226	06/27/2016	Open			Accounts Payable	KS StateBank	\$23,552.51		
	Invoice		Date	Description		Amount			
	16-06-08		06/14/2016	3346962 annual lease payment		\$23,552.51			
14227	06/27/2016	Open			Accounts Payable	Lange's Woodland Flowers	\$525.00		
	Invoice		Date	Description		Amount			
	6873/1		05/31/2016	Mother's Day carnations for lady runners		\$525.00			
14228	06/27/2016	Open			Accounts Payable	Lemont Ace Hardware	\$42.90		
	Invoice		Date	Description		Amount			
	6/1/16		06/01/2016	3542 - May 2016 misc hardware purchases		\$38.63			
	16-06-01		06/01/2016	3960 - May 2016 misc hardware purchases		\$4.27			
14229	06/27/2016	Open			Accounts Payable	Lina Embroidery	\$93.00		
	Invoice		Date	Description		Amount			
	E11001		06/14/2016	uniform accessories		\$93.00			
14230	06/27/2016	Open			Accounts Payable	M/I Homes of Chicago	\$10,000.00		
	Invoice		Date	Description		Amount			
	2015-00000041		06/08/2016	refund clean up deposit - 13664 Anne Dr		\$1,000.00			
	2015-00000285		06/08/2016	refund clean up deposit - 13321 Kettering Blvd		\$1,000.00			
	2015-00000414		06/13/2016	refund clean up deposit - 13301 Anne Dr		\$1,000.00			
	2015-00000802		06/09/2016	refund clean up deposit - 13660 Buchanan Dr		\$1,000.00			
	2015-00000961		06/13/2016	refund clean up deposit - 13760 Amelia Dr		\$1,000.00			
	2015-00000961(L)		06/13/2016	refund Landscape bond - 13760 Amelia Dr		\$5,000.00			
14231	06/27/2016	Open			Accounts Payable	Martino Concrete Company	\$1,750.00		
	Invoice		Date	Description		Amount			
	1621		05/23/2016	sidewalk repair		\$1,750.00			
14232	06/27/2016	Open			Accounts Payable	NiCor Gas	\$50.57		
	Invoice		Date	Description		Amount			
	16-06-2000 8		06/13/2016	74-12-00-2000 8 harpers grove l/s		\$25.75			
	16-06-4722 3		06/13/2016	91-25-56-4722 3 eagle ridge l/s		\$24.82			
14233	06/27/2016	Open			Accounts Payable	Occupational Health Centers of Illinois. P.C.	\$224.00		
	Invoice		Date	Description		Amount			
	1009491778		05/31/2016	post offer physical & drug screening		\$224.00			
14234	06/27/2016	Open			Accounts Payable	OfficeMax Incorporated	\$440.69		
	Invoice		Date	Description		Amount			
	986261		06/13/2016	MICR toner & misc supplies		\$440.69			
14235	06/27/2016	Open			Accounts Payable	Orange Crush, LLC	\$1,586.64		
	Invoice		Date	Description		Amount			
	6062		06/14/2016	blacktop patching		\$473.44			
	5595		06/09/2016	blacktop patching		\$354.64			
	5596		06/09/2016	blacktop patching		\$352.88			
	5594		06/09/2016	blacktop patching		\$405.68			
14236	06/27/2016	Open			Accounts Payable	Overdoors of Illinois	\$550.00		
	Invoice		Date	Description		Amount			
	150915		05/27/2016	gate chain replacement		\$340.00			
	148629		05/24/2016	gate repair		\$210.00			

Payment Register

From Payment Date: 6/14/2016 - To Payment Date: 6/27/2016

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
14237	06/27/2016	Open			Accounts Payable	Patriot Landscape & Maintenance Inc	\$260.00		
	Invoice		Date	Description		Amount			
	2831		05/26/2016	mowing vacant properties		\$130.00			
	2905		06/20/2016	6/20/16 mowing - 2 properties		\$130.00			
14238	06/27/2016	Open			Accounts Payable	PDC Laboratories	\$1,020.00		
	Invoice		Date	Description		Amount			
	833354		05/31/2016	sample testing		\$1,020.00			
14239	06/27/2016	Open			Accounts Payable	Porter Lee Corp	\$840.00		
	Invoice		Date	Description		Amount			
	17153		04/01/2016	annual support - inventory software		\$840.00			
14240	06/27/2016	Open			Accounts Payable	Rag's Electric	\$1,905.58		
	Invoice		Date	Description		Amount			
	20745		06/09/2016	light parts		\$547.08			
	20767		06/09/2016	light parts		\$198.00			
	4827-1605		05/31/2016	light maint		\$1,000.00			
	20437		12/15/2015	street light inspection - Limestone		\$160.50			
14241	06/27/2016	Open			Accounts Payable	Rainbow Printing	\$195.95		
	Invoice		Date	Description		Amount			
	411882		06/07/2016	#10 window utility bill envelopes		\$195.95			
14242	06/27/2016	Open			Accounts Payable	Ray O'Herron Co., Inc.	\$213.85		
	Invoice		Date	Description		Amount			
	1630657-IN		05/26/2016	uniforms mm		\$64.98			
	1630935-IN		05/27/2016	uniforms GS		\$23.88			
	1630402-IN		05/25/2016	uniform RR		\$124.99			
14243	06/27/2016	Open			Accounts Payable	RCM Data Corporation	\$237.00		
	Invoice		Date	Description		Amount			
	IN58977		06/15/2016	copier lease		\$237.00			
14244	06/27/2016	Open			Accounts Payable	Rod Baker Ford	\$89.61		
	Invoice		Date	Description		Amount			
	144523		06/07/2016	parts		\$89.61			
14245	06/27/2016	Open			Accounts Payable	Shaw Media	\$173.40		
	Invoice		Date	Description		Amount			
	051610074590		05/31/2016	legal notices		\$173.40			
14246	06/27/2016	Open			Accounts Payable	Shred-It USA, LLC	\$60.00		
	Invoice		Date	Description		Amount			
	9410779655		06/14/2016	document shredding		\$60.00			
14247	06/27/2016	Open			Accounts Payable	Sosin, Arnold & Schoenbeck, Ltd.	\$1,000.00		
	Invoice		Date	Description		Amount			
	93688		05/31/2016	May 2016		\$1,000.00			
14248	06/27/2016	Open			Accounts Payable	Southwest Digital Printing, Inc.	\$63.94		
	Invoice		Date	Description		Amount			
	6-10ma16		06/01/2016	Jun 2016 plotter maintenance		\$50.00			
	6-15mr		06/07/2016	5/2/16-6/1/16 plotter maintenance		\$13.94			

Payment Register

From Payment Date: 6/14/2016 - To Payment Date: 6/27/2016

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
14249	06/27/2016	Open			Accounts Payable	Tameling Industries Inc	\$84.00		
	Invoice		Date	Description		Amount			
	0109647-IN		06/02/2016	black dirt		\$84.00			
14250	06/27/2016	Open			Accounts Payable	The Municipal Clerks of Illinois	\$65.00		
	Invoice		Date	Description		Amount			
	16-06-16		06/16/2016	7/14-15/16 seminar - c. smollen		\$65.00			
14251	06/27/2016	Open			Accounts Payable	TKB Associates, Inc	\$5,372.00		
	Invoice		Date	Description		Amount			
	12021		06/07/2016	annual support		\$5,372.00			
14252	06/27/2016	Open			Accounts Payable	Urban Forest Management, Inc.	\$906.25		
	Invoice		Date	Description		Amount			
	160515		06/10/2016	site and plan review and report		\$145.00			
	160516		06/10/2016	review and report - PZC Case 16-01		\$217.50			
	160517		06/10/2016	site and plan review and report		\$181.25			
	160518		06/10/2016	review and report		\$217.50			
	160519		06/10/2016	site and plan review and report		\$145.00			
14253	06/27/2016	Open			Accounts Payable	Verizon Wireless	\$118.71		
	Invoice		Date	Description		Amount			
	9766468572		06/03/2016	685282853-00001		\$118.71			
14254	06/27/2016	Open			Accounts Payable	Water Resources Inc.	\$14,813.65		
	Invoice		Date	Description		Amount			
	30511		05/03/2016	water meters		\$1,990.66			
	30523		05/05/2016	water meters		\$3,783.85			
	30532		05/09/2016	water meters		\$1,563.79			
	30543		05/10/2016	water meters		\$1,627.12			
	30559		05/17/2016	water meters		\$1,846.43			
	30572		05/23/2016	water meters		\$1,995.90			
	30606		06/02/2016	water meters		\$2,005.90			
14255	06/27/2016	Open			Accounts Payable	KLF Enterprises Inc	\$26,800.00		
	Invoice		Date	Description		Amount			
	16072-1F		06/20/2016	12775 Main St building demolition		\$26,800.00			
14256	06/27/2016	Open			Accounts Payable	Amoonjump4u Inc	\$1,550.00		
	Invoice		Date	Description		Amount			
	41947b		06/14/2016	bal due - 7/23/16 entertainment		\$1,550.00			
14257	06/27/2016	Open			Accounts Payable	Czerniak, George, T	\$110.00		
	Invoice		Date	Description		Amount			
	16-06-10		06/10/2016	refund Metra permit #0379, 0554		\$110.00			
14258	06/27/2016	Open			Accounts Payable	Kathleen Field Orr & Associates	\$1,650.00		
	Invoice		Date	Description		Amount			
	14985		06/05/2016	TIF research		\$1,650.00			
14259	06/27/2016	Open			Accounts Payable	Nakis, George	\$110.00		
	Invoice		Date	Description		Amount			
	16-06-17		06/17/2016	refund returned Metra permit numbers 0454, 0629		\$110.00			

Payment Register

From Payment Date: 6/14/2016 - To Payment Date: 6/27/2016

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
14260	06/27/2016	Open			Accounts Payable	O'Neill, Thomas	\$146.00		
	Invoice		Date	Description		Amount			
	16-06-09		06/09/2016	refund for duplicate vehicle sticker purchased in error		\$146.00			
Type Check Totals:						71 Transactions	\$240,691.07		
EFT									
188	06/23/2016	Open			Accounts Payable	Southwest Agency for Health Management	\$99,233.98		
	Invoice		Date	Description		Amount			
	2017-00000170		06/21/2016	Jul 2016 health & dental premiums		\$99,233.98			
189	06/27/2016	Open			Accounts Payable	Purchase Power	\$2,060.98		
	Invoice		Date	Description		Amount			
	16-06-20		06/20/2016	postage meter refill - May - past due		\$2,060.98			
190	06/27/2016	Open			Accounts Payable	Serafin & Associates, Inc.	\$1,875.00		
	Invoice		Date	Description		Amount			
	2004755		05/19/2016	communication consulting		\$1,875.00			
Type EFT Totals:						3 Transactions	\$103,169.96		
FM-Clearing - Accounts Payable Totals									

Checks	Status	Count	Transaction Amount	Reconciled Amount
	Open	71	\$240,691.07	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	71	\$240,691.07	\$0.00
EFTs	Status	Count	Transaction Amount	Reconciled Amount
	Open	3	\$103,169.96	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Total	3	\$103,169.96	\$0.00
All	Status	Count	Transaction Amount	Reconciled Amount
	Open	74	\$343,861.03	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	74	\$343,861.03	\$0.00

Payment Register

From Payment Date: 6/14/2016 - To Payment Date: 6/27/2016

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
FM-GMAT Project - GMAT Project									
30076	06/15/2016	Open			Accounts Payable	Treasurer, State of Illinois	\$108,061.11		
	Invoice		Date	Description		Amount			
	16-06-15		06/15/2016	remittance of remaining IMVTPC funds		\$108,061.11			
Type Check Totals:						1 Transactions	\$108,061.11		
FM-GMAT Project - GMAT Project Totals									

Checks	Status	Count	Transaction Amount	Reconciled Amount
	Open	1	\$108,061.11	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	1	\$108,061.11	\$0.00

EFTs	Status	Count	Transaction Amount	Reconciled Amount
	Open	0	\$0.00	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Total	0	\$0.00	\$0.00

All	Status	Count	Transaction Amount	Reconciled Amount
	Open	1	\$108,061.11	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	1	\$108,061.11	\$0.00

Grand Totals:

Checks	Status	Count	Transaction Amount	Reconciled Amount
	Open	72	\$348,752.18	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	72	\$348,752.18	\$0.00

EFTs	Status	Count	Transaction Amount	Reconciled Amount
	Open	3	\$103,169.96	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Total	3	\$103,169.96	\$0.00

All	Status	Count	Transaction Amount	Reconciled Amount
	Open	75	\$451,922.14	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	75	\$451,922.14	\$0.00

**VILLAGE OF LEMONT
ORDINANCE NO. _____**

**AN ORDINANCE ESTABLISHING PREVAILING RATE OF WAGES
FOR PUBLIC WORKS CONSTRUCTION PROJECTS
FOR THE VILLAGE OF LEMONT
COOK, WILL AND DUPAGE COUNTIES, IL**

**ADOPTED BY THE
PRESIDENT AND THE BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT
THIS ___ DAY OF _____, 2016**

**Published in pamphlet form by
Authority of the President and
Board of Trustees of the Village of
Lemont, Counties of Cook, Will and
DuPage, Illinois, this ___ day of _____, 2016.**

ORDINANCE NO. _____

**AN ORDINANCE ESTABLISHING PREVAILING RATE OF WAGES
FOR PUBLIC WORKS CONSTRUCTION PROJECTS
FOR THE VILLAGE OF LEMONT
COOK, WILL AND DUPAGE COUNTIES, IL**

WHEREAS, the State of Illinois has enacted the Prevailing Wage Act, as amended (820 ILCS 130.001, *et seq.*) (hereinafter “Act”); and

WHEREAS, the aforesaid Act requires that the Village of Lemont investigate and ascertain the prevailing rate of wages as defined in said Act for laborers, mechanics and other workers in the locality of said Village employed in performing construction of public works, for said Village.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT:

Section 1. To the extent and as required by the Prevailing Wage Act, as amended, (820 ILCS 130.001, *et seq.*) the general prevailing rate of wages in this locality for laborers, mechanics and other workers engaged in construction of public works coming under the jurisdiction of the Village is hereby ascertained to be the same as the prevailing rate of wages for construction work in the Cook, Will and DuPage County areas as determined by the Department of Labor of the State of Illinois as of June of the current year, a copy of that determination is being attached hereto and incorporated herein by reference. The definition of any terms appearing in this Ordinance which are also used in aforesaid Act shall be the same as in said Act.

Section 2. Nothing herein contained shall be construed to apply said general prevailing rate of wages as herein ascertained to any work or employment except public works construction of the Village to the extent required by the aforesaid Act.

Section 3. The Village Clerk shall publicly post or keep available for inspection by any interested party in the main office of this Village this determination of such prevailing rate of wage.

Section 4. The Village Clerk shall mail a copy of this determination to any employer, and to any association of employers and to any person or association of employees who have filed their names and addresses, requesting copies of any determination stating the particular rates and the particular class of workers whose wages will be affected by such rates.

Section 5. The Village Clerk shall promptly file a certified copy of this Ordinance with both the Secretary of State Index Division and the Department of Labor of the State of Illinois.

Section 6. The Village Clerk shall cause to be published in a newspaper of general circulation within the area a copy of this Ordinance, and such publication shall constitute notice that determination is effective and that this is the determination of this body.

Section 7. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as required by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DUPAGE, ILLINOIS, on this ____ day of _____, 2016.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN:
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

GROUP EXHIBIT A

**ILLINOIS DEPARTMENT OF LABOR
DETERMINATION OF PREVAILING WAGES AND BENEFITS
APPLICABLE TO PUBLIC WORKS PROJECTS IN COOK, WILL AND DUPAGE
COUNTIES, ILLINOIS**

JULY, 2015

Cook County Prevailing Wage for July 2015

(See explanation of column headings at bottom of wages)

Trade Name	RG	TYP	C	Base	FRMAN	M-F>8	OSA	OSH	H/W	Pensn	Vac	Trng		
=====	==	===	=	=====	=====	=====	===	===	=====	=====	=====	=====		
ASBESTOS ABT-GEN		ALL		39.400	39.950	1.5	1.5	2.0	13.98	10.72	0.000	0.500		
ASBESTOS ABT-MEC		BLD		36.340	38.840	1.5	1.5	2.0	11.47	10.96	0.000	0.720		
BOILERMAKER		BLD		47.070	51.300	2.0	2.0	2.0	6.970	18.13	0.000	0.400		
BRICK MASON		BLD		43.780	48.160	1.5	1.5	2.0	10.05	14.43	0.000	1.030		
CARPENTER		ALL		44.350	46.350	1.5	1.5	2.0	11.79	16.39	0.000	0.630		
CEMENT MASON		ALL		43.750	45.750	2.0	1.5	2.0	13.05	14.45	0.000	0.480		
CERAMIC TILE FNSHER		BLD		36.810	0.000	1.5	1.5	2.0	10.55	9.230	0.000	0.770		
COMM. ELECT.		BLD		40.000	42.800	1.5	1.5	2.0	8.670	12.57	1.100	0.750		
ELECTRIC PWR EQMT OP		ALL		46.100	51.100	1.5	1.5	2.0	10.76	14.87	0.000	0.460		
ELECTRIC PWR GRNDMAN		ALL		37.050	52.500	1.5	2.0	2.0	8.630	12.28	0.000	0.370		
ELECTRIC PWR LINEMAN		ALL		47.500	52.500	1.5	2.0	1.5	11.06	15.75	0.000	0.480		
ELECTRICIAN		ALL		45.000	48.000	1.5	1.5	2.0	13.83	15.27	0.000	1.000		
ELEVATOR CONSTRUCTOR		BLD		50.800	57.150	2.0	2.0	2.0	13.57	14.21	4.060	0.600		
FENCE ERECTOR		ALL		37.340	39.340	1.5	1.5	2.0	13.05	12.06	0.000	0.300		
GLAZIER		BLD		40.500	42.000	1.5	2.0	2.0	13.14	16.99	0.000	0.940		
HT/FROST INSULATOR		BLD		48.450	50.950	1.5	1.5	2.0	11.47	12.16	0.000	0.720		
IRON WORKER		ALL		44.200	46.200	2.0	2.0	2.0	13.65	21.14	0.000	0.350		
LABORER		ALL		39.200	39.950	1.5	1.5	2.0	13.98	10.72	0.000	0.500		
LATHER		ALL		44.350	46.350	1.5	1.5	2.0	11.79	16.39	0.000	0.630		
MACHINIST		BLD		45.350	47.850	1.5	1.5	2.0	7.260	8.950	1.850	0.000		
MARBLE FINISHERS		ALL		32.400	34.320	1.5	1.5	2.0	10.05	13.75	0.000	0.620		
MARBLE MASON		BLD		43.030	47.330	1.5	1.5	2.0	10.05	14.10	0.000	0.780		
MATERIAL TESTER I		ALL		29.200	0.000	1.5	1.5	2.0	13.98	10.72	0.000	0.500		
MATERIALS TESTER II		ALL		34.200	0.000	1.5	1.5	2.0	13.98	10.72	0.000	0.500		
MILLWRIGHT		ALL		44.350	46.350	1.5	1.5	2.0	11.79	16.39	0.000	0.630		
OPERATING ENGINEER		BLD 1		48.100	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250		
OPERATING ENGINEER		BLD 2		46.800	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250		
OPERATING ENGINEER		BLD 3		44.250	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250		
OPERATING ENGINEER		BLD 4		42.500	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250		
OPERATING ENGINEER		BLD 5		51.850	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250		
OPERATING ENGINEER		BLD 6		49.100	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250		
OPERATING ENGINEER		BLD 7		51.100	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250		
OPERATING ENGINEER		FLT 1		53.600	53.600	1.5	1.5	2.0	17.10	11.80	1.900	1.250		
OPERATING ENGINEER		FLT 2		52.100	53.600	1.5	1.5	2.0	17.10	11.05	1.900	1.250		
OPERATING ENGINEER		FLT 3		46.400	53.600	1.5	1.5	2.0	17.10	11.80	1.900	1.250		
OPERATING ENGINEER		FLT 4		38.550	53.600	1.5	1.5	2.0	17.10	11.80	1.900	1.250		
OPERATING ENGINEER		FLT 5		55.100	53.600	1.5	1.5	2.0	17.10	11.80	1.900	1.250		
OPERATING ENGINEER		FLT 6		35.000	35.000	1.5	1.5	2.0	16.60	11.05	1.900	1.250		
OPERATING ENGINEER		HWY 1		46.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250		
OPERATING ENGINEER		HWY 2		45.750	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250		
OPERATING ENGINEER		HWY 3		43.700	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250		
OPERATING ENGINEER		HWY 4		42.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250		
OPERATING ENGINEER		HWY 5		41.100	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250		
OPERATING ENGINEER		HWY 6		49.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250		
OPERATING ENGINEER		HWY 7		47.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250		
ORNAMNTL IRON WORKER		ALL		45.000	47.500	2.0	2.0	2.0	13.55	17.94	0.000	0.650		
PAINTER		ALL		41.750	46.500	1.5	1.5	1.5	11.50	11.10	0.000	0.770		
PAINTER SIGNS		BLD		33.920	38.090	1.5	1.5	1.5	2.600	2.710	0.000	0.000		
PILEDRIIVER		ALL		44.350	46.350	1.5	1.5	2.0	11.79	16.39	0.000	0.630		
PIPEFITTER		BLD		46.000	49.000	1.5	1.5	2.0	9.000	15.85	0.000	1.780		
PLASTERER		BLD		43.430	46.040	1.5	1.5	2.0	13.05	14.43	0.000	1.020		
PLUMBER		BLD		46.650	48.650	1.5	1.5	2.0	13.18	11.46	0.000	0.880		
ROOFER		BLD		41.000	44.000	1.5	1.5	2.0	8.280	10.54	0.000	0.530		
SHEETMETAL WORKER		BLD		42.230	45.610	1.5	1.5	2.0	10.53	20.68	0.000	0.720		
SIGN HANGER		BLD		31.310	33.810	1.5	1.5	2.0	4.850	3.280	0.000	0.000		
SPRINKLER FITTER		BLD		49.200	51.200	1.5	1.5	2.0	11.75	9.650	0.000	0.550		
STEEL ERECTOR		ALL		42.070	44.070	2.0	2.0	2.0	13.45	19.59	0.000	0.350		
STONE MASON		BLD		43.780	48.160	1.5	1.5	2.0	10.05	14.43	0.000	1.030		
SURVEY WORKER		-->NOT IN EFFECT			ALL	37.000	37.750	1.5	1.5	2.0	12.97	9.930	0.000	0.500
TERRAZZO FINISHER		BLD		38.040	0.000	1.5	1.5	2.0	10.55	11.22	0.000	0.720		

TERRAZZO MASON	BLD	41.880	44.880	1.5	1.5	2.0	10.55	12.51	0.000	0.940
TILE MASON	BLD	43.840	47.840	1.5	1.5	2.0	10.55	11.40	0.000	0.990
TRAFFIC SAFETY WRKR	HWY	32.750	34.350	1.5	1.5	2.0	6.550	6.450	0.000	0.500
TRUCK DRIVER	E ALL 1	35.480	35.680	1.5	1.5	2.0	8.350	10.50	0.000	0.150
TRUCK DRIVER	E ALL 2	34.100	34.500	1.5	1.5	2.0	8.150	8.500	0.000	0.150
TRUCK DRIVER	E ALL 3	34.300	34.500	1.5	1.5	2.0	8.150	8.500	0.000	0.150
TRUCK DRIVER	E ALL 4	34.500	34.500	1.5	1.5	2.0	8.150	8.500	0.000	0.150
TRUCK DRIVER	W ALL 1	35.600	35.800	1.5	1.5	1.5	8.250	9.140	0.000	0.150
TRUCK DRIVER	W ALL 2	32.700	33.100	1.5	1.5	2.0	6.500	4.350	0.000	0.000
TRUCK DRIVER	W ALL 3	32.900	33.100	1.5	1.5	2.0	6.500	4.350	0.000	0.000
TRUCK DRIVER	W ALL 4	33.100	33.100	1.5	1.5	2.0	6.500	4.350	0.000	0.000
TUCKPOINTER	BLD	43.800	44.800	1.5	1.5	2.0	8.280	13.49	0.000	0.670

Legend: RG (Region)

TYP (Trade Type - All, Highway, Building, Floating, Oil & Chip, Rivers)

C (Class)

Base (Base Wage Rate)

FRMAN (Foreman Rate)

M-F>8 (OT required for any hour greater than 8 worked each day, Mon through Fri.)

OSA (Overtime (OT) is required for every hour worked on Saturday)

OSH (Overtime is required for every hour worked on Sunday and Holidays)

H/W (Health & Welfare Insurance)

Pensn (Pension)

Vac (Vacation)

Trng (Training)

Explanations**COOK COUNTY**

The following list is considered as those days for which holiday rates of wages for work performed apply: New Years Day, Memorial Day, Fourth of July, Labor Day, Thanksgiving Day, Christmas Day and Veterans Day in some classifications/counties. Generally, any of these holidays which fall on a Sunday is celebrated on the following Monday. This then makes work performed on that Monday payable at the appropriate overtime rate for holiday pay. Common practice in a given local may alter certain days of celebration. If in doubt, please check with IDOL.

TRUCK DRIVERS (WEST) - That part of the county West of Barrington Road.

EXPLANATION OF CLASSES

ASBESTOS - GENERAL - removal of asbestos material/mold and hazardous materials from any place in a building, including mechanical systems where those mechanical systems are to be removed. This includes the removal of asbestos materials/mold and hazardous materials from ductwork or pipes in a building when the building is to be demolished at the time or at some close future date.

ASBESTOS - MECHANICAL - removal of asbestos material from mechanical systems, such as pipes, ducts, and boilers, where the mechanical systems are to remain.

CERAMIC TILE FINISHER

The grouting, cleaning, and polishing of all classes of tile, whether for interior or exterior purposes, all burned, glazed or unglazed products; all composition materials, granite tiles, warning detectable tiles, cement tiles, epoxy composite materials, pavers, glass, mosaics, fiberglass, and all substitute materials, for tile made in tile-like units; all mixtures in tile like form of cement, metals, and other materials that are for and intended for use as a finished floor surface, stair treads, promenade roofs, walks, walls, ceilings, swimming pools, and all other places where tile is to form a finished interior or exterior. The mixing of all setting mortars including but not limited to thin-set mortars, epoxies, wall mud, and any other sand and cement mixtures or adhesives when used in the preparation,

installation, repair, or maintenance of tile and/or similar materials. The handling and unloading of all sand, cement, lime, tile, fixtures, equipment, adhesives, or any other materials to be used in the preparation, installation, repair, or maintenance of tile and/or similar materials. Ceramic Tile Finishers shall fill all joints and voids regardless of method on all tile work, particularly and especially after installation of said tile work. Application of any and all protective coverings to all types of tile installations including, but not be limited to, all soap compounds, paper products, tapes, and all polyethylene coverings, plywood, masonite, cardboard, and any new type of products that may be used to protect tile installations, Blastrac equipment, and all floor scarifying equipment used in preparing floors to receive tile. The clean up and removal of all waste and materials. All demolition of existing tile floors and walls to be re-tiled.

COMMUNICATIONS ELECTRICIAN

Installation, operation, inspection, maintenance, repair and service of radio, television, recording, voice sound vision production and reproduction, telephone and telephone interconnect, facsimile, data apparatus, coaxial, fibre optic and wireless equipment, appliances and systems used for the transmission and reception of signals of any nature, business, domestic, commercial, education, entertainment, and residential purposes, including but not limited to, communication and telephone, electronic and sound equipment, fibre optic and data communication systems, and the performance of any task directly related to such installation or service whether at new or existing sites, such tasks to include the placing of wire and cable and electrical power conduit or other raceway work within the equipment room and pulling wire and/or cable through conduit and the installation of any incidental conduit, such that the employees covered hereby can complete any job in full.

MARBLE FINISHER

Loading and unloading trucks, distribution of all materials (all stone, sand, etc.), stocking of floors with material, performing all rigging for heavy work, the handling of all material that may be needed for the installation of such materials, building of scaffolding, polishing if needed, patching, waxing of material if damaged, pointing up, caulking, grouting and cleaning of marble, holding water on diamond or Carborundum blade or saw for setters cutting, use of tub saw or any other saw needed for preparation of material, drilling of holes for wires that anchor material set by setters, mixing up of molding plaster for installation of material, mixing up thin set for the installation of material, mixing up of sand to cement for the installation of material and such other work as may be required in helping a Marble Setter in the handling of all material in the erection or installation of interior marble, slate, travertine, art marble, serpentine, alberene stone, blue stone, granite and other stones (meaning as to stone any foreign or domestic materials as are specified and used in building interiors and exteriors and customarily known as stone in the trade), carrara, sanionyx, vitrolite and similar opaque glass and the laying of all marble tile, terrazzo tile, slate tile and precast tile, steps, risers treads, base, or any other materials that may be used as substitutes for any of the aforementioned materials and which are used on interior and exterior which are installed in a similar manner.

MATERIAL TESTER I: Hand coring and drilling for testing of materials; field inspection of uncured concrete and asphalt.

MATERIAL TESTER II: Field inspection of welds, structural steel, fireproofing, masonry, soil, facade, reinforcing steel, formwork, cured concrete, and concrete and asphalt batch plants; adjusting proportions of bituminous mixtures.

OPERATING ENGINEER - BUILDING

Class 1. Asphalt Plant; Asphalt Spreader; Autograde; Backhoes with Caisson Attachment; Batch Plant; Benoto (requires Two Engineers); Boiler and Throttle Valve; Caisson Rigs; Central Redi-Mix Plant; Combination Back Hoe Front End-loader Machine; Compressor and Throttle Valve; Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Conveyor (Truck Mounted); Concrete Paver Over 27E cu. ft; Concrete Paver 27E cu. ft. and Under; Concrete Placer; Concrete Placing Boom; Concrete Pump (Truck Mounted); Concrete Tower; Cranes, All; Cranes, Hammerhead; Cranes, (GCI and similar Type); Creter Crane; Spider Crane; Crusher, Stone, etc.; Derricks, All; Derricks, Traveling; Formless Curb and Gutter Machine; Grader, Elevating; Grouting Machines; Heavy Duty Self-Propelled Transporter or Prime Mover; Highlift Shovels or Front Endloader 2-1/4 yd. and over; Hoists, Elevators, outside type rack and pinion and similar machines; Hoists, One, Two and Three Drum; Hoists, Two Tugger One Floor; Hydraulic Backhoes; Hydraulic Boom Trucks; Hydro Vac (and similar equipment); Locomotives, All; Motor Patrol; Lubrication Technician; Manipulators; Pile Drivers and Skid Rig; Post Hole Digger; Pre-Stress Machine; Pump Cretes Dual Ram; Pump Cretes: Squeeze Cretes-Screw Type Pumps; Gypsum Bulker and Pump; Raised and Blind Hole Drill; Roto Mill Grinder; Scoops - Tractor Drawn; Slip-Form Paver; Straddle Buggies; Operation of Tie Back Machine; Tournapull; Tractor with Boom and Side Boom; Trenching Machines.

Class 2. Boilers; Broom, All Power Propelled; Bulldozers; Concrete Mixer (Two Bag and Over); Conveyor, Portable; Forklift Trucks; Highlift Shovels or Front Endloaders under 2-1/4 yd.; Hoists, Automatic; Hoists, Inside Elevators; Hoists, Sewer Dragging Machine; Hoists, Tugger Single Drum; Laser Screed; Rock Drill (Self-Propelled); Rock Drill (Truck Mounted); Rollers, All; Steam Generators; Tractors, All; Tractor Drawn Vibratory Roller; Winch Trucks with "A" Frame.

Class 3. Air Compressor; Combination Small Equipment Operator; Generators; Heaters, Mechanical; Hoists, Inside Elevators (remodeling or renovation work); Hydraulic Power Units (Pile Driving, Extracting, and Drilling); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Low Boys; Pumps, Well Points; Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches.

Class 4. Bobcats and/or other Skid Steer Loaders; Oilers; and Brick Forklift.

Class 5. Assistant Craft Foreman.

Class 6. Gradall.

Class 7. Mechanics; Welders.

OPERATING ENGINEERS - HIGHWAY CONSTRUCTION

Class 1. Asphalt Plant; Asphalt Heater and Planer Combination; Asphalt Heater Scarfire; Asphalt Spreader; Autograder/GOMACO or other similar type machines: AEG Paver; Backhoes with Caisson Attachment; Ballast Regulator; Belt Loader; Caisson Rigs; Car Dumper; Central Redi-Mix Plant; Combination Backhoe Front Endloader Machine, (1 cu. yd. Backhoe Bucket or over or with attachments); Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Paver over 27E cu. ft.; Concrete Placer; Concrete Tube Float; Cranes, all attachments; Cranes, Tower Cranes of all types: Creter Crane: Spider Crane; Crusher, Stone, etc.; Derricks, All; Derrick Boats; Derricks, Traveling; Dredges; Elevators, Outside type Rack & Pinion and Similar Machines; Formless Curb and Gutter Machine; Grader, Elevating; Grader, Motor Grader, Motor Patrol, Auto Patrol, Form Grader, Pull Grader, Subgrader; Guard Rail Post Driver Truck Mounted; Hoists, One, Two and Three Drum; Heavy

Duty Self-Propelled Transporter or Prime Mover; Hydraulic Backhoes; Backhoes with shear attachments up to 40' of boom reach; Lubrication Technician; Manipulators; Mucking Machine; Pile Drivers and Skid Rig; Pre-Stress Machine; Pump Cretes Dual Ram; Rock Drill - Crawler or Skid Rig; Rock Drill - Truck Mounted; Rock/Track Tamper; Roto Mill Grinder; Slip-Form Paver; Snow Melters; Soil Test Drill Rig (Truck Mounted); Straddle Buggies; Hydraulic Telescoping Form (Tunnel); Operation of Tieback Machine; Tractor Drawn Belt Loader; Tractor Drawn Belt Loader (with attached pusher - two engineers); Tractor with Boom; Tractaire with Attachments; Traffic Barrier Transfer Machine; Trenching; Truck Mounted Concrete Pump with Boom; Raised or Blind Hole Drills (Tunnel Shaft); Underground Boring and/or Mining Machines 5 ft. in diameter and over tunnel, etc; Underground Boring and/or Mining Machines under 5 ft. in diameter; Wheel Excavator; Widener (APSCO).

Class 2. Batch Plant; Bituminous Mixer; Boiler and Throttle Valve; Bulldozers; Car Loader Trailing Conveyors; Combination Backhoe Front Endloader Machine (Less than 1 cu. yd. Backhoe Bucket or over or with attachments); Compressor and Throttle Valve; Compressor, Common Receiver (3); Concrete Breaker or Hydro Hammer; Concrete Grinding Machine; Concrete Mixer or Paver 7S Series to and including 27 cu. ft.; Concrete Spreader; Concrete Curing Machine, Burlap Machine, Belting Machine and Sealing Machine; Concrete Wheel Saw; Conveyor Muck Cars (Haglund or Similar Type); Drills, All; Finishing Machine - Concrete; Highlift Shovels or Front Endloader; Hoist - Sewer Dragging Machine; Hydraulic Boom Trucks (All Attachments); Hydro-Blaster; Hydro Excavating (excluding hose work); Laser Screed; All Locomotives, Dinky; Off-Road Hauling Units (including articulating) Non Self-Loading Ejection Dump; Pump Cretes: Squeeze Cretes - Screw Type Pumps, Gypsum Bulker and Pump; Roller, Asphalt; Rotary Snow Plows; Rototiller, Seaman, etc., self-propelled; Self-Propelled Compactor; Spreader - Chip - Stone, etc.; Scraper - Single/Twin Engine/Push and Pull; Scraper - Prime Mover in Tandem (Regardless of Size); Tractors pulling attachments, Sheeps Foot, Disc, Compactor, etc.; Tug Boats.

Class 3. Boilers; Brooms, All Power Propelled; Cement Supply Tender; Compressor, Common Receiver (2); Concrete Mixer (Two Bag and Over); Conveyor, Portable; Farm-Type Tractors Used for Mowing, Seeding, etc.; Forklift Trucks; Grouting Machine; Hoists, Automatic; Hoists, All Elevators; Hoists, Tugger Single Drum; Jeep Diggers; Low Boys; Pipe Jacking Machines; Post-Hole Digger; Power Saw, Concrete Power Driven; Pug Mills; Rollers, other than Asphalt; Seed and Straw Blower; Steam Generators; Stump Machine; Winch Trucks with "A" Frame; Work Boats; Tamper-Form-Motor Driven.

Class 4. Air Compressor; Combination - Small Equipment Operator; Directional Boring Machine; Generators; Heaters, Mechanical; Hydraulic Power Unit (Pile Driving, Extracting, or Drilling); Light Plants, All (1 through 5); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Pumps, Well Points; Vacuum Trucks (excluding hose work); Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches.

Class 5. SkidSteer Loader (all); Brick Forklifts; Oilers.

Class 6. Field Mechanics and Field Welders

Class 7. Dowell Machine with Air Compressor; Gradall and machines of like nature.

OPERATING ENGINEER - FLOATING

Class 1. Craft Foreman; Master Mechanic; Diver/Wet Tender; Engineer; Engineer (Hydraulic Dredge).

Class 2. Crane/Backhoe Operator; Boat Operator with towing endorsement; Mechanic/Welder; Assistant Engineer (Hydraulic Dredge); Leverman (Hydraulic Dredge); Diver Tender.

Class 3. Deck Equipment Operator, Machineryman, Maintenance of Crane (over 50 ton capacity) or Backhoe (115,000 lbs. or more); Tug/Launch Operator; Loader/Dozer and like equipment on Barge, Breakwater Wall, Slip/Dock, or Scow, Deck Machinery, etc.

Class 4. Deck Equipment Operator, Machineryman/Fireman (4 Equipment Units or More); Off Road Trucks; Deck Hand, Tug Engineer, Crane Maintenance (50 Ton Capacity and Under) or Backhoe Weighing (115,000 pounds or less); Assistant Tug Operator.

Class 5. Friction or Lattice Boom Cranes.

Class 6. ROV Pilot, ROV Tender

SURVEY WORKER - Operated survey equipment including data collectors, G.P.S. and robotic instruments, as well as conventional levels and transits.

TERRAZZO FINISHER

The handling of sand, cement, marble chips, and all other materials that may be used by the Mosaic Terrazzo Mechanic, and the mixing, grinding, grouting, cleaning and sealing of all Marble, Mosaic, and Terrazzo work, floors, base, stairs, and wainscoting by hand or machine, and in addition, assisting and aiding Marble, Masonic, and Terrazzo Mechanics.

TRAFFIC SAFETY

Work associated with barricades, horses and drums used to reduce lane usage on highway work, the installation and removal of temporary lane markings, and the installation and removal of temporary road signs.

TRUCK DRIVER - BUILDING, HEAVY AND HIGHWAY CONSTRUCTION - EAST & WEST

Class 1. Two or three Axle Trucks. A-frame Truck when used for transportation purposes; Air Compressors and Welding Machines, including those pulled by cars, pick-up trucks and tractors; Ambulances; Batch Gate Lockers; Batch Hopperman; Car and Truck Washers; Carry-alls; Fork Lifts and Hoisters; Helpers; Mechanics Helpers and Greasers; Oil Distributors 2-man operation; Pavement Breakers; Pole Trailer, up to 40 feet; Power Mower Tractors; Self-propelled Chip Spreader; Skipman; Slurry Trucks, 2-man operation; Slurry Truck Conveyor Operation, 2 or 3 man; Teamsters; Unskilled Dumpman; and Truck Drivers hauling warning lights, barricades, and portable toilets on the job site.

Class 2. Four axle trucks; Dump Crets and Adgetors under 7 yards; Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turnapulls or Turnatrailers when pulling other than self-loading equipment or similar equipment under 16 cubic yards; Mixer Trucks under 7 yards; Ready-mix Plant Hopper Operator, and Winch Trucks, 2 Axles.

Class 3. Five axle trucks; Dump Crets and Adgetors 7 yards and over; Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turnatrailers or turnapulls when pulling other than self-loading equipment or similar equipment over 16 cubic yards; Explosives and/or Fission Material Trucks; Mixer Trucks 7 yards or over; Mobile Cranes while in transit; Oil Distributors, 1-man operation; Pole Trailer, over 40 feet; Pole and Expandable Trailers hauling material over 50 feet long; Slurry trucks, 1-man operation; Winch trucks, 3 axles or more; Mechanic--Truck Welder and Truck Painter.

Class 4. Six axle trucks; Dual-purpose vehicles, such as mounted crane trucks with hoist and accessories; Foreman; Master Mechanic; Self-loading equipment like P.B. and trucks with scoops on the front.

Other Classifications of Work:

For definitions of classifications not otherwise set out, the Department generally has on file such definitions which are available. If a task to be performed is not subject to one of the classifications of pay set out, the Department will upon being contacted state which neighboring county has such a classification and provide such rate, such rate being deemed to exist by reference in this document. If no neighboring county rate applies to the task, the Department shall undertake a special determination, such special determination being then deemed to have existed under this determination. If a project requires these, or any classification not listed, please contact IDOL at 217-782-1710 for wage rates or clarifications.

LANDSCAPING

Landscaping work falls under the existing classifications for laborer, operating engineer and truck driver. The work performed by landscape plantsman and landscape laborer is covered by the existing classification of laborer. The work performed by landscape operators (regardless of equipment used or its size) is covered by the classifications of operating engineer. The work performed by landscape truck drivers (regardless of size of truck driven) is covered by the classifications of truck driver.

MATERIAL TESTER & MATERIAL TESTER/INSPECTOR I AND II

Notwithstanding the difference in the classification title, the classification entitled "Material Tester I" involves the same job duties as the classification entitled "Material Tester/Inspector I". Likewise, the classification entitled "Material Tester II" involves the same job duties as the classification entitled "Material Tester/Inspector II".

Du Page County Prevailing Wage for July 2015

(See explanation of column headings at bottom of wages)

Trade Name	RG	TYP	C	Base	FRMAN	M-F>8	OSA	OSH	H/W	Pensn	Vac	Trng
=====	==	===	=	=====	=====	=====	===	===	=====	=====	=====	=====
ASBESTOS ABT-GEN		ALL		39.400	39.950	1.5	1.5	2.0	13.98	10.72	0.000	0.500
ASBESTOS ABT-MEC		BLD		36.340	38.840	1.5	1.5	2.0	11.47	10.96	0.000	0.720
BOILERMAKER		BLD		47.070	51.300	2.0	2.0	2.0	6.970	18.13	0.000	0.400
BRICK MASON		BLD		43.780	48.160	1.5	1.5	2.0	10.05	14.43	0.000	1.030
CARPENTER		ALL		44.350	46.350	1.5	1.5	2.0	11.79	16.39	0.000	0.630
CEMENT MASON		ALL		43.750	45.750	2.0	1.5	2.0	13.05	14.45	0.000	0.480
CERAMIC TILE FNSHER		BLD		36.810	0.000	1.5	1.5	2.0	10.55	9.230	0.000	0.770
COMMUNICATION TECH		BLD		32.650	34.750	1.5	1.5	2.0	9.550	15.16	1.250	0.610
ELECTRIC PWR EQMT OP		ALL		37.890	51.480	1.5	1.5	2.0	5.000	11.75	0.000	0.380
ELECTRIC PWR EQMT OP		HWY		39.220	53.290	1.5	1.5	2.0	5.000	12.17	0.000	0.390
ELECTRIC PWR GRNDMAN		ALL		29.300	51.480	1.5	1.5	2.0	5.000	9.090	0.000	0.290
ELECTRIC PWR GRNDMAN		HWY		30.330	53.290	1.5	1.5	2.0	5.000	9.400	0.000	0.300
ELECTRIC PWR LINEMAN		ALL		45.360	51.480	1.5	1.5	2.0	5.000	14.06	0.000	0.450
ELECTRIC PWR LINEMAN		HWY		46.950	53.290	1.5	1.5	2.0	5.000	14.56	0.000	0.470
ELECTRIC PWR TRK DRV		ALL		30.340	51.480	1.5	1.5	2.0	5.000	9.400	0.000	0.300
ELECTRIC PWR TRK DRV		HWY		31.400	53.290	1.5	1.5	2.0	5.000	9.730	0.000	0.310
ELECTRICIAN		BLD		38.160	41.980	1.5	1.5	2.0	9.550	18.29	4.680	0.680
ELEVATOR CONSTRUCTOR		BLD		50.800	57.150	2.0	2.0	2.0	13.57	14.21	4.060	0.600
FENCE ERECTOR	NE	ALL		37.340	39.340	1.5	1.5	2.0	13.05	12.06	0.000	0.300
FENCE ERECTOR	W	ALL		45.060	48.660	2.0	2.0	2.0	10.52	20.76	0.000	0.700
GLAZIER		BLD		40.500	42.000	1.5	2.0	2.0	13.14	16.99	0.000	0.940
HT/FROST INSULATOR		BLD		48.450	50.950	1.5	1.5	2.0	11.47	12.16	0.000	0.720
IRON WORKER	E	ALL		44.200	46.200	2.0	2.0	2.0	13.65	21.14	0.000	0.350
IRON WORKER	W	ALL		45.060	48.660	2.0	2.0	2.0	10.52	20.76	0.000	0.700
LABORER		ALL		39.200	39.950	1.5	1.5	2.0	13.98	10.72	0.000	0.500
LATHER		ALL		44.350	46.350	1.5	1.5	2.0	11.79	16.39	0.000	0.630
MACHINIST		BLD		45.350	47.850	1.5	1.5	2.0	7.260	8.950	1.850	0.000
MARBLE FINISHERS		ALL		32.400	34.320	1.5	1.5	2.0	10.05	13.75	0.000	0.620
MARBLE MASON		BLD		43.030	47.330	1.5	1.5	2.0	10.05	14.10	0.000	0.780
MATERIAL TESTER I		ALL		29.200	0.000	1.5	1.5	2.0	13.98	10.72	0.000	0.500
MATERIALS TESTER II		ALL		34.200	0.000	1.5	1.5	2.0	13.98	10.72	0.000	0.500
MILLWRIGHT		ALL		44.350	46.350	1.5	1.5	2.0	11.79	16.39	0.000	0.630
OPERATING ENGINEER		BLD	1	48.100	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	2	46.800	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	3	44.250	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	4	42.500	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	5	51.850	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	6	49.100	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	7	51.100	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		FLT		36.000	36.000	1.5	1.5	2.0	17.10	11.80	1.900	1.250
OPERATING ENGINEER		HWY	1	46.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	2	45.750	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	3	43.700	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	4	42.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	5	41.100	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	6	49.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	7	47.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
ORNAMNTL IRON WORKER E		ALL		45.000	47.500	2.0	2.0	2.0	13.55	17.94	0.000	0.650
ORNAMNTL IRON WORKER W		ALL		45.060	48.660	2.0	2.0	2.0	10.52	20.76	0.000	0.700
PAINTER		ALL		41.730	43.730	1.5	1.5	1.5	10.30	8.200	0.000	1.350
PAINTER SIGNS		BLD		33.920	38.090	1.5	1.5	1.5	2.600	2.710	0.000	0.000
PILEDRIIVER		ALL		44.350	46.350	1.5	1.5	2.0	11.79	16.39	0.000	0.630
PIPEFITTER		BLD		46.000	49.000	1.5	1.5	2.0	9.000	15.85	0.000	1.780
PLASTERER		BLD		43.430	46.040	1.5	1.5	2.0	10.05	14.43	0.000	1.020
PLUMBER		BLD		46.650	48.650	1.5	1.5	2.0	13.18	11.46	0.000	0.880
ROOFER		BLD		41.000	44.000	1.5	1.5	2.0	8.280	10.54	0.000	0.530
SHEETMETAL WORKER		BLD		44.720	46.720	1.5	1.5	2.0	10.65	13.31	0.000	0.820
SPRINKLER FITTER		BLD		49.200	51.200	1.5	1.5	2.0	11.75	9.650	0.000	0.550
STEEL ERECTOR	E	ALL		42.070	44.070	2.0	2.0	2.0	13.45	19.59	0.000	0.350
STEEL ERECTOR	W	ALL		45.060	48.660	2.0	2.0	2.0	10.52	20.76	0.000	0.700

STONE MASON	BLD	43.780	48.160	1.5	1.5	2.0	10.05	14.43	0.000	1.030
SURVEY WORKER	-->NOT IN EFFECT	ALL	37.000	37.750	1.5	1.5	2.0	12.97	9.930	0.000 0.500
TERRAZZO FINISHER	BLD	38.040	0.000	1.5	1.5	2.0	10.55	11.22	0.000	0.720
TERRAZZO MASON	BLD	41.880	44.880	1.5	1.5	2.0	10.55	12.51	0.000	0.940
TILE MASON	BLD	43.840	47.840	1.5	1.5	2.0	10.55	11.40	0.000	0.990
TRAFFIC SAFETY WRKR	HWY	32.750	34.350	1.5	1.5	2.0	6.550	6.450	0.000	0.500
TRUCK DRIVER	ALL 1	35.920	36.120	1.5	1.5	2.0	8.280	8.760	0.000	0.150
TRUCK DRIVER	ALL 2	32.700	33.100	1.5	1.5	2.0	6.500	4.350	0.000	0.150
TRUCK DRIVER	ALL 3	32.900	33.100	1.5	1.5	2.0	6.500	4.350	0.000	0.150
TRUCK DRIVER	ALL 4	33.100	33.100	1.5	1.5	2.0	6.500	4.350	0.000	0.150
TUCKPOINTER	BLD	42.620	43.620	1.5	1.5	2.0	10.05	13.34	0.000	0.670

Legend: RG (Region)
 TYP (Trade Type - All,Highway,Building,Floating,Oil & Chip,Rivers)
 C (Class)
 Base (Base Wage Rate)
 FRMAN (Foreman Rate)
 M-F>8 (OT required for any hour greater than 8 worked each day, Mon through Fri.
 OSA (Overtime (OT) is required for every hour worked on Saturday)
 OSH (Overtime is required for every hour worked on Sunday and Holidays)
 H/W (Health & Welfare Insurance)
 Pensn (Pension)
 Vac (Vacation)
 Trng (Training)

Explanations

DUPAGE COUNTY

IRON WORKERS AND FENCE ERECTOR (WEST) - West of Route 53.

The following list is considered as those days for which holiday rates of wages for work performed apply: New Years Day, Memorial Day, Fourth of July, Labor Day, Thanksgiving Day, Christmas Day and Veterans Day in some classifications/counties. Generally, any of these holidays which fall on a Sunday is celebrated on the following Monday. This then makes work performed on that Monday payable at the appropriate overtime rate for holiday pay. Common practice in a given local may alter certain days of celebration. If in doubt, please check with IDOL.

EXPLANATION OF CLASSES

ASBESTOS - GENERAL - removal of asbestos material/mold and hazardous materials from any place in a building, including mechanical systems where those mechanical systems are to be removed. This includes the removal of asbestos materials/mold and hazardous materials from ductwork or pipes in a building when the building is to be demolished at the time or at some close future date.

ASBESTOS - MECHANICAL - removal of asbestos material from mechanical systems, such as pipes, ducts, and boilers, where the mechanical systems are to remain.

TRAFFIC SAFETY - work associated with barricades, horses and drums used to reduce lane usage on highway work, the installation and removal of temporary lane markings, and the installation and removal of temporary road signs.

CERAMIC TILE FINISHER

The grouting, cleaning, and polishing of all classes of tile, whether for interior or exterior purposes, all burned, glazed or unglazed products; all composition materials, granite tiles, warning detectable tiles, cement tiles, epoxy composite materials, pavers, glass, mosaics, fiberglass, and all substitute materials, for tile made in tile-like units; all mixtures in tile like form of cement, metals, and other materials that are for and intended for use as a finished floor surface, stair treads, promenade roofs, walks, walls, ceilings,

swimming pools, and all other places where tile is to form a finished interior or exterior. The mixing of all setting mortars including but not limited to thin-set mortars, epoxies, wall mud, and any other sand and cement mixtures or adhesives when used in the preparation, installation, repair, or maintenance of tile and/or similar materials. The handling and unloading of all sand, cement, lime, tile, fixtures, equipment, adhesives, or any other materials to be used in the preparation, installation, repair, or maintenance of tile and/or similar materials. Ceramic Tile Finishers shall fill all joints and voids regardless of method on all tile work, particularly and especially after installation of said tile work. Application of any and all protective coverings to all types of tile installations including, but not be limited to, all soap compounds, paper products, tapes, and all polyethylene coverings, plywood, masonite, cardboard, and any new type of products that may be used to protect tile installations, Blastrac equipment, and all floor scarifying equipment used in preparing floors to receive tile. The clean up and removal of all waste and materials. All demolition of existing tile floors and walls to be re-tiled.

COMMUNICATIONS TECHNICIAN

Low voltage installation, maintenance and removal of telecommunication facilities (voice, sound, data and video) including telephone and data inside wire, interconnect, terminal equipment, central offices, PABX, fiber optic cable and equipment, micro waves, V-SAT, bypass, CATV, WAN (wide area networks), LAN (local area networks), and ISDN (integrated system digital network), pulling of wire in raceways, but not the installation of raceways.

MARBLE FINISHER

Loading and unloading trucks, distribution of all materials (all stone, sand, etc.), stocking of floors with material, performing all rigging for heavy work, the handling of all material that may be needed for the installation of such materials, building of scaffolding, polishing if needed, patching, waxing of material if damaged, pointing up, caulking, grouting and cleaning of marble, holding water on diamond or Carborundum blade or saw for setters cutting, use of tub saw or any other saw needed for preparation of material, drilling of holes for wires that anchor material set by setters, mixing up of molding plaster for installation of material, mixing up thin set for the installation of material, mixing up of sand to cement for the installation of material and such other work as may be required in helping a Marble Setter in the handling of all material in the erection or installation of interior marble, slate, travertine, art marble, serpentine, alberene stone, blue stone, granite and other stones (meaning as to stone any foreign or domestic materials as are specified and used in building interiors and exteriors and customarily known as stone in the trade), carrara, sanionyx, vitrolite and similar opaque glass and the laying of all marble tile, terrazzo tile, slate tile and precast tile, steps, risers treads, base, or any other materials that may be used as substitutes for any of the aforementioned materials and which are used on interior and exterior which are installed in a similar manner.

MATERIAL TESTER I: Hand coring and drilling for testing of materials; field inspection of uncured concrete and asphalt.

MATERIAL TESTER II: Field inspection of welds, structural steel, fireproofing, masonry, soil, facade, reinforcing steel, formwork, cured concrete, and concrete and asphalt batch plants; adjusting proportions of bituminous mixtures.

OPERATING ENGINEER - BUILDING

Class 1. Asphalt Plant; Asphalt Spreader; Autograde; Backhoes with Caisson Attachment; Batch Plant; Benoto (requires Two Engineers);

Boiler and Throttle Valve; Caisson Rigs; Central Redi-Mix Plant; Combination Back Hoe Front End-loader Machine; Compressor and Throttle Valve; Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Conveyor (Truck Mounted); Concrete Paver Over 27E cu. ft.; Concrete Paver 27E cu. ft. and Under; Concrete Placer; Concrete Placing Boom; Concrete Pump (Truck Mounted); Concrete Tower; Cranes, All; Cranes, Hammerhead; Cranes, (GCI and similar Type); Creter Crane; Spider Crane; Crusher, Stone, etc.; Derricks, All; Derricks, Traveling; Formless Curb and Gutter Machine; Grader, Elevating; Grouting Machines; Heavy Duty Self-Propelled Transporter or Prime Mover; Highlift Shovels or Front Endloader 2-1/4 yd. and over; Hoists, Elevators, outside type rack and pinion and similar machines; Hoists, One, Two and Three Drum; Hoists, Two Tugger One Floor; Hydraulic Backhoes; Hydraulic Boom Trucks; Hydro Vac (and similar equipment); Locomotives, All; Motor Patrol; Lubrication Technician; Manipulators; Pile Drivers and Skid Rig; Post Hole Digger; Pre-Stress Machine; Pump Cretes Dual Ram; Pump Cretes: Squeeze Cretes-Screw Type Pumps; Gypsum Bulker and Pump; Raised and Blind Hole Drill; Roto Mill Grinder; Scoops - Tractor Drawn; Slip-Form Paver; Straddle Buggies; Operation of Tie Back Machine; Tournapull; Tractor with Boom and Side Boom; Trenching Machines.

Class 2. Boilers; Broom, All Power Propelled; Bulldozers; Concrete Mixer (Two Bag and Over); Conveyor, Portable; Forklift Trucks; Highlift Shovels or Front Endloaders under 2-1/4 yd.; Hoists, Automatic; Hoists, Inside Elevators; Hoists, Sewer Dragging Machine; Hoists, Tugger Single Drum; Laser Screed; Rock Drill (Self-Propelled); Rock Drill (Truck Mounted); Rollers, All; Steam Generators; Tractors, All; Tractor Drawn Vibratory Roller; Winch Trucks with "A" Frame.

Class 3. Air Compressor; Combination Small Equipment Operator; Generators; Heaters, Mechanical; Hoists, Inside Elevators (remodeling or renovation work); Hydraulic Power Units (Pile Driving, Extracting, and Drilling); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Low Boys; Pumps, Well Points; Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches.

Class 4. Bobcats and/or other Skid Steer Loaders; Oilers; and Brick Forklift.

Class 5. Assistant Craft Foreman.

Class 6. Gradall.

Class 7. Mechanics; Welders.

OPERATING ENGINEERS - HIGHWAY CONSTRUCTION

Class 1. Asphalt Plant; Asphalt Heater and Planer Combination; Asphalt Heater Scarfire; Asphalt Spreader; Autograder/GOMACO or other similar type machines: ABG Paver; Backhoes with Caisson Attachment; Ballast Regulator; Belt Loader; Caisson Rigs; Car Dumper; Central Redi-Mix Plant; Combination Backhoe Front Endloader Machine, (1 cu. yd. Backhoe Bucket or over or with attachments); Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Paver over 27E cu. ft.; Concrete Placer; Concrete Tube Float; Cranes, all attachments; Cranes, Tower Cranes of all types: Creter Crane; Spider Crane; Crusher, Stone, etc.; Derricks, All; Derrick Boats; Derricks, Traveling; Dredges; Elevators, Outside type Rack & Pinion and Similar Machines; Formless Curb and Gutter Machine; Grader, Elevating; Grader, Motor Grader, Motor Patrol, Auto Patrol, Form Grader, Pull Grader, Subgrader; Guard Rail Post Driver Truck Mounted; Hoists, One, Two and Three Drum; Heavy Duty Self-Propelled Transporter or Prime Mover; Hydraulic Backhoes; Backhoes with shear attachments up to 40' of boom reach; Lubrication Technician; Manipulators; Mucking Machine; Pile Drivers and Skid Rig; Pre-Stress Machine; Pump Cretes Dual Ram; Rock Drill - Crawler or Skid Rig; Rock Drill - Truck Mounted; Rock/Track Tamper; Roto Mill

Grinder; Slip-Form Paver; Snow Melters; Soil Test Drill Rig (Truck Mounted); Straddle Buggies; Hydraulic Telescoping Form (Tunnel); Operation of Tieback Machine; Tractor Drawn Belt Loader; Tractor Drawn Belt Loader (with attached pusher - two engineers); Tractor with Boom; Tractaire with Attachments; Traffic Barrier Transfer Machine; Trenching; Truck Mounted Concrete Pump with Boom; Raised or Blind Hole Drills (Tunnel Shaft); Underground Boring and/or Mining Machines 5 ft. in diameter and over tunnel, etc; Underground Boring and/or Mining Machines under 5 ft. in diameter; Wheel Excavator; Widener (APSCO).

Class 2. Batch Plant; Bituminous Mixer; Boiler and Throttle Valve; Bulldozers; Car Loader Trailing Conveyors; Combination Backhoe Front Endloader Machine (Less than 1 cu. yd. Backhoe Bucket or over or with attachments); Compressor and Throttle Valve; Compressor, Common Receiver (3); Concrete Breaker or Hydro Hammer; Concrete Grinding Machine; Concrete Mixer or Paver 7S Series to and including 27 cu. ft.; Concrete Spreader; Concrete Curing Machine, Burlap Machine, Belting Machine and Sealing Machine; Concrete Wheel Saw; Conveyor Muck Cars (Haglund or Similar Type); Drills, All; Finishing Machine - Concrete; Highlift Shovels or Front Endloader; Hoist - Sewer Dragging Machine; Hydraulic Boom Trucks (All Attachments); Hydro-Blaster; Hydro Excavating (excluding hose work); Laser Screed; All Locomotives, Dinky; Off-Road Hauling Units (including articulating) Non Self-Loading Ejection Dump; Pump Cretes: Squeeze Cretes - Screw Type Pumps, Gypsum Bulker and Pump; Roller, Asphalt; Rotary Snow Plows; Rototiller, Seaman, etc., self-propelled; Self-Propelled Compactor; Spreader - Chip - Stone, etc.; Scraper - Single/Twin Engine/Push and Pull; Scraper - Prime Mover in Tandem (Regardless of Size); Tractors pulling attachments, Sheeps Foot, Disc, Compactor, etc.; Tug Boats.

Class 3. Boilers; Brooms, All Power Propelled; Cement Supply Tender; Compressor, Common Receiver (2); Concrete Mixer (Two Bag and Over); Conveyor, Portable; Farm-Type Tractors Used for Mowing, Seeding, etc.; Forklift Trucks; Grouting Machine; Hoists, Automatic; Hoists, All Elevators; Hoists, Tugger Single Drum; Jeep Diggers; Low Boys; Pipe Jacking Machines; Post-Hole Digger; Power Saw, Concrete Power Driven; Pug Mills; Rollers, other than Asphalt; Seed and Straw Blower; Steam Generators; Stump Machine; Winch Trucks with "A" Frame; Work Boats; Tamper-Form-Motor Driven.

Class 4. Air Compressor; Combination - Small Equipment Operator; Directional Boring Machine; Generators; Heaters, Mechanical; Hydraulic Power Unit (Pile Driving, Extracting, or Drilling); Light Plants, All (1 through 5); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Pumps, Well Points; Vacuum Trucks (excluding hose work); Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches.

Class 5. SkidSteer Loader (all); Brick Forklifts; Oilers.

Class 6. Field Mechanics and Field Welders

Class 7. Dowell Machine with Air Compressor; Gradall and machines of like nature.

OPERATING ENGINEER - FLOATING

Diver. Diver Wet Tender, Diver Tender, ROV Pilot, ROV Tender

SURVEY WORKER - Operated survey equipment including data collectors, G.P.S. and robotic instruments, as well as conventional levels and transits.

TRUCK DRIVER - BUILDING, HEAVY AND HIGHWAY CONSTRUCTION

Class 1. Two or three Axle Trucks. A-frame Truck when used for transportation purposes; Air Compressors and Welding Machines, including those pulled by cars, pick-up trucks and tractors; Ambulances; Batch Gate Lockers; Batch Hopperman; Car and Truck

Washers; Carry-alls; Fork Lifts and Hoisters; Helpers; Mechanics
Helpers and Greasers; Oil Distributors 2-man operation; Pavement
Breakers; Pole Trailer, up to 40 feet; Power Mower Tractors;
Self-propelled Chip Spreader; Skipman; Slurry Trucks, 2-man
operation; Slurry Truck Conveyor Operation, 2 or 3 man; Teamsters;
Unskilled Dumpman; and Truck Drivers hauling warning lights,
barricades, and portable toilets on the job site.

Class 2. Four axle trucks; Dump Crets and Adgetors under 7 yards;
Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turnapulls or
Turnatrailers when pulling other than self-loading equipment or
similar equipment under 16 cubic yards; Mixer Trucks under 7 yards;
Ready-mix Plant Hopper Operator, and Winch Trucks, 2 Axles.

Class 3. Five axle trucks; Dump Crets and Adgetors 7 yards and over;
Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turnatrailers or
turnapulls when pulling other than self-loading equipment or similar
equipment over 16 cubic yards; Explosives and/or Fission Material
Trucks; Mixer Trucks 7 yards or over; Mobile Cranes while in transit;
Oil Distributors, 1-man operation; Pole Trailer, over 40 feet; Pole
and Expandable Trailers hauling material over 50 feet long; Slurry
trucks, 1-man operation; Winch trucks, 3 axles or more;
Mechanic--Truck Welder and Truck Painter.

Class 4. Six axle trucks; Dual-purpose vehicles, such as mounted
crane trucks with hoist and accessories; Foreman; Master Mechanic;
Self-loading equipment like P.B. and trucks with scoops on the front.

TERRAZZO FINISHER

The handling of sand, cement, marble chips, and all other materials
that may be used by the Mosaic Terrazzo Mechanic, and the mixing,
grinding, grouting, cleaning and sealing of all Marble, Mosaic, and
Terrazzo work, floors, base, stairs, and wainscoting by hand or
machine, and in addition, assisting and aiding Marble, Masonic, and
Terrazzo Mechanics.

Other Classifications of Work:

For definitions of classifications not otherwise set out, the
Department generally has on file such definitions which are available.
If a task to be performed is not subject to one of the
classifications of pay set out, the Department will upon being
contacted state which neighboring county has such a classification and
provide such rate, such rate being deemed to exist by reference in
this document. If no neighboring county rate applies to the task,
the Department shall undertake a special determination, such special
determination being then deemed to have existed under this
determination. If a project requires these, or any classification not
listed, please contact IDOL at 217-782-1710 for wage rates or
clarifications.

LANDSCAPING

Landscaping work falls under the existing classifications for laborer,
operating engineer and truck driver. The work performed by landscape
plantsman and landscape laborer is covered by the existing
classification of laborer. The work performed by landscape operators
(regardless of equipment used or its size) is covered by the
classifications of operating engineer. The work performed by
landscape truck drivers (regardless of size of truck driven) is
covered by the classifications of truck driver.

MATERIAL TESTER & MATERIAL TESTER/INSPECTOR I AND II

Notwithstanding the difference in the classification title, the classification entitled "Material Tester I" involves the same job duties as the classification entitled "Material Tester/Inspector I". Likewise, the classification entitled "Material Tester II" involves the same job duties as the classification entitled "Material Tester/Inspector II".

Will County Prevailing Wage for July 2015

(See explanation of column headings at bottom of wages)

Trade Name	RG	TYP	C	Base	FRMAN	M-F>8	OSA	OSH	H/W	Pensn	Vac	Trng
=====	==	===	=	=====	=====	=====	===	===	=====	=====	=====	=====
ASBESTOS ABT-GEN		ALL		39.400	39.950	1.5	1.5	2.0	13.98	10.72	0.000	0.500
ASBESTOS ABT-MEC		BLD		36.340	38.840	1.5	1.5	2.0	11.47	10.96	0.000	0.720
BOILERMAKER		BLD		47.070	51.300	2.0	2.0	2.0	6.970	18.13	0.000	0.400
BRICK MASON		BLD		43.780	48.160	1.5	1.5	2.0	10.05	14.43	0.000	1.030
CARPENTER		ALL		44.350	48.790	2.0	2.0	2.0	11.99	18.47	0.000	0.630
CEMENT MASON		ALL		41.000	43.000	2.0	1.5	2.0	10.00	20.39	0.000	0.500
CERAMIC TILE FNSHER		BLD		36.810	0.000	1.5	1.5	2.0	10.55	9.230	0.000	0.770
COMMUNICATION TECH		BLD		33.000	34.500	1.5	1.5	2.0	13.92	11.69	1.410	0.720
ELECTRIC PWR EQMT OP		ALL		46.100	51.100	1.5	1.5	2.0	10.76	14.87	0.000	0.460
ELECTRIC PWR GRNDMAN		ALL		37.050	52.500	1.5	2.0	2.0	8.630	12.28	0.000	0.370
ELECTRIC PWR LINEMAN		ALL		47.500	52.500	1.5	2.0	1.5	10.76	14.87	0.000	0.460
ELECTRICIAN		BLD		40.000	43.600	1.5	1.5	2.0	14.77	16.39	0.000	1.200
ELEVATOR CONSTRUCTOR		BLD		50.800	57.150	2.0	2.0	2.0	13.57	14.21	4.060	0.600
GLAZIER		BLD		40.500	42.000	1.5	2.0	2.0	13.14	16.99	0.000	0.940
HT/FROST INSULATOR		BLD		48.450	50.950	1.5	1.5	2.0	11.47	12.16	0.000	0.720
IRON WORKER		ALL		41.000	42.000	2.0	2.0	2.0	10.04	21.41	0.000	0.780
LABORER		ALL		39.200	39.950	1.5	1.5	2.0	13.98	10.72	0.000	0.500
LATHER		ALL		43.350	47.690	2.0	2.0	2.0	11.85	17.47	0.000	0.630
MACHINIST		BLD		45.350	47.850	1.5	1.5	2.0	7.260	8.950	1.850	0.000
MARBLE FINISHERS		ALL		32.400	34.320	1.5	1.5	2.0	10.05	13.75	0.000	0.620
MARBLE MASON		BLD		43.030	47.330	1.5	1.5	2.0	10.05	14.10	0.000	0.780
MATERIAL TESTER I		ALL		29.200	0.000	1.5	1.5	2.0	13.98	10.72	0.000	0.500
MATERIALS TESTER II		ALL		34.200	0.000	1.5	1.5	2.0	13.98	10.72	0.000	0.500
MILLWRIGHT		ALL		44.350	48.790	2.0	2.0	2.0	11.99	18.47	0.000	0.630
OPERATING ENGINEER		BLD	1	48.100	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	2	46.800	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	3	44.250	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	4	42.500	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	5	51.850	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	6	49.100	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		BLD	7	51.100	52.100	2.0	2.0	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		FLT	1	53.600	53.600	1.5	1.5	2.0	17.10	11.80	1.900	1.250
OPERATING ENGINEER		FLT	2	52.100	53.600	1.5	1.5	2.0	17.10	11.80	1.900	1.250
OPERATING ENGINEER		FLT	3	46.400	53.600	1.5	1.5	2.0	17.10	11.80	1.900	1.250
OPERATING ENGINEER		FLT	4	38.550	53.600	1.5	1.5	2.0	17.10	11.80	1.900	1.250
OPERATING ENGINEER		FLT	5	55.100	53.600	1.5	1.5	2.0	17.10	11.80	1.900	1.250
OPERATING ENGINEER		FLT	6	35.000	35.000	1.5	1.5	2.0	16.60	11.05	1.900	1.250
OPERATING ENGINEER		HWY	1	46.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	2	45.750	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	3	43.700	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	4	42.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	5	41.100	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	6	49.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
OPERATING ENGINEER		HWY	7	47.300	50.300	1.5	1.5	2.0	17.55	12.65	1.900	1.250
PAINTER		ALL		41.750	46.500	1.5	1.5	1.5	11.50	11.10	0.000	0.770
PAINTER SIGNS		BLD		33.920	38.090	1.5	1.5	1.5	2.600	2.710	0.000	0.000
PILEDRIIVER		ALL		44.350	48.790	2.0	2.0	2.0	11.99	18.47	0.000	0.630
PIPEFITTER		BLD		46.000	49.000	1.5	1.5	2.0	9.000	15.85	0.000	1.780
PLASTERER		BLD		43.430	46.040	1.5	1.5	2.0	13.05	14.43	0.000	1.020
PLUMBER		BLD		46.650	48.650	1.5	1.5	2.0	13.18	11.46	0.000	0.880
ROOFER		BLD		41.000	44.000	1.5	1.5	2.0	8.280	10.54	0.000	0.530
SHEETMETAL WORKER		BLD		44.720	46.720	1.5	1.5	2.0	10.65	13.31	0.000	0.820
SPRINKLER FITTER		BLD		49.200	51.200	1.5	1.5	2.0	11.75	9.650	0.000	0.550
STONE MASON		BLD		43.780	48.160	1.5	1.5	2.0	10.05	14.43	0.000	1.030
SURVEY WORKER												
TERRAZZO FINISHER		BLD		38.040	0.000	1.5	1.5	2.0	10.55	11.22	0.000	0.720
TERRAZZO MASON		BLD		41.880	44.880	1.5	1.5	2.0	10.55	12.51	0.000	0.940
TILE MASON		BLD		43.840	47.840	1.5	1.5	2.0	10.55	11.40	0.000	0.990
TRAFFIC SAFETY WRKR		HWY		32.750	34.350	1.5	1.5	2.0	6.550	6.450	0.000	0.500
TRUCK DRIVER		ALL	1	35.650	36.200	1.5	1.5	2.0	7.250	6.319	0.000	0.250

TRUCK DRIVER	ALL 2	35.800	36.200	1.5	1.5	2.0	7.250	6.319	0.000	0.250
TRUCK DRIVER	ALL 3	36.000	36.200	1.5	1.5	2.0	7.250	6.319	0.000	0.250
TRUCK DRIVER	ALL 4	36.200	36.200	1.5	1.5	2.0	7.250	6.319	0.000	0.250
TUCKPOINTER	BLD	43.800	44.800	1.5	1.5	2.0	8.280	13.49	0.000	0.670

Legend: RG (Region)

TYP (Trade Type - All, Highway, Building, Floating, Oil & Chip, Rivers)

C (Class)

Base (Base Wage Rate)

FRMAN (Foreman Rate)

M-F>8 (OT required for any hour greater than 8 worked each day, Mon through Fri.)

OSA (Overtime (OT) is required for every hour worked on Saturday)

OSH (Overtime is required for every hour worked on Sunday and Holidays)

H/W (Health & Welfare Insurance)

Pensn (Pension)

Vac (Vacation)

Trng (Training)

Explanations

WILL COUNTY

The following list is considered as those days for which holiday rates of wages for work performed apply: New Years Day, Memorial Day, Fourth of July, Labor Day, Thanksgiving Day, Christmas Day and Veterans Day in some classifications/counties. Generally, any of these holidays which fall on a Sunday is celebrated on the following Monday. This then makes work performed on that Monday payable at the appropriate overtime rate for holiday pay. Common practice in a given local may alter certain days of celebration. If in doubt, please check with IDOL.

EXPLANATION OF CLASSES

ASBESTOS - GENERAL - removal of asbestos material/mold and hazardous materials from any place in a building, including mechanical systems where those mechanical systems are to be removed. This includes the removal of asbestos materials/mold and hazardous materials from ductwork or pipes in a building when the building is to be demolished at the time or at some close future date.

ASBESTOS - MECHANICAL - removal of asbestos material from mechanical systems, such as pipes, ducts, and boilers, where the mechanical systems are to remain.

CERAMIC TILE FINISHER

The grouting, cleaning, and polishing of all classes of tile, whether for interior or exterior purposes, all burned, glazed or unglazed products; all composition materials, granite tiles, warning detectable tiles, cement tiles, epoxy composite materials, pavers, glass, mosaics, fiberglass, and all substitute materials, for tile made in tile-like units; all mixtures in tile like form of cement, metals, and other materials that are for and intended for use as a finished floor surface, stair treads, promenade roofs, walks, walls, ceilings, swimming pools, and all other places where tile is to form a finished interior or exterior. The mixing of all setting mortars including but not limited to thin-set mortars, epoxies, wall mud, and any other sand and cement mixtures or adhesives when used in the preparation, installation, repair, or maintenance of tile and/or similar materials. The handling and unloading of all sand, cement, lime, tile, fixtures, equipment, adhesives, or any other materials to be used in the preparation, installation, repair, or maintenance of tile and/or similar materials. Ceramic Tile Finishers shall fill all joints and voids regardless of method on all tile work, particularly and especially after installation of said tile work. Application of any and all protective coverings to all types of tile installations

including, but not be limited to, all soap compounds, paper products, tapes, and all polyethylene coverings, plywood, masonite, cardboard, and any new type of products that may be used to protect tile installations, Blastrac equipment, and all floor scarifying equipment used in preparing floors to receive tile. The clean up and removal of all waste and materials. All demolition of existing tile floors and walls to be re-tiled.

COMMUNICATIONS TECHNICIAN

Installation, operation, inspection, maintenance, repair and service of radio, television, recording, voice, sound and vision production and reproduction, telephone and telephone interconnect, facsimile, equipment and appliances used for domestic, commercial, educational and entertainment purposes, pulling of wire through conduit but not the installation of conduit.

MARBLE FINISHER

Loading and unloading trucks, distribution of all materials (all stone, sand, etc.), stocking of floors with material, performing all rigging for heavy work, the handling of all material that may be needed for the installation of such materials, building of scaffolding, polishing if needed, patching, waxing of material if damaged, pointing up, caulking, grouting and cleaning of marble, holding water on diamond or Carborundum blade or saw for setters cutting, use of tub saw or any other saw needed for preparation of material, drilling of holes for wires that anchor material set by setters, mixing up of molding plaster for installation of material, mixing up thin set for the installation of material, mixing up of sand to cement for the installation of material and such other work as may be required in helping a Marble Setter in the handling of all material in the erection or installation of interior marble, slate, travertine, art marble, serpentine, alberene stone, blue stone, granite and other stones (meaning as to stone any foreign or domestic materials as are specified and used in building interiors and exteriors and customarily known as stone in the trade), carrara, sanionyx, vitrolite and similar opaque glass and the laying of all marble tile, terrazzo tile, slate tile and precast tile, steps, risers treads, base, or any other materials that may be used as substitutes for any of the aforementioned materials and which are used on interior and exterior which are installed in a similar manner.

MATERIAL TESTER I: Hand coring and drilling for testing of materials; field inspection of uncured concrete and asphalt.

MATERIAL TESTER II: Field inspection of welds, structural steel, fireproofing, masonry, soil, facade, reinforcing steel, formwork, cured concrete, and concrete and asphalt batch plants; adjusting proportions of bituminous mixtures.

OPERATING ENGINEER - BUILDING

Class 1. Asphalt Plant; Asphalt Spreader; Autograde; Backhoes with Caisson Attachment; Batch Plant; Benoto (requires Two Engineers); Boiler and Throttle Valve; Caisson Rigs; Central Redi-Mix Plant; Combination Back Hoe Front End-loader Machine; Compressor and Throttle Valve; Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Conveyor (Truck Mounted); Concrete Paver Over 27E cu. ft; Concrete Paver 27E cu. ft. and Under; Concrete Placer; Concrete Placing Boom; Concrete Pump (Truck Mounted); Concrete Tower; Cranes, All; Cranes, Hammerhead; Cranes, (GCI and similar Type); Creter Crane; Spider Crane; Crusher, Stone, etc.; Derricks, All; Derricks, Traveling; Formless Curb and Gutter Machine; Grader, Elevating; Grouting Machines; Heavy Duty Self-Propelled Transporter or Prime Mover; Highlift Shovels or Front Endloader 2-1/4 yd. and over; Hoists, Elevators, outside type rack and pinion and similar machines; Hoists, One, Two and Three Drum; Hoists, Two Tugger One Floor; Hydraulic

Backhoes; Hydraulic Boom Trucks; Hydro Vac (and similar equipment); Locomotives, All; Motor Patrol; Lubrication Technician; Manipulators; Pile Drivers and Skid Rig; Post Hole Digger; Pre-Stress Machine; Pump Cretes Dual Ram; Pump Cretes: Squeeze Cretes-Screw Type Pumps; Gypsum Bulker and Pump; Raised and Blind Hole Drill; Roto Mill Grinder; Scoops - Tractor Drawn; Slip-Form Paver; Straddle Buggies; Operation of Tie Back Machine; Tournapull; Tractor with Boom and Side Boom; Trenching Machines.

Class 2. Boilers; Broom, All Power Propelled; Bulldozers; Concrete Mixer (Two Bag and Over); Conveyor, Portable; Forklift Trucks; Highlift Shovels or Front Endloaders under 2-1/4 yd.; Hoists, Automatic; Hoists, Inside Elevators; Hoists, Sewer Dragging Machine; Hoists, Tugger Single Drum; Laser Screed; Rock Drill (Self-Propelled); Rock Drill (Truck Mounted); Rollers, All; Steam Generators; Tractors, All; Tractor Drawn Vibratory Roller; Winch Trucks with "A" Frame.

Class 3. Air Compressor; Combination Small Equipment Operator; Generators; Heaters, Mechanical; Hoists, Inside Elevators (remodeling or renovation work); Hydraulic Power Units (Pile Driving, Extracting, and Drilling); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Low Boys; Pumps, Well Points; Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches.

Class 4. Bobcats and/or other Skid Steer Loaders; Oilers; and Brick Forklift.

Class 5. Assistant Craft Foreman.

Class 6. Gradall.

Class 7. Mechanics; Welders.

OPERATING ENGINEERS - HIGHWAY CONSTRUCTION

Class 1. Asphalt Plant; Asphalt Heater and Planer Combination; Asphalt Heater Scarfire; Asphalt Spreader; Autograder/GOMACO or other similar type machines: ABG Paver; Backhoes with Caisson Attachment; Ballast Regulator; Belt Loader; Caisson Rigs; Car Dumper; Central Redi-Mix Plant; Combination Backhoe Front Endloader Machine, (1 cu. yd. Backhoe Bucket or over or with attachments); Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Paver over 27E cu. ft.; Concrete Placer; Concrete Tube Float; Cranes, all attachments; Cranes, Tower Cranes of all types: Creter Crane; Spider Crane; Crusher, Stone, etc.; Derricks, All; Derrick Boats; Derricks, Traveling; Dredges; Elevators, Outside type Rack & Pinion and Similar Machines; Formless Curb and Gutter Machine; Grader, Elevating; Grader, Motor Grader, Motor Patrol, Auto Patrol, Form Grader, Pull Grader, Subgrader; Guard Rail Post Driver Truck Mounted; Hoists, One, Two and Three Drum; Heavy Duty Self-Propelled Transporter or Prime Mover; Hydraulic Backhoes; Backhoes with shear attachments up to 40' of boom reach; Lubrication Technician; Manipulators; Mucking Machine; Pile Drivers and Skid Rig; Pre-Stress Machine; Pump Cretes Dual Ram; Rock Drill - Crawler or Skid Rig; Rock Drill - Truck Mounted; Rock/Track Tamper; Roto Mill Grinder; Slip-Form Paver; Snow Melters; Soil Test Drill Rig (Truck Mounted); Straddle Buggies; Hydraulic Telescoping Form (Tunnel); Operation of Tieback Machine; Tractor Drawn Belt Loader; Tractor Drawn Belt Loader (with attached pusher - two engineers); Tractor with Boom; Tractaire with Attachments; Traffic Barrier Transfer Machine; Trenching; Truck Mounted Concrete Pump with Boom; Raised or Blind Hole Drills (Tunnel Shaft); Underground Boring and/or Mining Machines 5 ft. in diameter and over tunnel, etc; Underground Boring and/or Mining Machines under 5 ft. in diameter; Wheel Excavator; Widener (APSCO).

Class 2. Batch Plant; Bituminous Mixer; Boiler and Throttle Valve; Bulldozers; Car Loader Trailing Conveyors; Combination Backhoe Front Endloader Machine (Less than 1 cu. yd. Backhoe Bucket or over or with

attachments); Compressor and Throttle Valve; Compressor, Common Receiver (3); Concrete Breaker or Hydro Hammer; Concrete Grinding Machine; Concrete Mixer or Paver 7S Series to and including 27 cu. ft.; Concrete Spreader; Concrete Curing Machine, Burlap Machine, Belting Machine and Sealing Machine; Concrete Wheel Saw; Conveyor Muck Cars (Haglund or Similar Type); Drills, All; Finishing Machine - Concrete; Highlift Shovels or Front Endloader; Hoist - Sewer Dragging Machine; Hydraulic Boom Trucks (All Attachments); Hydro-Blaster; Hydro Excavating (excluding hose work); Laser Screed; All Locomotives, Dinky; Off-Road Hauling Units (including articulating) Non Self-Loading Ejection Dump; Pump Cretes: Squeeze Cretes - Screw Type Pumps, Gypsum Bulker and Pump; Roller, Asphalt; Rotary Snow Plows; Rototiller, Seaman, etc., self-propelled; Self-Propelled Compactor; Spreader - Chip - Stone, etc.; Scraper - Single/Twin Engine/Push and Pull; Scraper - Prime Mover in Tandem (Regardless of Size); Tractors pulling attachments, Sheeps Foot, Disc, Compactor, etc.; Tug Boats.

Class 3. Boilers; Brooms, All Power Propelled; Cement Supply Tender; Compressor, Common Receiver (2); Concrete Mixer (Two Bag and Over); Conveyor, Portable; Farm-Type Tractors Used for Mowing, Seeding, etc.; Forklift Trucks; Grouting Machine; Hoists, Automatic; Hoists, All Elevators; Hoists, Tugger Single Drum; Jeep Diggers; Low Boys; Pipe Jacking Machines; Post-Hole Digger; Power Saw, Concrete Power Driven; Pug Mills; Rollers, other than Asphalt; Seed and Straw Blower; Steam Generators; Stump Machine; Winch Trucks with "A" Frame; Work Boats; Tamper-Form-Motor Driven.

Class 4. Air Compressor; Combination - Small Equipment Operator; Directional Boring Machine; Generators; Heaters, Mechanical; Hydraulic Power Unit (Pile Driving, Extracting, or Drilling); Light Plants, All (1 through 5); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Pumps, Well Points; Vacuum Trucks (excluding hose work); Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches.

Class 5. SkidSteer Loader (all); Brick Forklifts; Oilers.

Class 6. Field Mechanics and Field Welders

Class 7. Dowell Machine with Air Compressor; Gradall and machines of like nature.

OPERATING ENGINEER - FLOATING

Class 1. Craft Foreman; Master Mechanic; Diver/Wet Tender; Engineer; Engineer (Hydraulic Dredge).

Class 2. Crane/Backhoe Operator; Boat Operator with towing endorsement; Mechanic/Welder; Assistant Engineer (Hydraulic Dredge); Leverman (Hydraulic Dredge); Diver Tender.

Class 3. Deck Equipment Operator, Machineryman, Maintenance of Crane (over 50 ton capacity) or Backhoe (115,000 lbs. or more); Tug/Launch Operator; Loader/Dozer and like equipment on Barge, Breakwater Wall, Slip/Dock, or Scow, Deck Machinery, etc.

Class 4. Deck Equipment Operator, Machineryman/Fireman (4 Equipment Units or More); Off Road Trucks; Deck Hand, Tug Engineer, Crane Maintenance (50 Ton Capacity and Under) or Backhoe Weighing (115,000 pounds or less); Assistant Tug Operator.

Class 5. Friction or Lattice Boom Cranes.

Class 6. ROV Pilot, ROV Tender

SURVEY WORKER - Operated survey equipment including data collectors, G.P.S. and robotic instruments, as well as conventional levels and transits.

TRAFFIC SAFETY - work associated with barricades, horses and drums used to reduce lane usage on highway work, the installation and removal of temporary lane markings, and the installation and removal of temporary road signs.

TRUCK DRIVER - BUILDING, HEAVY AND HIGHWAY CONSTRUCTION

Class 1. Two or three Axle Trucks. A-frame Truck when used for transportation purposes; Air Compressors and Welding Machines, including those pulled by cars, pick-up trucks and tractors; Ambulances; Batch Gate Lockers; Batch Hopperman; Car and Truck Washers; Carry-alls; Fork Lifts and Hoisters; Helpers; Mechanics Helpers and Greasers; Oil Distributors 2-man operation; Pavement Breakers; Pole Trailer, up to 40 feet; Power Mower Tractors; Self-propelled Chip Spreader; Skipman; Slurry Trucks, 2-man operation; Slurry Truck Conveyor Operation, 2 or 3 man; Teamsters; Unskilled Dumpman; and Truck Drivers hauling warning lights, barricades, and portable toilets on the job site.

Class 2. Four axle trucks; Dump Crets and Adgetors under 7 yards; Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turnapulls or Turnatrailers when pulling other than self-loading equipment or similar equipment under 16 cubic yards; Mixer Trucks under 7 yards; Ready-mix Plant Hopper Operator, and Winch Trucks, 2 Axles.

Class 3. Five axle trucks; Dump Crets and Adgetors 7 yards and over; Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turnatrailers or turnapulls when pulling other than self-loading equipment or similar equipment over 16 cubic yards; Explosives and/or Fission Material Trucks; Mixer Trucks 7 yards or over; Mobile Cranes while in transit; Oil Distributors, 1-man operation; Pole Trailer, over 40 feet; Pole and Expandable Trailers hauling material over 50 feet long; Slurry trucks, 1-man operation; Winch trucks, 3 axles or more; Mechanic--Truck Welder and Truck Painter.

Class 4. Six axle trucks; Dual-purpose vehicles, such as mounted crane trucks with hoist and accessories; Foreman; Master Mechanic; Self-loading equipment like P.B. and trucks with scoops on the front.

TERRAZZO FINISHER

The handling of sand, cement, marble chips, and all other materials that may be used by the Mosaic Terrazzo Mechanic, and the mixing, grinding, grouting, cleaning and sealing of all Marble, Mosaic, and Terrazzo work, floors, base, stairs, and wainscoting by hand or machine, and in addition, assisting and aiding Marble, Masonic, and Terrazzo Mechanics.

Other Classifications of Work:

For definitions of classifications not otherwise set out, the Department generally has on file such definitions which are available. If a task to be performed is not subject to one of the classifications of pay set out, the Department will upon being contacted state which neighboring county has such a classification and provide such rate, such rate being deemed to exist by reference in this document. If no neighboring county rate applies to the task, the Department shall undertake a special determination, such special determination being then deemed to have existed under this determination. If a project requires these, or any classification not listed, please contact IDOL at 217-782-1710 for wage rates or clarifications.

LANDSCAPING

Landscaping work falls under the existing classifications for laborer, operating engineer and truck driver. The work performed by landscape plantsman and landscape laborer is covered by the existing

classification of laborer. The work performed by landscape operators (regardless of equipment used or its size) is covered by the classifications of operating engineer. The work performed by landscape truck drivers (regardless of size of truck driven) is covered by the classifications of truck driver.

MATERIAL TESTER & MATERIAL TESTER/INSPECTOR I AND II

Notwithstanding the difference in the classification title, the classification entitled "Material Tester I" involves the same job duties as the classification entitled "Material Tester/Inspector I". Likewise, the classification entitled "Material Tester II" involves the same job duties as the classification entitled "Material Tester/Inspector II".

Village Board

Agenda Memorandum

To: Mayor & Village Board

From: George Schafer, Village Administrator
Ralph Pukula, Director of Public Works

Subject: Disposal of Surplus Property

Date: June 27, 2016

BACKGROUND/HISTORY

The Public Works Department is requesting to dispose of surplus property that has outlived its usefulness. This property has outlived the useful life of the equipment and will be utilized as trades in the purchase of a replacement Compact Track Loader.

1993 New Holland L785 Skid Steer S/N# 8322364

2004 Caterpillar Compact Track Loader S/N#CAT0267BTCYC00404

Staff recommends authorization to surplus the Skid Steer and the Track Loader.

RECOMMENDATION:

Pass an ordinance authorizing sale and disposal of surplus Village Property.

**VILLAGE OF LEMONT
ORDINANCE NO. _____**

**AN ORDINANCE AUTHORIZING SALE AND DISPOSAL OF SURPLUS
VILLAGE PROPERTY**

**ADOPTED BY THE
PRESIDENT AND THE BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT
THIS 27th DAY OF JUNE, 2016**

Published in pamphlet form by
Authority of the President and
Board of Trustees of the Village of
Lemont, Counties of Cook, Will and
DuPage, Illinois, this 27th day of June, 2016.

ORDINANCE NO. _____

**AN ORDINANCE AUTHORIZING SALE AND DISPOSAL OF SURPLUS
VILLAGE PROPERTY**

WHEREAS, the Village of Lemont (“Village”) is an Illinois Municipal Corporation pursuant to the Illinois Constitution of 1970 and the Statutes of the State of Illinois;

WHEREAS, the Village has determined according to law that there exists certain personal property owned by the Village that is no longer necessary or useful to the Village and is hereby declared to be surplus property;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COOK, DUPAGE AND WILL COUNTIES, ILLINOIS, as follows:

SECTION 1: The foregoing findings and recitals, and each of them, are hereby adopted as Section 1 of this Ordinance and are incorporated by reference as if set forth verbatim herein.

SECTION 2: That pursuant to Section 11-76-4 of the Illinois Municipal Code, 65 ILCS 5/11-76-4 (the “Code”), the President and Board of Trustees find the following property to be no longer necessary or useful to the Village and is hereby declared surplus property:

- 1993 New Holland L785 Skid Steer S/N# 8322364
- 2004 Caterpillar Compact Track Loader S/N#CAT0267BTCYC00404

SECTION 3: That pursuant to the authority of the Code, the President and Board of Trustees hereby authorize and direct the Village Administrator or his designee to dispose of said surplus property in any manner he sees fit which may include sale of the above property by Public Auction, trade or any other lawful means.

SECTION 4: This Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DUPAGE, ILLINOIS, on this 27th day of June, 2016.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

EXHIBIT C
ORDINANCE NO. _____
AN ORDINANCE RESTRICTING PARKING ALONG
ROADS WITHIN THE VILLAGE OF LEMONT

WHEREAS, the State of Illinois acting by and through its Department of Transportation is desirous of improving Illinois Street, between New Avenue and Main Street, and also Lemont Road, between Cass Street and Bluff Road, in the Village of Lemont; and

WHEREAS, all of this project runs through the Village of Lemont; and

WHEREAS; in order to facilitate the free flow of traffic and ensure safety to the motoring public, the Village of Lemont determines that the parking along portions of Illinois Street, and all of Lemont Road, shall be prohibited.

BE IT ORDAINED BY THE Village Board of the Village of Lemont, Counties of Cook, DuPage, and Will, State of Illinois, as follows:

Section 1. That parking shall not be permitted along Lemont Road, from Cass Street to Bluff Road, and along Illinois Street, from New Avenue to 150 feet east of Lemont Street, and also along Illinois Street, from Julia Street to Main Street, within the limits of the Village of Lemont.

Section 2. That the Village Board of the Village of Lemont will prohibit future parking at such locations on or immediately adjacent to Lemont Road and Illinois Street as may be determined and directed by the State of Illinois to be necessary to ensure the free flow of traffic and safety to the motoring public.

Section 3. The Village Clerk is hereby authorized and directed to attach a copy of this Ordinance to the agreement dated June 27, 2016 by and between the State of Illinois and the Village of Lemont.

Section 4. That this Ordinance shall be in full force and effect from and after its passage and approval according to law.

ADOPTED BY THE Village Board of the Village of Lemont, Counties of Cook, DuPage, and Will, State of Illinois, this 27th day of June, 2016.

VOTE:

AYES:

NAYES:

ABSENT:

APPROVED BY ME THIS 27th
DAY OF JUNE, 2016.

A T T E S T:

Brian K. Reaves, Village President

Charlene Smollen, Village Clerk

Village Board

Agenda Memorandum

To: Mayor & Village Board

From: George Schafer, Village Administrator
Ralph Pukula, Public Works Director

Subject: **Resolutions Authorizing IGA's with the Illinois Department of Transportation for the Lemont Road / Illinois Street project with related Parking Restriction Ordinance**

Date: June 23, 2016

BACKGROUND/HISTORY

The Village was recently made aware that the state will be improving Lemont Road from Bluff to Illinois Street and Illinois Street from New Avenue to Main Street, later this summer. Both sections of roadway are state jurisdiction and such, will be improved by IDOT. The improvements include resurfacing of Lemont Road from Bluff to Illinois (with the exception of the bridge), and resurfacing of Illinois Street with ADA improvements to the ramps at a portion of the intersections. IDOT will be responsible for the majority of the cost of the overall project. When the Village was made aware of the project, staff requested that the state also improve the section from Illinois Street to Cass Street. This section of roadway has been determined by IDOT to be funded solely by the Village of Lemont, since the Village already has maintenance responsibility for this stretch of roadway. In order to move forward with the project and authorize our requested portion of the project, the Village must approve a series of IDOT's standard resolutions and ordinances including an Intergovernmental Agreement for the project, an IGA for the funding of the project, and an ordinance restricting parking on Lemont Rd and Illinois Street, essentially codifying the parking regulations that are existing.

BUDGETARY IMPACT

The Village is responsible for the portion of the Lemont Road project between Illinois Street and Cass Street. The Village is also responsible for the portions of the Illinois Street project in which deal with border parking lanes, per IDOT policy. Because all stretches of roadways are FAU routes, the Village's portion of the project is eligible for federal funds, and the Village has secured the funding from the Southwest Conference of Mayors. The estimated Village portion after applying 80% federal funds is \$35,995. The Village will need to approve a budgetary amendment to include the Village's share in this year's budget

DISCUSSION / RECOMENDATION

The project will provide a significant improvement to these stretches of roadways, at a key gateway into our community. Further, the majority of the project will be constructed and financed by IDOT. As a result, staff is recommending the Village move forward with the IGAs and parking ordinance to authorize the project to move forward. The parking ordinance simply codifies the existing parking regulations along these two roadways.

ACTION REQUIRED

Motion to Approve Resolutions and Ordinance, part of consent agenda.

ATTACHMENTS

1. Ordinance Restricting Parking Along Roads Within the Village of Lemont
2. Resolution Approving Agreement by and Between the State of Illinois and the Village of Lemont and Plan Approval
3. Resolution Approving Funding Agreement to pay Share of Cost Associated with Agreement

FAU Route 1065 & FAU Route 2612
State Section: 2016-018RS
Cook County
Job No. : C-91-036-15
Contract No.: 60Y92
Agreement No.: JN- 116-035

AGREEMENT

This Agreement entered into this 27th day of June, 2016 A.D.,
by and between the STATE OF ILLINOIS, acting by and through its DEPARTMENT
OF TRANSPORTATION hereinafter called the STATE, and the VILLAGE OF
LEMONT of the State of Illinois, hereinafter called the VILLAGE.

WITNESSETH:

WHEREAS, the STATE in order to facilitate the free flow of traffic and ensure safety
to the motoring public, is desirous of improving approximately 8,427 lineal feet of
Illinois Street from New Avenue to Main Street and Lemont Road from Bluff Road to
Illinois Street, FAU Route 1065 & FAU 2612, STATE Section: 2016-018RS, STATE
Job No.: C-91-036-15, State Contract Number: 60Y92 by resurfacing, Illinois Street
from New Avenue to Main Street and Lemont Road/State Street from Bluff Road to
Illinois Street. Additional resurfacing between Illinois and Street and Cass Street will
be included as requested by the Village. Existing parking lanes on Illinois Street will
be included in this resurfacing. This project will also include performing all other
work necessary to complete the improvement in accordance with the approved plans
and specifications; and

WHEREAS, the VILLAGE is desirous of said improvement in that same will be of
immediate benefit to the VILLAGE residents and permanent in nature;

NOW, THEREFORE, in consideration of the mutual covenants contained herein, the parties hereto agree as follows:

1. The STATE agrees to make the surveys, obtain all necessary rights of way, prepare plans and specifications, receive bids and award the contract, furnish engineering inspection during construction and cause the improvement to be built in accordance with the approved plans, specifications and contract.
2. The STATE agrees to pay for all right of way, construction and engineering cost subject to reimbursement by the VILLAGE, as hereinafter stipulated.
3. It is mutually agreed by and between the parties hereto that the estimated cost and cost proration for this improvement is as shown on Exhibit A.
4. The VILLAGE has passed a resolution appropriating sufficient funds to pay its share of the cost for this improvement, a copy of which is attached hereto as "Exhibit B" and made a part hereof.

The VILLAGE further agrees that upon award of the contract for this improvement, the VILLAGE will pay to the STATE in a lump sum from any funds allotted to the VILLAGE, an amount equal to 80% of its obligation incurred under this AGREEMENT, and will pay to said STATE the remainder of the obligation (including any non-participating costs on FA Projects) in a lump sum, upon completion of the project based upon final costs.

5. The VILLAGE further agrees to pass a supplemental resolution to provide necessary funds for its share of the cost of this improvement if the amount appropriated in "Exhibit B" proves to be insufficient, to cover said cost.
6. The VILLAGE has adopted and will put into effect an appropriate ordinance, prior to the STATE's advertising for the proposed work to be performed hereunder, or shall continue to enforce an existing ordinance, requiring that parking be prohibited within the limits of this improvement, a copy of which is attached hereto as "Exhibit C", and will in the future prohibit parking at such locations on or immediately adjacent to this improvement as may be determined necessary by the STATE from traffic capacity studies.
7. The VILLAGE agrees not to permit driveway entrance openings to be made in the curb, as constructed, or the construction of additional entrances, private or commercial, along Illinois Street and Lemont Road without the consent of the STATE.
8. The VILLAGE shall exercise its franchise rights to cause private utilities to be relocated, if required, at no expense to the STATE.
9. The VILLAGE agrees to cause its utilities installed on right of way after said right of way was acquired by the STATE or installed within the limits of a roadway after the said roadway's jurisdiction was assumed by the STATE, to be relocated and/or adjusted, if required, at no expense to the STATE.
10. All VILLAGE owned utilities, on STATE right of way within the limits of this improvement, which are to be relocated/adjusted under the terms of this

Agreement, will be relocated/adjusted in accordance with the applicable portions of the "Accommodation of Utilities of Right of Way of the Illinois State Highway System." (92 Ill. Adm. Code 530).

11. The VILLAGE agrees to obtain from the STATE an approved permit for any VILLAGE owned utility relocated/adjusted as part of this improvement, and shall abide by all conditions set forth therein.
12. Upon final field inspection of the improvement and so long as Illinois Street and Lemont Road are used as STATE Highways, the STATE agrees to maintain or cause to be maintained the median, the through traffic lanes, the left-turn lanes and right turn lanes, and the curb and gutter, stabilized shoulders and ditches adjacent to those traffic lanes and turn lanes.
13. Upon final field inspection of the improvement, the VILLAGE agrees to maintain or cause to be maintained those portions of the improvement which are not maintained by the STATE, including new and existing sidewalks, parking lanes and their adjacent curb and gutter, parkways, guardrails, crosswalk and stopline markings, VILLAGE owned utilities including appurtenances thereto, and shall maintain the storm sewers and appurtenances.
14. The VILLAGE further agrees to continue its existing maintenance responsibilities on all side road approaches under its jurisdiction, including all left and right turn lanes on said side road approaches, up to the through edge of pavement of Illinois Street and Lemont Road. Drainage facilities, if any, at the aforementioned side roads located within the STATE right-of-way shall be the

joint maintenance responsibility of the STATE and the VILLAGE unless there is an agreement specifying different responsibilities.

15. The VILLAGE has adopted a resolution, will send a letter, or sign the Plan Approval page which is part of this document, prior to the STATE advertising for the work to be performed hereunder, approving the plans and specifications as prepared.

16. Under penalties of perjury, the VILLAGE certifies that its correct Federal Tax Identification number is 36-6005968 and it is doing business as a
GOVERNMENTAL ENTITY, whose mailing address is

Village of Lemont
418 Main Street
Lemont, IL 60439

Obligations of the STATE and the VILLAGE will cease immediately without penalty or further payment being required if, in any fiscal year, the Illinois General Assembly or Federal funding source fails to appropriate or otherwise make available funds for this contract.

This AGREEMENT and the covenants contained herein shall be null and void in the event the contract covering the construction work contemplated herein is not awarded within the three years subsequent to execution of the agreement.

This Agreement shall be binding upon and to the benefit of the parties hereto, their successors and assigns.

VILLAGE OF LEMONT

By: _____
(Signature)

By: Brian K. Reaves
(Print or Type)

Title: Village President

Date: June 27, 2016

Attest:

Clerk

(SEAL)

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

By: _____
John Fortmann, P.E.
Region One Engineer

Date: _____

Job No.: C-91-036-15
Agreement No.: JN-116-035

PLAN APPROVAL

WHEREAS, in order to facilitate the improvement of Illinois Street and Lemont Road, known as FAU1065 & FAU 2612, State Section: 2016-018RS, the VILLAGE agrees to that portion of the plans and specifications relative to the VILLAGE's financial and maintenance obligations described herein, prior to the STATE's advertising for the aforescribed proposed improvement.

Approved _____

Title Brian K. Reaves, Village President

Date June 27, 2016

**Contract 60Y92 EXHIBIT A
ESTIMATE OF COST & PARTICIPATION**

	FEDERAL		FEDERAL STP		STATE		VILLAGE OF LEMONT		TOTAL
	\$	%		%	\$	%	\$	%	
All roadway work excluding the following:	\$535,200	80%			\$133,800	20%		N/A%	\$669,000
P&C Engineering (15%)	\$80,280	80%			\$20,070	20%		N/A%	\$100,350
Additional Resurfacing									
Resurfacing. Lemont Rd./State St.- Illinois St. to Cass St.		N/A%	\$96,000	80%		N/A%	\$24,000	20%	\$120,000
P&C Engineering (15%)		N/A%	\$14,400	80%		N/A%	\$3,600	20%	\$18,000
Parking Lane Resurfacing (Illinois St.)	\$40,800	80%			\$5,100	10%	\$5,100	10%	\$51,000
P&C Engineering (15%)	\$6,120	80%			\$765	10%	\$765	10%	\$7,650
Parking Lane Patching (Illinois Street)	\$8,800	80%				N/A%	\$2,200	20%	\$11,000
P&C Engineering (15%)	\$1,320	80%				N/A%	\$330	20%	\$1,650
TOTAL	\$672,520		\$110,400		\$159,735		\$35,995		\$978,650

Note: The Local Agency's participation shall be predicated upon the percentages shown above for the specified work. The Local Agency's cost shall be determined by multiplying the final quantities times contract unit price plus 15% for construction and preliminary engineering.

"Exhibit B"
FUNDING RESOLUTION

WHEREAS, the Village of Lemont has entered into an AGREEMENT with the STATE OF ILLINOIS for the improvement of Illinois Street from New Avenue to Main Street and Lemont Road from Bluff Road to Illinois Street known as State Section; 2016-018RS and

WHEREAS, in compliance with the aforementioned AGREEMENT, it is necessary for the VILLAGE to appropriate sufficient funds to pay its share of the cost of said improvement.

NOW THEREFORE, BE IT RESOLVED, that there is hereby appropriated the sum of Thirty Five Thousand Nine Hundred Ninety Five(\$35,995) or so much thereof as may be necessary, from any money now or hereinafter allotted to the VILLAGE to pay its share of the cost of this improvement as provided in the AGREEMENT; and

BE IT FURTHER RESOLVED, that upon award of the contract for this improvement, the VILLAGE will pay to the STATE in a lump sum from any funds allotted to the VILLAGE, an amount equal to 80% of its obligation incurred under this AGREEMENT, and will pay to said STATE the remainder of the obligation in a lump sum, upon completion of the project based on final costs..

BE IT FURTHER RESOLVED, that the VILLAGE agrees to pass a supplemental resolution to provide any necessary funds for its share of the cost of this improvement if the amount appropriated herein proves to be insufficient, to cover said cost.

STATE OF ILLINOIS)
COUNTY OF COOK)

I, Charlene Smollen, Village Clerk in and for the Village of Lemont

hereby certify the foregoing to be a true perfect and complete copy of the resolution adopted by
the President and Board of Trustees at a meeting on June 27, 2016 A.D.

IN TESTIMONY WHEREOF, I have hereunto set my hand seal this 27th day of
June, 2016 A.D.

Village Clerk

(SEAL)

Resolution No. _____

**FUNDING RESOLUTION FOR
STATE JOB NO.: C-91-036-15, STATE CONTRACT NUMBER: 60Y92**

WHEREAS, the Village of Lemont has entered into an AGREEMENT with the STATE OF ILLINOIS for the improvement of Illinois Street from New Avenue to Main Street and Lemont Road from Bluff Road to Illinois Street known as State Section; 2016-018RS and

WHEREAS, in compliance with the aforementioned AGREEMENT, it is necessary for the VILLAGE to appropriate sufficient funds to pay its share of the cost of said improvement.

NOW THEREFORE, BE IT RESOLVED, that there is hereby appropriated the sum of Thirty Five Thousand Nine Hundred Ninety Five(\$35,995) or so much thereof as may be necessary, from any money now or hereinafter allotted to the VILLAGE to pay its share of the cost of this improvement as provided in the AGREEMENT; and

BE IT FURTHER RESOLVED, that upon award of the contract for this improvement, the VILLAGE will pay to the STATE in a lump sum from any funds allotted to the VILLAGE, an amount equal to 80% of its obligation incurred under this AGREEMENT, and will pay to said STATE the remainder of the obligation in a lump sum, upon completion of the project based on final costs.

BE IT FURTHER RESOLVED, that the VILLAGE agrees to pass a supplemental resolution to provide any necessary funds for its share of the cost of this improvement if the amount appropriated herein proves to be insufficient, to cover said cost.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL AND DUPAGE, ILLINOIS on this 27th day of June, 2016.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

Village Board

Agenda Memorandum

To: Mayor & Village Board

From: George Schafer, Village Administrator
Ralph Pukula, Director of Public Works
Randy Earnest, Operations Division Manager

Subject: Adopt a resolution authorizing the purchase of a track loader

Date: June 27, 2016

BACKGROUND/HISTORY:

During the FY17 capital equipment budget discussion, staff discussed the need to a replacement loader. The existing loader needs substantial repairs and has outlived its useful life. The amount budgeted for the loader is \$60,000.

DISCUSSION:

Public Works reached out to John Deere for manufacturing pricing per the NJPA Cooperative Contract it has with the State of Illinois. The amount of the quote, less trade-ins, is \$50,207.47. Public Works has successfully used John Deere and this type of pricing in the past.

RECOMMENDATION:

Adopt the attached resolution authorizing the purchase of a track loader.

Resolution No. _____

A Resolution Approving the Purchase of a John Deere Compact Truck Loader

WHEREAS, it is necessary for the Village of Lemont (“Village”) to purchase a Compact Track Loader; and

WHEREAS, the Village has participated in a national bid from the National Joint Powers Alliance (“NJPA”); and

WHEREAS, the NJPA is a public agency authorized to participate in the Illinois Intergovernmental Cooperation Act, 5 ILCS 220/1 *et. seq.*); as is the Village of Lemont; and

WHEREAS, the NJPA bids on materials nationwide on behalf of municipalities which provides lower costs for goods to municipal purchasers by allowing the leverage of volume pricing and purchase of materials directly from the manufacturers of certain products; and

WHEREAS, the Village Board has determined that it is advisable, necessary and in the best interests of the Village to accept the NJPA’s competitive bidding process and authorize the purchase of the John Deere Compact Track Loader directly from the manufacturer at a price not to exceed \$50,207.47.

NOW THEREFORE, BE IT RESOLVED BY THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COOK, WILL & DU PAGE COUNTIES, ILLINOIS that:

SECTION ONE: Incorporation of Recitals. The foregoing findings and recitals are hereby adopted as Section One of this Resolution and are incorporated by reference as if set forth verbatim herein.

SECTION TWO: Acceptance of Public Bid Requirements and Authority to Purchase. The Village Board hereby accepts the competitive bidding provided by NJPA to purchase the John Deere Compact Track Loader directly from the manufacturer at a price not to exceed \$50,207.47.

SECTION THREE: The Village Administrator or his designee is hereby authorized to execute any documents and take any other steps necessary to purchase the John Deere Compact Track Loader directly from the manufacturer at a price not to exceed \$50,207.47, and to otherwise carry out this Resolution.

SECTION FOUR: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL AND DUPAGE, ILLINOIS on this 27th day of June, 2016.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

Village Board

Agenda Memorandum

To: Mayor & Village Board

From: George Schafer, Village Administrator
Ralph Pukula, Director of Public Works

Subject: Adopt a resolution authorizing Crawford, Murphy and Tilly to perform special inspections required by IDOT on the Derby Road Bridge

Date: June 27, 2016

BACKGROUND/HISTORY:

On October 20, 2015 a concrete truck damaged the Village of Lemont's Derby Street Bridge. Following this incident staff requested a quote from Crawford, Murphy and Tilly to perform necessary "special inspections" required by the IDOT. The quote received was \$14,600.

DISCUSSION:

During the months of October-February Crawford, Murphy and Tilly performed initial inspections, three IDOT required monthly inspections, coordination with IDOT and additional scope items. As such this vendor has reached the \$14,600. Staff is requesting that the Board approve the resolution for Crawford, Murphy and Tilly to continue with the monthly inspections until the bridge repair begins. The additional work is estimated to cost \$14,000.

RECOMMENDATION:

Adopt a resolution authorizing Crawford, Murphy and Tilly to perform special inspections required by IDOT on the Derby Road Bridge.

Resolution No. _____

A Resolution Approving a Professional Services Agreement with Crawford, Murphy & Tilly, Inc.

WHEREAS, the President and Board of Trustees desire to enter into a Professional Services Agreement with Crawford, Murphy & Tilly, Inc for engineering services for the inspection of a bridge located within the corporate limits of the Village (“Agreement”); and

WHEREAS, the President and Board of Trustees believe it is in the best interests of the health, safety and welfare of the Village to enter into an Agreement in substantially the same form as the draft agreement attached as Exhibit A or as otherwise agreed upon by the Village’s Attorney and Crawford, Murphy & Tilly, Inc; and

BE IT RESOLVED by the Village President and Board of Trustees of the Village of Lemont as follows:

SECTION ONE: The foregoing findings and recitals, and each of them, are hereby adopted as Section One of this Resolution and are incorporated by reference as if set forth verbatim herein

SECTION TWO: An Agreement is hereby approved, subject to the Village Attorney’s approval who shall be authorized to negotiate and make any changes to the draft agreement, except material changes that increase or decrease the scope of the services offered by Crawford, Murphy & Tilly, Inc., or increase any costs to the Village.

SECTION THREE: Upon the Village Attorney’s approval, the Village Administrator is authorized to execute an agreement, for an amount not exceed a total \$28,600.00, and to make minor changes to the document prior to execution which does not materially alter the Village’s obligations, and to take any other steps necessary to carry out this Resolution. Should the terms

of an agreement not be agreed upon by the Village Attorney and Crawford, Murphy & Tilly, Inc., the Village Administrator is authorized to cease negotiations.

SECTION FOUR: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL AND DUPAGE, ILLINOIS on this 27th day of June 27, 2016.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

EXHIBIT A

Professional Services Agreement with Crawford, Murphy & Tilly, Inc.



February 5, 2016

Mr. Ralph Pukula
Public Works Director
Village of Lemont
418 Main Street
Lemont, Illinois 60439

**Re: Derby Road Bridge
Amendment 1 - Monthly Inspection and Coordination**

Dear Mr. Pukula:

Following the October 20, 2015 damage to the Derby Road Bridge, CMT has completed engineering tasks under our agreement for \$14,600 (copy attached). The work included the initial inspection on the day of the collision, a detailed inspection of the damage, three IDOT required monthly inspections, coordination with IDOT and additional scope items including coordination with the village and coordination with the netting contractor. As such we have reached the maximum fee of the agreement.

IDOT requires monthly inspections until bridge repaired begins and we anticipate monthly effort for tasks such as coordination with IDOT, the village and the upcoming netting contractor. We estimate the effort for the monthly special inspection at ten hours per month and effort for miscellaneous coordination at four hours per month. These hours correspond to an engineering fee range of \$1,300 to \$2,000 per month. The attached fee estimate shows the monthly effort breakdown.

We anticipate this monthly engineering effort will be required until the bridge repair begins. When the bridge repair is completed a final inspection and close out paper work is required. We anticipate seven additional months of inspections, which is the schedule we discussed for completing the bridge repairs.

We are requesting an amendment for an amount of \$14,000 (7 months x \$2,000 per month) resulting in an updated total not-to-exceed contract amount of \$28,600. After 7 months, we can reevaluate the schedule and to determine if additional effort is required. If acceptable, please sign below and return to Chris Dagiantis.

Please call if you have questions or would like to discuss the scope of work or fee. On behalf the staff at Crawford, Murphy & Tilly, thank you for the opportunity to provide engineering services to the Village.

Derby Road Bridge
Amendment 1 - Monthly Inspection and Coordination
February 2016

Sincerely,

CRAWFORD, MURPHY & TILLY, INC.



Theresa L. O'Grady, P.E.
Group Manager

Encl. Current Engineering Agreement
 Engineering Fee Estimate for Amendment (per month)

If this is amendment is acceptable, please sign below.

Robert Paul 4-18-16

CRAWFORD, MURPHY & TILLY, INC.
 CONTRACT AMENDMENT - 2016 PROFESSIONAL SERVICES COST ESTIMATE
 CLIENT Village of Lemont, Illinois
 PROJECT NAME Derby Road Bridge - Initial Special Inspection (S.N. 016-7357)
 CMT JOB NO. CMT Job No. 15211-01-01

Prep By: CPD
 DATE: 02/05/16
 Apprvd: TLO
 DATE: 02/05/16

TASK NO.	TASKS \ CLASSIFICATIONS	PRINCIPAL	SENIOR PROJECT ENGINEER / MANAGER	PROJECT ARCHITECT	PROJECT MANAGER	LAND SURVEYOR	SENIOR ENGINEER	SENIOR ARCHITECT	SENIOR ENGINEER MANAGER	SENIOR TECHNICAL	GIS SPECIALIST	SENIOR PLANNER	ARCHITECT	ENGINEER	SENIOR TECHNICIAN	TECHNICAL PLANNER	TECHNICIAN MGR	TECHNICIAN II	TECHNICIAN I	ADMIN ASSISTANT	ACCOUNTANT	MAN HOURS & LABOR SUMMARY	TOTAL
1	Monthly Special Inspection - Field Work						4							4									8
2	Monthly Special Inspection - Office					1																	2
3	General Coordination/Consulting					3		2															5
4																							
5																							
6																							
7																							
8																							
9																							
10																							
11																							
12																							
13																							
14																							
15																							
	TOTAL MAN HOURS					4		7						4									15
	SUBTOTAL - BASE LABOR EFFORT					\$620		\$910						\$440									\$1,970
TASKS (CONTINUED)		TOTAL LABOR EFFORT	DIRECT EXPENSE & REIMBURSABLES										TOTAL EXPENSE	TOTAL FEE									
			TRAVEL MILEAGE	MEALS & LODGING	PRINTING	EQUIP- MENT	MISC	SURVEY MTL	SUBS	SUBS ADMIN	OTHER EXP	OTHER EXP											
1	Monthly Special Inspection - Field Work	\$960	\$30																			\$30	\$990
2	Monthly Special Inspection - Office	\$285																					\$285
3	General Coordination/Consulting	\$725																					\$725
4																							
5																							
6																							
7																							
8																							
9																							
10																							
11																							
12																							
13																							
14																							
15																							
	TOTALS	\$1,970	\$30																			\$30	\$2,000
	TIME PERIOD OF PROJECT	2016	2017	2018	2019	TOTAL	EST % OF OT HRS INCLUDED ABOVE					15%		MULTI-YEAR + OT									
	PERCENTAGE OF WORK TO BE PERFORMED BY YEAR	100%				100%	AVERAGE OVERTIME RATE PREMIUM							MLTPLR & AMT									
	WEIGHTING FACTOR FOR 5% ANNUAL ADJUSTMENT	1.0000				1.0000	OT ADJUSTMENT FACTOR							1.0000									
	ESTIMATED CONTINGENCY																						
	ROUNDING																						
	TOTAL FEE						MATH CROSS CHECK IS OK											\$2,000					



November 5, 2015

Mr. Ralph Pukula
Public Works Director
Village of Lemont
418 Main Street
Lemont, Illinois 60439

**Re: Derby Road Bridge
Damage Inspection and Report**

Dear Mr. Pukula:

Following the October 20, 2105 impact of Derby Road Bridge by a concrete truck, enclosed find our proposal outlining the scope of work and proposed cost. The scope includes the initial inspection on October 20, 2015, the detailed inspection on October 23, 2015, and the subsequent reporting items including the IDOT required "Special Inspection" form. We have included a description of the anticipated engineering process and effort for six monthly Special Inspections as required by IDOT. Additional inspections may be required by IDOT as long as the structure remains in the damaged condition.

We propose to inspect the bridges and provide documentation for a fee of \$14,600.

Please call if you have questions or would like to discuss the scope of work or fee. On behalf the staff at Crawford, Murphy & Tilly, thank you for the opportunity to provide engineering services to the Village.

Sincerely,

CRAWFORD, MURPHY & TILLY, INC.

A handwritten signature in black ink that reads "Theresa L. O'Grady, P.E.".

Theresa L. O'Grady, P.E.
Group Manager

Encl.- Engineering Proposal

STANDARD AGREEMENT FOR PROFESSIONAL SERVICES

THIS AGREEMENT made between Village of Lemont, whose address is 418 Main Street, Lemont, IL 60439-3788 hereinafter called the **CLIENT** and Crawford, Murphy & Tilly, Inc., Consulting Engineers, 2750 West Washington Street, Springfield, Illinois 62702, hereinafter called the **ENGINEER**.

WITNESSETH, that whereas the **CLIENT** desires the following described professional engineering, land surveying or architectural services:

Inspection and report of the Derby Road Bridge as described in Exhibit A – Scope for Derby Road Bridge Damage Inspection and Report.

NOW THEREFORE, the **ENGINEER** agrees to provide the above described services and the **CLIENT** agrees to compensate the **ENGINEER** for these services in the manner checked below:

On a time and expense basis in accordance with the attached Schedule of Hourly Charges which is subject to change at the beginning of each calendar year. Reimbursable direct expenses will be invoiced at cost. Professional or Subconsultant services performed by another firm will be invoiced at cost plus ten percent.

At the lump sum amount of \$_____.

IT IS MUTUALLY AGREED THAT, payment for services rendered shall be made monthly in accordance with invoices rendered by the **ENGINEER**.

IT IS FURTHER MUTUALLY AGREED:

Services shall be performed according to Exhibit A – Scope for Derby Road Bridge Damage Inspection and Report for a total amount not to exceed \$14,600, unless authorized by the owner.

The **CLIENT** and the **ENGINEER** each binds himself, his partners, successors, executors, administrators and assignees to each other party hereto in respect to all the covenants and agreements herein and, except as above, neither the **CLIENT** nor the **ENGINEER** shall assign, sublet or transfer any part of his interest in this **AGREEMENT** without the written consent of the other party hereto. This **AGREEMENT**, and its construction, validity and performance, shall be governed and construed in accordance with the laws of the State of Illinois. This **AGREEMENT** is subject to the General Conditions attached hereto.

IN WITNESS WHEREOF, the parties hereto have affixed their hands and seals this ____ day of ____, 2015.

CLIENT:

Village of Lemont
(Client Name)

Ralph W. Pokula
(Signature)

Ralph W. Pokula, Public Works Director
(Name and Title)

ENGINEER:

CRAWFORD, MURPHY & TILLY, INC.

John J. O'Boyle, P.E.
(Signature)

Theresa O'Boyle - Account Mgr.
(Name and Title) Manager

CMT Job No. 15211-01-01

STANDARD GENERAL CONDITIONS
Crawford, Murphy & Tilly, Inc.

1. Standard of Care

In performing its professional services hereunder, the **ENGINEER** will use that degree of care and skill ordinarily exercised, under similar circumstances, by members of its profession practicing in the same or similar locality. No other warranty, express or implied, is made or intended by the **ENGINEER'S** undertaking herein or its performance of services hereunder.

2. Reuse of Document

All documents including Drawings and Specifications prepared by **ENGINEER** pursuant to this Agreement are instruments of service. They are not intended or represented to be suitable for reuse by **CLIENT** or others on extensions of the Project or on any other project. Any reuse without written verification or adaptation by **ENGINEER** for the specific purpose intended will be at **CLIENT'S** sole risk and without liability or legal exposure to **ENGINEER**; and **CLIENT** shall indemnify and hold harmless **ENGINEER** from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom.

3. Termination

This Agreement may be terminated by either party upon seven days prior written notice. In the event of termination, the **ENGINEER** shall be compensated by the client for all services performed up to and including the termination date, including reimbursable expenses, and for the completion of such services and records as are necessary to place the **ENGINEER'S** files in order and/or to protect its professional reputation.

4. Parties to the Agreement

The services to be performed by the **ENGINEER** under this Agreement are intended solely for the benefit of the **CLIENT**. Nothing contained herein shall confer any rights upon or create any duties on the part of the **ENGINEER** toward any person or persons not a party to this Agreement including, but not limited to any contractor, subcontractor, supplier, or the agents, officers, employees, insurers, or sureties of any of them.

5. Construction and Safety

The **ENGINEER** shall not be responsible for the means, methods, procedures, techniques, or sequences of construction, nor for safety on the job site, nor shall the **ENGINEER** be responsible for the contractor's failure to carry out the work in accordance with the contract documents.

6. Payment

Payment for services rendered shall be made monthly in accordance with invoices rendered by the **ENGINEER**. If payment is to be on a lump sum basis, monthly payments will be based on the portion of total services completed during the month. Invoices, or any part thereof, which are not paid within 30 days after the date of issue shall bear interest at the rate of 1-1/2% for each month or fraction thereof from the date 30 days after issue to time of payment. **CLIENT** will pay on demand all collection costs, legal expenses and attorneys' fees incurred or paid by **ENGINEER** in collecting payment, including interest, for services rendered.

7. Indemnification for Release of Pollutants

If this project does not involve pollutants, this provision will not apply. This provision may not be deleted if the project involves pollutants.

If, due to the nature of the service covered under this Agreement including the potential for damages arising out of the release of pollutants, **CLIENT** agrees that in the event of one or more suits or judgments against **ENGINEER** in favor of any person or persons, or any entity, for death or bodily injury or loss of or damage to property or for any other claimed injury or damages arising from services performed by **ENGINEER**, **CLIENT** will indemnify and hold harmless **ENGINEER** from and against liability to **CLIENT** or to any other persons or entities irrespective of Engineer's compensation and without limitation. It is understood that the total aggregate liability of **ENGINEER** arising from services performed by **ENGINEER** shall in no event exceed \$50,000 or the total compensation received under this agreement whichever is greater, no matter the number of or amount of such claims, suits, or judgments.

8. Risk Allocation

The total liability, in the aggregate, of the **ENGINEER** and **ENGINEER'S** officers, directors, employees, agents and consultants, and any of them, to **CLIENT** and anyone claiming by, through or under **CLIENT**, for any and all injuries, claims, losses, expenses or damages arising out of the **ENGINEER'S** services, the project or this agreement, including but not limited to the negligence, errors, omissions, strict liability or breach of contract of **ENGINEER** or **ENGINEER'S** officers, directors, employees, agents or consultants, or any of them, shall not exceed the total compensation received by **ENGINEER** under this agreement, or the total amount of \$50,000, whichever is greater.

CRAWFORD, MURPHY & TILLY, INC.
STANDARD SCHEDULE OF HOURLY CHARGES
EFFECTIVE JANUARY 1, 2015

Classification	Regular Rate Per Hour	Overtime Rate Per Hour
Principal	\$ 190	\$ 190
Senior Project Engineer/Manager	\$ 180	\$ 180
Project Engineer/Manager/Architect	\$ 145	\$ 145
Senior Engineer/Architect	\$ 125	\$ 145
Senior Technical Manager	\$ 115	\$ 135
Senior Planner/GIS Specialist	\$ 110	\$ 130
Engineer/Architect	\$ 105	\$ 125
Planner/Technical Manager	\$ 75	\$ 90
Land Surveyor	\$ 125	\$ 145
Senior Technician	\$ 110	\$ 130
Technician II	\$ 90	\$ 110
Technician I	\$ 75	\$ 90
Administrative Assistant/Accountant	\$ 50	\$ 60

If the completion of services on the project assignment requires work to be performed on an overtime basis, overtime rates will apply and the fee will be adjusted to include the additional premium costs. These rates are subject to change upon reasonable and proper notice. In any event this schedule will expire and be superseded by a new schedule on or about January 1, 2016.

To the amount charged at rates shown will be added the actual cost of blueprints, supplies, transportation and subsistence and other miscellaneous job related expenses directly attributable to the performance of services. A usage charge will be made when flow monitoring, sampling or level recording equipment, nuclear density equipment, GPS equipment, robotic total station or other similar specialized equipment are used directly on assignments.

Professional or Subconsultant services furnished to the Crawford, Murphy & Tilly, Inc. by another company shall be invoiced at actual cost plus ten percent.

EXHIBIT A

Scope for Derby Road Bridge Damage Inspections and Reports

Village of Lemont
Cook County, Illinois

S.N. 016-7357 Derby Road over Pine Needles Drive

SCOPE FOR DERBY ROAD BRIDGE DAMAGE INSPECTION AND REPORTS VILLAGE OF LEMONT, ILLINOIS

INTRODUCTION

On October 20, 2015 the Village of Lemont contacted Crawford, Murphy & Tilly, Inc. regarding the bridge carrying Derby Road over Pine Needles Drive. The bridge was struck by a concrete truck and visible damage was evident. On this day, CMT visited the site and performed a cursory inspection. On the basis of the site observations, CMT has coordinated with IDOT to determine the minimum anticipated process for addressing collision damage to a structure on the Illinois transportation network. Additionally, CMT has completed the minimum necessary formal inspection and report of the bridge damage per verbal authorization from the Village. The following scope details the estimated effort of the initial basic steps in the process of repairing a damaged structure.

It should be noted that there may be many additional engineering related unknowns in the process at this time. Therefore, the most prudent step at this time is for CMT to provide an engineering estimate of the initial formal Special Inspection in accordance with IDOT bridge inspection guidelines.

ANTICIPATED ENGINEERING PROCESS

The engineering process for addressing the damages and restoration of the integrity of the structure, as understood from discussions with IDOT is *anticipated* to include the following items. Please note that despite many unknowns, the anticipated process is also dependent on the type of funding. Therefore, a generic process is outlined to depict what would be considered a typical municipally funded public works project.

- a. Preparation and submittal of an initial **Special Inspection (SI) form** consistent with IDOT and National Bridge Inventory Standards (NBIS) requirements.
- b. **Load rating** of the damaged structure (often performed by IDOT).
- c. **Posting of signs** and other requirements as may be established by IDOT *following the load rating of the damaged bridge*. Signs may consist of "No Special Permit Loads," and or limiting vehicle loading in terms of number of allowable truck axles or overall allowable tonnage of a truck or special vehicle.
- d. Preparation of a **Bridge Condition Report** (consistent with IDOT requirements and procedures). A Bridge Condition Report (BCR) is normally the next document that is prepared for submittal to IDOT. The BCR is not only a general (not forensic) report on the condition of the bridge, but this report includes the specific minimum scope of repairs to be included in the construction documents. The BCR also includes an engineer's estimate of probable construction cost of a conventional repair.
- e. A **Project Development Report** (PDR) would be required if MFT, State or Federal funds are utilized.
- f. Preparation of preliminary and final **Plans Specifications and Estimate of Cost** (PS&E's) for construction.

SCOPE FOR DERBY ROAD BRIDGE DAMAGE INSPECTION AND REPORTS VILLAGE OF LEMONT, ILLINOIS

- g. Post construction **load rating** of the rehabilitated structure in accordance with NBIS requirements.

A. SCOPE (described for Item a above)

- 1. Initial site visit on day of damage notification.
- 2. IDOT coordination - Discussions with Bridge Office and IDOT District 1.
- 3. Conduct the first formal detailed "Special Inspection" site visit (2 qualified bridge inspection engineers).
- 4. Prepare and submit Special Inspection "SI" Form & Exhibits of Beam Cracks.
- 5. Special Inspections (five hours per each, one engineer):
 - a. Required by IDOT on 1 month intervals.
 - b. Assume **6 Special Inspections** (November 2015 – April 2016).
 - c. Visit site, conduct inspection, complete and submit forms to Village and IDOT.
 - d. If a protective fabric shield is installed to capture other loose concrete pieces, CMT would request assistance from Lemont Public Works to temporarily remove one face of the protective shield for visual inspections.

B. DELIVERABLES

The following deliverables will be prepared:

- 1. Special Investigation "SI" Form to IDOT – Including appropriate photos, exhibits and summary text.
- 2. Monthly Special Inspection (SI) forms, including photos and exhibits as deemed necessary and summary text.

C. NOTES/ASSUMPTIONS

- 1. Simple non-destructive testing inspection techniques (such as visual inspections and sounding surfaces with a hammer) will be utilized. This service does not include:
 - a. Taking any cores or concrete testing.
 - b. Use of ground penetrating radar, infrared thermography.
 - c. Other specialty non-destructive or semi-destructive testing.
- 2. Not included are preparation of follow-up items that may be required by IDOT such as:
 - a. Performing a load rating of the damaged structure (should be by IDOT),
 - b. Preparation of signing plans if special load posting is required from the load rating,
 - c. Preparation of Bridge Condition Report (BCR) per DOT standard format,
 - d. Investigation of unique or experimental methods of structure repair,
 - e. Preparation of a Project Development Report (dependent on funding utilized),
 - f. Preparation of detailed plans, specifications and cost estimate for repair,
 - g. Researching funding options,

**SCOPE FOR DERBY ROAD BRIDGE DAMAGE INSPECTION AND REPORTS
VILLAGE OF LEMONT, ILLINOIS**

- h. Construction phase services,
- i. Coordination with parties or entities other than IDOT or Village of Lemont,
- j. Attendance at meetings, preparing other estimates of cost outside the anticipated engineering process described for the Bridge Condition Report.
- k. Additional monthly Special Inspections will be required as long as the structure remains in the damaged state.
- l. Other tasks that may be required by IDOT or others.

D. ESTIMATE OF DIRECT COST

1. Travel mileage, round trip between Aurora and Lemont.
2. Digital photographs and deliverables in Adobe Acrobat.
3. Two hard copies of report and pdfs deliverable.

CRAWFORD, MURPHY & TILLY, INC.
CONTRACT ATTACHMENT - EXHIBIT B- 2015 PROFESSIONAL SERVICES COST ESTIMATE
 CLIENT Village of Lemont
 PROJECT NAME Derby Road Bridge - Initial Special Inspection
 CMT JOB NO. 15211-01-01

Prep By CPD
 DATE 11/04/15

Apprvd TLO
 DATE 11/04/15

TASK NO.	TASKS \ CLASSIFICATIONS	PRINCIPAL	SR. PROJECT ENGR MANAGER	PROJECT ARCHITECT MANAGER	SENIOR ENGINEER ARCHITECT	SENIOR ENGINEER ARCHITECT	SENIOR TECHNICAL MANAGER	ENGINEER ARCHITECT	LAND SURVEYOR	SENIOR TECHNICAL GIS SPECIALIST	SENIOR PLANNER PLANNER	TECHNICAL MGR PLANNER	TECHNICIAN II	TECHNICIAN I	ADMIN ASSISTANT ACCOUNTANT	LABOR SUMMARY	MAN HOURS & LABOR SUMMARY	TOTAL
CURRENT YEAR 2015 HOURLY RATES		\$190	\$180	\$145	\$125	\$115	\$105	\$125	\$110	\$75	\$90	\$75	\$50					
1	Initial site visit				4													4
2	IDOT Coordination		7		2													9
3	Detailed Site Visit				18													18
4	Prepare Special Inspection Form / Exhibit / Summary		1		6		12											19
5	Special Inspections (Assume 6)		3		36													39
6	QAQC		6															6
7	Project Management			6														6
8																		
9																		
10																		
11																		
12																		
13																		
14																		
15																		
TOTAL MAN HOURS			17	6	66		12											101
SUBTOTAL - BASE LABOR EFFORT			\$3,060	\$870	\$8,250		\$1,260											\$13,440
TASKS (CONTINUED)		DIRECT EXPENSE & REIMBURSABLES																
1	Initial site visit	\$500	\$50															\$550
2	IDOT Coordination	\$1,510																\$1,510
3	Detailed Site Visit	\$2,250	\$50															\$2,300
4	Prepare Special Inspection Form / Exhibit / Summary	\$2,190																\$2,190
5	Special Inspections (Assume 6)	\$5,040	\$300															\$5,340
6	QAQC	\$1,080																\$1,080
7	Project Management	\$870																\$870
8																		
9																		
10																		
11																		
12																		
13																		
14																		
15																		
TOTALS		\$13,440	\$400															\$13,840
TIME PERIOD OF PROJECT		2015	2016	2017	2018	TOTAL	EST % OF OT HRS INCLUDED ABOVE							MULTI-YEAR + OT				
PERCENTAGE OF WORK TO BE PERFORMED BY YEAR		70%	30%			100%	AVERAGE OVERTIME RATE PREMIUM						20%	MLTPLR & AMT				
WEIGHTING FACTOR FOR 5% ANNUAL ADJUSTMENT		0.7000	0.3150			1.0150	OT ADJUSTMENT FACTOR							1.0150				
ESTIMATED CONTINGENCY																		4%
ROUNDING																		
TOTAL FEE		MATH CROSS CHECK IS OK														\$14,600		

ADDENDUM TO STANDARD AGREEMENT FOR PROFESSIONAL SERVICES

This Addendum (“Addendum”) is made to the pre-printed form of that certain “Standard Agreement for Professional Services” by and between Village of Lemont (“**CLIENT**”), and Crawford, Murphy & Tilly, Inc., (“**ENGINEER**”), and the pre-printed “Standard General Conditions” attached to same (collectively, the “Agreement”). This Addendum modifies and supplements the Agreement. In the event of any conflict between a provision of the Agreement and this Addendum, the provision of this Addendum shall control. **CLIENT** and **ENGINEER** are sometimes hereinafter referred to individually as a “Party” and together as the “Parties.”

Standard Agreement for Professional Services

1. The following sentence shall be revised as follows:

“**IT IS MUTUALLY AGREED THAT**, payment for services rendered shall be made monthly in accordance with invoices rendered by the **ENGINEER**. Payments due and unpaid under the Agreement, and any penalties associated with the same, shall be paid in accordance with the provisions of the Illinois Local Government Prompt Payment Act, 50 ILCS 505/1 *et seq.*”

Standard General Conditions

1. Section 3. Termination is revised as follows:

“This Agreement may be terminated by either Party upon seven days prior written notice. In the event of termination, the **ENGINEER** shall be compensated by the **CLIENT** for all services authorized and actually performed up and including the termination date, including reasonable reimbursable expenses actually incurred by **ENGINEER**.”

2. Section 6. Payment is revised as follows:

“Payment for services rendered shall be made monthly in accordance with invoices rendered by the **ENGINEER**. Payments due and unpaid under the Agreement, and any penalties associated with the same, shall be paid in accordance with the provisions of the Illinois Local Government Prompt Payment Act, 50 ILCS 505/1 *et seq.*”

3. Section 7. Indemnification for Release of Pollutants is stricken in its entirety and replaced with the following:

Section 7. Indemnification

To the fullest extent permitted by law, CONSULTANT shall indemnify and hold harmless CLIENT, and its officials, officers, employees and agents (collectively, the “CLIENT Group”) against and from any and all liabilities, claims, losses, costs, damages and expenses of every nature whatsoever, including without limitation reasonable attorneys' and paralegal fees (collectively, “Claims”), suffered, incurred or sustained by

any member of the CLIENT Group, including without limitation liabilities for the death of or injury to any person or the loss, destruction, or theft of or damage to any property, relating directly or indirectly to, or arising directly or indirectly from, the performance by CONSULTANT, or any other person acting on its behalf or with its authority or permission, of any of its obligations under this Agreement, except to the extent such Claims arise by reason of the negligence or willful misconduct of a member of the CLIENT Group.

To the fullest extent permitted by law, CLIENT shall indemnify and hold harmless CONSULTANT, and its officers, directors, employees and agents (collectively, the "CONSULTANT Group") against and from any and all liabilities, claims, losses, costs, damages and expenses of every nature whatsoever, including without limitation reasonable attorneys' and paralegal fees (collectively, "Claims"), suffered, incurred or sustained by any member of the CONSULTANT Group, including without limitation liabilities for the death of or injury to any person or the loss, destruction, or theft of or damage to any property, relating directly or indirectly to, or arising directly or indirectly from, the performance by CLIENT, or any other person acting on its behalf or with its authority or permission, of any of its obligations under this Agreement, except to the extent such Claims arise by reason of the negligence or willful misconduct of a member of the CONSULTANT Group.

4. Section 8. Risk Allocation is stricken in its entirety.
5. Notwithstanding anything to the contrary in the Agreement, **ENGINEER** shall not be entitled to reimbursement from **CLIENT** for subsistence, meal allowance, or lodging, and all references thereto or therefor are stricken in their entirety. All other job related reimbursable expenses must be reasonable, necessary and directly attributable to the services being performed under this Agreement.
6. Notwithstanding anything to the contrary in the Agreement, **ENGINEER** shall not be entitled to overtime unless specifically authorized in writing in advance by the **CLIENT**. The **ENGINEER** shall not be entitled to any payment for overtime necessitated by the failure of the **ENGINEER** to perform the services in accordance with the Agreement including without limitation to the **ENGINEER's** failure to perform the services diligently and on an uninterrupted basis and with a sufficient workforce so as to achieve completion of the services within the time and in the manner contemplated by the Agreement, or otherwise due to the fault of the **ENGINEER**. In such instances if the **CLIENT** requires the **ENGINEER** to perform services on an overtime basis, all costs for and associated with such overtime shall be borne by the **ENGINEER**.
7. Insert new Section 9. Insurance.

ENGINEER agrees to provide and keep in force at all times during this Agreement, at its sole cost and expense, the following coverages: comprehensive general liability insurance including contractual liability coverage, with minimum limits of not less than one million dollars (\$1,000,000) per occurrence, and two million dollars (\$2,000,000) annual

aggregate; property damage insurance; full Worker's Compensation Insurance equal to the statutory amount required by law; and employers liability insurance with limits of not less than one million dollars (\$1,000,000). The **CLIENT** and its elected and appointed officials, officers, employees, and agents shall be named as additional insureds on any such insurance. All insurance carriers providing the coverage set forth herein shall have a rating of A:VII as assigned by A.M. Best & Co. and shall be satisfactory to the **CLIENT** in its sole discretion. All certificates and policies of insurance, including appropriate additional insured endorsements, in connection herewith shall be furnished to the **CLIENT** prior to the commencement of any of **ENGINEER's** services required under this Agreement. All insurance coverage provided by **ENGINEER** shall be primary coverage as to the **CLIENT**. Any insurance or self-insurance maintained by the **CLIENT** shall be excess of **ENGINEER's** insurance and shall not contribute with it. **ENGINEER** shall similarly cause each subcontractor employed by **ENGINEER** to purchase and maintain insurance of the type specified above. When requested by the **CLIENT**, **ENGINEER** shall furnish copies of certificates and policies of insurance, including appropriate additional insured endorsements, evidencing coverage for each subcontractor. The insurance policies required hereunder shall not be canceled, amended, or non-renewed without 30 days prior written notice having been given to the **CLIENT**.

8. Insert new Section 10. Relationship of the Parties.

ENGINEER shall act as an independent contractor in providing and performing all services contemplated by this Agreement. Nothing in, or done pursuant to, this Agreement shall be construed to (1) create the relationship of principal and agent, employer and employee, partners, or joint venturers between **CLIENT** and **ENGINEER**; or (2) create any relationship between **CLIENT** and any subcontractor of **ENGINEER**. **ENGINEER** shall take direction solely and directly from **CLIENT**.

9. Insert new Section 11. Conflict of Interest.

ENGINEER represents and certifies that, to the best of its knowledge, (1) no **CLIENT** employee or agent is interested in the business of **ENGINEER** or this Agreement; (2) as of the date of this Agreement neither **ENGINEER** nor any person employed or associated with **ENGINEER** has any interest that would conflict in any manner or degree with the performance of the obligations under this Agreement; and (3) neither **ENGINEER** nor any person employed by or associated with **ENGINEER** shall at any time during the term of this Agreement obtain or acquire any interest that would conflict in any manner or degree with the performance of the obligations under this Agreement.

10. Insert new Section 12. No Collusion.

ENGINEER represents and certifies that (1) **ENGINEER** is not barred from contracting with a unit of state or local government as a result of (a) a delinquency in the payment of any tax administered by the Illinois Department of Revenue unless Consultant is contesting, in accordance with the procedures established by the appropriate revenue act, its liability for the tax or the amount of the tax, as set forth in Section 11-42.1-1 et seq., 65 ILCS 5/11-42.1-1 et seq.; or (b) a violation of either Section 33E-3 or Section 33E-4

of Article 33E of the Illinois Criminal Code of 1961, 720 ILCS 5/33E-1 et seq.; (2) only persons, firms, or corporations interested in this Agreement as principals have been those disclosed to **CLIENT** prior to the execution of this Agreement; and (3) this Agreement is made by **ENGINEER** without collusion with any other person, firm, or corporation. If at any time it shall be found that **ENGINEER** has, in procuring this Agreement, colluded with any other person, firm, or corporation, then **ENGINEER** shall be liable to **CLIENT** for all loss or damage that **CLIENT** may suffer, and this Agreement shall, at **CLIENT**'s option, be null and void.

11. Insert new Section 13. Sexual Harassment Policy.

ENGINEER certifies that it has a written Sexual Harassment Policy in full compliance with 775 ILCS 5/2-105(A)(4).

12. Insert new Section 14. Non-Discrimination.

In all hiring or employment by **ENGINEER** pursuant to this Agreement, there shall be no discrimination against any employee or applicant for employment because of age, race, gender, creed, national origin, marital status, or the presence of any sensory, mental, or physical handicap, unless based upon a bona fide occupational qualification. **ENGINEER** agrees that no person shall be denied, or subjected to discrimination in receipt of the benefit of any services or activities made possible by, or resulting from, this Agreement.

13. Insert new Section 15. Freedom of Information Act.

ENGINEER agrees to furnish all documentation related to this Agreement, and any documentation related to **CLIENT** required under an Illinois Freedom of Information Act (ILCS 140/1 et. seq.) ("FOIA") request within five (5) days after **CLIENT** issues notice of such request to **ENGINEER**. **ENGINEER** agrees to defend, indemnify and hold harmless **CLIENT**, and agrees to pay all reasonable costs connected therewith (including, but not limited to reasonable attorney's and witness fees, filing fees and any other expenses) for **CLIENT** to defend any and all causes, actions, causes of action, disputes, prosecutions, or conflicts arising from **ENGINEER**'s, actual or alleged violation of the FOIA or **ENGINEER**'s failure to furnish all documentation related to a request within five (5) days after **CLIENT** issues notice of a request.

Furthermore, should **ENGINEER** request that **CLIENT** utilize a lawful exemption under FOIA in relation to any FOIA request thereby denying that request, **ENGINEER** agrees to pay all costs connected therewith (such as reasonable attorneys' and witness fees, filing fees and any other expenses) to defend the denial of the request. The defense shall include, but not be limited to, challenged or appealed denials of FOIA requests to either the Illinois Attorney General or a court of competent jurisdiction. **ENGINEER** agrees to defend, indemnify and hold harmless **CLIENT**, and agrees to pay all costs connected therewith (such as reasonable attorneys' and witness fees, filing fees and any other expenses) to defend any denial of a FOIA request by **ENGINEER**'s request to utilize a lawful exemption to **CLIENT**.

14. Insert new Section 16. Amendment.

No amendment or modification to this Agreement shall be effective unless and until such amendment or modification is in writing, properly approved in accordance with applicable procedures, and executed by both **CLIENT** and **ENGINEER**.

15. Insert new Section 17. Assignment.

This Agreement may not be assigned by **CLIENT** or by **ENGINEER** without the prior written consent of the other Party.

16. Insert new Section 18. Binding Effect.

The terms of this Agreement shall bind and inure to the benefit of the Parties hereto and their agents, successors, and assigns.

17. Insert new Section 19. Notice.

Notices shall be deemed properly given hereunder if in writing and either hand delivered or sent by United States certified mail, return receipt requested, postage prepaid, or by fax transmission with the sending Party retaining confirmation of receipt, to the Parties at their respective addresses provided below, or as either Party may otherwise direct in writing to the other Party from time to time:

If to **CLIENT**:

Village of Lemont
Attn: Village Administrator
418 Main Street
Lemont, Illinois 60439
Fax: 630-243-0958

If to **ENGINEER**:

Crawford, Murphy & Tilly, Inc.
550 N. Commons Drive
Suite 116
Aurora, Illinois 60504
Fax: 630-820-0350

Notices sent by certified mail shall be deemed delivered the second business day following deposit in the mail, notices hand delivered shall be deemed given on the date of delivery, and notices sent by fax transmission shall be deemed given on the date of transmission if between 9:00 AM and 5:00 PM on a business day, or, if later, the next business day.

18. Insert new Section 20. Severability.

If any term, covenant, condition, or provision of this Agreement is held by a court of competent jurisdiction to be invalid, void, or unenforceable, the remainder of the provisions shall remain in full force and effect and shall in no way be affected, impaired, or invalidated.

19. Insert new Section 21. Entire Agreement.

This Agreement constitutes the entire agreement between the Parties and supersedes any and all previous or contemporaneous oral or written agreements and negotiations between **CLIENT** and **ENGINEER** with respect to the services contemplated by this Agreement.

20. Insert new Section 22. Waiver.

No waiver of any provision of this Agreement shall be deemed to or constitute a waiver of any other provision of this Agreement (whether or not similar) nor shall any such waiver be deemed to constitute a continuing waiver unless otherwise expressly provided in this Agreement.

21. Insert new Section 23. Rights Cumulative.

Unless expressly provided to the contrary in this Agreement, each and every one of the rights, remedies, and benefits provided by this Agreement shall be cumulative and shall not be exclusive of any other such rights, remedies, and benefits allowed by law.

22. Insert new Section 24. Effective Date.

This agreement shall be binding on the Parties and effective only as of the date fully executed by both Parties.

23. Insert new Section 25. No Waiver of Tort Immunity.

Nothing contained in this Agreement shall constitute a waiver by **CLIENT** of any right, privilege or defense available to **CLIENT** under statutory or common law, including, but not limited to, the Illinois Governmental and Governmental Employees Tort Immunity Act, 745 ILCS 10/1-101 et seq., as amended.

24. Insert new Section 26. Governing Law and Jurisdiction.

CLIENT and **ENGINEER** agree that this Agreement and any legal actions concerning its validity, interpretation and performance shall be governed by the laws of the State of Illinois without regard to any conflict of laws provisions, which may apply the laws of other jurisdictions. It is further agreed that any legal action between **CLIENT** and **ENGINEER** arising out of this Agreement or the performance of the services contemplated by this Agreement shall be brought in a court of competent jurisdiction in the County of Cook, State of Illinois.

25. Insert new Section 27. Compliance with Laws.

ENGINEER shall comply with all applicable laws, regulations and rules promulgated by any federal, state, local, or other governmental authority or regulatory body pertaining to all aspects of the performance of the services contemplated under this Agreement, now in effect, or which may become in effect during the performance of said services. Changes

in applicable laws, regulations and rules promulgated after the date of this agreement by any federal, state, local, or other governmental authority or regulatory body that impact the scope of work of the ENGINEER will be cause for a mutually agreed adjustment to the Agreement amount and schedule. The scope of the laws, regulations, and rules referred to in this paragraph includes, but is in no way limited to, the Americans with Disabilities Act, Illinois Human Rights Act, Illinois Equal Pay Act of 2003, Illinois Drugfree Workplace Act, Occupational Safety & Health Act along with the standards and regulations promulgated pursuant thereto (including but not limited to those safety requirements involving work on elevated platforms), all forms of traffic regulations, public utility, Interstate and Intrastate Commerce Commission regulations, Workers' Compensation Laws, Public Construction Bond Act, Prevailing Wage Laws, Public Works Preference Act, Employment of Illinois Workers on Public Works Act, USA Security Act, federal Social Security Act (and any of its titles), and any other law, rule or regulation of the Illinois Department of Labor, Department of Transportation, Illinois Environmental Protection Act, Illinois Department of Natural Resources, Illinois Department of Human Rights, Human Rights Commission, EEOC, and Village of Lemont.

26. Insert new Section 28. Acknowledgement.

The undersigned hereby represent and acknowledge that they have read the foregoing Agreement, that they know its contents, and that in executing this Agreement they have received legal advice regarding the legal rights of the party on whose behalf they are executing this Agreement, and that they are executing this Agreement as a free and voluntary act and on behalf of the named parties.

All other terms and conditions contained in the Agreement remain unchanged. The Agreement and this Addendum contain all of the terms and conditions agreed on by the Parties with respect to the subject matter hereof, and no other alleged communications or agreements between the Parties, written or otherwise, shall vary the terms hereof. Any modification of the Agreement or this Addendum must be in writing and signed by all Parties.

IN WITNESS WHEREOF, the Parties have executed this Addendum as of the dates set forth below.

VILLAGE OF LEMONT

CRAWFORD, MURPHY & TILLY, INC.

By: _____

By: Ch. B. Szajnto

Title: _____

Title: Project Manager / Associate

Date: _____

Date: 6/23/2016



Village of Lemont
Planning & Economic Development Department

418 Main Street · Lemont, Illinois 60439
phone 630-257-1595 · fax 630-257-1598

TO: Mayor Reaves
Village Board of Trustees

FROM: Heather Valone, Village Planner

THRU: Charity Jones, AICP, Planning & Economic Development Director

SUBJECT: Case 16-01 Fox Meadows

DATE: June 20, 2016

SUMMARY

Mike Ford of Tempo Development, Inc, the developer of the subject property, and Jim Boris of Paradise Park Assisted Living- Lemont LLC, owner of the subject property, are requesting an amendment to the Paradise Park Annexation Agreement. The property was originally entitled for an assisted living/skilled care facility known as Paradise Park in 2008. The property was annexed into the village with an annexation agreement and a preliminary PUD was approved for the property. The property was also rezoned to the R-5 single-family attached district. The project never progressed further and the PUD approval expired. However the annexation agreement is in effect and restricts the type of R-5 development to senior assisted living. The annexation agreement included the site plans for Paradise Park, meaning that only a senior living facility with the same site plan as the depicted in the agreement could be developed on the property. The amended annexation agreement removes the assisted living entitlements and works in conjunction with the proposed Fox Meadows Preliminary PUD to reflect the proposed rezoning to R-4 Single-Family Detached Residential district.

BOARD ACTION

Conduct a public hearing on the attached agreement amendment.

ATTACHMENTS

1. Amendment to the Paradise Park Annexation Agreement.

AMENDMENT TO THE PARADISE PARK ANNEXATION AGREEMENT

THIS AMENDMENT TO THE PARADISE PARK ANNEXATION AGREEMENT, is made and entered into this 27th day of June, 2016, between the Village of Lemont, a municipal corporation of the Counties of Cook, DuPage and Will, in the State of Illinois (hereinafter referred to as "the VILLAGE"), and Paradise Park Assisted Living-Lemont, LLC (hereinafter referred to as "OWNER"), and Tempo Development Inc., an Illinois Corporation, the contract purchaser, (hereinafter referred to as "DEVELOPER"). The VILLAGE, OWNER, and DEVELOPER are hereinafter sometimes referred to individually as a "PARTY" and collectively as the "PARTIES"; and

WHEREAS, OWNER is the owner of record of the real estate (hereinafter referred to as the "TERRITORY"), depicted and attached hereto as Exhibit B and by this reference made a part hereof; and

WHEREAS, the TERRITORY was previously annexed and identified as the TERRITORY pursuant to a certain Annexation Agreement dated June 9, 2008, as Ordinance No. 0-28-08 (hereinafter referred to as "the AGREEMENT"); and,

WHEREAS, the OWNER AND DEVELOPER are desirous of amending said AGREEMENT regarding platting and design of the territory; and\

NOW, THEREFORE, in consideration of the foregoing and of the mutual covenants hereinafter contained, the Parties agree as follows:

SECTION 1: Incorporation of Recitals. The foregoing findings and recitals are hereby adopted as Section 1 of this Ordinance and are incorporated by reference as if set forth verbatim herein.

SECTION 2: Amendments. The AGREEMENT is hereby amended as follows:

1. Article III, "Zoning and Land Use Restrictions", on page 5 beginning on line 31 and ending on page 7 on line 14 shall be replaced in its entirety with the following text:

Zoning. The TERRITORY shall be zoned R-4 Single-Family Detached Residential District.

Other Ordinances. Except as otherwise provided for in this AGREEMENT, the TERRITORY shall be developed pursuant to the term and provisions of the Unified Development Ordinance, Building Code, and all applicable statutes, ordinances, rules, regulations, and laws of the VILLAGE shall remain applicable and in full force and effect during the term of this AGREEMENT. Furthermore, the PARTIES understand and agree that said ordinances may from time to time be amended or new ordinances promulgated and that except as otherwise provided for this AGREEMENT or new ordinances or ordinance amendments shall apply to the TERRITORY.

2. Article IV, “Subdivision” on page 7 beginning on line 21 and ending on line 23 shall be deleted in its entirety.

3. The paragraph titled Detention area, on page 8, beginning on line 2 and ending on line 6 shall be replaced in its entirety with the following text:

The OWNER or DEVELOPER shall construct and install all detention areas and appurtenant structures such as, but not limited to, drains, inlets and outlets in accordance with the requirements of the Unified Development Ordinance of the VILLAGE and final engineering plans approved by the VILLAGE.

4. The paragraph titled Design and Construction of Streets, on page 8, beginning on line 30 and ending on line 36 shall be replaced in its entirety with the following text:

The OWNER or DEVELOPER shall design streets within the TERRITORY according to the standards of the Unified Development Ordinance and the final engineering plans approved by the VILLAGE.

5. Article VII “Construction of Other Improvements”, the paragraph on page 9, beginning on line 5 and ending on line 17 shall be replaced in its entirety with the following text:

The VILLAGE shall not issue a site development permit for any phase of the development of the TERRITORY until the OWNER or DEVELOPER has delivered to the VILLAGE an irrevocable letter of credit, or cash escrow, in a form satisfactory to, and from a bank or other financial institution approved by the Village in the amount of 115% of the engineer’s estimate of the cost of construction and installation of all site improvements as approved by the Village Engineer, including all required grading, lighting, natural area establishment, landscaping, sidewalks, sewer and water lines, and storm water management facilities. The “engineer’s estimate” in the above sentence shall mean a Professional Engineer’s estimate of the total estimated cost of all on-site public improvements to be installed or constructed as required by the approved development plans. The validity of said estimate shall be verified by the Village Engineer. Upon request of the OWNER of a reduction of such letter of credit the Village Engineer shall, in his/her discretion, recommend the amount of said letter of credit or cash escrow to be reduced, from time to time, as major site improvements are completed, upon approval of the Corporate Authorities of the VILLAGE. Notwithstanding anything contained herein to the contrary, the VILLAGE shall reduce the letter annually as the work is completed and accepted by the VILLAGE in writing, such that the letter of credit shall be equal to no more than 115% of the engineer’s estimated cost of completion.

6. Article X “Contributions”, on page 10, beginning on line 31 and ending on page 11 on line 13 shall be replaced in its entirety with the following text:

The OWNER or DEVELOPER, or any successors in interest as to any portion of the TERRITORY, shall make cash contributions at the time of

issuance of building permits for each individual dwelling unit. Said fees shall be indicated on the Cash Contribution Schedule, attached hereto and incorporated here in as Exhibit C. The DEVELOPER shall pay \$4,750 to the VILLAGE for annexation fees. If the TERRITORY is developed in phases, the total fee shall be paid at the time of recording the initial Final Plan/Plat. The OWNER or DEVELOPER shall pay \$20,000 to the VILLAGE for the installation of a traffic signal at the intersection of Parker Road and 131st Street. The contribution for the traffic light shall be held in escrow for a period of four years from the date of issuance of the first occupancy permit. In the event Cook County and/ or Lemont Township does not commence construction of the signalization within said four-year period, the escrow deposit shall be returned to the developer with no interest.

7. The paragraph on page 11, beginning on line 41 and ending on page 12 on line 2 shall be replaced in its entirety with the following text:

The DEVELOPER agrees to grant to the VILLAGE, and/or obtain grants to the VILLAGE of, all necessary easements for the extension of sewer, water, street, or other utilities, including cable television, or for other improvements, subject to the provisions of the Unified Development Ordinance which may serve not only the TERRITORY, but other TERRITORY in the general area, if requested by the VILLAGE in the future.

8. Article XIV “Notices”, on page 13, beginning on line 28 and ending on line 33 shall be replaced in its entirety with the following text:

For the DEVELOPER:

Tempo Development, Inc.
11921 S Hobart St.
Palos Park, IL 60464

For the OWNER:

Paradise Park Assisted Living-Lemont, LLC
16 Lilac Ave
Fox Lake, IL 60020

9. Article XVI “Warranties and Representations”, on page 14, beginning on line 11 and ending on line 24 shall be replaced in its entirety with the following text:

The OWNER represents and warrants to the VILLAGE as follows:

That Paradise Park Assisted Living- Lemont, LLC is the owner of the TERRITORY; and

That CRE/ADC Venture is the Mortgagee and holds the only known mortgage for the Territory; and

That Paradise Park Assisted Living- Lemont, LLC has the authority to enter into this Agreement; and

That CRE/ADC Venture has no objection to this amendment and OWNER has received written confirmation of the same; and

That the DEVELOPER is the contract purchaser of the TERRITORY and plans to develop the TERRITORY in the manner contemplated in this Agreement; and

That the attached Legal Description attached as Exhibit A is accurate and correct.

10. The exhibit list on page 2 beginning on line 20 and ending on line 49 shall be replaced in its entirety with the following text:

EXHIBIT	TITLE
A.	Legal Description
B.	Plat of Annexation, prepared by R.E. Allen And Associates, LTD
C.	Cash Contribution Schedule

11. All Exhibits are hereby deleted in their entirety and replaced with the following attached Exhibits marked as Exhibits A, B, and C.;

IN WITNESS WHEREOF, the parties have caused this Amendment to be executed on the day and year first above written.

VILLAGE OF LEMONT
an Illinois Municipal Corporation

By: _____
Village President

ATTEST:

By: _____
Village Clerk

DEVELOPER:
Tempo Development Inc.

OWNER:
Paradise Park Assisted Living-Lemont,

By: _____

By: _____

Title of Officer

Title of Officer

NOTARY CERTIFICATES

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, the undersigned, a Notary Public, in and for the County and Sate aforesaid, DO HEREBY CERTIFY that BRIAN K. REAVES, personally known to me to be the President of the Village of Lemont, and CHARLENE M. SMOLLEN, personally known to me to be the Village clerk of said municipal corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such President and Village Clerk, they signed and delivered the said instrument and caused the corporate seal of said municipal corporation to be affixed thereto, pursuant to authority given by the Board of Trustees of said municipal corporation, as their free and voluntary act, and as the free and voluntary act and deed of said municipal corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this _____ day of _____ 20_____

Notary Public

My commission expires on _____, 20_____.

EXHIBIT A – Legal Description

NORTH 720 FEET OF THE WEST 726 FEET OF THE WEST $\frac{1}{2}$ OF THE SOUTHWEST $\frac{1}{4}$ OF SECTION 35, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, EXCEPT THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE WEST $\frac{1}{2}$ OF THE SOUTHWEST $\frac{1}{4}$ SECTION 35, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHERLY RIGHT OF WAY OF LINE OF 83 FOOT 131ST STREET WITH THE EASTERLY RIGHT OF WAY LINE OF 66 FOOT PARKER ROAD; THENCE EAST ALONG SAID SOUTHERLY LINE 30 FEET; THENCE SOUTHWESTERLY TO A POINT ON SAID EASTERLY LINE THAT IS 20 FEET SOUTH OF THE POINT OF BEGINNING; THENCE NORTH, ALONG SAID EASTERLY LINE 20 FEET TO THE PLACE OF BEGINNING, IN COOK COUNTY, ILLINOIS. PIN: 22-35-300-002

Exhibit B Plat Of Annexation

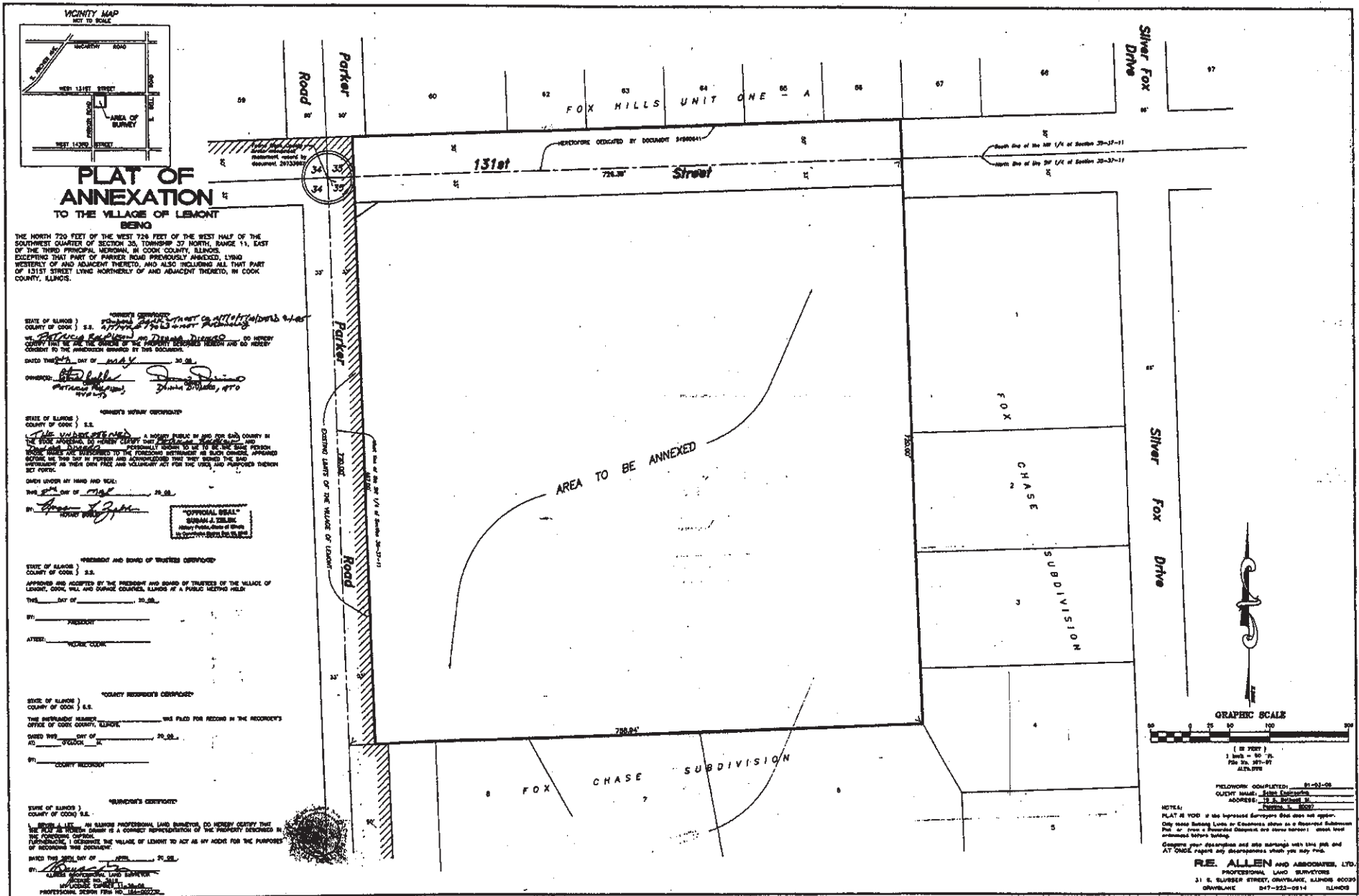


EXHIBIT "C" – Cash Contribution Schedule

	Two Bedroom Single Family- Detached	Three Bedroom Single Family- Detached	Four Bedroom Single Family- Detached
Library Donation			
Land Donation	0	0	0
Cash Donation	\$92.00	\$132.00	\$171.68
Park Donation			
Land Donation	0.02	0.03	0.04
Cash Donation	\$3,025.50	\$4,348.50	\$5,646.00
Fire Donation			
Cash Donation	\$100.00	\$100.00	\$100.00
Public Safety Donation			
Cash Donation	\$1,000.00	\$1,000.00	\$1,000.00
School District 113A Donation			
Land Donation	0	0.01	0.02
Cash Donation	\$620.77	\$1,817.91	\$2,765.87
School District 210			
Land Donation	0	0	0.01
Cash Donation	\$80.00	\$736.00	\$1,440.00



Village of Lemont
Planning & Economic Development Department

418 Main Street · Lemont, Illinois 60439
phone 630-257-1595 · fax 630-257-1598

TO: Mayor Reaves
Village Board of Trustees

FROM: Heather Valone, Village Planner

THRU: Charity Jones, AICP, Planning & Economic Development Director

SUBJECT: Case 16-01 Fox Meadows Preliminary PUD and Rezoning

DATE: June 20, 2016

SUMMARY

Mike Ford of Tempo Development, Inc, contract purchaser of the subject property, has requested a preliminary planned unit development approval for a 27 single-family home subdivision and a rezoning from R-5 (Single-family Attached Residential) to R-4 (Single-family Detached Residential). The Planning and Zoning Commission and staff are recommending approval. Additionally, Jim Boris of Paradise Park Assisted Living- Lemont, LLC, the owner of the subject property, and Mr. Ford are requesting an amendment to the Paradise Park Annexation Agreement. Staff is recommending approval.

BOARD ACTION

Vote on the attached ordinances.

ATTACHMENTS

1. An Ordinance Authorizing the Execution of an Amended Annexation Agreement for Paradise Park.
2. An Ordinance Granting Preliminary Plan/Plat Approval, Special Use for a Preliminary Planned Unit Development (PUD), and Zoning Map Amendment For A Twenty-Seven Lot Single-Family Detached Residential Subdivision Located at 13101 Parker Road in Lemont, Illinois.

**VILLAGE OF LEMONT
ORDINANCE NO. _____**

**AN ORDINANCE AUTHORIZING THE EXECUTION OF AN AMENDED
ANNEXATION AGREEMENT FOR PARADISE PARK.**

**ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT**

THIS 27TH DAY OF JUNE, 2016

**Published in pamphlet form by
authority of the President and
Board of Trustees of the Village
of Lemont, Cook, DuPage, and Will
Counties, Illinois this 27th
day of June, 2016.**

ORDINANCE NO. _____

AN ORDINANCE AUTHORIZING THE EXECUTION OF AN AMENDED ANNEXATION AGREEMENT FOR PARADISE PARK.

WHEREAS, on June 9, 2008, the Village of Lemont approved and passed Ordinance No. O-28-08, an Ordinance Authorizing the Execution of an Annexation Agreement for an Approximately 12-Acre Parcel Located at the Southeast Corner of 131st Street and Parker Road in Lemont, Illinois (“Agreement”); and

WHEREAS, the Village, Developer, and Owner entered into an Annexation Agreement; and

WHEREAS, the Village, Developer, and Owner desire to amend the Annexation Agreement by executing an Amendment to the Paradise Park Annexation Agreement, a copy of which is attached hereto; and

WHEREAS, The Village Board of Trustees held a public hearing for the Amendment to the Paradise Park Annexation Agreement on June 27, 2016.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Lemont, Counties of Cook, DuPage, and Will, State of Illinois, as follows:

SECTION 1: The above recitals are hereby incorporated into this Ordinance as if set forth verbatim.

SECTION 2: That the President be and is hereby authorized and directed, and the Village Clerk is directed to attest to a document known as “Amendment to the Paradise Park Annexation Agreement”; a copy of which is attached hereto and made a part of.

SECTION 4: That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DuPAGE, ILLINOIS, on this 27th day of June, 2016.

	<u>AYES</u>	<u>NAYS</u>	<u>PASSED</u>	<u>ABSENT</u>
Debby Blatzer				
Paul Chialdikas				
Cliff Miklos				
Rick Sniegowski				
Ron Stapleton				
Jeanette Virgilio				

BRIAN K. REAVES, Village President

Attest:

CHARLENE M. SMOLLEN, Village Clerk

AMENDMENT TO THE PARADISE PARK ANNEXATION AGREEMENT

THIS AMENDMENT TO THE PARADISE PARK ANNEXATION AGREEMENT, is made and entered into this 27th day of June, 2016, between the Village of Lemont, a municipal corporation of the Counties of Cook, DuPage and Will, in the State of Illinois (hereinafter referred to as "the VILLAGE"), and Paradise Park Assisted Living-Lemont, LLC (hereinafter referred to as "OWNER"), and Tempo Development Inc., an Illinois Corporation, the contract purchaser, (hereinafter referred to as "DEVELOPER"). The VILLAGE, OWNER, and DEVELOPER are hereinafter sometimes referred to individually as a "PARTY" and collectively as the "PARTIES"; and

WHEREAS, OWNER is the owner of record of the real estate (hereinafter referred to as the "TERRITORY"), depicted and attached hereto as Exhibit B and by this reference made a part hereof; and

WHEREAS, the TERRITORY was previously annexed and identified as the TERRITORY pursuant to a certain Annexation Agreement dated June 9, 2008, as Ordinance No. 0-28-08 (hereinafter referred to as "the AGREEMENT"); and,

WHEREAS, the OWNER AND DEVELOPER are desirous of amending said AGREEMENT regarding platting and design of the territory; and\

NOW, THEREFORE, in consideration of the foregoing and of the mutual covenants hereinafter contained, the Parties agree as follows:

SECTION 1: Incorporation of Recitals. The foregoing findings and recitals are hereby adopted as Section 1 of this Ordinance and are incorporated by reference as if set forth verbatim herein.

SECTION 2: Amendments. The AGREEMENT is hereby amended as follows:

1. Article III, "Zoning and Land Use Restrictions", on page 5 beginning on line 31 and ending on page 7 on line 14 shall be replaced in its entirety with the following text:

Zoning. The TERRITORY shall be zoned R-4 Single-Family Detached Residential District.

Other Ordinances. Except as otherwise provided for in this AGREEMENT, the TERRITORY shall be developed pursuant to the term and provisions of the Unified Development Ordinance, Building Code, and all applicable statutes, ordinances, rules, regulations, and laws of the VILLAGE shall remain applicable and in full force and effect during the term of this AGREEMENT. Furthermore, the PARTIES understand and agree that said ordinances may from time to time be amended or new ordinances promulgated and that except as otherwise provided for this AGREEMENT or new ordinances or ordinance amendments shall apply to the TERRITORY.

2. Article IV, “Subdivision” on page 7 beginning on line 21 and ending on line 23 shall be deleted in its entirety.

3. The paragraph titled Detention area, on page 8, beginning on line 2 and ending on line 6 shall be replaced in its entirety with the following text:

The OWNER or DEVELOPER shall construct and install all detention areas and appurtenant structures such as, but not limited to, drains, inlets and outlets in accordance with the requirements of the Unified Development Ordinance of the VILLAGE and final engineering plans approved by the VILLAGE.

4. The paragraph titled Design and Construction of Streets, on page 8, beginning on line 30 and ending on line 36 shall be replaced in its entirety with the following text:

The OWNER or DEVELOPER shall design streets within the TERRITORY according to the standards of the Unified Development Ordinance and the final engineering plans approved by the VILLAGE.

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The VILLAGE shall not issue a site development permit for any phase of the development of the TERRITORY until the OWNER or DEVELOPER has delivered to the VILLAGE an irrevocable letter of credit, or cash escrow, in a form satisfactory to, and from a bank or other financial institution approved by the Village in the amount of 115% of the engineer’s estimate of the cost of construction and installation of all site improvements as approved by the Village Engineer, including all required grading, lighting, natural area establishment, landscaping, sidewalks, sewer and water lines, and storm water management facilities. The “engineer’s estimate” in the above sentence shall mean a Professional Engineer’s estimate of the total estimated cost of all on-site public improvements to be installed or constructed as required by the approved development plans. The validity of said estimate shall be verified by the Village Engineer. Upon request of the OWNER of a reduction of such letter of credit the Village Engineer shall, in his/her discretion, recommend the amount of said letter of credit or cash escrow to be reduced, from time to time, as major site improvements are completed, upon approval of the Corporate Authorities of the VILLAGE. Notwithstanding anything contained herein to the contrary, the VILLAGE shall reduce the letter annually as the work is completed and accepted by the VILLAGE in writing, such that the letter of credit shall be equal to no more than 115% of the engineer’s estimated cost of completion.

6. Article X “Contributions”, on page 10, beginning on line 31 and ending on page 11 on line 13 shall be replaced in its entirety with the following text:

The OWNER or DEVELOPER, or any successors in interest as to any portion of the TERRITORY, shall make cash contributions at the time of

issuance of building permits for each individual dwelling unit. Said fees shall be indicated on the Cash Contribution Schedule, attached hereto and incorporated here in as Exhibit C. The DEVELOPER shall pay \$4,750 to the VILLAGE for annexation fees. If the TERRITORY is developed in phases, the total fee shall be paid at the time of recording the initial Final Plan/Plat. The OWNER or DEVELOPER shall pay \$20,000 to the VILLAGE for the installation of a traffic signal at the intersection of Parker Road and 131st Street. The contribution for the traffic light shall be held in escrow for a period of four years from the date of issuance of the first occupancy permit. In the event Cook County and/ or Lemont Township does not commence construction of the signalization within said four-year period, the escrow deposit shall be returned to the developer with no interest.

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8. Article XIV “Notices”, on page 13, beginning on line 28 and ending on line 33 shall be replaced in its entirety with the following text:

For the DEVELOPER:

Tempo Development, Inc.
11921 S Hobart St.
Palos Park, IL 60464

For the OWNER:

Paradise Park Assisted Living-Lemont, LLC
16 Lilac Ave
Fox Lake, IL 60020

9. Article XVI “Warranties and Representations”, on page 14, beginning on line 11 and ending on line 24 shall be replaced in its entirety with the following text:

The OWNER represents and warrants to the VILLAGE as follows:

That Paradise Park Assisted Living- Lemont, LLC is the owner of the TERRITORY; and

That CRE/ADC Venture is the Mortgagee and holds the only known mortgage for the Territory; and

That Paradise Park Assisted Living- Lemont, LLC has the authority to enter into this Agreement; and

That CRE/ADC Venture has no objection to this amendment and OWNER has received written confirmation of the same; and

That the DEVELOPER is the contract purchaser of the TERRITORY and plans to develop the TERRITORY in the manner contemplated in this Agreement; and

That the attached Legal Description attached as Exhibit A is accurate and correct.

10. The exhibit list on page 2 beginning on line 20 and ending on line 49 shall be replaced in its entirety with the following text:

EXHIBIT	TITLE
A.	Legal Description
B.	Plat of Annexation, prepared by R.E. Allen And Associates, LTD
C.	Cash Contribution Schedule

11. All Exhibits are hereby deleted in their entirety and replaced with the following attached Exhibits marked as Exhibits A, B, and C.;

IN WITNESS WHEREOF, the parties have caused this Amendment to be executed on the day and year first above written.

VILLAGE OF LEMONT
an Illinois Municipal Corporation

By: _____
Village President

ATTEST:

By: _____
Village Clerk

DEVELOPER:
Tempo Development Inc.

OWNER:
Paradise Park Assisted Living-Lemont,

By: _____

By: _____

Title of Officer

Title of Officer

NOTARY CERTIFICATES

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, the undersigned, a Notary Public, in and for the County and Sate aforesaid, DO HEREBY CERTIFY that BRIAN K. REAVES, personally known to me to be the President of the Village of Lemont, and CHARLENE M. SMOLLEN, personally known to me to be the Village clerk of said municipal corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such President and Village Clerk, they signed and delivered the said instrument and caused the corporate seal of said municipal corporation to be affixed thereto, pursuant to authority given by the Board of Trustees of said municipal corporation, as their free and voluntary act, and as the free and voluntary act and deed of said municipal corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this _____ day of _____ 20____

Notary Public

My commission expires on _____, 20____.

STATE OF _____)
_____) SS
COUNTY OF _____)

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY that the above-named _____, personally known to me to be the same persons whose names are subscribed to the foregoing instrument appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this _____ day of _____, 20__

My commission expires on _____, 20__.

Notary Public

STATE OF _____)
_____) SS
COUNTY OF _____)

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY that the above-named _____, personally known to me to be the same persons whose names are subscribed to the foregoing instrument appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this _____ day of _____, 20__

My commission expires on _____, 20__.

Notary Public

EXHIBIT A – Legal Description

NORTH 720 FEET OF THE WEST 726 FEET OF THE WEST $\frac{1}{2}$ OF THE SOUTHWEST $\frac{1}{4}$ OF SECTION 35, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, EXCEPT THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE WEST $\frac{1}{2}$ OF THE SOUTHWEST $\frac{1}{4}$ SECTION 35, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHERLY RIGHT OF WAY OF LINE OF 83 FOOT 131ST STREET WITH THE EASTERLY RIGHT OF WAY LINE OF 66 FOOT PARKER ROAD; THENCE EAST ALONG SAID SOUTHERLY LINE 30 FEET; THENCE SOUTHWESTERLY TO A POINT ON SAID EASTERLY LINE THAT IS 20 FEET SOUTH OF THE POINT OF BEGINNING; THENCE NORTH, ALONG SAID EASTERLY LINE 20 FEET TO THE PLACE OF BEGINNING, IN COOK COUNTY, ILLINOIS. PIN: 22-35-300-002

Exhibit B Plat Of Annexation

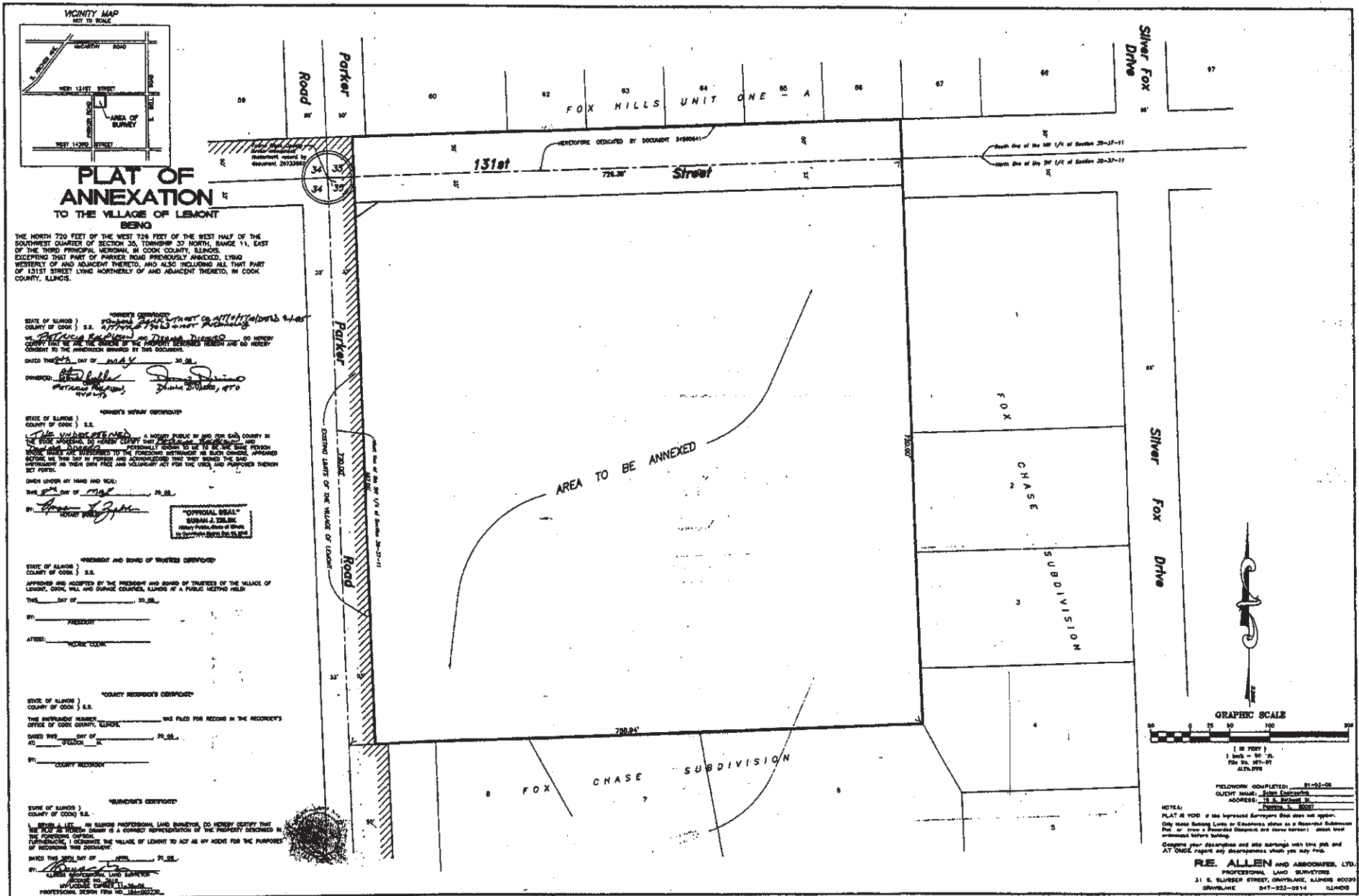


EXHIBIT "C" – Cash Contribution Schedule

	Two Bedroom Single Family- Detached	Three Bedroom Single Family- Detached	Four Bedroom Single Family- Detached
Library Donation			
Land Donation	0	0	0
Cash Donation	\$92.00	\$132.00	\$171.68
Park Donation			
Land Donation	0.02	0.03	0.04
Cash Donation	\$3,025.50	\$4,348.50	\$5,646.00
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Cash Donation	\$100.00	\$100.00	\$100.00
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School District 113A Donation			
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School District 210			
Land Donation	0	0	0.01
Cash Donation	\$80.00	\$736.00	\$1,440.00

VILLAGE OF LEMONT

ORDINANCE NO. _____

**AN ORDINANCE GRANTING PRELIMINARY PLAN/PLAT APPROVAL, SPECIAL
USE FOR A PRELIMINARY PLANNED UNIT DEVELOPMENT (PUD), AND
ZONING MAP AMENDMENT FOR A TWENTY-SEVEN LOT SINGLE-FAMILY
DETACHED RESIDENTIAL SUBDIVISION LOCATED AT 13101 PARKER ROAD
IN LEMONT, ILLINOIS.**

(Fox Meadows)

**Adopted by the
President and Board of Trustees
of the Village of Lemont**

This 27th Day of June, 2016

**Published in pamphlet form by
authority of the President and
Board of Trustees of the Village
of Lemont, Cook, DuPage, and Will
Counties, Illinois this 27th day of**

June, 2016.

ORDINANCE NO. _____

AN ORDINANCE GRANTING PRELIMINARY PLAN/PLAT APPROVAL, SPECIAL USE FOR A PRELIMINARY PLANNED UNIT DEVELOPMENT (PUD), AND ZONING MAP AMENDMENT FOR A TWENTY-SEVEN LOT SINGLE-FAMILY DETACHED RESIDENTIAL SUBDIVISION LOCATED AT 13101 PARKER ROAD IN LEMONT, ILLINOIS.

(Fox Meadows)

WHEREAS, Mike Ford of Tempo Development Inc., (hereinafter referred to as the “Petitioner”), is the contract purchaser of the property covering approximately 11.99 acres located at 13101 Parker Road (PIN # 22-35-300-002-0000), legally described and depicted in Exhibit A (hereinafter referred to as the “Subject Property”); and

WHEREAS, the Petitioner applied pursuant to the provisions of the Lemont, Illinois Municipal Code, Title 17 Unified Development Ordinance (“UDO”) seeking a zoning map amendment from the R-5 Single-Family Attached Residential District to the R-4 Single-Family Detached Residential District, preliminary plat of subdivision, and a special use for a preliminary planned unit development, consisting of the following (hereinafter referred to as “Fox Meadows Preliminary PUD”);

1. Site Plan for Fox Meadows, prepared by DesignTek Engineering, Inc., revised dated 06/07/2016, attached hereto and incorporated herein as Exhibit B; and
2. Preliminary Engineering for Fox Meadows, prepared by DesignTek Engineering, Inc., revised dated 05/27/2016, attached hereto and incorporated herein as Exhibit C; and
3. Existing Tree Survey for Fox Meadows, prepared by DesignTek Engineering, Inc., revised dated 06/08/2016, attached hereto and incorporated herein as Exhibit D; and
4. Landscape Plan for Fox Meadows, prepared by J.G.S. Landscape Architects, revised dated 06/11/2016 attached hereto and incorporated herein as Exhibit E; and

WHEREAS, a notice of the aforesaid Public Hearing was made in the manner provided by law and was published in the *Lemont Reporter-Met*, a newspaper of general circulation within the Village; and

WHEREAS the Planning and Zoning Commission of the Village of Lemont, Illinois, in accordance with the UDO, conducted a public hearing on the petition on March 16, 2016 and voted 6-0 to recommend approval of the Petitioner’s request, with conditions; and

WHEREAS, the President and Board of Trustees of the Village have reviewed the matter herein and have determined that the same is in the best interest of the public health, safety and welfare of the residents of the Village of Lemont, and hereby adopt the finding of facts as set forth in Exhibit F.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE, AND WILL, ILLINOIS:

SECTION 1: Incorporation of Recitals. The foregoing findings and recitals are hereby adopted as Section 1 of this Ordinance and are incorporated by reference as if set forth verbatim herein.

SECTION 2: Special Use & Zoning Map Amendment. A zoning map amendment from R-5 Single-Family Attached Residential to R-4 Single-Family Residential is granted for the Subject Property. A special use is granted as provided and conditioned in this Ordinance.

SECTION 3: Conditions. The special use for a planned unit development shall have the following conditions:

1. **General Conditions.** Unless otherwise approved by the Village Board the Subject Property shall be developed and maintained in accordance with Village Code, the approved plans, the Annexation Agreement pertaining to the Subject Property and the exhibits to this Ordinance.
2. Prior to final plat approval the following plans/permits shall be applied for and submitted for approval to the Village:
 - a) final engineering plan,
 - b) tree preservation plan,
 - c) landscape plan, and
 - d) subdivision plat/plans.
3. **Specific Conditions.** The following specific conditions shall apply:
 - A. Final PUD Plat/Plan Application.** Prior to the submittal of the Final PUD Plan/Plat application, an approved and fully executed 404 permit from the U.S. Army Corps of Engineers to fill the wetland no. 1, as depicted in Exhibit B, shall be submitted to the Village.

B. Garages.

- 1) At least 22% of the single family detached units shall have side loaded garages.

D. Exterior Materials & Features.

- 1) A minimum of 30% of the dwelling units shall have masonry extending from grade to top of first storey on all elevations.
- 2) When a dwelling unit includes masonry on at least 40% of the front elevation, masonry shall extend from grade to bottom of the first storey windows on all remaining elevations.
- 3) Dwelling units constructed with less than 25% masonry on all elevations shall be subject to the following additional requirements:
 - a. All windows shall include trim that is at least 3” wide.
 - b. All window shutters shall be no less than half the width of the adjacent windows. Shutters of the same size, make, shape, and color must be uniformly installed on both sides of the window.
 - c. When the front elevation of a home includes a cornice, trim board/belt course, lintel, eave bracket, or other similar ornamentation, such ornamentation shall be present on all elevations of the home, unless determined by the Planning and Economic Development Director, in writing, that such ornamentation need not be present.
- 4) Brick and stone veneer shall be anchored veneer. Adhered brick and stone veneer systems shall not be permitted, except adhered natural stone veneer shall be permitted for porch columns.
- 5) Siding shall be cement fiber board, LP Smart Side® or a comparable product of similar style and quality as approved by the Village Planning & Economic Development Director.

SECTION 4: The planned unit development approval shall lapse in the event the Petitioner does not file a complete application for Final PUD approval within one (1) year of the effective date of this ordinance, unless otherwise extended by the President and Board of Trustees of the Village.

SECTION 5: The Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

SECTION 6: This Ordinance shall be in full force and effect from and after its passage, approval and publication provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DuPAGE, ILLINOIS, ON THIS 27th DAY OF JUNE, 2016.

	<u>AYES</u>	<u>NAYS</u>	<u>ABSENT</u>	<u>ABSTAIN</u>
Debby Blatzer				
Paul Chialdikas				
Clifford Miklos				
Ron Stapleton				
Rick Sniegowski				
Jeanette Virgilio				

Approved by me this 27th day of June, 2016

BRIAN K. REAVES, Village President

Attest:

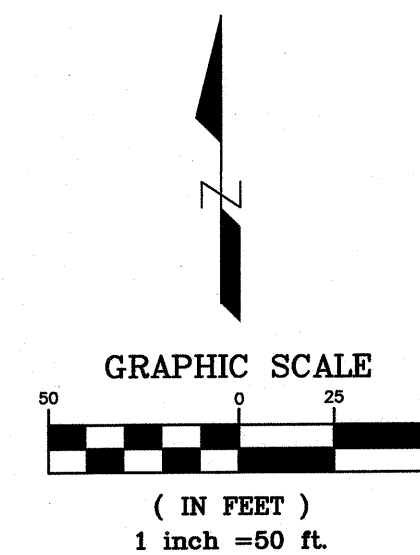
CHARLENE M. SMOLLEN, Village Clerk

BOUNDARY & TOPOGRAPHIC SURVEY

OF

13101 Parker Road

VILLAGE of LEMONT, ILLINOIS



LEGEND		LINE TYPES	
	ANCHOR		PROPERTY LINE
	BASKETBALL HOOP		EXISTING RIGHT-OF-WAY LINE
	BENCHMARK		ADJACENT LOT LINE
	CLOSED LID MANHOLE		CENTERLINE
	FUEL TANK LID		EASEMENT LINE
	HYDRANT		BUILDING SETBACK LINE
	LIGHT STANDARD		SECTION LINE
	MAILBOX		QUARTER SECTION LINE
	MONITORING WELL		QUARTER-QUARTER SECTION LINE
	POST INDICATOR VALVE		WIRE FENCE
	FLAGPOLE		CHAINLINK FENCE
	POWER POLE		WOOD FENCE
	SANITARY CLEANOUT		GUARDRAIL
	SIGN		OVERHEAD WIRES
	SPRINKLER HEAD		CATV
	SPRINKLER CONTROL VALVE		UNDERGROUND ELECTRIC
	WELL HEAD		UNDERGROUND FIBER OPTIC
	WETLAND MARKER		UNDERGROUND TELEPHONE
	HANDHOLD		GAS MAIN
	ELECTRICAL JUNCTION BOX		WATER MAIN
	ELECTRIC MANHOLE		SANITARY SEWER
	ELECTRIC VAULT		STORM SEWER
	ELECTRIC SERVICE OUTLET BOX		EDGE OF WATER
	TRAFFIC CONTROL BOX		BARRIER CURB
	TRAFFIC CONTROL VAULT		DEPRESSED CURB
	TRANSFORMER PAD		CURB & GUTTER
	CATCH BASIN		DEPRESSED CURB & GUTTER
	FLARED END SECTION		CONTOUR LINE
	HEADWALL		RAILROAD TRACKS
	OPEN LID MANHOLE		
	STORM INLET		
	GAS VALVE		
	CABLE TV PEDESTAL		
	ELECTRIC PEDESTAL		
	TELEPHONE PEDESTAL		
	TEL., ELEC., CABLE PEDESTALS		
	ELECTRIC METER		
	GAS METER		
	GAS VALVE VAULT		
	TELEPHONE MANHOLE		
	PAINTED ELECTRIC LINE		
	PAINTED GAS LINE		
	PAINTED TELEPHONE LINE		
	PAINTED WATER LINE		
	PIPELINE MARKER		
	FIBER OPTIC MARKER		
	SURVEY TRAVERSE POINT		
	FOUND DISK IN CONCRETE		
	FOUND ROW MARKER		
	FOUND RAILROAD SPIKE		
	FOUND IRON ROD		
	FOUND PK NAIL		
	FOUND IRON PIPE		
	FOUND IRON BAR		
	FOUND BRASS MONUMENT		
	SET MAG NAIL		
	SET IRON PIPE		
	DECIDUOUS TREE		
	W/ TRUNK SIZE		
	CONIFEROUS TREE		
	W/ TRUNK SIZE		
	TREE TAG W/##		
	TRAFFIC LIGHT POLE		
	TRAFFIC SIGNAL MAST ARM		
	SECTION CORNER		

ABBREVIATIONS

###	EXISTING TOP OF CURB ELEVATION
###	EXISTING EDGE OF ASPHALT
###	EXIST. SPOT ELEVATION
B/W	BOTTOM OF WALL
BL	BRICK LEADGE
C	CONCRETE
OMP	CORRUGATED METAL PIPE
DEP	DEPRESSED CURB
DS	DOWNSPOUT
D.E.	DRAINAGE EASEMENT
DIP	DUCTILE IRON PIPE
E/P	EDGE OF PAVEMENT
EXIST.	EXISTING
F.F.	FINISHED FLOOR
FES	FLARED END SECTION
FL	FLOW LINE
H.C.	HANDICAP PARKING
INV	INVERT
MH	MANHOLE
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
P.U.E.	PUBLIC UTILITY EASEMENT
RCP	REINFORCED CONCRETE PIPE
SAN	SANITARY SEWER
STD	STORM DRAIN
SD	SUMP DISCHARGE
TC	TOP OF CURB
T/F	TOP OF FOUNDATION
T/P	TOP OF PIPE
T/W	TOP OF WALL
U.E.	UTILITY EASEMENT
VCP	VITRIFIED CLAY PIPE
N	NORTH
S	SOUTH
E	EAST
W	WEST
FBM	FOUND BRASS MONUMENT
FIP	FOUND IRON PIPE
FRS	FOUND RR SPIKE
SIP	SET IRON PIPE
SPK	SET PK NAIL
(###-##)	RECORD/DEED
###-##	MEASURED

HATCHING

	ASPHALT SURFACE
	BRICK SURFACE
	BUILDING LIMITS
	CONCRETE SURFACE
	UNPAVED SURFACE
	WATER
	WETLANDS/MARSH AREA
	WOOD DECK
	ADA ACCESSIBLE RAMP

GENERAL NOTES

COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY POINTS AND MONUMENTS BEFORE ANY CONSTRUCTION, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO SURVEYOR. DO NOT SCALE DIMENSIONS FROM THIS PLAT.

THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED UPON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT. THE PARCEL WHICH IS DEFINED MAY NOT REFLECT ACTUAL OWNERSHIP, BUT REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE COMMITMENT FROM CHICAGO TITLE INSURANCE COMPANY ORDER NUMBER 1401 008894404 D2, WITH AN EFFECTIVE DATE OF SEPTEMBER 7, 2012. NO RECORDED DOCUMENTS SAID TITLE COMMITMENT WERE FURNISHED TO SURVEYOR. EASEMENTS SHOWN HEREON PER SAID TITLE COMMITMENT.

MANHOLES, INLETS AND OTHER UTILITY RIMS OR GRATES SHOWN HEREON ARE FROM FIELD LOCATION OF SUCH, AND ONLY REPRESENT SUCH UTILITY IMPROVEMENTS WHICH ARE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY, THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE. THE LABELING OF THESE MANHOLES (SANITARY, WATER, ETC.) IS BASED SOLELY ON THE "STAMPED" MARKINGS OF THE RIM. NO UNDERGROUND OBSERVATIONS HAVE BEEN MADE TO VERIFY THE ACTUAL USE OR EXISTENCE OF UNDERGROUND UTILITIES.

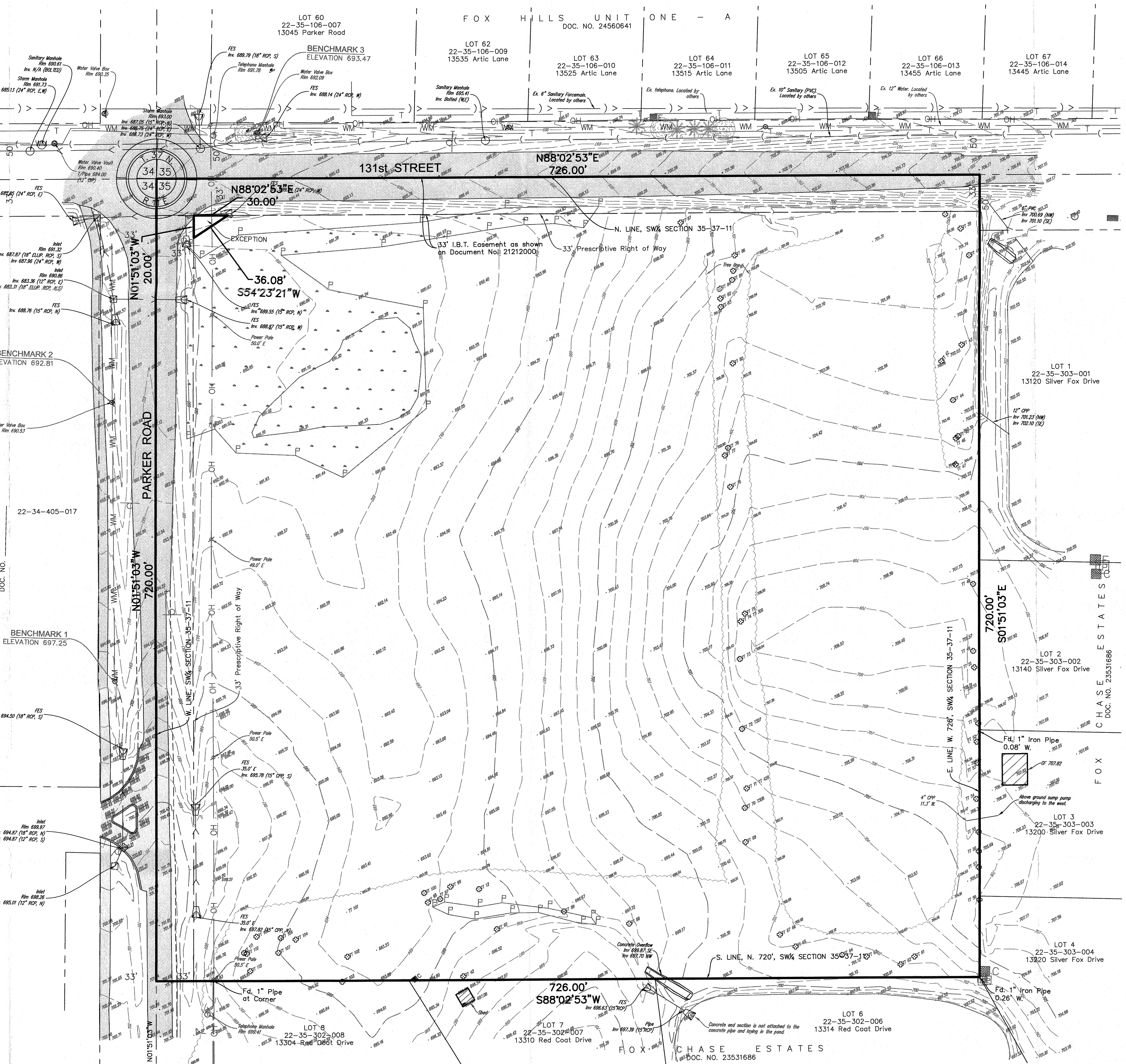
NO UNDERGROUND UTILITIES, OR DRAIN TILES, IF ANY EXIST, SHOWN HEREON.

THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS DECIDUOUS TREES, TRAILERS, CARS, DIRT, PAVING OR SNOW, AT THE TIME OF THIS SURVEY. SNOW DID NOT COVER THE SITE. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY.

OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE.

CALL J.U.L.L.E. AT 1-800-892-0123 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION.

PUBLIC AND/OR PRIVATE RECORDS HAVE NOT BEEN SEARCHED TO PROVIDE ADDITIONAL INFORMATION. OVERHEAD WIRES AND POLES (IF ANY EXIST) ARE SHOWN HEREON, HOWEVER THEIR FUNCTION AND DIMENSIONS HAVE NOT BEEN SHOWN.



BASIS OF BEARING	SITE DATA
THE BASIS OF BEARINGS IS THE ILLINOIS STATE PLANE SYSTEM - EAST ZONE	AREA: 522,421 SQUARE FEET OR 11.993 ACRES

PARCEL IDENTIFICATION NUMBER
22-35-300-002

BENCHMARKS

ORIGINAL BENCHMARK
DESIGNATION - DK 2002 PID DN4687: 27 FT (8.2 M) NORTH OF MCCARTHY ROAD, 54 FT (16.5 M) WEST OF THE CENTERLINE OF THE ENTRANCE TO HOLY FAMILY VILLA, 3.5 FT (1.1 M) SOUTH OF A CHAIN LINK FENCE, 1 FT (0.3 M) SOUTH OF AN ORANGE CARSONITE MARKER. DATUM POINT IS THROUGH A 6-INCH (15 CM) LOGO CAP AND THE ROD (DATUM POINT) IS SURROUNDED BY A FLOATING BRONZE DISK. ELEVATION = 726.13 NAVD88

SITE BENCHMARK 1
NW BOLT OF A FIRE HYDRANT 35 FEET WEST OF THE CENTERLINE OF PARKER ROAD AND 450 FEET SOUTH OF THE CENTERLINE OF 131st STREET. ELEVATION = 697.25

SITE BENCHMARK 2
NW BOLT OF A FIRE HYDRANT 35 FEET WEST OF THE CENTERLINE OF PARKER ROAD AND 200 FEET SOUTH OF THE CENTERLINE OF 131st STREET. ELEVATION = 692.81

SITE BENCHMARK 3
NW BOLT OF A FIRE HYDRANT AT THE NORTHEAST CORNER OF PARKER ROAD AND 131st STREET. ELEVATION = 693.47

LEGAL DESCRIPTION

THE NORTH 720 FEET OF THE WEST 726 FEET OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. EXCEPT THAT PART DESCRIBED AS FOLLOWS: THAT PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTHERLY RIGHT OF WAY LINE OF 83 FOOT 131ST STREET WITH THE EASTERLY RIGHT OF WAY LINE OF 66 FOOT PARKER ROAD; THENCE EAST ALONG SAID SOUTHERLY LINE 30 FEET; THENCE SOUTHWESTERLY TO A POINT ON SAID EASTERLY LINE THAT IS 20 FEET SOUTH OF THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

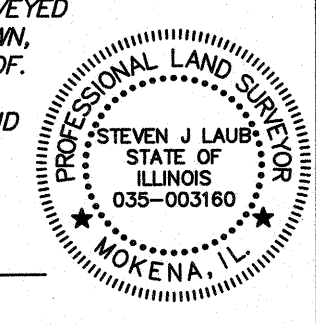
STATE OF ILLINOIS)
COUNTY OF WILL)

THIS IS TO CERTIFY THAT I, STEVEN J. LAUB, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY DESCRIBED IN THE CAPTION TO THE PLAT HEREOF DRAWN, AND THE SAID PLAT IS A TRUE AND CORRECT REPRESENTATION THEREOF.

ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

FOR REVIEW ONLY DATE: 2015

STEVEN J. LAUB
ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 35-3160
MY CURRENT LICENSE RENEWS NOV. 30, 2016



DESIGNTEK SURVEYING, LLC
PROFESSIONAL LAND SURVEYORS & CONSULTANTS
IL Prof. Lic. No.: 184 - 004929
License renews: April 30, 2017

9930 W. 190th Street, Suite L
Mokena, Illinois 60448
708-326-4961 voice
708-326-4962 fax

PREPARED FOR:
TEMPO DEVELOPMENT, LLC
11921 S. Hobart Street
Palos Park, IL 60464
708-751-2070

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

BOUNDARY & TOPOGRAPHIC SURVEY

13101 Parker Road Lemont, IL 60439

DRAFTING COMPLETED:	12/15/2015	DRAWN BY:	LWD	PROJECT MANAGER:	SJL
FIELD WORK COMPLETED:	11/02/2015	CHECKED BY:		SCALE:	1" = 50'

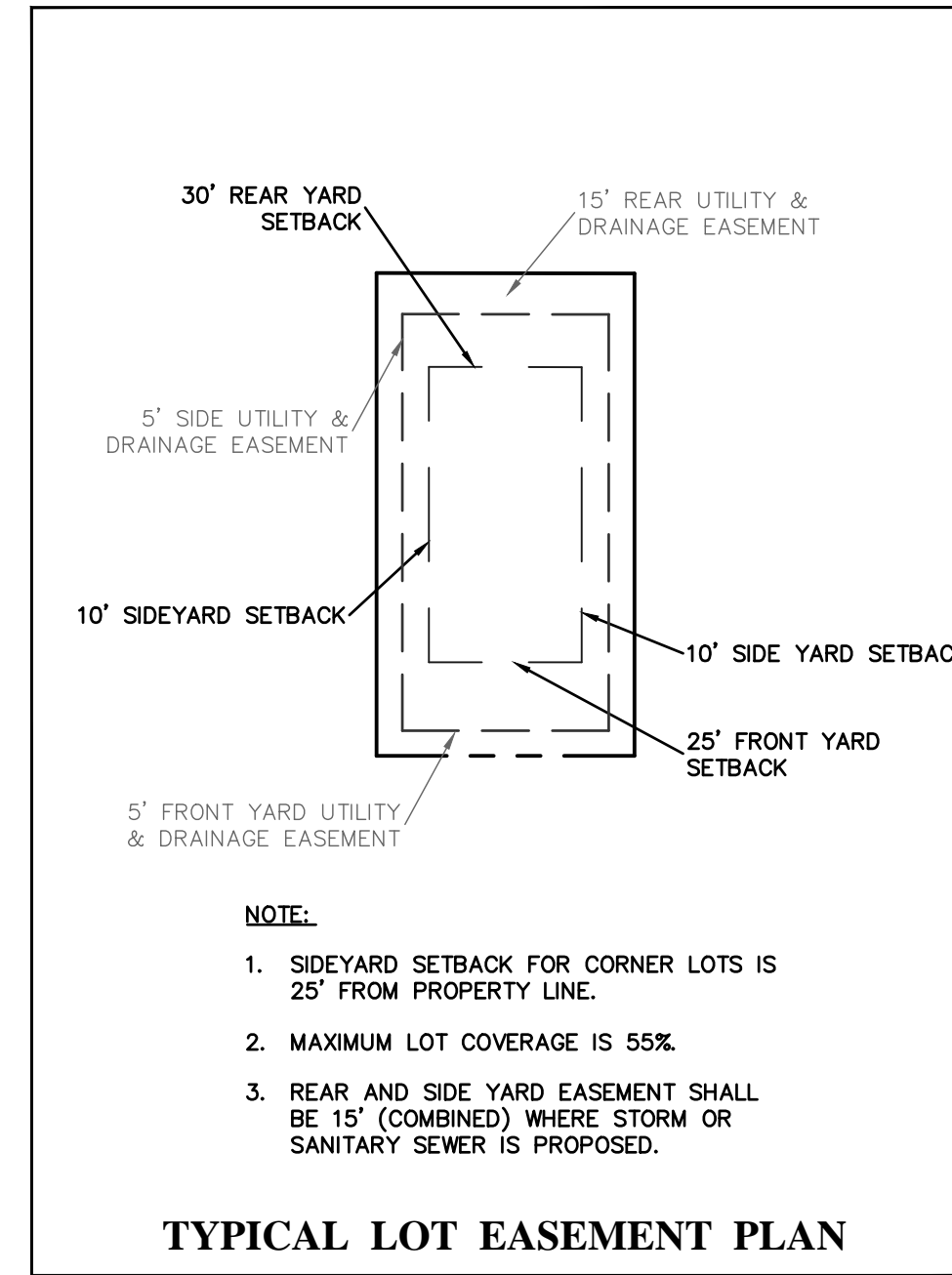
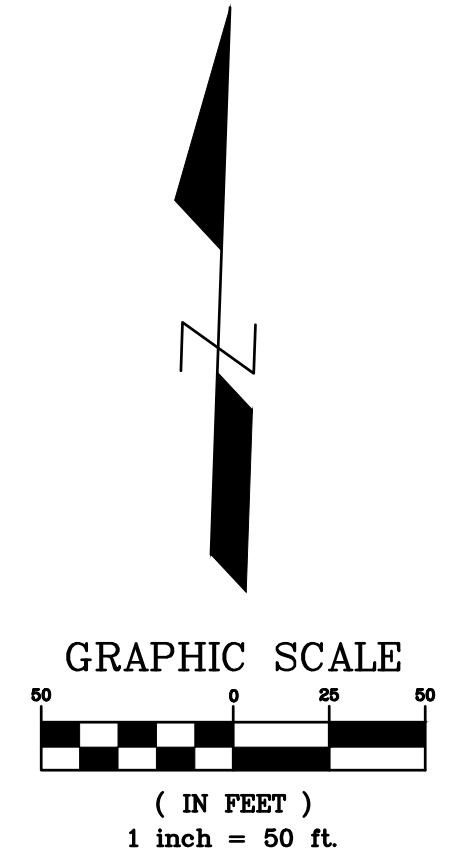
SHEET NO.
1 of 1

Project No: 15-10002

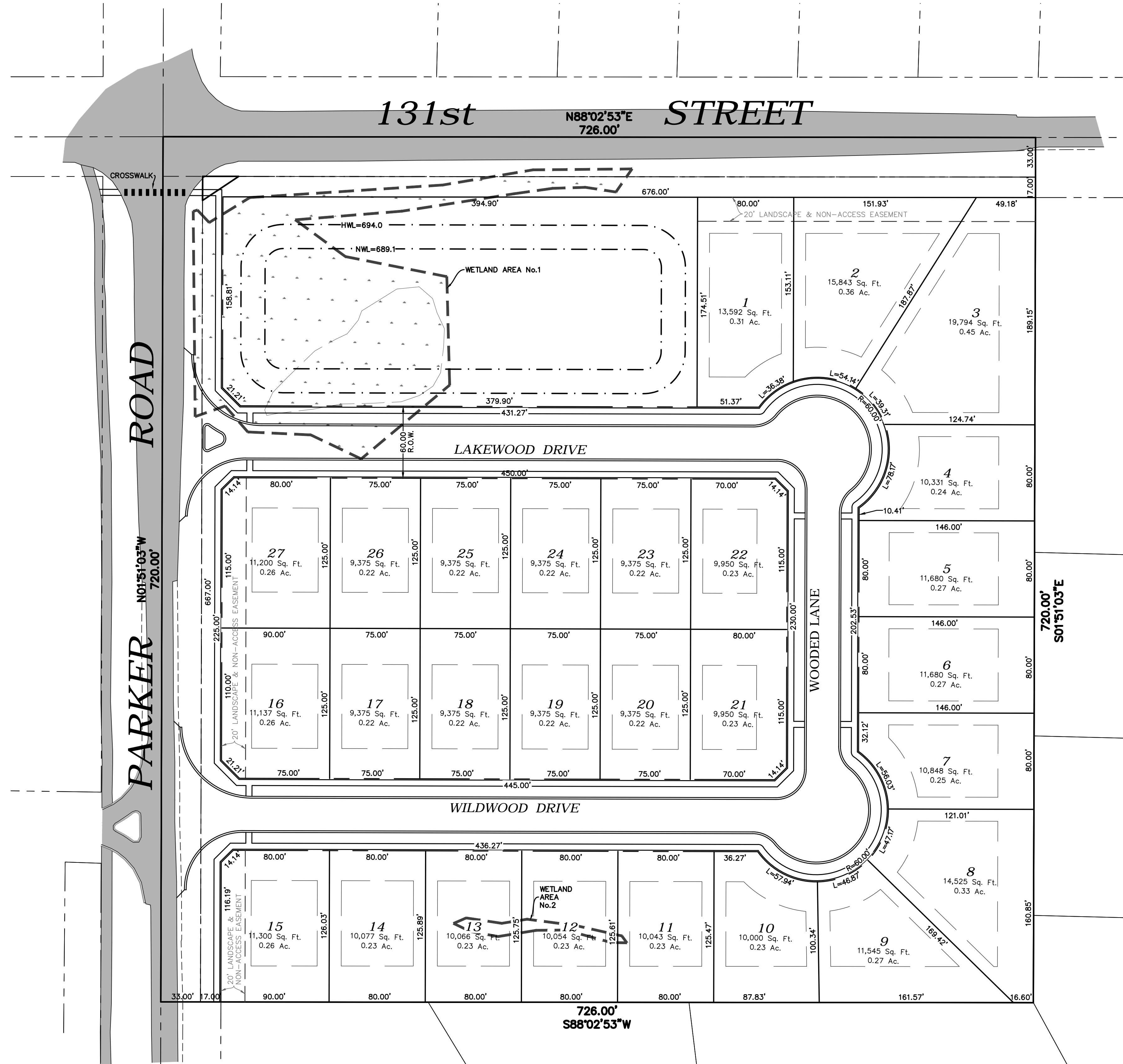
SITE PLAN FOR FOX MEADOWS LEMONT, ILLINOIS



LOCATION MAP
NOT TO SCALE



SITE DATA	
GROSS SITE AREA:	11.99 Ac.
131st & PARKER ROAD DEDICATION:	1.60 Ac.
DETENTION & GREENSPACE:	1.58 Ac.
27 SINGLE FAMILY LOTS:	6.86 Ac.
INTERNAL ROAD ROW:	1.95 Ac.
DENSITY (DWELLING UNITS/GROSS AREA)	2.25

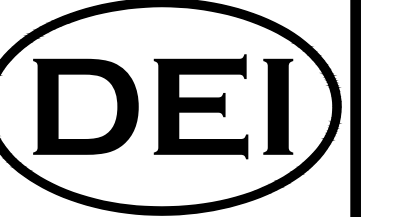


NO.	DATE	DESCRIPTION
1	1/19/18	PER VILLAGE REVIEW
2	02/07/18	PER VILLAGE REVIEW
3	04/05/18	PER VILLAGE REVIEW
4	04/26/18	PER VILLAGE REVIEW
5	04/26/18	PER VILLAGE BOARD REVIEW
6	05/27/18	PER VILLAGE BOARD REVIEW
7	06/27/18	PER VILLAGE REVIEW

TEMPO DEVELOPMENT, INC.
11921 S. HOBART STREET
PALOS PARK, ILLINOIS 60464
708-751-2070

SITE PLAN
FOR
FOX MEADOWS
LEMONT, ILLINOIS

DESIGNTEK ENGINEERING, INC.
CONSULTING AND SITE DESIGN ENGINEERS
9930 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
IL PROF. LIC. NO.: 184-003740



PROJECT INFORMATION
Project No.: 15-0031
Scale: 1" = 50'
Date: 12/28/15
Design By: MJF
Drafted By: LWD
Checked By: MJF

PRELIMINARY ENGINEERING PLAN FOR FOX MEADOWS LEMONT, ILLINOIS

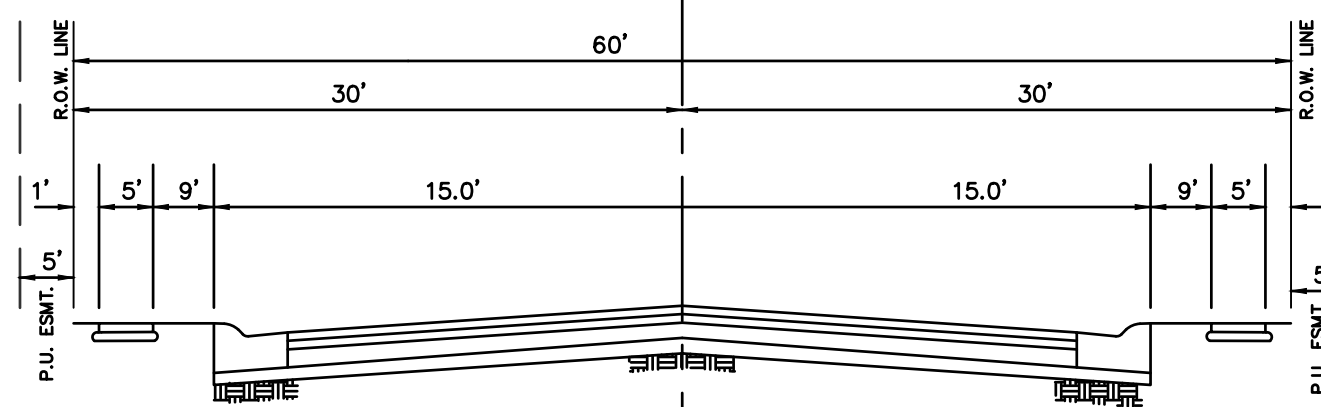


LOCATION MAP
NOT TO SCALE

LEGEND

EXISTING	PROPOSED

TYPICAL R.O.W. SECTION



BENCHMARKS

ORIGINAL BENCHMARK

DESIGNATION - DK 2002 PID DN4687: 27 FT (8.2 M) NORTH OF MCCARTHY ROAD, 54 FT (16.5 M) WEST OF THE CENTERLINE OF THE ENTRANCE TO HOLY FAMILY VILLA, 3.5 FT (1.1 M) SOUTH OF A CHAIN LINK FENCE, 1 FT (0.3 M) SOUTH OF AN ORANGE CARSONITE MARKER. DATUM POINT IS THROUGH A 6-INCH (15 CM) LOGO CAP AND THE ROD (DATUM POINT) IS SURROUNDED BY A FLOATING BRONZE DISK. ELEVATION = 726.13 NAVD83

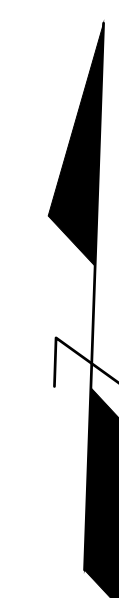
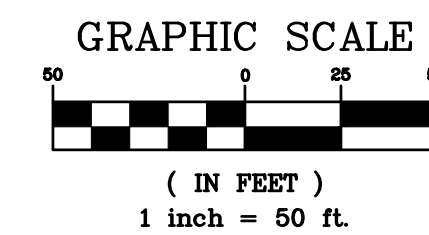
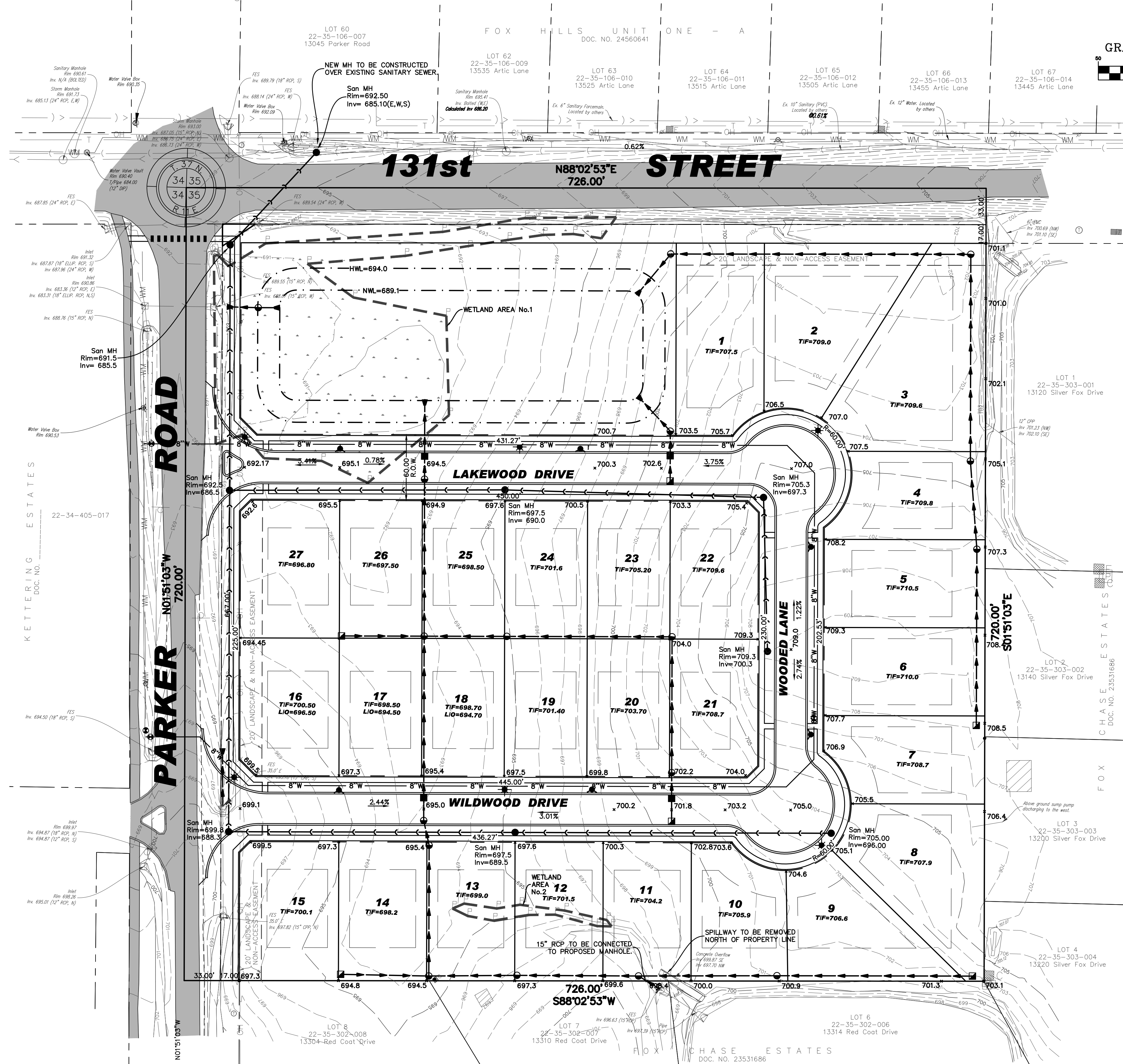
SITE BENCHMARK 1
NW BOLT OF A FIRE HYDRANT 35 FEET WEST OF THE CENTERLINE OF PARKER ROAD AND 450 FEET SOUTH OF THE CENTERLINE OF 131st STREET. ELEVATION = 697.25

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NW BOLT OF A FIRE HYDRANT 35 FEET WEST OF THE CENTERLINE OF PARKER ROAD AND 200 FEET SOUTH OF THE CENTERLINE OF 131st STREET. ELEVATION = 692.81

SITE BENCHMARK 3
NW BOLT OF A FIRE HYDRANT AT THE NORTHEAST CORNER OF PARKER ROAD AND 131st STREET. ELEVATION = 693.47

PRELIMINARY ENGINEERING NOTES

- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS AND STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS AND THE VILLAGE OF LEMONT SUBDIVISION CODE.
- SEE PRELIMINARY SITE PLAN FOR SETBACKS AND EASEMENT WIDTHS. APPROPRIATE EASEMENTS FOR ALL UTILITIES OUTSIDE OF THE DEDICATED RIGHT-OF-WAY AND FOR STORMWATER DETENTION FACILITIES WILL BE PROVIDED AT THE TIME OF FINAL ENGINEERING AND SHALL BE REFLECTED ON THE FINAL PLAN OF SUBDIVISION.
- ALL MATERIALS USED IN CONSTRUCTION SHALL CONFORM TO THE VILLAGE OF LEMONT APPROVED STANDARDS.
- ALL MAINLINE SANITARY SEWERS SHALL BE 8" (INCHES) UNLESS NOTED OTHERWISE ON THE PLAN. ALL MAINLINE SANITARY SEWERS SHALL BE PVC TYPICALLY ASTM D-3034, SDR 26. SANITARY SERVICES SHALL BE TYPICALLY PVC SDR 26 PER ASTM D-3034.
- ALL MAINLINE WATERMAIN SHALL BE 8" (INCHES) UNLESS OTHERWISE NOTED ON THE PLAN. ALL WATERMAIN SHALL BE DUCTILE IRON, THICKNESS CL 52, CEMENT LINED. WATERMAIN SHALL HAVE A MINIMUM COVER OF 5.5' (FEET).
- ALL MAINLINE STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE. SIZE TO BE DETERMINED AT THE TIME OF FINAL ENGINEERING. (PVC STORM SEWER MAY BE USED IN REAR YARDS).
- PUBLIC STREET LIGHTS SHALL BE PROVIDED IN ACCORDANCE WITH THE VILLAGE OF LEMONT STANDARDS.
- PROPOSED ELEVATIONS, GRADING, UTILITY SIZES AND LOCATIONS, AS WELL AS PROPOSED SECTIONS AND DETAILS SHOWN HEREIN ARE PRELIMINARY IN NATURE AND ARE SUBJECT TO REVISION AT THE TIME OF FINAL ENGINEERING.



NO.	DATE	DESCRIPTION
1	1/19/16	PER VILLAGE REVIEW
2	2/17/16	PER VILLAGE REVIEW
3	3/27/16	PER VILLAGE REVIEW
4	04/05/16	PER VILLAGE REVIEW
5	04/26/16	PER VILLAGE REVIEW
6	05/27/16	PER VILLAGE BOARD REVIEW

TEMPO DEVELOPMENT, INC.
11921 S. HOBART STREET
PALOS PARK, ILLINOIS 60464
708-751-2070

PRELIMINARY ENGINEERING PLAN
FOR
FOX MEADOWS
LEMONT, ILLINOIS

DESIGNTEK ENGINEERING, INC.
CONSULTING AND SITE DESIGN ENGINEERS
9930 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
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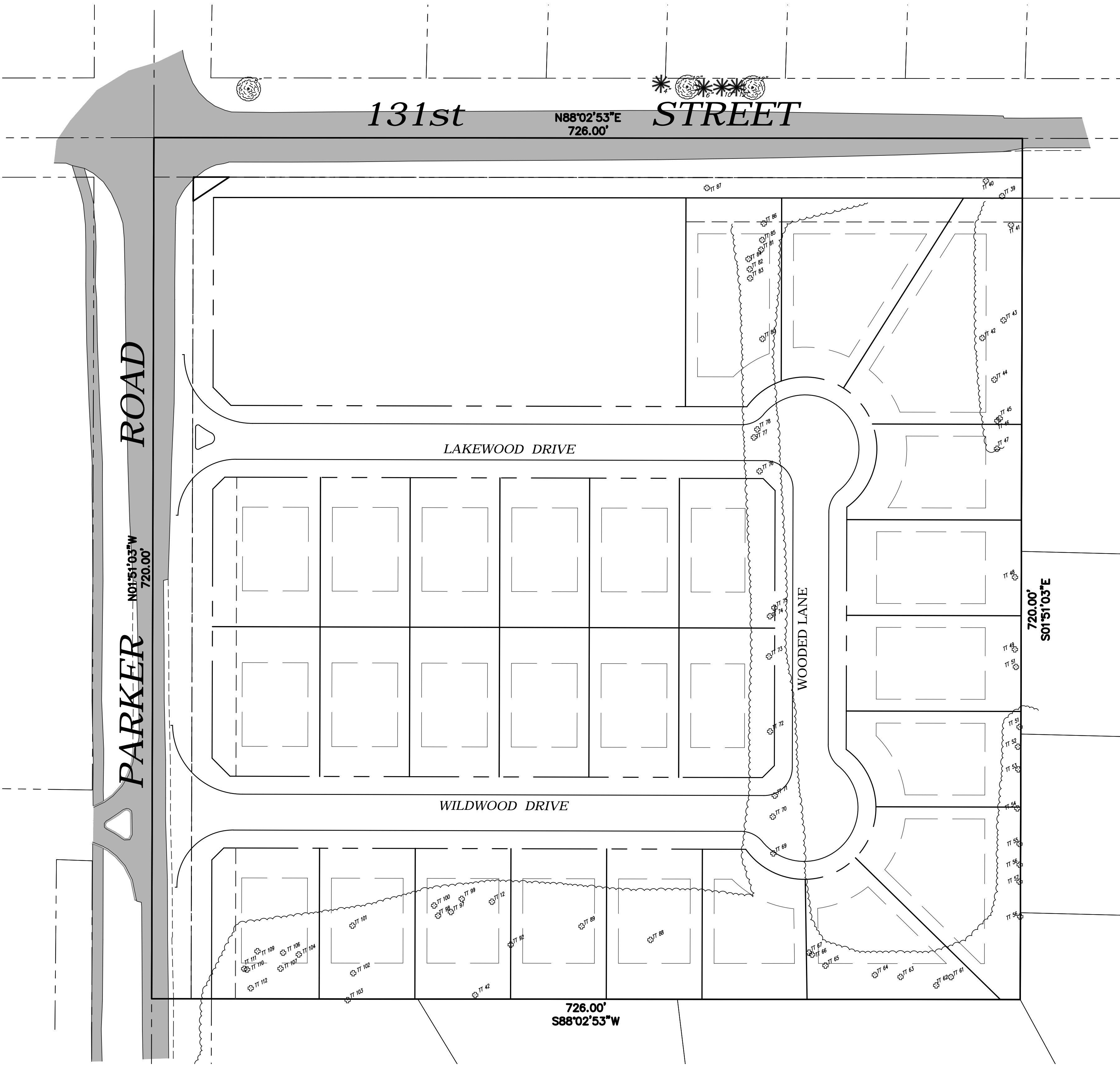
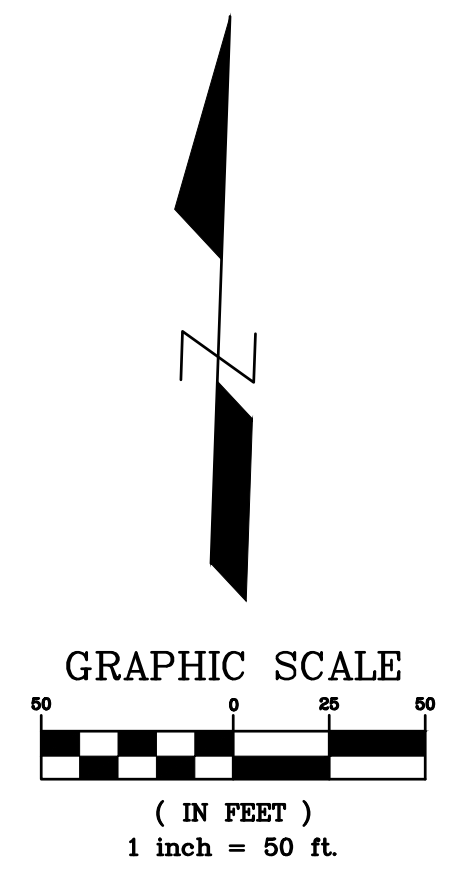
PROJECT INFORMATION
Project No.: 15-0031
Scale: 1" = 50'
Date: 12/28/15
Design By: MJF
Drafted By: LWD
Checked By: MJF

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EXISTING TREE SURVEY FOR FOR **FOX MEADOWS** LEMONT, ILLINOIS



LOCATION MAP
NOT TO SCALE



NO.	DATE	DESCRIPTION	BY
1	06/29/16	PER VILLAGE REVIEW	MJF

TEMPO DEVELOPMENT, INC.
11921 S. HOBART STREET
PALOS PARK, ILLINOIS 60464
708-751-2070

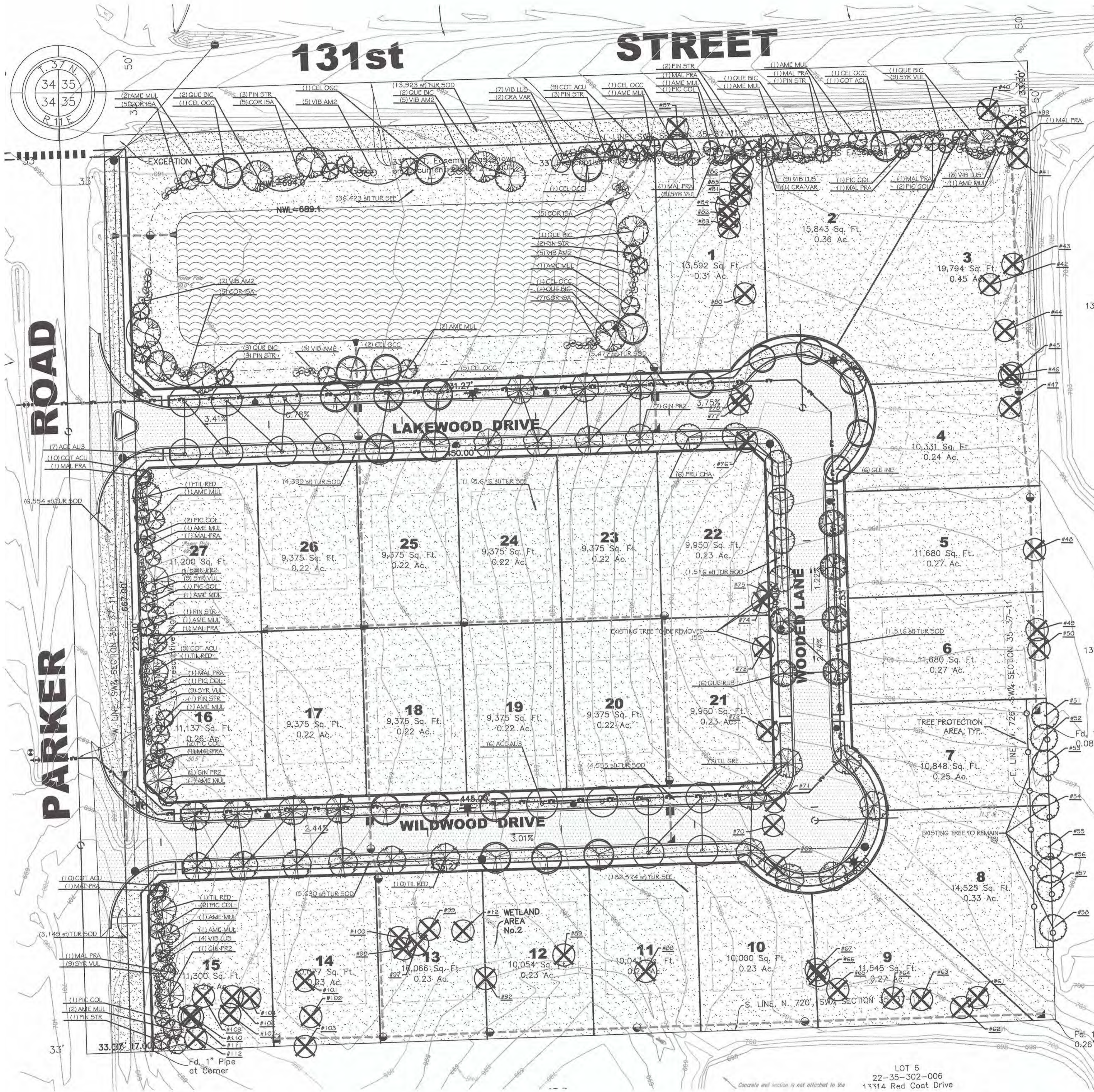
SITE PLAN
FOR
FOX MEADOWS
LEMONT, ILLINOIS

DESIGNTEK ENGINEERING, INC.
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9930 190TH STREET, SUITE L
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Checked By: MJF

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PLANT SCHEDULE

CANOPY TREES	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
ACE AUB	ACER RUBRUM 'AUTUMN BLAZE' / AUTUMN BLAZE RED MAPLE	B # B	3" CAL	13
CEL OCC	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B # B	3" CAL	19
GIN PR2	GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY GINKGO	B # B	3" CAL	10
GLE INE	GLEDTISIA TRIACANTHOS INERMIS 'SKYCOLE' TM / SKYLINE THORNLESS HONEY LOCUST	B # B	3" CAL	6
PRU CHA	PYRUS CALLERYANA 'CHANTICLEER'	B # B	3" CAL	6
QUE BIC	QUERCUS BICOLOR / SWAMP WHITE OAK	B # B	3" CAL	11
QUE RUB	QUERCUS RUBRA / RED OAK	B # B	3" CAL	6
TIL RED	TILIA AMERICANA 'REDMOND' / REDMOND AMERICAN LINDEN	B # B	3" CAL	13
TIL GRE	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN	B # B	3" CAL	7
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
PIC COL	PICEA FUNGENS 'COLORADO GREEN' / BLUE SPRUCE	B # B	6" - 8" HT.	13
PIN STR	PINUS STROBUS / WHITE PINE	B # B	6" - 8" HT.	17
UNDERSTORY TREES	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
AME MUL	AMELANCHIER CANADENSIS / SHADBLOW SERVICEBERRY MULTITRUNK	B # B	6" - 8" HT.	20
CRA VAR	CRATAEGUS CRUS-GALLI INERMIS TM / THORNLESS COCKSPUR HAWTHORN	B # B	2" CAL	3
MAL PRA	MALUS X 'PRAIRIFIRE' / PRAIRIFIRE CRAB APPLE	B # B	6" - 8" HT.	13
DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
COR ISA	CORNUS SERICEA 'ISANTT' / ISANTT REDOSIER DOGWOOD	B # B	36" HT.	27
COT ACU	COTONEASTER ACUTIFOLIUS / PEKING COTONEASTER	B # B	36" HT.	49
SYR VUL	SYRINGA VULGARIS / COMMON LILAC	B # B	36" HT.	45
VIB LUS	VIBURNUM DENTATUM 'CHICAGO LUSTER' / CHICAGO LUSTER ARROWWOOD	B # B	36" HT.	28
VIB AM2	VIBURNUM TRILOBUM / AMERICAN CRANBERRYBUSH	B # B	36" HT.	27
GROUND COVERS	BOTANICAL NAME / COMMON NAME	COND.	SIZE	QTY
TUR SEE	TURF SEED			337,613 SF
TUR SOD	TURF SOD / DROUGHT TOLERANT FESCUE BLEND			46,721 SF

LANDSCAPE NOTES:

- PLANT QUALITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUALITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISTORTED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8' FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- ANY AREAS TO BE LOAMED AND SEEDED WHICH HAVE NOT BEEN DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 1"-2" OF LOAM OVER SCARIFIED EXISTING SOILS. CARE SHOULD BE GIVEN TO NOT PLACE GREATER THAN 1" SOIL OVER EXPOSED ROOTS OF EXISTING TREES IN SUCH AREAS.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/REPLACE AND UTILITY, PAVING, CURBS, ETC. WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO PLAN OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING SIZES AND FOOTPRINTS.
- REFER TO ENGINEERING PLANS FOR DETENTION CALCULATIONS, UTILITY LOCATIONS, TOPOGRAPHIC INFORMATION AND THE LIKE.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
- ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE SOD AS A GROUNDCOVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SOD UNLESS OTHERWISE NOTED.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.

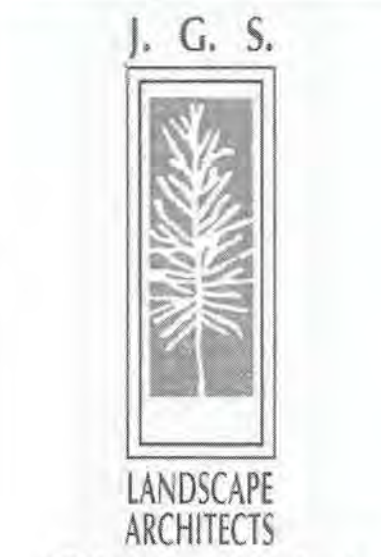
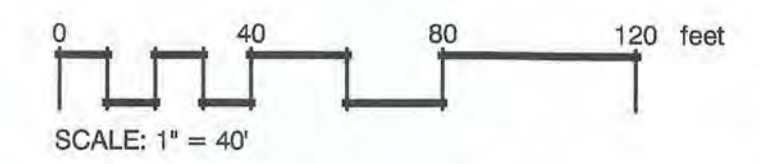
EXISTING TREE INFORMATION

	EXISTING TREE TO REMAIN	8
	EXISTING TREE TO BE REMOVED	54

TREE PROTECTION NOTES:

- ALL EXISTING TREES IN GOOD CONDITION WITHIN THE TREE PROTECTION AREA TO BE PROTECTED AND REMAIN ON SITE.
- ALL EXISTING TREES ON SITE THAT ARE NOT IN THE TREE PROTECTION AREA SHALL BE REMOVED FROM SITE.
- SEE TREE PROTECTION DETAIL ON LANDSCAPE DETAIL SHEET.
- ALL TREE TO BE PROTECTED WILL HAVE TREE PROTECTION FENCE INSTALLED A MINIMUM OF 1' FROM TREE TRUNK FOR EACH 1" CALIPER OF TREE TRUNK DBH.

LOT 6
22-35-302-006
13114 Red Coat Drive



7751 W. Mc Carthy Road
Palos Park, Illinois 60464
office: 708.361.5124

J.G.S.	01/30/16
J.G.S.	05/03/16
J.G.S.	05/10/16
J.G.S.	06/02/16
J.G.S.	06/11/16

Landscape Plan

Fox Meadows

Lemont, Illinois

© 2015 Copyright. This Drawing is the Property of John G. Schiera Landscape Architects, Inc. All Rights Reserved.

PREPARED FOR:
Tempo Development
LOCATION:
Lemont, IL
DATE:
12-31-2015
SCALE:
1" = 40'
COMPUTER NAME:
JOB NUMBER:
55G_38_2015

SHEET
L-1

Exhibit F

FINDINGS. Based upon the evidence and testimony presented in the public hearing, the Lemont Village Board of Trustees finds the following:

1. The Lemont 2030 Comprehensive Plan's future land use map designates the subject site as Conventional neighborhood (CONV N.); the proposed PUD implements the recommendation of the 2030 plan.
2. The PUD request achieves the UDO 17.08.010C objective of ensuring that the future growth and development which occurs is in accordance with policies and goals of the Village.
3. The PUD request achieves the UDO 17.08.010C objective of stimulating economic development within the Village
4. The rezoning meets all of the criteria for evaluating rezoning requests.



Village of Lemont
Planning & Economic Development Department

418 Main Street · Lemont, Illinois 60439
phone 630-257-1595 · fax 630-257-1598

TO: Mayor Reaves
Village Board of Trustees

FROM: Heather Valone, Village Planner

THRU: Charity Jones, AICP, Planning & Economic Development Director

SUBJECT: Case 15-14 Equestrian Meadows Final PUD/Plat

DATE: June 20, 2016

SUMMARY

Equestrian Meadows Development Company, LLC, owner of the subject property, has requested a Final planned unit development approval for Phase I of the single-family home subdivision. Phase I contains 22 of the 34 lots. The Planning and Zoning Commission and staff are recommending approval.

BOARD ACTION

Vote on the attached ordinance and resolution.

ATTACHMENTS

1. An Ordinance Granting Final Planned Unit Development (PUD) Plan/Plat Approval for Phase I of a Single-Family Detached Residential Subdivision Located as 12150 Bell Road in Lemont, Illinois.
2. A Resolution Approving a Final Plat of Subdivision for a Property Located at 12150 Bell Road in Lemont, Illinois.

VILLAGE OF LEMONT

ORDINANCE NO. _____

**AN ORDINANCE GRANTING FINAL PLANNED UNIT DEVELOPMENT (PUD)
PLAN/PLAT APPROVAL FOR PHASE I OF A SINGLE-FAMILY DETACHED
RESIDENTIAL SUBDIVISION LOCATED AT 12150 BELL ROAD IN LEMONT,
ILLINOIS.**

(Equestrian Meadows Phase I)

**Adopted by the
President and Board of Trustees
of the Village of Lemont**

This 27th Day of June, 2016

**Published in pamphlet form by
authority of the President and
Board of Trustees of the Village
of Lemont, Cook, DuPage, and Will
Counties, Illinois this 27th day of
June, 2016.**

ORDINANCE NO. _____

AN ORDINANCE GRANTING FINAL PLANNED UNIT DEVELOPMENT (PUD) PLAN/PLAT APPROVAL FOR PHASE I OF A SINGLE-FAMILY DETACHED RESIDENTIAL SUBDIVISION LOCATED AT 12150 BELL ROAD IN LEMONT, ILLINOIS.

(Equestrian Meadows Phase I)

WHEREAS, Equestrian Meadows Development Company, LLC, (hereinafter referred to as the “Petitioner”), is the owner of the property covering approximately 15.8 acres located at 12150 Bell Road (PIN # 22-26-201-011-0000), legally described and depicted in Exhibit A (hereinafter referred to as the “Subject Property”); and

WHEREAS, the Petitioner applied pursuant to the provisions of the Lemont, Illinois Municipal Code, Title 17 Unified Development Ordinance (“UDO”) seeking approval of a final plat of subdivision and planned unit development, consisting of the following (hereinafter referred to as “Equestrian Meadows Final PUD Phase I”);

1. Final PUD Plat for Equestrian Meadows, prepared by Lincolnway Engineering and Land Surveying Ltd., dated 06/06/2016, attached hereto and incorporated herein as Exhibit B; and
2. Final Grading Plan for Equestrian Meadows, prepared by DesignTek Engineering, Inc., revised dated 06/17/2016, attached hereto and incorporated herein as Exhibit C; and
3. Final Utilities Plan for Equestrian Meadows, prepared by DesignTek Engineering, Inc., revised dated 06/17/2016, attached hereto and incorporated herein as Exhibit D; and
4. Existing Tree Survey for Equestrian Meadows, prepared by DesignTek Engineering, Inc., revised dated 04/26/2016, attached hereto and incorporated herein as Exhibit E; and
5. Tree Preservation Plan for Equestrian Meadows, prepared by DesignTek Engineering, Inc., revised dated 04/26/2016, attached hereto and incorporated herein as Exhibit F; and
6. Landscape Plan for Equestrian Meadows. Prepared by Barry Landscaping, revised dated 4/16/2016, attached hereto and incorporated herein as Exhibit G.

WHEREAS the Planning & Zoning Commission (PZC) at the May 18, 2016 PZC meeting, reviewed the Equestrian Meadows Final PUD Phase I and voted 6-0 to recommend approval of the Petitioner’s request, with conditions; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE, AND WILL, ILLINOIS:

SECTION 1: Incorporation of Recitals. The foregoing findings and recitals are hereby adopted as Section 1 of this Ordinance and are incorporated by reference as if set forth verbatim herein.

SECTION 2: Conditions. The final planned unit development shall have the following conditions:

1. **General Conditions.** Unless otherwise approved by the Village Board the Subject Property shall be developed and maintained in accordance with Village Code, the approved plans, the Annexation Agreement pertaining to the Subject Property and the exhibits to this Ordinance.
2. **Specific Conditions.** The following specific conditions shall apply:

A. Garages.

- 1) No more than 64.7% single-family detached units in the subdivision shall have three-car front loaded garages. Phase I shall have no more than 15 three-car front load garages.

B. Exterior Materials & Features.

- 1) All single-family detached units shall be constructed with masonry from grade to the top of the first storey.
- 2) Brick and stone veneer shall be anchored veneer. Adhered brick and stone veneer systems shall not be permitted, except adhered natural stone veneer shall be permitted for porch columns.
- 3) Siding shall be cement fiber board, LP Smart Side® or a comparable product of similar style and quality as approved by the Village Planning & Economic Development Director.

SECTION 4: The planned unit development approval shall lapse in the event the Petitioner does not file a complete application for a site development permit within one (1) year of the effective date of this ordinance, unless otherwise extended by the President and Board of Trustees of the Village.

SECTION 5: The Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

SECTION 6: This Ordinance shall be in full force and effect from and after its passage, approval and publication provided by law.

**PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF
THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DuPAGE,
ILLINOIS, ON THIS 27th DAY OF June, 2016.**

	<u>AYES</u>	<u>NAYS</u>	<u>ABSENT</u>	<u>ABSTAIN</u>
Debby Blatzer				
Paul Chialdikas				
Clifford Miklos				
Ron Stapleton				
Rick Sniegowski				
Jeanette Virgilio				

Approved by me this 27th day of June, 2016

BRIAN K. REAVES, Village President

Attest:

CHARLENE M. SMOLLEN, Village Clerk

COMMONWEALTH EDISON R.O.W.
250' WIDTH

NO DATA HEREIN SHOULD BE USED FOR CONSTRUCTION OR ESTABLISHING BOUNDARY OF FENCE LINES. FOR BUILDING RESTRICTIONS AND/OR EASEMENTS, REFER TO THE DEED, CONTRACT, TITLE POLICY OR LOCAL ZONING REGULATIONS.
BOUNDARY DIMENSIONS ARE BASED ON THE PUBLIC RECORDS AND/OR THE LEGAL DESCRIPTION. LEGAL DESCRIPTION MADE HAS BEEN PROVIDED BY THE CLIENT AND MUST BE COMPARED WITH THE PUBLIC RECORDS AND/OR THE LEGAL DESCRIPTION. THE PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE PUBLIC RECORDS AND/OR THE LEGAL DESCRIPTION. DISCREPANCIES FOUND BETWEEN FIELD CONDITIONS AND DIMENSIONS SHOWN ON THIS DOCUMENT SHALL BE REPORTED TO THE CLIENT IMMEDIATELY. LIABILITY OF LINCOLNWAY ENGINEERING AND LAND SURVEYING ASSOCIATED WITH THIS DOCUMENT AND THE WORK IT REPRESENTS IS LIMITED TO THE COST OF PRODUCTION.
LINCOLNWAY ENGINEERING AND LAND SURVEYING LTD. AN ILLINOIS PROFESSIONAL DESIGN FIRM, IS A REGISTERED PROFESSIONAL ENGINEERING AND LAND SURVEYING FIRM. THE ABOVE DESCRIBED PROPERTY HAS BEEN MEASURED IN THE FIELD AND THAT THIS DOCUMENT IS A TRUE AND CORRECT REPRESENTATION OF SAID FIELD WORK. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. LINCOLNWAY ENGINEERING AND LAND SURVEYING CORPORATION LICENSE EXPIRES APRIL 30, 2017
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
DATED THIS 31ST DAY OF JUNE, 2015 CORP. LIC. # 184-008623
BY ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, MATTHEW D. DUNN
ILLINOIS SURVEYORS LICENSE # 3107, MY LICENSE EXPIRES 11/30/2016



SCALE: 1" = 30'

THE SOUTH ONE HALF (1/2) OF THE FOLLOWING DESCRIBED TRACT: THE EAST ONE HALF (1/2) OF THE NORTHEAST QUARTER (1/4) (EXCEPT THE SOUTH 700 FEET THEREOF AND EXCEPT THE WEST 250 FEET THEREOF, AND ALSO EXCEPT THE NORTH 603 FEET THEREOF OF THE SEQUOIA PARCELS IN THE NORTH 1/4 EAST 1/2 OF THE SEQUOIA PARCELS IN MERIDIAN, N LEMONT TOWNSHIP, COOK COUNTY, ILLINOIS.

JOB NUMBER
150502

PREPARED FOR:
MARTH CONSTRUCTION

BOUNDARY SURVEY
12150 S. BELL RD.
LEMONT, ILLINOIS

COPYRIGHT 2014 LINCOLNWAY ENGINEERING AND LAND SURVEYING LTD.
LINCOLNWAY
ENGINEERING AND LAND SURVEYING LTD.
LAND SURVEYING • PLANNING
ENGINEERING • PERMITS
LAND DEVELOPMENT SCIENCES AND CONSULTING
846 REGENT STREET, NEW LENOX, IL. 60451
PHONE (630)301-1325

SHEET
1 OF 1
DATE: 6-2-2015

EQUESTRIAN MEADOWS PLANNED UNIT DEVELOPMENT PHASE I

Surveyor's Certificate
 STATE OF ILLINOIS)
)SS
 COUNTY OF WILL)

Owner's Certificate
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, MATTHEW D DUNN, Illinois Professional Land Surveyor No. 3107, do hereby certify that I have surveyed and subdivided the described as follows:

THE SOUTH 1/2 OF THE FOLLOWING DESCRIBED TRACT:
 THE EAST 1/2 OF THE NORTHWEST 1/4 (EXCEPT THE SOUTH 700 FEET THEREOF AND EXCEPT THE WEST 250 FEET THEREOF, AND ALSO EXCEPT THE NORTH 663 FEET THEREOF) OF SECTION 26, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN,

AND ALSO EXCEPTING THAT PART DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEAST CORNER OF THE ABOVE TRACT, SAID POINT ALSO BEING THE INTERSECTION OF THE EAST LINE OF SAID NORTHWEST 1/4 AND THE NORTH LINE OF THE SOUTH 700 FEET OF SAID NORTHWEST 1/4, THENCE WEST ALONG THE NORTH LINE OF THE SOUTH 700 FEET (THE SOUTH LINE OF THE ABOVE TRACT) A DISTANCE OF 110.5 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 01 DEGREE, 53 MINUTES, 51 SECONDS WEST, A DISTANCE OF 59.43 FEET, THENCE NORTH 57 DEGREES, 33 MINUTES, 32 SECONDS WEST A DISTANCE OF 154.19 FEET, THENCE ALONG A 100 FOOT RADIUS CURVE TO THE NORTHEAST AN ARC DISTANCE OF 100.54 FEET TO A LINE TANGENT TO THE TERMINUS OF SAID CURVE, SAID TANGENT BEARING NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST, THENCE NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST, THENCE NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST ALONG THE PREVIOUSLY DESCRIBED LINE A DISTANCE OF 67.29 FEET, THENCE SOUTH 88 DEGREES, 22 MINUTES, 39 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 60.00 FEET, THENCE NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 22.94 FEET, THENCE SOUTH 88 DEGREES, 22 MINUTES, 39 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 525.00 FEET, THENCE SOUTH 01 DEGREES, 37 MINUTES, 21 SECONDS EAST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 130.23 FEET, THENCE NORTH 88 DEGREES, 22 MINUTES, 39 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL AN ARC LENGTH OF 20.10 FEET, THENCE ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE BEARING SOUTH 26 DEGREES, 48 MINUTES, 36 SECONDS WEST A DISTANCE OF 19.99 FEET, THENCE ALONG A 230 FOOT RADIUS CURVE TO THE SOUTHWEST TANGENT TO THE LAST DESCRIBED CALL AN ARC DISTANCE OF 101.11 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 700 FEET OF SAID NORTHWEST 1/4, THENCE NORTH 88 DEGREES, 22 MINUTES, 39 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTH A DISTANCE OF 706.94 FEET TO THE POINT OF BEGINNING.

Manager: Ann Bell,
 Manager: James Marth

STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, _____, a Notary Public in and for said County in the State aforesaid, do hereby certify that Ann Bell and James Marth of Equestrian Meadows LLC, are personally known to me to be the same persons whose names are subscribed to this subdivision plat as Managers of Equestrian Meadows LLC, appeared before me this day in person and acknowledged that they signed this subdivision plat as their own free and voluntary act and the free and voluntary act of Equestrian Meadows LLC, for the uses and purposes therein set forth.

Given under my hand and seal this ____ day of _____ 20____

Notary Public

Owner's Certificate - School District(s)
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

This is to certify that the undersigned are the Managers of record of Equestrian Meadows LLC, the owner of the following described land, and here certifies that the subject property is located with the following school districts:

ELEMENTARY SCHOOL DISTRICT; LEMONT-BROMBERG COMBINED DISTRICT 113A HIGH SCHOOL DISTRICT; LEMONT TOWNSHIP HIGH SCHOOL DISTRICT 210 COMMUNITY COLLEGE DISTRICT; JOLIET JUNIOR COLLEGE DISTRICT 525

in Cook, DuPage and Will, Counties, Illinois.

Dated this ____ day of _____ 20____

By: Ann Bell, Manager By: James Marth, Manager

School District Notary Certificate
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, _____, a Notary Public in and for said County in the State aforesaid, so hereby certify that Ann Bell and James Marth are personally known to me to be the Managers of Equestrian Meadows Development Company LLC and the same persons whose names are subscribed to the foregoing instrument as such Managers appeared before me this day in person and acknowledged that they signed the subdivision plat as their own free and voluntary act for the uses and purposes therein set forth.

Given under my hand and Notarial Seal
 This ____ Day of _____ 20____
 By: _____ Notary Public

Surface Water Drainage Certificate
 STATE OF ILLINOIS)
)SS
 COUNTY OF WILL)

We hereby certify that the topographical and profile studies required by the Illinois Plat Act, Ill. Compiled Stat., ch. 109, sec. 1 et seq., as now or hereafter amended, have been filed with the Village of Lemont, a municipal corporation in Cook, DuPage, and Will Counties, Illinois, and the certification as to drainage required by said Act made thereon.

Dated this ____ day of _____ 20____

Scott Schreiner
 Registered Professional Engineer No. 062-049702
 My License Expires 11-30-2017

Ann Bell James Marth
 Managers of Equestrian Meadows Development Company LLC.

THE SOUTH 1/2 OF THE FOLLOWING DESCRIBED TRACT:
 THE EAST 1/2 OF THE NORTHWEST 1/4 (EXCEPT THE SOUTH 700 FEET THEREOF AND EXCEPT THE WEST 250 FEET THEREOF, AND ALSO EXCEPT THE NORTH 663 FEET THEREOF) OF SECTION 26, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN,

AND ALSO EXCEPTING THAT PART DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEAST CORNER OF THE ABOVE TRACT, SAID POINT ALSO BEING THE INTERSECTION OF THE EAST LINE OF SAID NORTHWEST 1/4 AND THE NORTH LINE OF THE SOUTH 700 FEET OF SAID NORTHWEST 1/4, THENCE WEST ALONG THE NORTH LINE OF THE SOUTH 700 FEET (THE SOUTH LINE OF THE ABOVE TRACT) A DISTANCE OF 110.5 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 01 DEGREE, 53 MINUTES, 51 SECONDS WEST, A DISTANCE OF 59.43 FEET, THENCE NORTH 57 DEGREES, 33 MINUTES, 32 SECONDS WEST A DISTANCE OF 154.19 FEET, THENCE ALONG A 100 FOOT RADIUS CURVE TO THE NORTHEAST AN ARC DISTANCE OF 100.54 FEET TO A LINE TANGENT TO THE TERMINUS OF SAID CURVE, SAID TANGENT BEARING NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST, THENCE NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST, THENCE NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST ALONG THE PREVIOUSLY DESCRIBED LINE A DISTANCE OF 67.29 FEET, THENCE SOUTH 88 DEGREES, 22 MINUTES, 39 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 60.00 FEET, THENCE NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 22.94 FEET, THENCE SOUTH 88 DEGREES, 22 MINUTES, 39 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 525.00 FEET, THENCE SOUTH 01 DEGREES, 37 MINUTES, 21 SECONDS EAST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 130.23 FEET, THENCE NORTH 88 DEGREES, 22 MINUTES, 39 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL AN ARC LENGTH OF 20.10 FEET, THENCE ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE BEARING SOUTH 26 DEGREES, 48 MINUTES, 36 SECONDS WEST A DISTANCE OF 19.99 FEET, THENCE ALONG A 230 FOOT RADIUS CURVE TO THE SOUTHWEST TANGENT TO THE LAST DESCRIBED CALL AN ARC DISTANCE OF 101.11 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 700 FEET OF SAID NORTHWEST 1/4, THENCE NORTH 88 DEGREES, 22 MINUTES, 39 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTH A DISTANCE OF 706.94 FEET TO THE POINT OF BEGINNING.

ALL IN COOK COUNTY, ILLINOIS.
 as shown on this subdivision plat, which is a true and correct representation of said survey and subdivision. All distances are shown in feet and decimal parts thereof. I certify that iron rods were set at all lot corners and that monuments were placed at all lot corners as depicted per state statutes. I further certify that all regulations enacted by the Board of Trustees of the Village of Lemont, a municipal corporation in Cook, DuPage and Will Counties, Illinois, relative to plats and subdivisions have been complied within the preparation of this plat.

I further certify that no part of the property covered by this plat of subdivision is located within a special food hazard area as identified by the Federal Emergency Management Agency and that no part of said property borders on or includes any public waters in which the State of Illinois has any property rights or property interests.

I further certify that this subdivision lies within the corporate limits of said Village of Lemont or within 1-1/2 miles of the corporate limits of said Village, which has adopted a city plan and is exercising the special powers authorized by Division 12 of Article 11 of the Illinois Municipal Code, as now or hereafter amended.

By my signature on this certificate, I hereby grant to the Village of Lemont, their respective successors and assigns, the authority to record this plat.

Given under my hand and seal at NEW LENOX, Illinois, this ____ day of _____ 20____
 Illinois Registered Land Surveyor

Village Engineer's Certificate

STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, _____, Village Engineer of the Village of Lemont, Illinois, hereby certify that the land improvements in this Subdivision, as shown by the Plans and Specifications therefore, meet the minimum requirements of said Village and have been approved by all public authorities having jurisdiction thereof. Dated at Lemont, Illinois, Cook, Will, and DuPage Counties, Illinois, this ____ day of _____ 20____

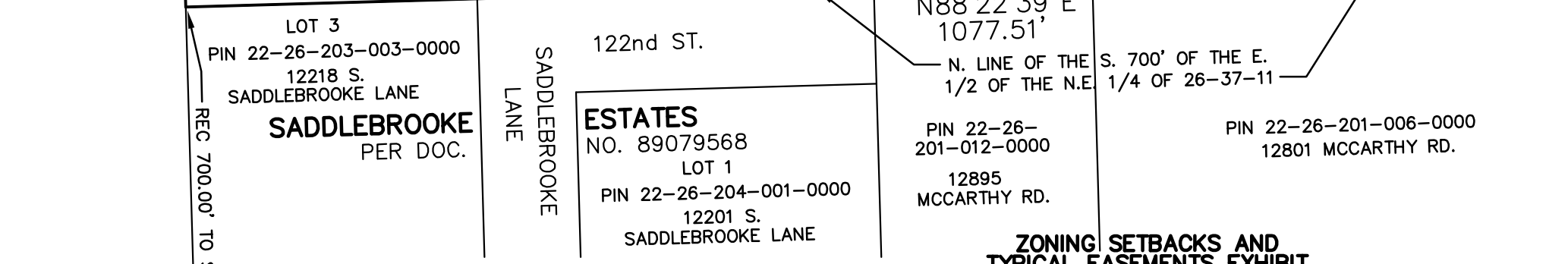
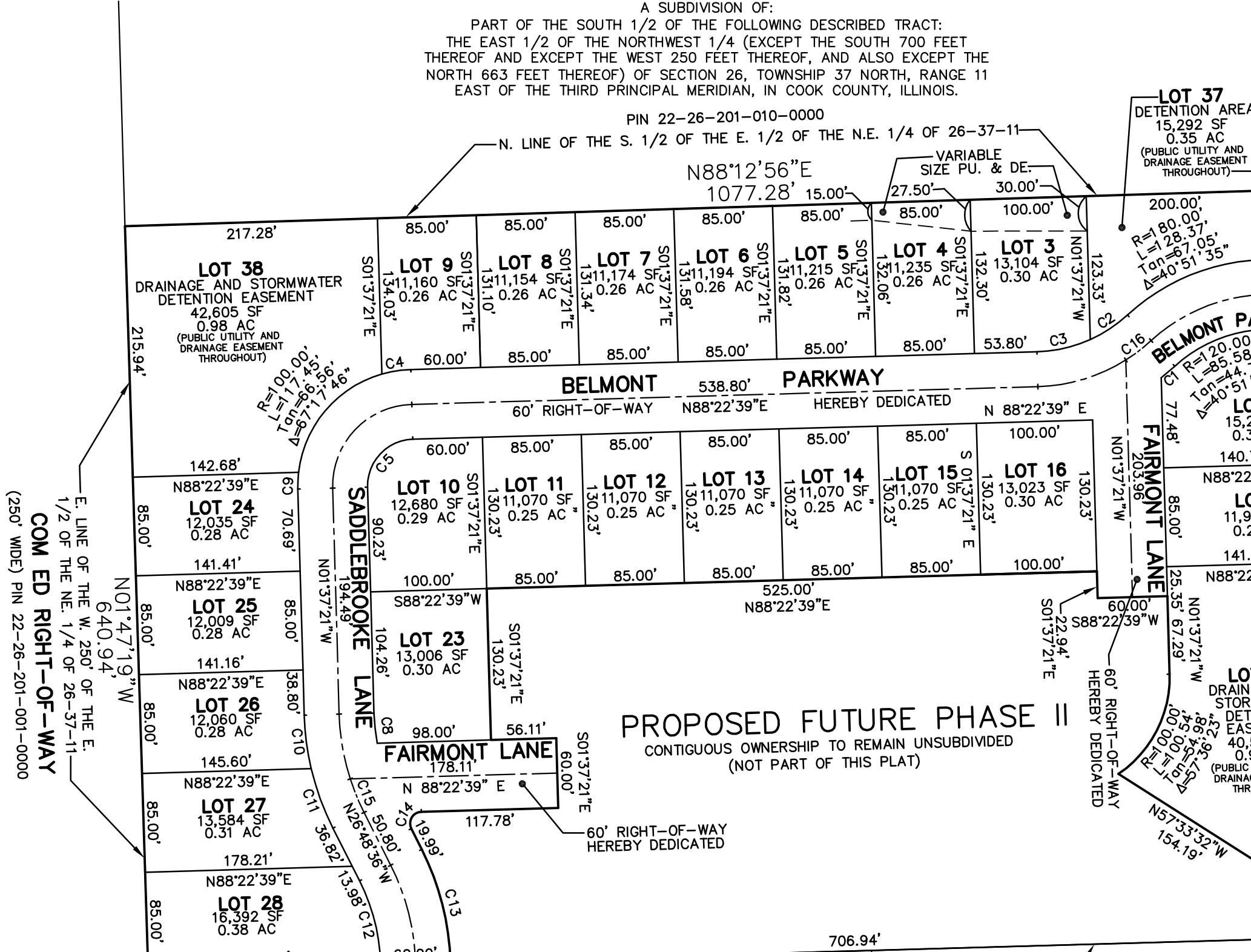
Village Engineer

Certificate as to Special Assessments
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, _____, Village Treasurer of the Village of Lemont, do hereby certify that there are no delinquent or unpaid current or forfeited special assessments, or any deferred installments of any outstanding unpaid special assessments which have not been divided in accordance with the proposed subdivision and duly approved by the court that confirmed the special assessment.

Dated at Lemont, COOK County, Illinois, this ____ day of _____ 20____

Village Treasurer



CURVE TABLE						
CURVE	LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING	TANGENT	DELTA
C1	15.30	180.00	15.30	N49°47'05"E	7.66	4°52'17"
C2	38.50	120.00	38.34	N56°22'29"E	19.42	18°23'05"
C3	47.42	120.00	47.12	N7°03'20"E	24.03	22°36'37"
C4	25.27	100.00	25.20	S81°08'19"W	12.70	14°28'39"
C5	62.83	40.00	56.57	S43°22'39"W	40.00	90°00'00"
C8	26.08	170.00	26.05	S06°01'01"E	13.06	8°47'19"
C9	14.36	100.00	14.35	S02°29'26"W	7.19	8°13'38"
C10	46.52	230.00	46.44	S07°25'02"E	23.34	11°35'20"
C11	54.59	230.00	54.46	S20°00'39"E	27.42	13°35'54"
C12	74.73	170.00	74.13	N14°12'59"W	37.98	25°11'14"
C13	101.11	230.00	100.30	N14°12'59"W	51.38	25°11'14"
C14	20.10	10.00	16.89	S30°47'01"W	15.75	115°11'14"
C15	31.19	200.00	31.16	S22°20'33"E	15.63	8°56'06"
C16	27.48	150.00	27.44	N52°35'53"E	13.78	10°29'52"

President and Board of Trustees Certificate
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

Approved and accepted by the Board of Trustees of the Village of Lemont, Cook County, Illinois at a Public Meeting held:
 this ____ day of _____ 20____

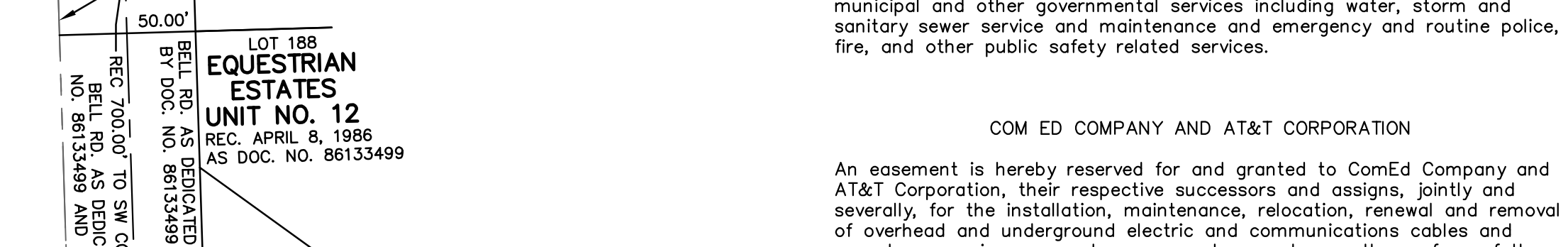
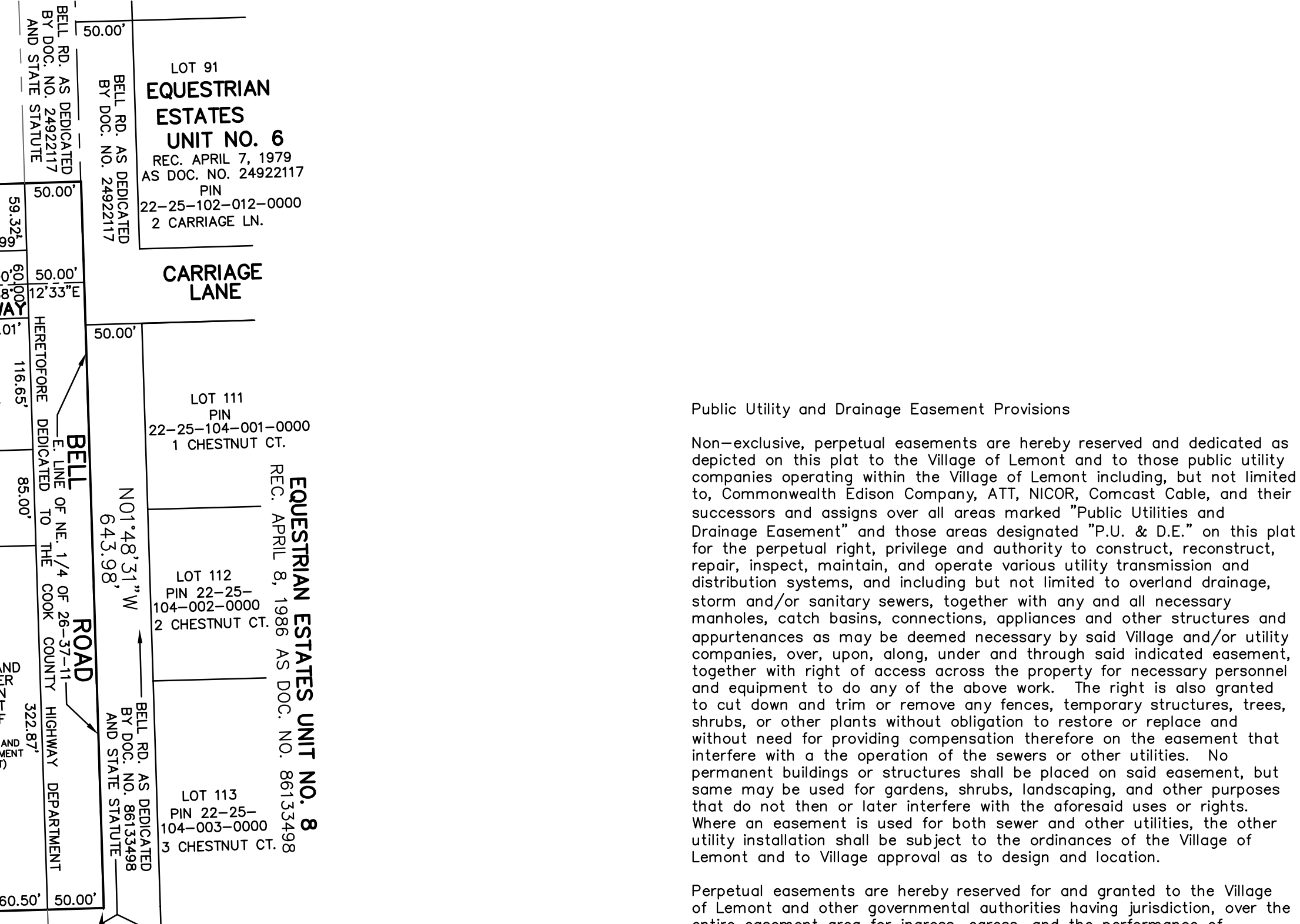
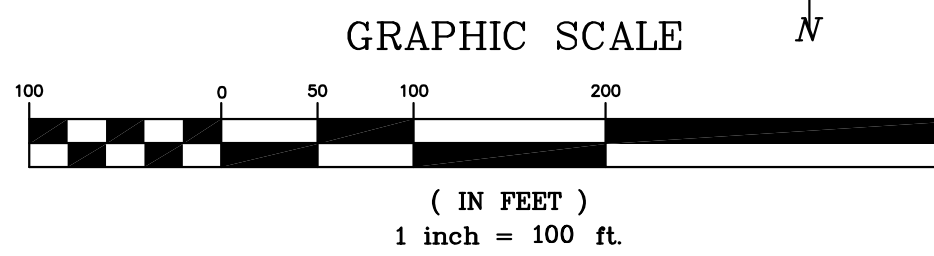
By: _____ President
 Attest: _____ Village Clerk

County Clerk Certificate
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, _____, County Clerk of COOK County, Illinois, do hereby certify that I find no delinquent general taxes, no unpaid current general taxes, no unpaid forfeited taxes, no delinquent or unpaid current special assessments, no redeemable tax sales against any of the land shown on this plat of subdivision and no deferred installments of any outstanding unpaid special assessments which have not been divided in accordance with the proposed subdivision and duly approved by the court that confirmed the special assessment.

Given under my hand and seal at COOK, County, Illinois, this ____ day of _____ 20____

County Clerk



Drainage and Stormwater Detention Easement
 Declarant hereby reserves and grants to the Village of Lemont in, over, under, through, and upon those areas designated on the Plat as Drainage and Stormwater Detention Easement" or "D.E." for purposes of providing adequate stormwater drainage control together with reasonable access thereto. Said easements shall be perpetual and shall run with the land and shall be binding upon the declarant, it's successors, heirs, executors and assigns. To ensure the integrity of the stormwater facilities, no obstructions shall be placed, nor alterations made, including alterations in the final topographical grading plan which in any manner impeded or diminish stormwater drainage of detention in, over, under, through or upon said easement areas. In the event such obstruction or alteration are found to exist, the Village shall, upon seventy-two (72) hours prior notice to the property owner, have the right, but not the duty, to perform, or have performed on it's behalf, the removal of said obstruction of alterations or to perform other repair, alteration or replacement as may reasonably be necessary to ensure that adequate stormwater storage, storm drainage, detention and retention facilities and appurtenances thereto remain fully operational and that the condition of said drainage easement complies with all applicable Village codes. In the event of an emergency situation, as determined by the Village, the seventy-two (72) hour prior notice requirement set fourth above shall not apply, and the Village shall have the right, but not the duty to proceed without notice to the property owner.

NICOR CORPORATION / NICOR GAS COMPANY
 An easement is hereby reserved for and granted to Nicor Corporation and Nicor Gas Company, their successors and assigns, jointly and severally, for the installation, maintenance, relocation, renewal and removal of mains and appurtenances in, under, across, along and upon the surface of the property shown on the plat and designated as "Public Utility and Drainage Easement" or "PU & DE" and the property designated on the plat for streets and alleys required to provide the Equestrian Meadows Subdivision and other property, weather or not contiguous thereto, with electric and communications services, together with the right to install required service connections over or under the surface of each lot to serve improvements thereon, or on adjacent lots, the right to cut, trim or remove trees, bushes and roots, as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes.

No buildings or other obstructions shall be placed over grantees' facilities or in, upon or over the property within the "Public Utility and Drainage Easement" or "PU & DE" without the prior written consent of grantees. Nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby. After installation of any such facilities, the grade of subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

COMCAST COMMUNICATIONS
 An easement is hereby reserved for and granted to Comcast Communications Corporation operating within the Village of Lemont, it's successors and assigns, jointly and severally, for the installation, maintenance, relocation, renewal and removal of cable communication and broadcast signal systems in, under, across, along and upon the surface of the property shown on the plat and designated as "Public Utility and Drainage Easement" or "PU & DE" and the property designated on the plat for streets and alleys as required to provide the Equestrian Meadows Subdivision and other property, whether not contiguous thereto, with communication and broadcast TV services, together with the right to install required service connections for each lot. No buildings or other obstructions shall be constructed or erected in any such "Public Utility and Drainage Easement" or "PU & DE" areas, without the prior written consent of grantees. Nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby.

In the event the Village shall perform, or have performed on it's behalf, removal of any obstruction or alteration to or upon the stormwater facilities drainage easement, as set forth in this easement, the cost of such work shall, upon recordation of Notice of Lien and the Record of Deeds of [Cook DuPage or Will] County, Illinois, constitute a lien against the assets of the property owner which cause such obstruction or alteration.

The cost of the work incurred by the Village shall include all expenses and costs associated with the performance of such work including, but not limited to, reasonable engineering, consulting and attorney's fees related to the planning and actual performance of the work.

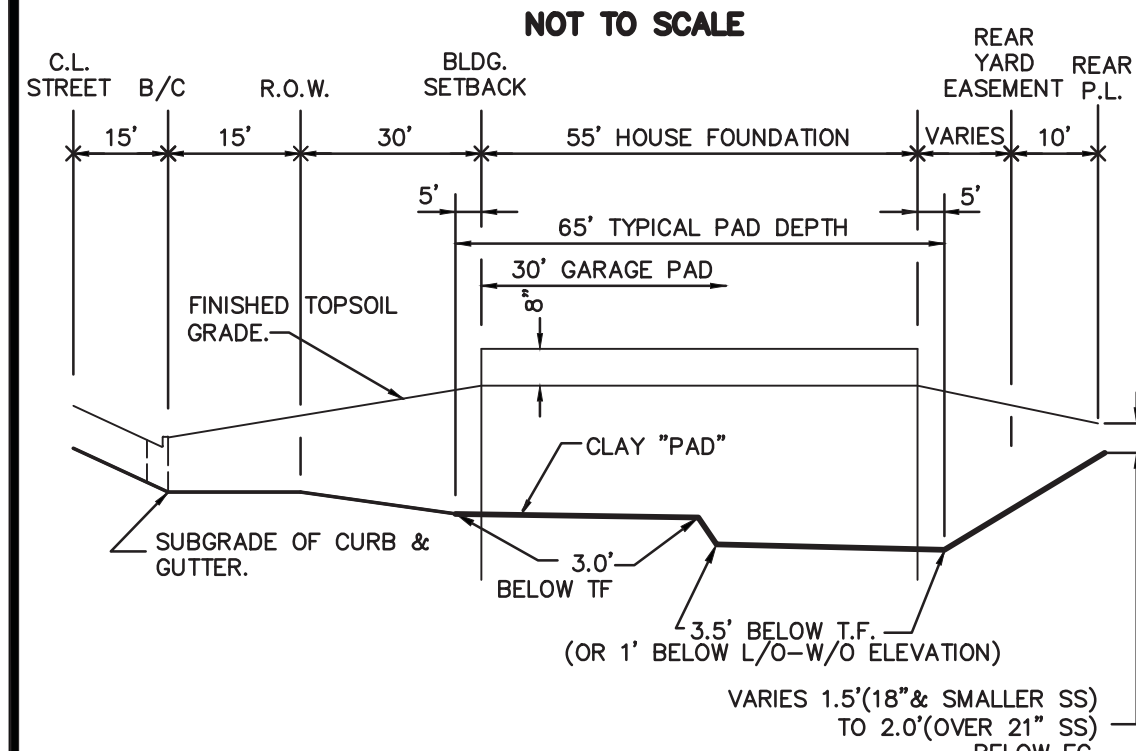
Lot 36, (Outlot C on the approved engineering plans) is hereby dedicated to the Village of Lemont for stormwater retention.

Lot 37, (Outlot B on the approved engineering plans) is hereby dedicated to the Village of Lemont for stormwater retention.

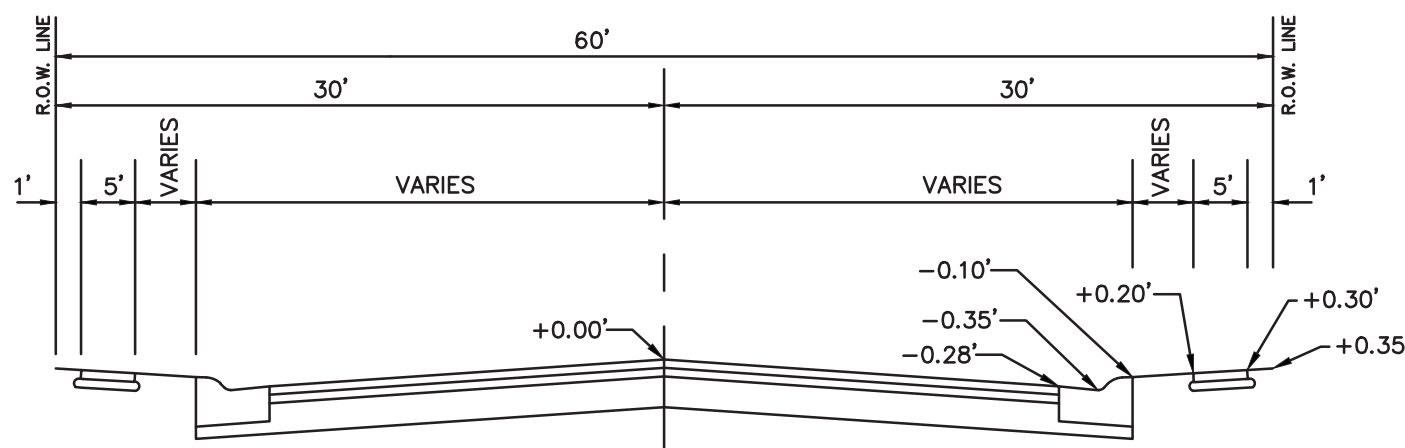
Lot 38, (Outlot A on the approved engineering plans) is hereby dedicated to the Village of Lemont for stormwater retention.

NOTES: THIS PLAT PERTAINS TO PIN PART OF 22-26-201-011-0000
 PLEASE RETURN ONE RECORDED COPY OF THIS PLAT TO MATTHEW DUNN, P.E., P.L.S. LINCOLNWAY ENGINEERING AND LAND SURVEYING LTD. 846 REGENT ST. NEW LENOX, IL 60451
 PREPARED BY: LINCOLNWAY ENGINEERING AND LAND SURVEYING LTD. 846 REGENT STREET, NEW LENOX, IL. 60451
 Date: 06/06/2016

TYPICAL PAD SECTION



TYPICAL R.O.W. SECTION

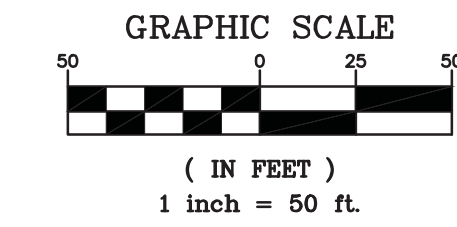


*ELEVATION DIFFERENCES FOR R.O.W. SECTION ARE TYPICAL UNLESS ELEVATION DEPICTED ON PLAN IS DIFFERENT

- NOTES:
- EARTHWORK CONTRACTOR TO CUT SLOTS IN REAR YARDS WHERE NECESSARY TO ALLOW FOR POSITIVE DRAINAGE AWAY FROM PADS.
 - FOR "LOOKOUT" AND "WALKOUT" LOTS, CONTRACTOR TO END PAD 5 FEET BEYOND GARAGE AND TRANSITION GRADE TO L/O OR W/O ELEVATION.

Notes	Pond Elevation [feet]	Area [sq]	Depth [feet]	Volume [cubic feet]	Volume [acre feet]	Cumulative Volume [acre feet]
BOTTOM	713.00	7.415	1.00	8.232	0.1890	0.0000
	714.00	9.076	1.00	9.965	0.2288	0.1890
	715.00	10.881	1.00	11.843	0.2719	0.4177
	716.00	12.832	1.00	13.864	0.3183	0.6896
	717.00	14.923	1.00	16.028	0.3680	1.0079
	718.00	17.159	1.00	18.208	0.4200	1.3758
HWL	718.85	19.167	0.85	15.578	0.3576	1.7335
	719.00	19.521	0.15	3.064	0.0703	1.8038
	719.90	21.709	0.90	18.545	0.4257	2.2295

Notes	Pond Elevation [feet]	Area [sq]	Depth [feet]	Volume [cubic feet]	Volume [acre feet]	Cumulative Volume [acre feet]
BOTTOM	722.00	8.949	1.00	9.907	0.2274	0.0000
OUTLET	723.00	10.897	1.00	11.928	0.2738	0.2274
	724.00	12.989	1.00	14.092	0.3235	0.5013
	725.00	15.225	1.00	16.401	0.3765	0.8248
	726.00	17.606	1.00	18.855	0.4328	1.2013
	727.00	20.132	1.00	21.455	0.4925	1.6341
	728.00	22.805	0.42	9.822	0.2255	2.1267
HWL	728.42	23.970	1.00	24.202	0.5556	2.3521
	729.00	25.626	0.60	16.057	0.3686	2.9077
	729.60	27.914	0.60	16.057	0.3686	3.2764



NO.	DATE	DESCRIPTION
1	06-03-16	PER VILLAGE REVIEW
2	06-17-16	PER VILLAGE REVIEW

EQUESTRIAN MEADOWS DEV. LLC
14800 S. 80TH AVENUE
ORLAND PARK, ILLINOIS 60462
(708) 873-9700

FINAL ENGINEERING PLAN
FOR
EQUESTRIAN MEADOWS - PHASE 1
LEMONT, ILLINOIS

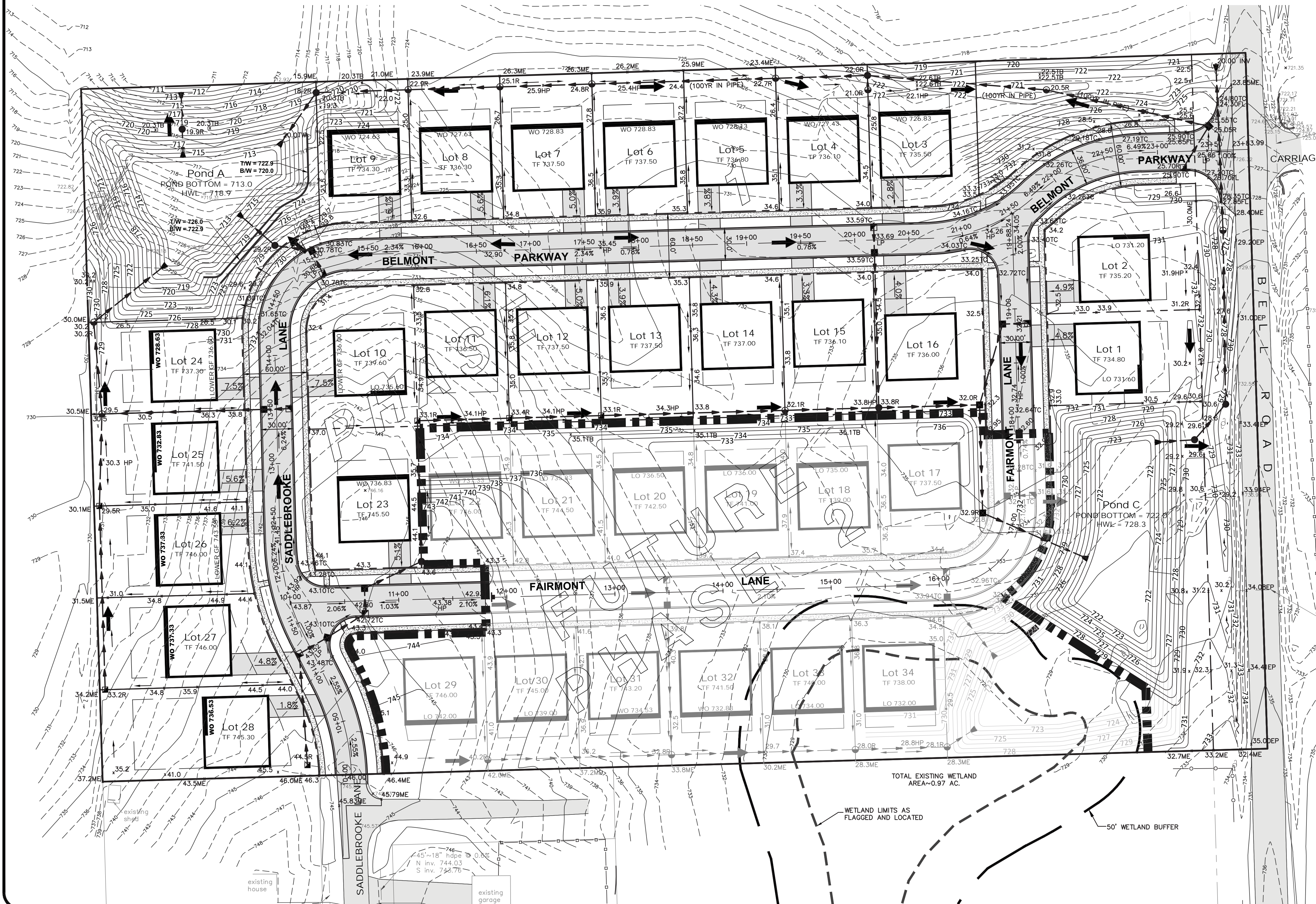
DESIGNTEK ENGINEERING, INC.
CONSULTING AND SITE DESIGN ENGINEERS
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
IL Prof. Lic. No.: 184-003740



PROJECT INFORMATION
Project No.: 12-0025
Scale: 1" = 50'
Date: 2-28-16
Design By: SDS
Drawn By: NSM
Checked By: SDS

7 OF 17

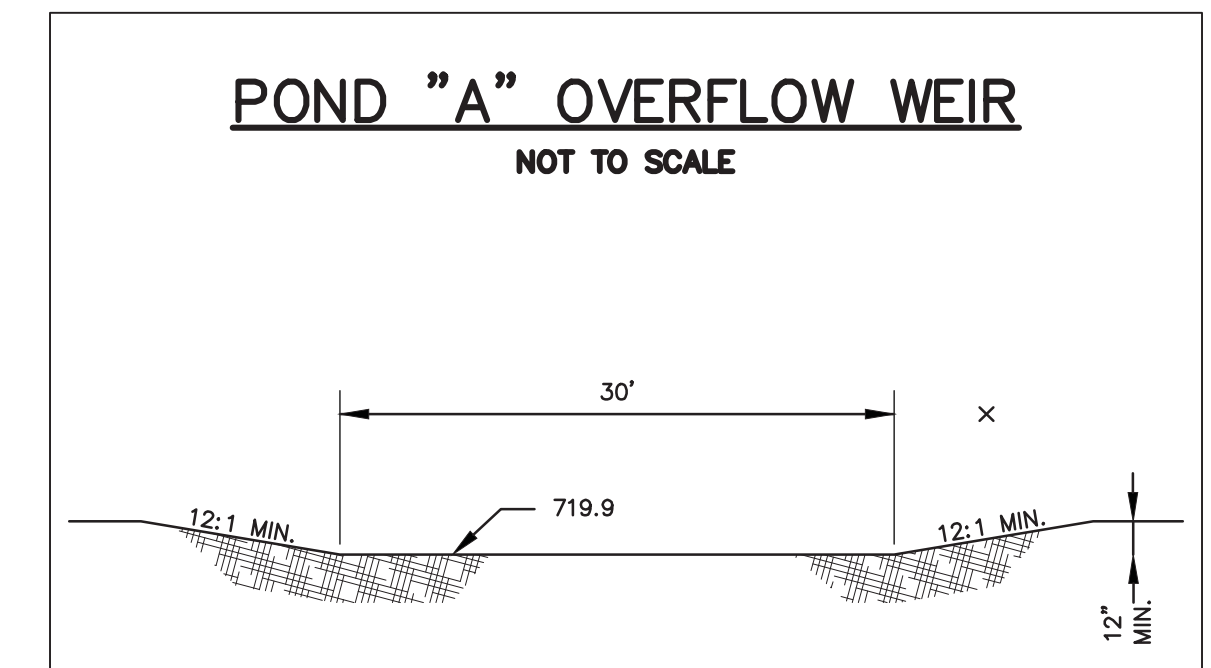
GRADING PLAN



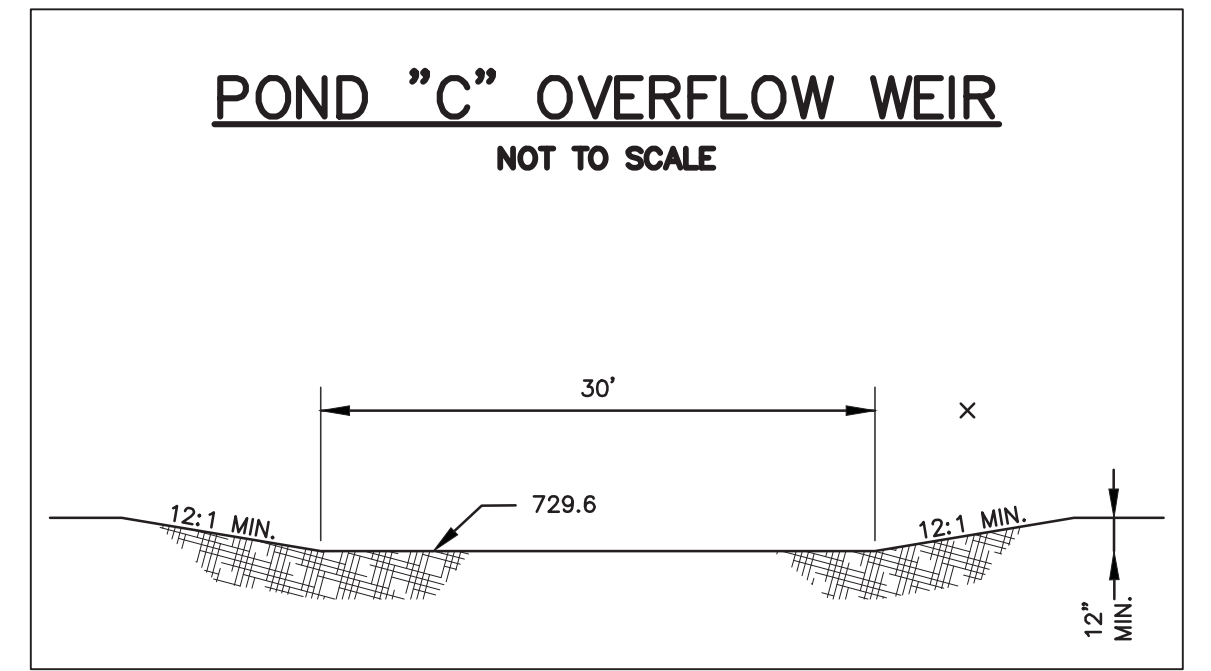
GRADING/PAD NOTES

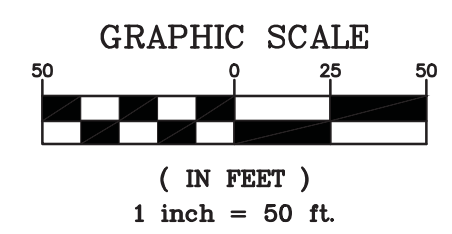
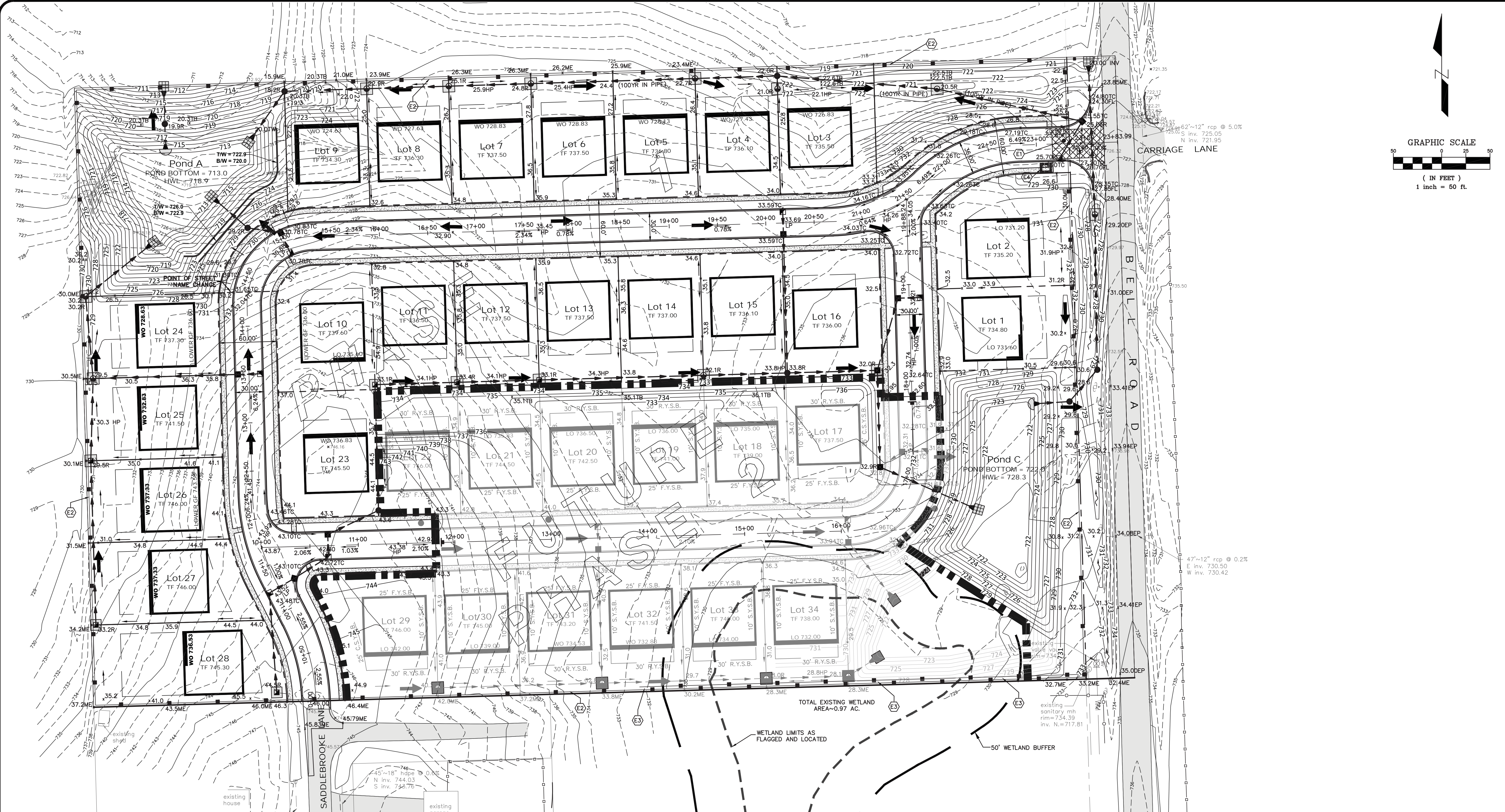
- TF = TOP OF FOUNDATION ELEVATION
- LO = LOOKOUT ELEVATION
- WO = WALKOUT/BSMT FLOOR @ WALKOUT ELEVATION (TYPICAL: WO = TF - 8.67')
- BL = BRICK LEDGE / DS = DROP SIDING
- MAX. DRIVEWAY SLOPE = 8%
- LOWER GF = LOWERED GARAGE FLOOR ELEVATION IS REQUIRED TO MAINTAIN 8% MAX. DRIVEWAY SLOPE.

POND "A" OVERFLOW WEIR NOT TO SCALE



POND "C" OVERFLOW WEIR NOT TO SCALE





NO.	DATE	DESCRIPTION
1	08-09-16	PER VILLAGE REVIEW
2	08-17-16	PER VILLAGE REVIEW
3		
4		

EQUESTRIAN MEADOWS DEV. LLC
 14800 S. 80TH AVENUE
 ORLAND PARK, ILLINOIS 60462
 (708) 873-9700

FINAL ENGINEERING PLAN FOR EQUESTRIAN MEADOWS - PHASE 1 LEMONT, ILLINOIS

DESIGNTEK ENGINEERING, INC.
 CONSULTING AND SITE DESIGN ENGINEERS
 9930 W. 190TH STREET, SUITE L
 MOKENA, ILLINOIS 60448
 (708) 326-4961
 IL Prof. Lic. No.: 184-003740

EROSION CONTROL AND SEDIMENTATION NOTES

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, LATEST EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THE APPLICANT AND/OR CONTRACTOR IS RESPONSIBLE FOR INSURING THE OBTAINED PERMIT WITH THE COMPLETED SWPPP IS POSTED ON SITE IN A PROMINENT LOCATION BEFORE COMMENCEMENT OF ANY WORK ON SITE AND SHALL CONTACT THE VILLAGE AT LEAST 2 WORKING DAYS BEFORE THE START OF CONSTRUCTION, INSTALLATION OF SEDIMENT AND EROSION MEASURES AND COMPLETION OF FINAL LANDSCAPING.
- THE VILLAGE SHALL BE PROVIDED WITH A COPY OF THE IEPA LETTER OF NOTIFICATION OF COVERAGE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE DEVELOPER IS RESPONSIBLE FOR HAVING THE SWPPP AND A STAMPED AND SIGNED COPY OF THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN ON SITE AT ALL TIMES AND BE PRESENTED WHEN REQUESTED BY ANY AUTHORIZED AGENCY.
- THE DEVELOPER SHALL INSPECT THE SOIL EROSION AND SEDIMENT CONTROL PRACTICES EVERY SEVEN (7) DAYS AND AFTER 0.5" OR MORE RAINFALL. IMMEDIATE REPAIR SHALL BE MADE OF ANY DAMAGED EROSION CONTROL ELEMENTS THROUGHOUT THE CONSTRUCTION OF THE PROJECT.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE ONLY AT PROPOSED STABILIZED CONSTRUCTION ENTRANCE(S) AS SHOWN ON PLANS.
- ALL DIRT, MUD, OR DEBRIS THAT REACHES THE PUBLIC ROADS SHALL BE CLEANED IMMEDIATELY BY THE CONTRACTOR.
- TECHNIQUES SHALL BE EMPLOYED TO PREVENT THE BLOWING OF DUST OR SEDIMENT FROM THE SITE.
- SILT FENCE, SILT BASINS, STRAW BALE BARRIERS AND STABILIZED CONSTRUCTION ENTRANCE(S) SHALL BE CONSTRUCTED AS DETAILED ON THE FINAL ENGINEERING PLANS PRIOR TO THE START OF CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED. SILT FENCE SHALL BE PROVIDED FOR AREAS DRAINING 200' AND GREATER IN ACCORDANCE WITH NRCS CODE 920.
- SCHEDULE OF CONTROL MEASURE IMPLEMENTATION:
 - CONSTRUCT THE APPLICABLE PORTIONS OF THE EROSION AND SEDIMENTATION CONTROLS PRIOR TO SITE CLEARING.
 - CONTROL SITE DEVELOPMENT IN ACCORDANCE WITH THE SPECIFICATIONS.
 - MAINTAIN INLET PROTECTION, CONSTRUCTION TRAFFIC SURFACES, CLEANING OF STORM STRUCTURES AND THE LIKE ON A REGULAR BASIS AFTER EACH HEAVY RAIN OR AS OTHERWISE REQUIRED.
- THE ESTIMATED CONSTRUCTION SCHEDULE IS AS FOLLOWS:

TOPSOIL STRIPPING	SPRING 2016
ROUGH GRADING AND CONST.	SPRING 2016
FINAL GRADING	SUMMER 2016
FINAL LANDSCAPING	FALL 2016
- THE ENTIRE SITE MUST BE STABILIZED, USING A HEAVY MULCH LAYER OR ANOTHER METHOD AT THE CLOSE OF THE CONSTRUCTION SEASON.
- DISTURBED AREAS WITHIN ALL PUBLIC R.O.W.'S SHALL BE RESTORED W/ 6" MIN. TOPSOIL & SOD. RESTORATION SHALL OCCUR IMMEDIATELY AFTER COMPLETION OF CONSTRUCTION, WEATHER PERMITTING. ALL OTHER DISTURBED AREAS SHALL BE RESTORED WITH 4" TOPSOIL & SEED.
- STRAW BALES ARE NOT PERMITTED IN AREAS OF CONCENTRATED FLOW. ROCK CHECK DAMS SHALL BE USED IN THESE AREAS. TECHNIQUES THAT DIVERT UPLAND RUNOFF PAST DISTURBED SLOPES SHALL BE EMPLOYED.

- THE PROTECTION OF THE OPEN LID DRAINAGE STRUCTURES SHALL BE CONSTRUCTED AS SPECIFIED IN DETAILS. ALL OPEN LID DRAINAGE STRUCTURES LOCATED IN YARD AREAS AND THE SEDIMENTATION BASIN MUST BE PROTECTED PER INLET PROTECTION DETAILS UNTIL SUCH A TIME THAT THE LANDSCAPING IS IN PLACE AND EFFECTIVELY PREVENTING POTENTIAL SILTATION OF THESE STRUCTURES. ALL OPEN LID DRAINAGE STRUCTURES IN PAVED AREAS SHALL HAVE FILTER BASKETS INSTALLED UNDER THE LIDS. IN THE EVENT THE GRAVEL BASE IS NOT IN PLACE UPON INSTALLATION, INLET PROTECTION SHALL BE PROVIDED AS INDICATED PER INLET PROTECTION DETAIL.
- EROSION CONTROL BLANKET (ECB) SHALL BE INSTALLED TO ALL DISTURBED AREAS WITH SLOPES EQUAL TO OR STEEPER THAN 5H:1V AND IN CRITICAL AREAS (EX: DETENTION BASIN PERIMETERS, STREAMBANKS, BERMS, ETC.) IMMEDIATELY UPON FINAL GRADING. S175 NORTH AMERICAN GREEN (OR SIMILAR) ECB SHALL BE USED. ECB WITH GREEN DYE IS NOT ACCEPTABLE.
- SOIL STOCKPILES SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILES TO REMAIN IN PLACE FOR 14 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.
- DURING DEWATER OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FIELD TRENCHES OR STORMWATER STRUCTURES IS PROHIBITED.
- AN INCIDENT OF NON-COMPLIANCE (ION) MUST BE COMPLETED AND SUBMITTED BY THE OWNER TO THE IEPA AND COPIED TO THE VILLAGE IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICE FAILS.
- A NOTICE OF TERMINATION (NOT) SHALL BE COMPLETED BY THE OWNER IN COMPLIANCE WITH THE NPDES PHASE II REQUIREMENTS WHEN ALL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE WITH A 70% ESTABLISHED RATE OF VEGETATION. THE NOTICE OF TERMINATION SHALL BE SENT TO THE IEPA AND THE VILLAGE.

21. THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.

SOIL PROTECTION CHART

STABILIZATION TYPE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDING				A		*	*					
DORMANT SEEDING	B										B	
TEMPORARY SEEDING			C				D*					
SODDING			E**									
MULCHING												

- | | |
|--|-----------------------------------|
| A. KENTUCKY BLUEGRASS 90 LBS/AC MIXED WITH PERENNIAL RYEGRASS 30 LBS/AC | C. SPRING OATS 100 LBS/AC |
| B. KENTUCKY BLUEGRASS 135 LBS/AC MIXED WITH PERENNIAL RYEGRASS 45 LBS/AC + 2 TONS STRAW MULCH/AC | D. WHEAT OR CEREAL RYE 150 LBS/AC |
| | E. SOD |
| | F. STRAW MULCH 2 TONS/AC |
- * IRRIGATION NEEDED DURING JUNE AND JULY
 ** IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

EROSION CONTROL LEGEND

- (E1) CONSTRUCTION ENTRANCE PER NRCS SPECIFICATIONS
- (E2) SILT FENCE PER NRCS SPECIFICATIONS
- (E3) DOUBLE ROW OF SILT FENCE PER NRCS SPECIFICATIONS TO PROTECT WETLAND
- (E4) CONCRETE WASHOUT AREA
- (E5) LEVEL SPREADER, ON-SITE, REFER TO DETAIL
- (E6) INLET PROTECTION PER OR EQUIVALENT TO NRCS SPECIFICATIONS
- (E7) CULVERT / FES PROTECTION PER OR EQUIVALENT TO NRCS SPECIFICATIONS AND STANDARD DRAWING NO. IL-5085F
- (E8) 12' x 8' x 15" FLAT GABION / "RENO MATTRESS"



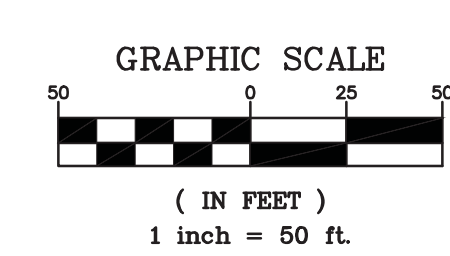
PROJECT INFORMATION
 Project No.: 12-0025
 Scale: 1" = 50'
 Date: 2-28-16
 Design By: SDS
 Drawn By: NSM
 Checked By: SDS

UTILITY CROSSINGS

- | | |
|---|---|
| <p>CROSSING
PR B/STM=730.6
PR T/WM=728.9</p> | <p>CROSSING
PR B/STM=722.6
PR T/SAN=719.5</p> |
| <p>CROSSING
PR B/STM=726.2
PR T/WM=724.7</p> | <p>CROSSING
PR B/STM=739.3
PR T/WM=737.4</p> |
| <p>CROSSING
PR B/STM=740.5
PR T/WM=738.3</p> | <p>CROSSING
PR B/STM=739.4
PR T/SAN=736.3</p> |
| <p>CROSSING
PR B/STM=721.1
PR T/WM=720.5</p> | <p>CROSSING
PR B/STM=726.9
PR T/SAN=721.1</p> |
| <p>CROSSING
PR B/STM=721.8
PR T/SAN=720.4</p> | <p>CROSSING
PR B/SAN=719.7
PR T/WM=718.0</p> |
| <p>CROSSING
PR B/STM=728.4
PR T/WM=726.9</p> | <p>CROSSING
PR B/SAN=736.7
PR T/SAN=730.4</p> |
| <p>CROSSING
PR B/STM=728.8
PR T/SAN=721.2</p> | <p>CROSSING
PR B/STM=736.7
PR T/SAN=730.4</p> |
| <p>CROSSING
PR T/SAN=720.3
PR B/WM=721.5</p> | |
| <p>CROSSING
PR T/WM=721.0
PR B/STM=722.5</p> | |

STORM STRUCTURES

- | | | | | | | |
|--|---|--|---|--|---|--|
| <p>A1 12" FES, W/GRATE
INV 712.00</p> | <p>C1 12" FES, W/GRATE
INV 714.00</p> | <p>D6 48" MH, TYPE A, Y.I.
RIM 722.70
INV 715.75 W
INV 715.85 E</p> | <p>E4 48" MH, TYPE A, Y.I.
RIM 732.10
INV 728.90 N
INV 727.40 W
INV 726.45 E</p> | <p>E12 24" INL, TYPE A, C.G.
RIM 731.86
INV 728.80</p> | <p>G6 24" INL, TYPE A, Y.I.
RIM 744.50
INV 742.80</p> | <p>H1 12" FES, W/GRATE
INV 723.00</p> |
| <p>A2 48" CB, TYPE A, C.L.
RIM 719.90
INV 714.00</p> | <p>C2 60" MH, TYPE A, C.L.
RIM 729.25
INV 726.00 SE
INV 715.05 NW</p> | <p>D7 48" MH, TYPE A, C.L.
RIM 722.00
INV 716.20 E
INV 716.10 W
INV 717.50 S</p> | <p>E5 24" INL, TYPE A, Y.I.
RIM 733.10
INV 728.80 W
INV 728.25 E</p> | <p>E15 48" CB, TYPE A, C.G.
RIM 733.88
INV 730.60 N
INV 730.35 S</p> | <p>G7 48" MH, TYPE A, C.L.
RIM 743.70
INV 738.59 SW
INV 732.50 N</p> | <p>H2 48" CB, TYPE A, C.L.
RIM 729.40
INV 723.00</p> |
| <p>A3 12" FES, W/GRATE
INV 714.00</p> | <p>C3 24" CB, TYPE C, C.G.
RIM 730.53
INV 726.70 SE
INV 726.60 NW</p> | <p>D8 48" MH, TYPE A, Y.I.
RIM 720.50
INV 716.70 W
INV 717.10 E</p> | <p>E6 24" INL, TYPE A, Y.I.
RIM 733.40
INV 729.45 W
INV 729.35 E</p> | <p>E16 24" INL, TYPE A, C.G.
RIM 733.88
INV 730.85</p> | <p>G8 24" INL, TYPE A, C.G.
RIM 742.45
INV 739.40</p> | <p>H3 48" MH, TYPE A, Y.I.
RIM 730.30
INV 722.56</p> |
| <p>B1 12" FES, W/GRATE
INV 714.00</p> | <p>C4 24" INL, TYPE A, C.G.
RIM 730.53
INV 726.85</p> | <p>D9 48" CB, TYPE C, C.G.
RIM 725.05
INV 721.70 W
INV 721.90 S</p> | <p>E7 24" INL, TYPE A, Y.I.
RIM 733.10
INV 729.90</p> | <p>E17 24" INL, TYPE A, C.G.
RIM 742.45
INV 739.17</p> | <p>G9 24" CB, TYPE C, C.G.
RIM 742.97
INV 739.95 SW
INV 739.65 NE</p> | <p>H4 48" MH, TYPE A, Y.I.
RIM 726.70
INV 721.33</p> |
| <p>B2 48" MH, TYPE A, Y.I.
RIM 730.20
INV 723.45 S
INV 715.30 NE</p> | <p>D1 24" FES, W/GRATE
INV 714.00</p> | <p>D10 24" INL, TYPE A, C.G.
RIM 725.70
INV 722.30</p> | <p>E8 48" MH, TYPE A, C.L.
RIM 632.85
RIM 733.10
INV 728.60 N
INV 728.50 E
INV 725.70 S</p> | <p>E18 24" CB, TYPE C, C.G.
RIM 732.73
INV 729.50 N
INV 729.10 S</p> | <p>G10 24" INL, TYPE A, C.G.
RIM 743.17
INV 740.10</p> | <p>H5 18" FES, W/GRATE
INV 720.00</p> |
| <p>B3 48" MH, TYPE A, Y.I.
RIM 729.50
INV 726.30 E
INV 724.85 S
INV 724.75 N</p> | <p>D2 48" MH, TYPE A, C.L.
RIM 720.00
INV 714.20 NE
INV 714.10 SE</p> | <p>D11 24" INL, TYPE A, Y.I.
RIM 721.00
INV 718.00</p> | <p>E9 24" CB, TYPE C, C.G.
RIM 732.73
INV 729.50 N
INV 729.10 S</p> | <p>E19 24" INL, TYPE A, C.G.
RIM 732.73
INV 729.65</p> | | |
| <p>B4 24" INL, TYPE A, Y.I.
RIM 729.50
INV 726.30 S
INV 726.20 N</p> | <p>D3 48" MH, TYPE A, Y.I.
RIM 722.90
INV 714.45 SW
INV 714.55 E</p> | <p>E1 24" FES, W/GRATE
INV 723.00</p> | <p>E10 24" INL, TYPE A, C.G.
RIM 732.73
INV 729.65</p> | | | |
| <p>B5 24" INL, TYPE A, Y.I.
RIM 733.20
INV 730.00</p> | <p>D4 48" MH, TYPE A, Y.I.
RIM 725.10
INV 714.80 W
INV 714.90 E</p> | <p>E2 48" CB, TYPE A, C.L.
RIM 732.90
INV 727.80 NE
INV 723.75 N
INV 723.55 SE</p> | <p>E11 24" CB, TYPE C, C.G.
RIM 731.86
INV 728.70 E
INV 728.60 W</p> | | | |
| <p>B6 24" CB, TYPE C, C.G.
RIM 734.92
INV 731.80 E
INV 731.20 W</p> | <p>D5 48" MH, TYPE A, Y.I.
RIM 724.80
INV 715.25 W
INV 715.15 E</p> | <p>E3 48" CB, TYPE A, Y.I.
RIM 732.00
INV 725.30 N
INV 725.00 W
INV 724.20 S</p> | | | | |
| <p>B7 24" INL, TYPE A, C.G.
RIM 734.92
INV 731.92</p> | | | | | | |

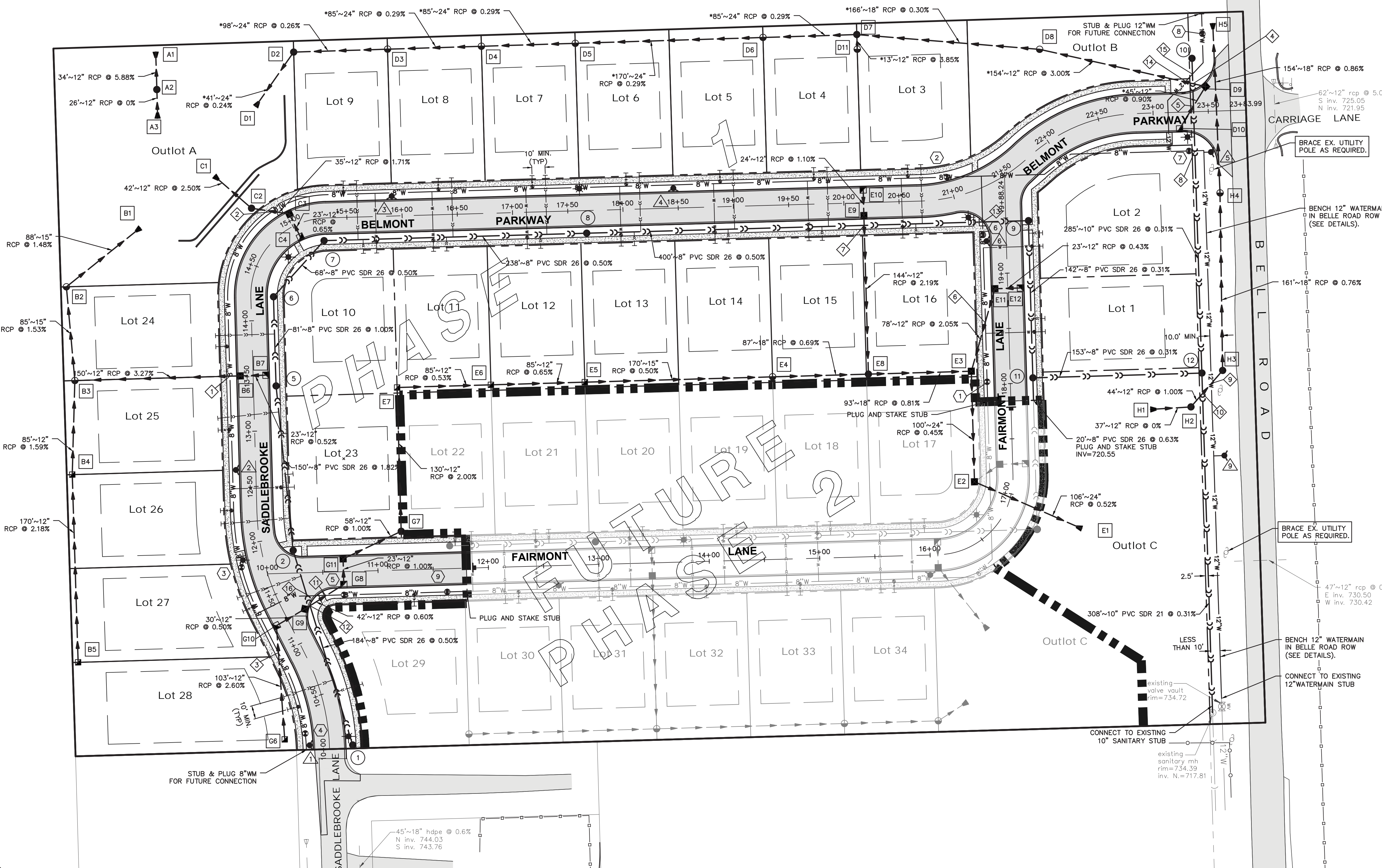


STORM STRUCTURE FRAME AND GRATE ABBREVIATIONS:

- C.L. = CLOSED LID:
EJW 1058 FRAME & COVER OR
NEENAH R-1550 FRAME & SOLID LID
- C.G. = CURB GRATE
EJW 7525 FRAME & COVER OR
NEENAH R-3501-P
- Y.I. = YARD INLET
EJW 1020 FRAME & TYPE M2 BAR GRATE OR
NEENAH R-4340-B GRATE

NOTES:

- ALL STORM SEWERS SHALL BE CLASS IV RCP CONFORMING TO ASTM C-76 WITH O-RING GASKETED JOINTS CONFORMING TO ASTM C-443, UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWERS SHALL BE PVC SDR 26.
- ALL WATERMAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5.5'.
- STORM PIPES THAT HAVE BEEN LABELED WITH A "*" HAVE BEEN SIZED TO ACCOMMODATE THE 100 YEAR STORM. ALL WATER LINES AND SEWER LINES SHALL BE LAID WITH A MIN. HORIZONTAL SEPARATION OF 10', UNLESS BENCHING HAS BEEN CALLED FOR.



FIRE HYDRANT

- | | |
|---|---|
| 1 | FIRE HYDRANT ASSEMBLY GRADE RING 746.10 |
| 2 | FIRE HYDRANT ASSEMBLY GRADE RING 735.50 |
| 3 | FIRE HYDRANT ASSEMBLY GRADE RING 732.40 |
| 4 | FIRE HYDRANT ASSEMBLY GRADE RING 735.10 |
| 5 | FIRE HYDRANT ASSEMBLY GRADE RING 728.00 |
| 6 | FIRE HYDRANT ASSEMBLY GRADE RING 732.90 |
| 9 | FIRE HYDRANT ASSEMBLY GRADE RING 730.70 |

WATER VALVES

- | | |
|---|-----------------------------------|
| 1 | 8" VALVE IN 60" VAULT RIM 732.80 |
| 2 | 8" VALVE IN 60" VAULT RIM 734.05 |
| 3 | 8" VALVE IN 60" VAULT RIM 744.0 |
| 4 | 8" VALVE IN 60" VAULT RIM 745.70 |
| 5 | 8" VALVE IN 60" VAULT RIM 742.90 |
| 6 | 8" VALVE IN 60" VAULT RIM 733.00 |
| 7 | 8" VALVE IN 60" VAULT RIM 727.00 |
| 8 | 12" VALVE IN 60" VAULT RIM 722.40 |
| 9 | 8" VALVE IN 60" VAULT RIM 743.25 |

SANITARY STRUCTURES

- | | | | |
|---|--|----|---|
| 1 | 60" MANHOLE, C.L. RIM 746.10 INV 730.02 | 8 | 60" MANHOLE, C.L. RIM 735.70 INV 722.13 (E) INV 722.23 (W) |
| 2 | 60" MANHOLE, C.L. RIM 743.35 INV 729.10 (S) INV 729.00 (N) | 9 | 60" MANHOLE, C.L. RIM 733.30 INV 719.96 (S) INV 720.13 (W) |
| 5 | 60" MANHOLE, C.L. RIM 736.10 INV 726.27 (S) INV 724.77 (N) | 10 | 60" MANHOLE, C.L. RIM 725.30 INV 719.75 |
| 6 | 48" MANHOLE, C.L. RIM 732.20 INV 723.86 (N) INV 723.96 (S) | 11 | 60" MANHOLE, C.L. RIM 732.90 INV 719.42 (E) INV 719.52 (N) INV 720.42 (S) |
| 7 | 48" MANHOLE, C.L. RIM 731.10 INV 723.42 (E) INV 723.52 (S) | 12 | 60" MANHOLE, C.L. RIM 729.50 INV 718.95 (W) INV 718.87 (N) INV 718.77 (S) |

NO.	DATE	DESCRIPTION
1	06-09-16	PER VILLAGE REVIEW
2	08-11-16	PER VILLAGE REVIEW

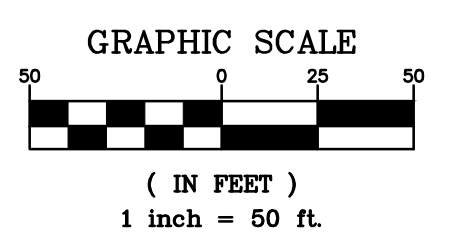
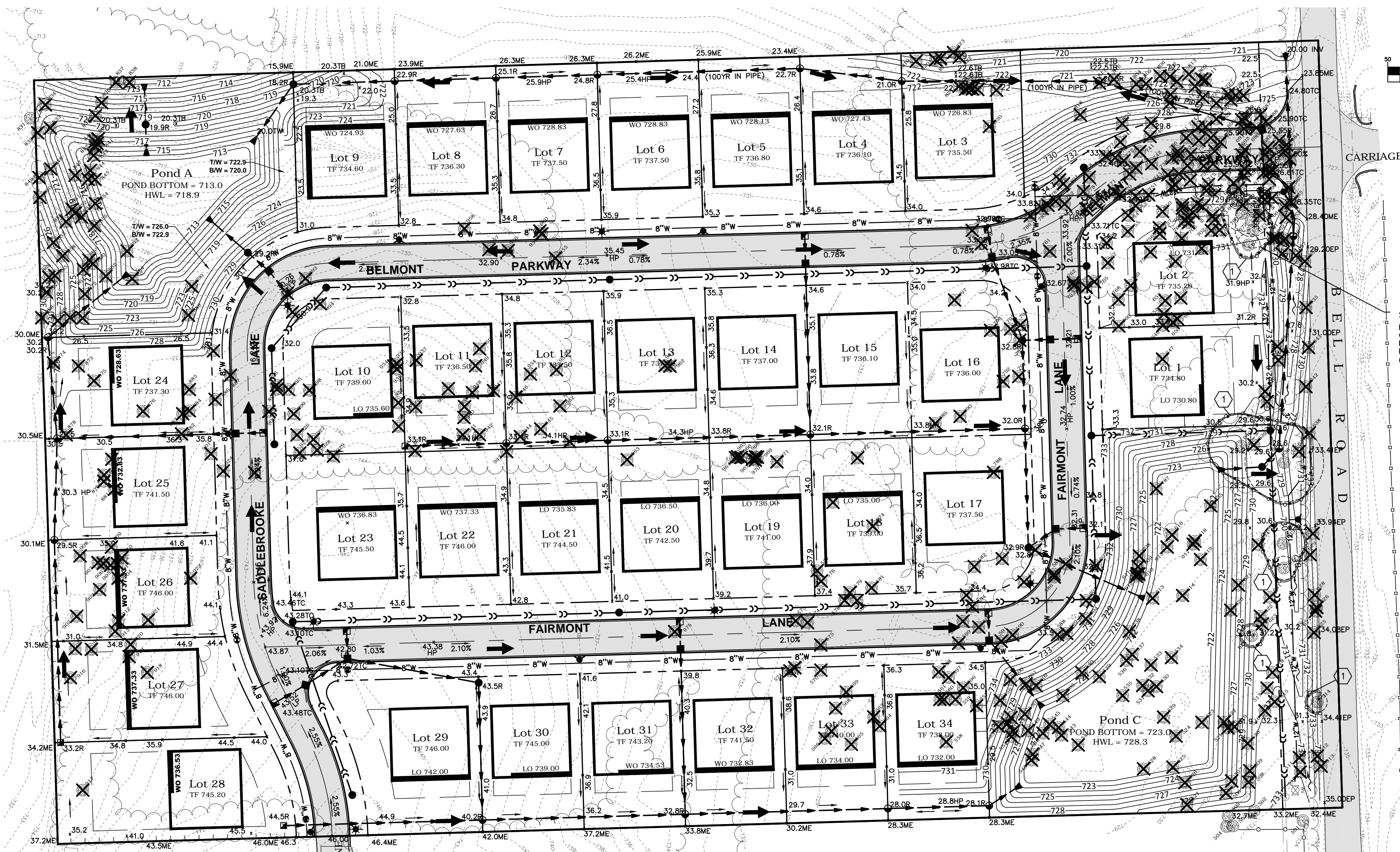
EQUESTRIAN MEADOWS DEV. LLC
14800 S. 80TH AVENUE
ORLAND PARK, ILLINOIS 60462
(708) 873-9700

FINAL ENGINEERING PLAN FOR
EQUESTRIAN MEADOWS - PHASE 1
LEMONT, ILLINOIS

DESIGNTEK ENGINEERING, INC.
CONSULTING AND SITE DESIGN ENGINEERS
9930 W. 190TH STREET, SUITE LL
MOKENA, ILLINOIS 60448
(708) 326-4961
ILL. PROF. LIC. NO.: 184-003740



PROJECT INFORMATION
Project No.: 12-0025
Scale: 1" = 50'
Date: 2-28-16
Design By: SDS
Drawn By: NSM
Checked By: SDS



APPROX. EXTENTS OF DRIPLINE. TREE PROTECTION SHALL EXTEND TO THE LIMITS OF THE OUTERMOST BRANCHES OR AS DIRECTED BY THE VILLAGE ENGINEER AND ARBORIST. (TYPICAL)

NO.	DATE	DESCRIPTION
1	04/26/2016	Final PUD

EQUESTRIAN MEADOWS DEV. LLC
 14800 S. 80TH AVENUE
 ORLAND PARK, ILLINOIS 60462
 (708) 873-9700

TREE PRESERVATION PLAN
 FOR
 EQUESTRIAN MEADOWS
 LEMONT, ILLINOIS

DESIGNTEK ENGINEERING, INC.
 CONSULTING AND SITE DESIGN ENGINEERS
 9930 W. 190TH STREET, SUITE L
 MOKENA, ILLINOIS 60448
 (708) 326-4961
 ILL. PROF. LIC. NO.: 184-003740



PROJECT INFORMATION
 Project No.: 12-0025
 Scale: 1" = 50'
 Date: 03-04-15
 Design By: SDS
 Drawn By: NSM
 Checked By: SDS

#	Species	DBH	Rating	Action	Replacement Trees
501-505	Varies	Varies	Varies	Preserved	Offsite
506-513	Varies	Varies	Varies	Removed	0
514	Quercus alba	11	3	Preserved	0
515-623	Varies	Varies	Varies	Removed	0
624	Morus spp	11	3	Preserved	0
625-631	Varies	Varies	Varies	Removed	0
632	Morus spp	13	4	Preserved	0
633	Morus spp	24	4	Preserved	0
634-635	Varies	Varies	Varies	Removed	0
636	Populus deltoides	44	4	Preserved	0
637-639	Varies	Varies	Varies	Removed	0
640	Acer saccharinum	36	4	Preserved	0
641-670	Varies	Varies	Varies	Removed	0
671	Gleditsia triacanthos	9	3	Preserved	0
672	Populus deltoides	14	3	Preserved	0
673	Gleditsia triacanthos	10	3	Preserved	0
674	Morus spp	13	2	Preserved	0
675	Gleditsia triacanthos	15	3	Removed	0
676	Gleditsia triacanthos	19	3	Replaced	4
677-697	Varies	Varies	Varies	Removed	0
698	Gleditsia triacanthos	9	3	Preserved	0
699	Prunus serotina	12	2	Removed	0
700	Gleditsia triacanthos	10	3	Preserved	0
701-830	Varies	Varies	Varies	Removed	0
831	Quercus ellipsoidales	12	5	Preserved	Offsite
832-969	Varies	Varies	Varies	Removed	0
Total Replacement Trees Required					4

Note: All trees that have been noted to be replaced shall be replaced with trees of at least 2.5 inch caliper.

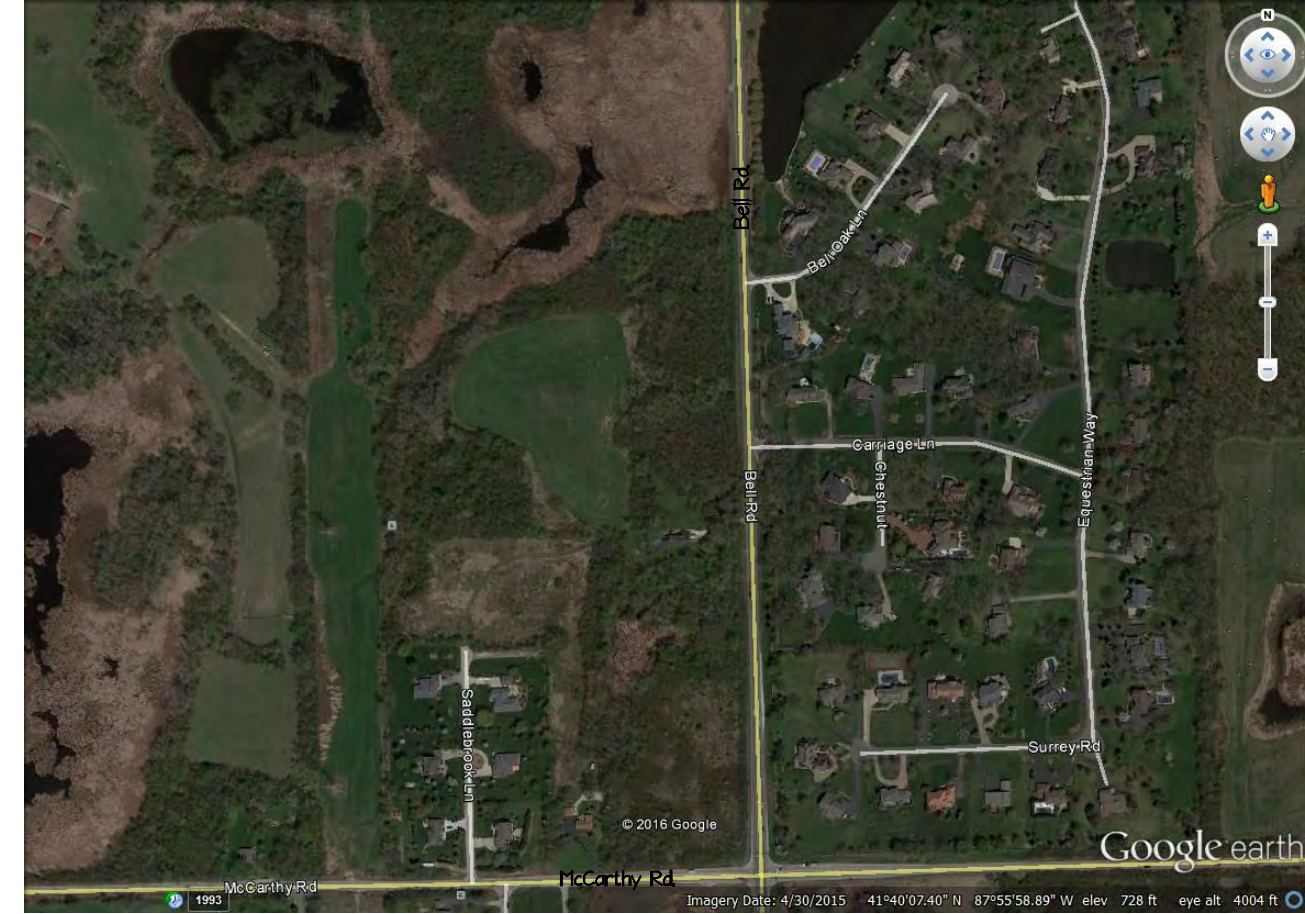
TREE PRESERVATION LEGEND

- 1 TREE PROTECTION (SNOW FENCE, SILT FENCE, AND SIGNAGE PER VILLAGE STANDARDS)
- TREE PROTECTION SNOW FENCE
- TREE PROTECTION SILT FENCE

NOTES

1. SEE SHEET THREE (3) FOR TREE PROTECTION AND MITIGATION REQUIREMENTS AND STANDARDS.
2. SEE FINAL ENGINEERING PLANS FOR COMPLETE SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN.

LOCATION MAP



SEED MIXES

IDOT Class 4A Low Profile Native Mixture

Lilac Bluetop (Anemone nemorosa)	5 lbs./acre
Star Oats Grass (Stellaria media)	5 lbs./acre
Canada Wild Rice (Zizania canadensis)	5 lbs./acre
Prairie Dropseed (Sporobolus heterostachyus)	5 lbs./acre
Annual Ryegrass	25 lbs./acre
Perennial Ryegrass	15 lbs./acre
Red Top	10 lbs./acre

IDOT Class 4B Wetland Grass & Sedge Mixture

Annual Ryegrass	25 lbs./acre
Stony Cuckoo	5 lbs./acre
Wetland Grasses (sheds)	50 lbs./acre

Wetland Grasses:

Species	% by Weight
Blue Joint Grass	15%
Lake-Bark Sedge	10%
Andromeda Sedge	10%
Yarrow Sedge	10%
Star Sedge	10%
Hard Stem Bulrush	10%
Soft Stem Bulrush	10%
Common Rush	10%
Stony Cuckoo	10%
Tommy's Rush	10%
Blue Cut Grass	10%
Dark Green Rush	10%
Blue Bulrush	10%
Substem Bulrush	10%
Cord Grass	10%

Emergent Plant List:

Scientific Name	Common Name	Quantity
Acorus calamus	Sweet Flag	380
Alisma subcordatum	American Water Plantain	228
Iris virginica sibirica	Blue Flag Iris	380
Sagittaria latifolia	Broadleaf Arrowhead	266
Schoenoplectus acutus	Hard Stem Bulrush	380
Schoenoplectus tabernaemontani	Soft Stem Bulrush	380
Spartanum europaeum	Common Bur Reed	380
		Total 2,394

LANDSCAPE NOTES:

The minimum size for plants at the time of installation shall be:

1. Canopy trees in a parkway - 3" caliper
2. Canopy trees not in a parkway - 2-1/2" caliper
3. Evergreen trees - 8" in height
4. Ornamental trees, single-trunk - 2" caliper
5. Ornamental trees, multi-trunk - 6" in height
6. Large shrubs - 24" in height

Sod, Topsoil, and Seeding:

1. Landscaping in parkways shall be a minimum of four inches of topsoil and sod.
2. Landscape seeding shall be Class 1A seeding mixture.
3. Standards for Residential Construction:
 - a. Front and side yards shall be landscaped with a minimum of four inches of topsoil and sod.
 - b. Rear yards shall be landscaped with a minimum of four inches of topsoil and sod or seed. All seeded areas must be protected with an erosion control blanket (ECB) installed in accordance with the Illinois Urban Manual, 2002, or latest edition.

All plant growth in landscaped areas shall be controlled by pruning, trimming, or other suitable methods so that plant materials do not interfere with public utilities, restrict pedestrian or vehicular access, or otherwise constitute a traffic hazard; and

All planted areas shall be maintained in a relatively weed free condition and clear of undergrowth

All trees, shrubs, ground covers, and other plant materials must be replaced if they die or become unhealthy because of accidents, drainage problems, disease, or other causes.

PLANT LIST

QTY	Symbol	Shade Trees	Botanical Name	Common Name	Size	Type
17	AR2.5	Acer freemanii 'Autumn Blaze'	Acer rubrum 'Red Sunset'	Autumn Blaze Maple	3" cal	Single Stem B&B
1	AR2.5	Acer rubrum 'Red Sunset'	Acer saccharum	Red Sunset Maple	2.5" cal	Single Stem B&B
7	AS	Acer saccharum	Betula nigra	Sugar Maple	2.5" cal	Single Stem B&B
9	BN	Betula nigra	Celtis occidentalis	River Birch	8" tall	Single Stem B&B
17	CO	Celtis occidentalis	Glenditsia triacanthos 'Skyline'	Common Hackberry	3" cal	Single Stem B&B
13	GT3	Glenditsia triacanthos 'Skyline'	Glenditsia triacanthos 'Skyline'	Skyline Honeylocust	3" cal	Single Stem B&B
1	GT2.5	Glenditsia triacanthos 'Skyline'	Quercus alba	Skyline Honeylocust	2.5" cal	Single Stem B&B
11	QA3	Quercus alba	Quercus rubra	White Oak	3" cal	Single Stem B&B
3	QR2.5	Quercus rubra	Tilia cordata 'Greenspire'	Red Oak	2.5" cal	Single Stem B&B
14	TC3	Tilia cordata 'Greenspire'	Tilia cordata 'Greenspire'	Greenspire Linden	3" cal	Single Stem B&B
1	TC2.5	Tilia cordata 'Greenspire'	Ulmus 'Homestead'	Greenspire Linden	2.5" cal	Single Stem B&B
19	UH3	Ulmus 'Homestead'	Ulmus 'Homestead'	Homestead Elm	3" cal	Single Stem B&B
1	UH2.5	Ulmus 'Homestead'	Ulmus 'Homestead'	Homestead Elm	2.5" cal	Single Stem B&B
EVERGREEN TREES						
12	PA	Picea abies	Picea pungens	Norway Spruce	8" tall	Natural Form B&B
11	PP	Picea pungens	Pseudotsuga menziesii	Colorado Spruce	8" tall	Natural Form B&B
13	PM	Pseudotsuga menziesii	Crataegus crusgalli inermis	Douglas Fir	8" tall	Natural Form B&B
ORNAMENTAL TREES						
14	CC	Crataegus crusgalli inermis	Amelanchier x grandiflora	Thornless Cockspur Hawthorn	6' tall	Multi-Stem B&B
12	AG	Amelanchier x grandiflora	Malus spp.	Autumn Brilliance Serviceberry	6' tall	Multi-Stem B&B
20	MS	Malus spp.	Comus sericea 'Bayley's'	Japanese Flowering Crabapple	6' tall	Multi-Stem B&B
SHRUBS						
14	CS	Comus sericea 'Bayley's'	Juniperus chinensis var. sargentii	Bailey Redtwig Dogwood	36" tall	3' o.c. B&B
5	JC	Juniperus chinensis var. sargentii	Syringa meyeri 'Palibin'	Sargent Juniper	18" tall	3' o.c. #3
17	SM	Syringa meyeri 'Palibin'	Viburnum lantana 'Mohican'	Dwarf Korean Lilac	36" tall	3' o.c. B&B
10	VL	Viburnum lantana 'Mohican'	PERENNIALS			
3	CA	Calamagrostis x acutiflora 'Karl Foerster'	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#3	2' o.c.
7	PV	Panicum virgatum 'Northwind'	Panicum virgatum 'Northwind'	Northwind Switchgrass	#1	2' o.c.
3	PAH	Pennisetum alopecuroides 'Hamelin'	Pennisetum alopecuroides 'Hamelin'	Hamelin Dwarf Fountain Grass	#1	2' o.c.
8	ASB	Allium 'Summer Beauty'	Allium 'Summer Beauty'	Summer Beauty Allium	#1	1.5' o.c.
5	CN	Calamintha nepeta subsp. Nepeta	Calamintha nepeta subsp. Nepeta	Calamint	#1	1.5' o.c.
10	HS	Hemerocallis 'Summer Wine'	Hemerocallis 'Summer Wine'	Summer Wine Daylily	#1	1.5' o.c.
3	RF	Rudbeckia fulgida	Rudbeckia fulgida	Black Eyed Susan	#1	2' o.c.
TREES FOR MITIGATION						
2	AR2.5	Acer rubrum 'Red Sunset'	Acer rubrum 'Red Sunset'	Red Sunset Maple	2.5" cal	Single Stem B&B
2	QR2.5	Quercus rubra	Quercus rubra	Red Oak	2.5" cal	Single Stem B&B

NOTES

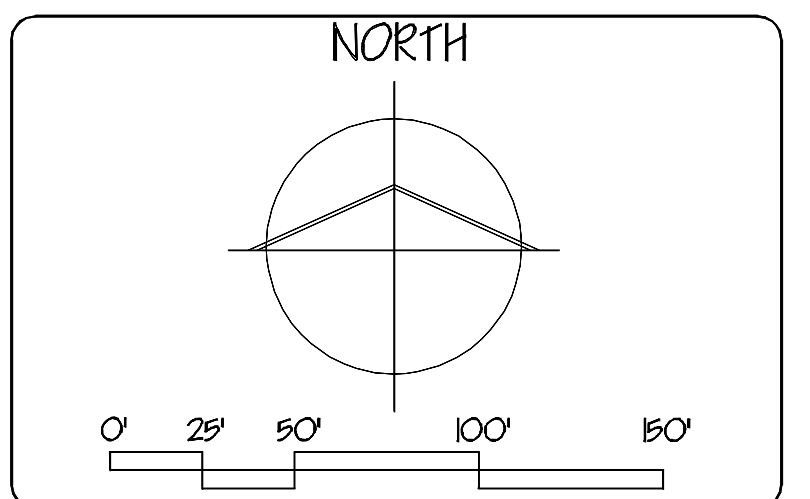
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Bell Road screen plantings in beds only, not bermed.



No.	Date	Description
1	1/24/15	PRELIMINARY REVIEW
2	3/23/16	REVIEW I CHANGES
3	4/16/16	REVISE TO SHOW PHASES
REVISIONS		

EQUESTRIAN MEADOWS
LEMONT, ILLINOIS
EQUESTRIAN MEADOWS
DEV. LLC
14800 S. BOTH AVENUE
ORLAND PARK, ILLINOIS



SCALE: 1" = 50'-0"	PROJECT NO.
DRAWN BY: MPW/KLT	SHEET NO.
CHECKED BY: B. BEARY	
DATE: 1/17/15	
DATE OF PRINT:	

ALL PONDS

DOT CLASS 4A

LOW PROFILE NATIVE MIX (50)

DOT CLASS 4B

WETLAND GRASS 1 SEDGE MIX (50)

WETLAND GRASS 1 SEDGE MIX (50)

WETLAND GRASS 1 SEDGE MIX (50)

WETLAND GRASS 1 SEDGE MIX (50)

WETLAND GRASS 1 SEDGE MIX (50)

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WETLAND GRASS 1 SEDGE MIX (50)



Signature of the landscape architect.

GENERAL NOTES:

Plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and spreads on plant list represent minimum requirements.

Size & grading standards of plant materials shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association.

Any materials with damaged or crooked/disfigured leaders, bark abrasion, sunscald, insect damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump (cl.).

Grading shall provide slopes which are smooth and continuous. Positive drainage shall be provided in all areas.

Quantity lists are supplied as a convenience. However, the contractor should verify all quantities. The drawings shall take precedence over the lists.

All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.

Contractor shall verify location of all underground utilities prior to digging. For location outside the City of Chicago call "J.U.L.I.E." (Joint Utility Location for Excavators) 1-800-892-0123.

Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.

Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.

All perennial, ornamental grass, groundcover and annual beds shall be topdressed with a minimum of three inches (3") of mushroom compost. The topdressing shall be worked into the soil to a minimum depth of nine inches (9") by the use of a cultivating mechanism. Upon completion perennials & ornamental grasses shall be mulched with an additional two inch (2") layer of shredded wood mulch; Annuals & groundcovers shall be covered with an additional two inch (2") layer of mushroom compost.

All other planting beds and tree saucers shall be mulched with a minimum of three inches (3") of shredded wood mulch, with the exception of evergreen trees which shall receive one inch (1") of shredded hardwood mulch over two inches (2") of southern pine bark.

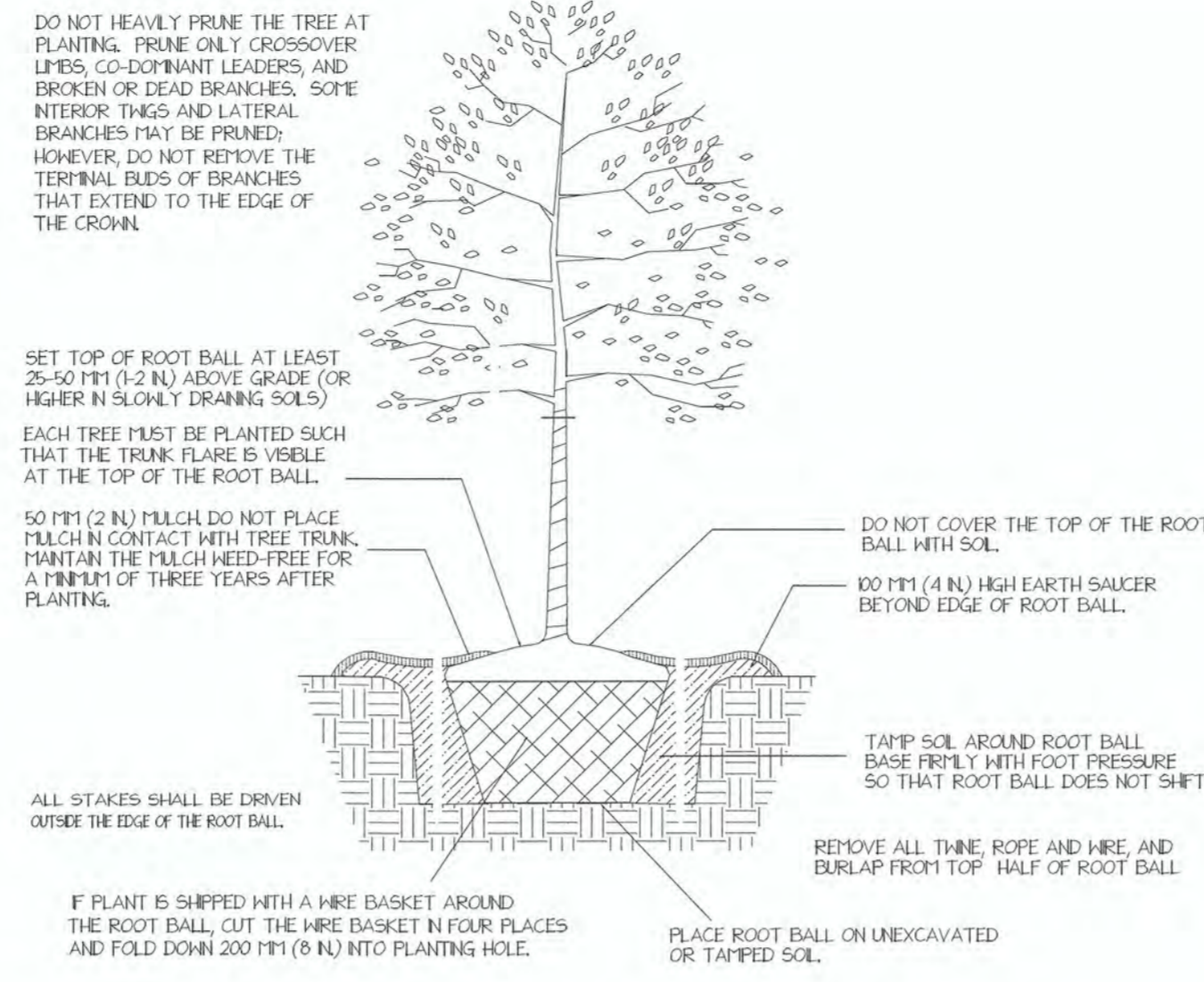
All bed lines and tree saucers shall require a hand spaded edge between lawn and mulched areas.

Planting beds adjacent to building shall be mulched in their entirety to the building foundation. Plant materials shall not be installed under building overhangs and other such areas which do not receive natural rainfall.

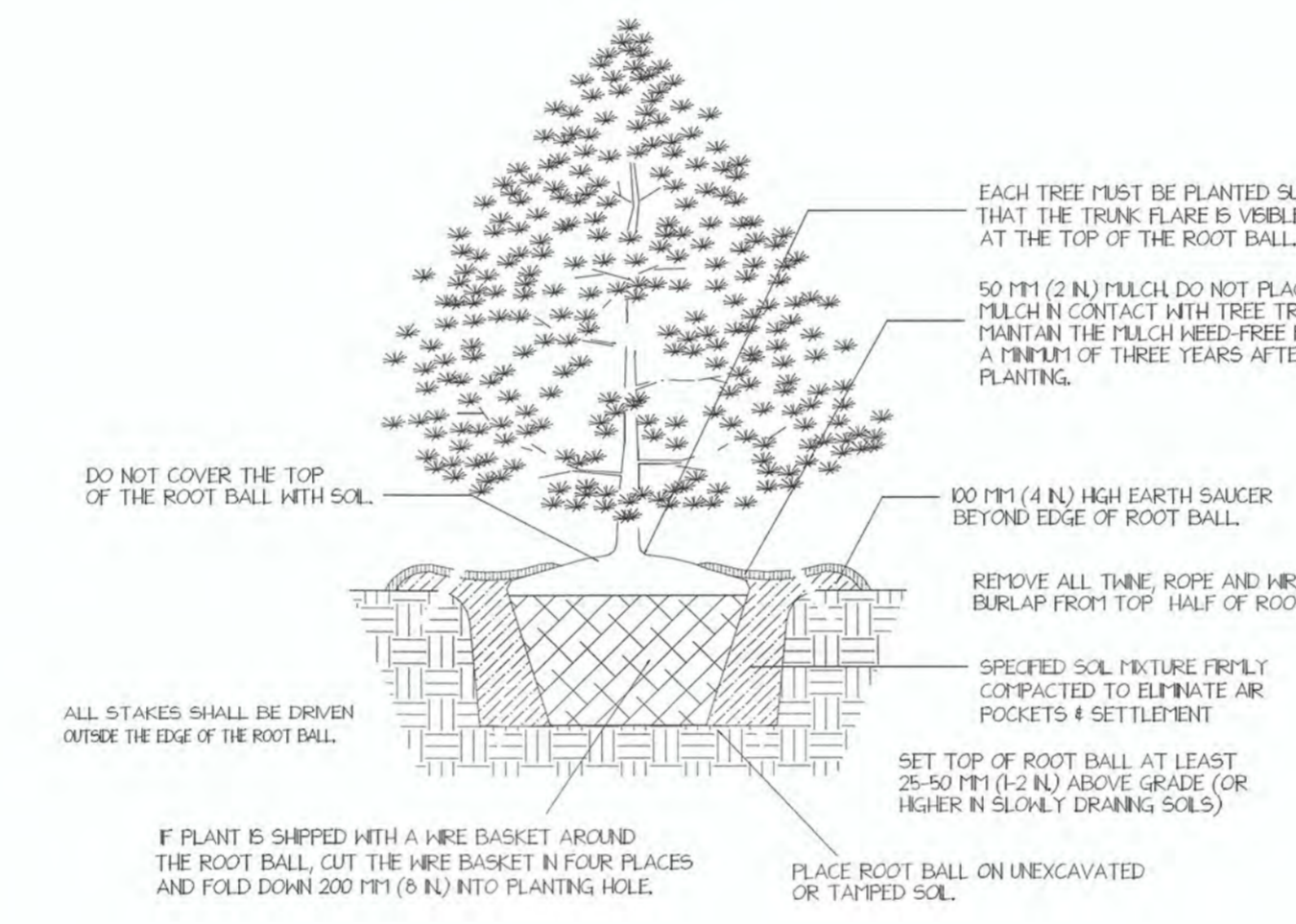
Sod shall be mineral base only.

Grass seed shall be applied mechanically so that the seed is incorporated into the top one-half inch (1/2") of the seed bed. The seed shall then be covered with the specified straw blanket or Hydro-mulch.

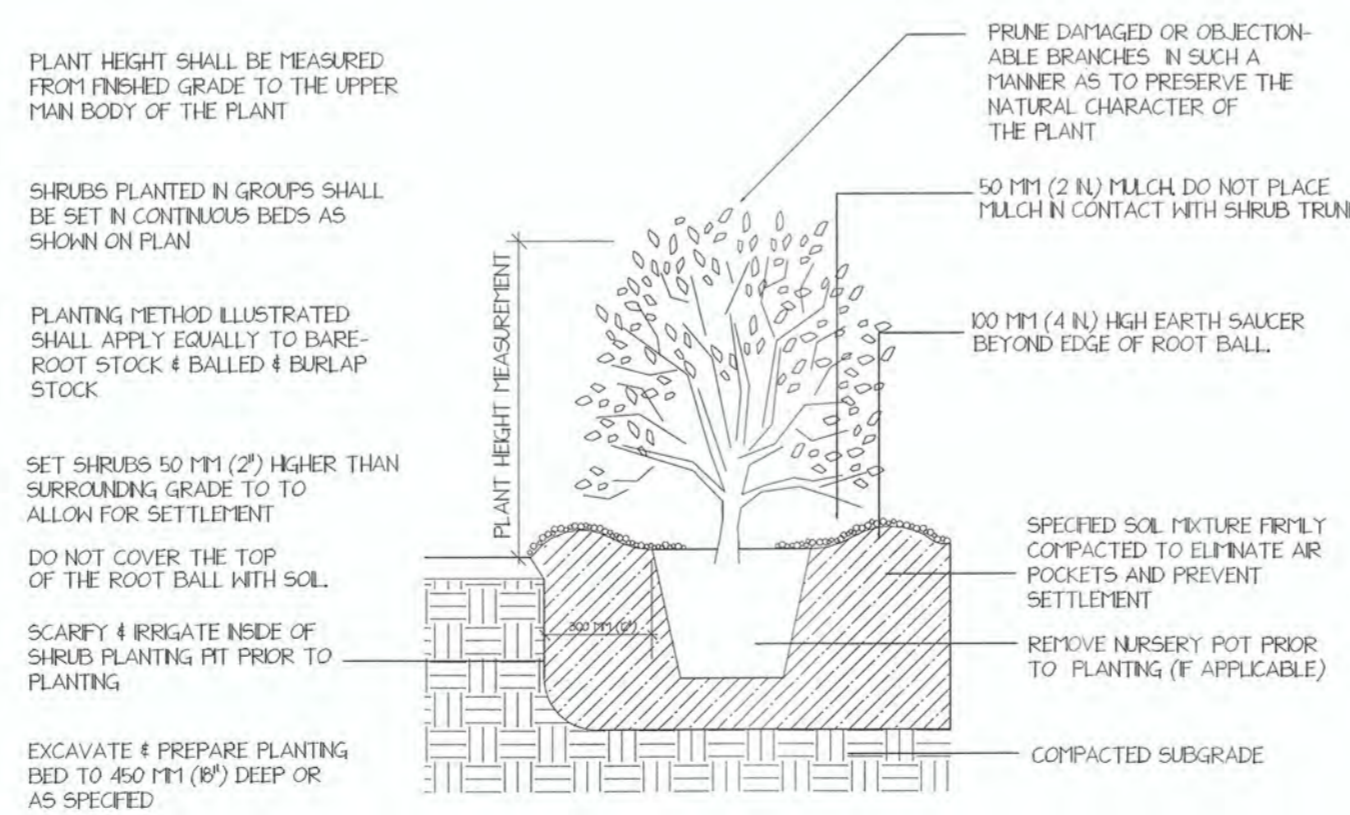
All plant material shall be guaranteed for one (1) year from the date of acceptance.



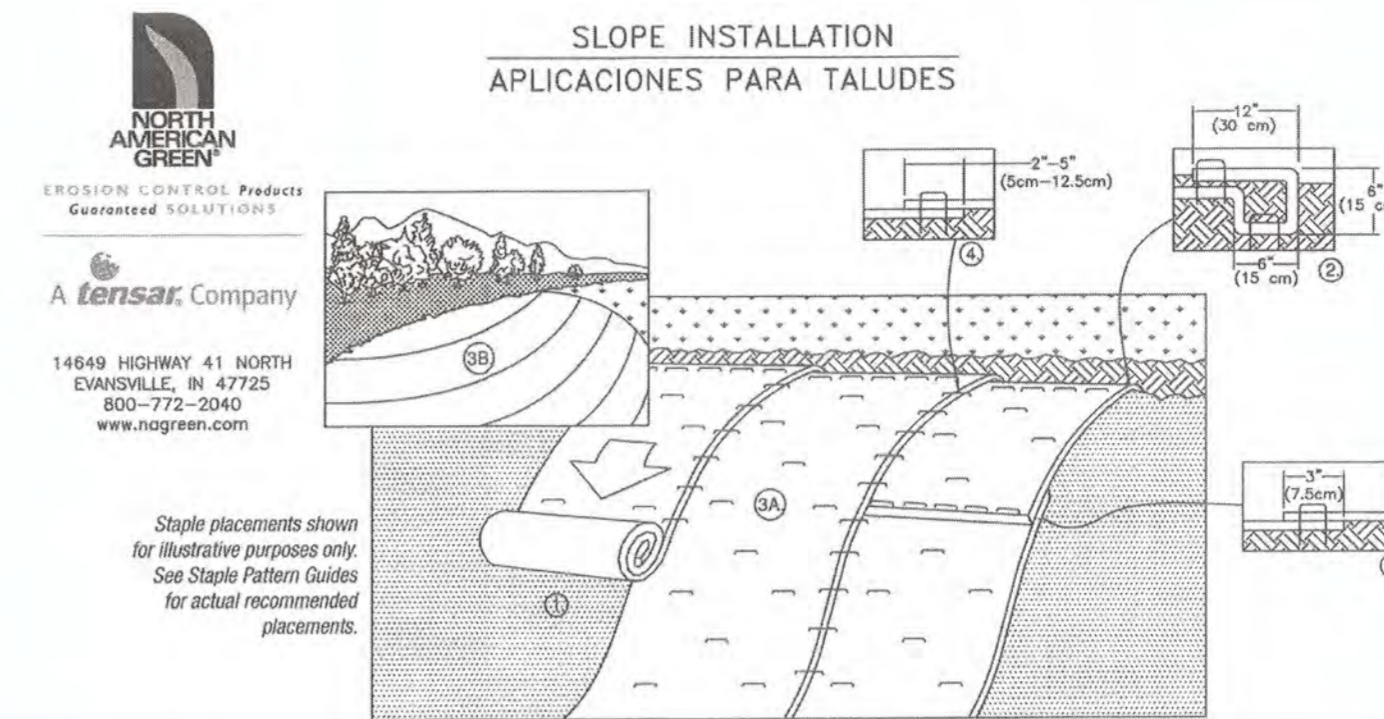
1 DECIDUOUS TREE PLANTING DETAIL
TYPICAL INSTALLATION - 3" (75MM) CALIPER OR LESS



2 CONIFEROUS TREE PLANTING DETAIL
TYPICAL INSTALLATION - 6" (200CM) OR LESS



3 SHRUB PLANTING DETAIL
TYPICAL INSTALLATION



NATIVE AREA MAINTENANCE NOTES:
NATIVE PRAIRIE AND POND SHORE

The installing contractor shall provide a three (3) year maintenance program as part of the vegetation contract for all native prairie areas. The installing contractor may subcontract the required maintenance program to a native plant community specialist contractor approved by the VILLAGE and Landscape Architect and Owner.

This program shall include:
1. All areas specified for the native prairie seed mix and stormwater seed mix shall be subject to a three (3) year maintenance contract by the installing contractor. This work may be subcontracted but the subcontractor must be approved by the VILLAGE and Landscape Architect and Owner. The Contractor will be responsible for maintenance until Final Acceptance. This maintenance program shall consist of mowing, burning and selective herbicide control of aggressive biennial & perennial weeds as outlined in the plan and as needed to meet acceptance requirements.

Selective herbicide treatment of certain aggressive perennial weeds may be necessary during the 2nd & 3rd growing seasons if mowing and burning fail to control them. Such weeds include Canada Thistle, Horsesnail and Spotted Knopweed. Only careful contact application shall be performed. NO SPRAYING WILL BE ALLOWED. Control methods shall include:
a. Direct hand application via "herbicide glove" to the individual plant consisting of a rubber herbicide glove with large absorbent cotton gloves over the rubber glove. A strong solution of Roundup or other appropriate herbicide shall be mixed in a small non spill squirt or spray bottle. As needed, use the bottle to carefully saturate the cotton glove(s) and then grab the leaves and stem of the unwanted perennial weed to apply the herbicide to that plant only. Take care not to touch or drip the herbicide on other adjacent plantings. Perform only on cool, non-windy days.
b. Cut unwanted perennial weeds (esp. Canada Thistle) to the ground when they are one foot (1') or taller, but prior to flowering. The cut stumps should then be treated with undiluted Garlon-3 using a small plastic spray bottle set on "stream" rather than "spray" or "mist". The herbicide should be applied sparingly so that it just soaks the cut stem of the unwanted weed.

1st Growing Season:
Mow up to three times (3X) to keep annual weeds from going to seed and to avoid too much shade for young seedlings. Maintain between 6" & 12". NOTE: Burning should always be utilized in lieu of mowing when enough plant material fuel is available to conduct a burn. Selective herbicide application of perennial weeds shall be performed in accordance with the provisions of item No. 2 above.

2nd Growing Season:
Mow in Spring to the ground and remove cuttings. Repeat mowing in late spring or early summer if weeds remain a problem. Target biennial weeds by mowing to six inches (6") when in bloom. Sweet Clover in particular must be mowed if present. Mowing in full bloom (mid-summer) will kill it. Native species shall be allowed to seed. Selective herbicide application of biennial & perennial weeds shall be performed as needed to meet acceptance requirements.

NOTE: Burning should always be utilized in lieu of mowing when enough plant matter fuel is available to conduct a burn.

3rd Growing Season:
Burn between October 15 and May 1, with a mid spring burning being preferred, and continue other weed management practices as needed during the 3rd growing season. NOTE: The Contractor shall be responsible for all required permits for all burning.

NATIVE MIX ACCEPTANCE & GUARANTEE
ACCEPTANCE CRITERIA SHOULD APPLY TO EACH BASIN INDIVIDUALLY RATHER THAN ALL BASINS COLLECTIVELY.
The Contractor shall be responsible for the satisfactory growth of permanent species of grasses, forbs, rushes, reeds and sedges on all areas seeded and/or planted under the Contract until final acceptance of the work. The Contractor shall provide an expert inspector (e.g. seed source vendor) to conduct an inspection of the native planting areas during the 1st and 2nd growing seasons and provide the Village and Owner with a written assessment by January 31st of the following year of the establishment progress and any remedial action taken or proposed. A more detailed inspection shall be conducted at the end of the 3rd growing season for purposes of Final Acceptance. A written report of this inspection shall also be provided to the Village and Owner by Jan. 31st of the following year. Acceptance of the work will be determined using a time meander search. The time meander search shall be conducted at the end of the 3rd full growing season after seeding and/or planting (not to exceed thirty-six (36) months). The search will sample 20 % of each plant community that was seeded and/or planted. If 75% of the permanent species seeded and/or planted are alive and apparent and the sample area has 80% ground cover of those permanent species, the work will be approved. If not accepted, the Contractor will replant to fulfill Contract responsibility, at no cost to the Owner.
None of the biennial or (2) most dominant species may be non-native or weedy species, including but not limited to, Reed Canarygrass, Teasel, Canada Thistle, Horsesnail, Spotted Knopweed, Purple Loosestrife, Sandbar Willow, Sweet Clover or Cattail, unless otherwise indicated on the approved planting plans.

NOTES
This drawing and any and all ideas and designs contained herein are the sole property of Beary and are not to be used without written permission.

1	1/24/15	PRELIMINARY REVIEW
2	3/23/16	REVIEW / CHANGES
No. Date	Description	
REVISONS		

EQUESTRIAN MEADOWS
LEMONT, ILLINOIS
EQUESTRIAN MEADOWS DEV. LLC
14800 S. 80TH AVENUE
ORLAND PARK, ILLINOIS



SCALE: 1" = 50'-0"	PROJECT NO.
DRAWN BY: MPW/KLT	SHEET NO.
CHECKED BY: B. BEARY	L12
DATE: 11/17/15	
DATE OF PRINT	

VILLAGE OF LEMONT
RESOLUTION NO. _____

**A RESOLUTION APPROVING A FINAL PLAT OF SUBDIVISION FOR A PROPERTY
LOCATED AT 12150 BELL ROAD IN LEMONT, ILLINOIS.**

(Equestrian Meadows Phase I)

**APPROVED BY THE
PRESIDENT AND THE BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT
THIS 27TH DAY OF JUNE, 2016**

**PUBLISHED IN PAMPHLET FORM BY
AUTHORITY OF THE PRESIDENT AND
BOARD OF TRUSTEES OF THE VILLAGE OF
LEMONT, COUNTIES OF COOK, WILL AND
DUPAGE, ILLINOIS, THIS 27TH DAY OF
JUNE, 2016**

**VILLAGE OF LEMONT
RESOLUTION NO. _____**

**A RESOLUTION APPROVING A FINAL PLAT OF SUBDIVISION FOR A
PROPERTY LOCATED AT 12150 BELL ROAD IN LEMONT, ILLINOIS.**

(Equestrian Meadows Phase I)

WHEREAS, Equestrian Meadows Development Company, LLC, (hereinafter referred to as the “Petitioner”), is the owner of the property covering approximately 15.8 acres located at 12150 Bell Road (PIN # 22-26-201-011-0000), legally described and depicted in Exhibit A (hereinafter referred to as the “Subject Property”); and

WHEREAS, the Petitioner applied for final plan approval for Phase I, special use of a planned unit development consisting of a 22 single -family unit development; and

WHEREAS, said application was reviewed in accordance with the Lemont Unified Development Ordinance of 2008 and approved by the Village Board of Trustees on June 27, 2016; and

WHEREAS, the Petitioner submitted the final plat of subdivision for approval for Phase I for 22 single-family residential subdivision in accordance with the requirements of the Lemont Unified Development Ordinance; and

WHEREAS, the plat of subdivision is in substantial conformance with the physical development policies and standards of the Village of Lemont; and

WHEREAS, the President and Board of Trustees have determined that the proposed plat of subdivision is in the best interest of the Village of Lemont.

NOW, THEREFORE BE IT RESOLVED THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE, AND WILL, ILLINOIS:

SECTION 1: Incorporation of Recitals. The foregoing findings and recitals are hereby adopted as Section 1 of this Resolution and are incorporated by reference as if set forth verbatim herein.

SECTION 2: Plat Approval. The Equestrian Meadows Planned Unit Development Phase I, which is attached hereto and made part hereof as Exhibit B, is hereby approved.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DUPAGE, ILLINOIS, ON THIS 27TH DAY OF JUNE, 2016

AYES

NAYS

PASSED

ABSENT

Debby Blatzer

Paul Chialdikas

Clifford Miklos

Rick Sniegowski

Ron Stapleton

Jeanette Virgilio

APPROVED BY ME THIS 27TH DAY OF JUNE, 2016

BRIAN K. REAVES, Village President

Attest:

CHARLENE M. SMOLLEN, Village Clerk

COMMONWEALTH EDISON R.O.W.
250' WIDTH

NO DATA HEREIN SHOULD BE USED FOR CONSTRUCTION OR ESTABLISHING BOUNDARY OF FENCE LINES. FOR BUILDING RESTRICTIONS AND/OR EASEMENTS, REFER TO THE DEED, CONTRACT, TITLE POLICY OR LOCAL ZONING REGULATIONS.
BOUNDARY DIMENSIONS ARE BASED ON THE PUBLIC RECORDS AND/OR THE LEGAL DESCRIPTION. LEGAL DESCRIPTION MADE HAS BEEN PROVIDED BY THE CLIENT AND MUST BE COMPARED WITH THE PUBLIC RECORDS AND/OR THE LEGAL DESCRIPTION. THE PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE PUBLIC RECORDS AND/OR THE LEGAL DESCRIPTION. DISCREPANCIES FOUND BETWEEN FIELD CONDITIONS AND DIMENSIONS SHOWN ON THIS DOCUMENT SHALL BE REPORTED TO THE CLIENT IMMEDIATELY. LIABILITY OF LINCOLNWAY ENGINEERING AND LAND SURVEYING ASSOCIATED WITH THIS DOCUMENT AND THE WORK IT REPRESENTS IS LIMITED TO THE COST OF PRODUCTION.
LINCOLNWAY ENGINEERING AND LAND SURVEYING LTD. AN ILLINOIS PROFESSIONAL DESIGN FIRM, IS A REGISTERED PROFESSIONAL ENGINEERING AND LAND SURVEYING FIRM. THE ABOVE DESCRIBED PROPERTY HAS BEEN MEASURED IN THE FIELD AND THAT THIS DOCUMENT IS A TRUE AND CORRECT REPRESENTATION OF SAID FIELD WORK. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. LINCOLNWAY ENGINEERING AND LAND SURVEYING CORPORATION LICENSE EXPIRES APRIL 30, 2017
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
DATED THIS 31ST DAY OF JUNE, 2015 CORP. LIC. # 184-008623
BY ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, MATTHEW D. DUINN
ILLINOIS SURVEYORS LICENSE # 3107, MY LICENSE EXPIRES 11/30/2016



SCALE: 1" = 30'

THE SOUTH ONE HALF (1/2) OF THE FOLLOWING DESCRIBED TRACT: THE EAST ONE HALF (1/2) OF THE NORTHEAST QUARTER (1/4) (EXCEPT THE SOUTH 700 FEET THEREOF AND EXCEPT THE WEST 250 FEET THEREOF, AND ALSO EXCEPT THE NORTH 603 FEET THEREOF OF THE SEQUOIA PARCELS IN THE NORTH 1/2 OF THE SEQUOIA PARCELS OF THE SEQUOIA PARCELS MERIDIAN, IN LEMONT TOWNSHIP, COOK COUNTY, ILLINOIS.

JOB NUMBER
150502

PREPARED FOR:
MARTH CONSTRUCTION

BOUNDARY SURVEY
12150 S. BELL RD.
LEMONT, ILLINOIS

COPYRIGHT 2014 LINCOLNWAY ENGINEERING AND LAND SURVEYING LTD.
LINCOLNWAY
ENGINEERING AND LAND SURVEYING LTD.
LAND SURVEYING • PLANNING
ENGINEERING • PERMITS
LAND DEVELOPMENT SCIENCES AND CONSULTING
846 REGENT STREET, NEW LENOX, IL. 60451
PHONE (630)301-1325

SHEET
1 OF 1
DATE: 6-2-2015

EQUESTRIAN MEADOWS PLANNED UNIT DEVELOPMENT PHASE I

Surveyor's Certificate
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

Owner's Certificate
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, MATTHEW D DUNN, Illinois Professional Land Surveyor No. 3107, do hereby certify that I have surveyed and subdivided the described as follows:

THE SOUTH 1/2 OF THE FOLLOWING DESCRIBED TRACT:
 THE EAST 1/2 OF THE NORTHWEST 1/4 (EXCEPT THE SOUTH 700 FEET THEREOF AND EXCEPT THE WEST 250 FEET THEREOF, AND ALSO EXCEPT THE NORTH 663 FEET THEREOF) OF SECTION 26, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN,

AND ALSO EXCEPTING THAT PART DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEAST CORNER OF THE ABOVE TRACT, SAID POINT ALSO BEING THE INTERSECTION OF THE EAST LINE OF SAID NORTHWEST 1/4 AND THE NORTH LINE OF THE SOUTH 700 FEET OF SAID NORTHWEST 1/4, THENCE WEST ALONG THE NORTH LINE OF THE SOUTH 700 FEET (THE SOUTH LINE OF THE ABOVE TRACT) A DISTANCE OF 110.5 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 01 DEGREE, 53 MINUTES, 51 SECONDS WEST, A DISTANCE OF 59.43 FEET, THENCE NORTH 57 DEGREES, 33 MINUTES, 32 SECONDS WEST A DISTANCE OF 154.19 FEET, THENCE ALONG A 100 FOOT RADIUS CURVE TO THE NORTHEAST AN ARC DISTANCE OF 100.54 FEET TO A LINE TANGENT TO THE TERMINUS OF SAID CURVE, SAID TANGENT BEARING NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST, THENCE NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST, THENCE NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST ALONG THE PREVIOUSLY DESCRIBED LINE A DISTANCE OF 67.29 FEET, THENCE SOUTH 88 DEGREES, 22 MINUTES, 39 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 60.00 FEET, THENCE NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 22.94 FEET, THENCE SOUTH 88 DEGREES, 22 MINUTES, 39 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 525.00 FEET, THENCE SOUTH 01 DEGREES, 37 MINUTES, 21 SECONDS EAST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 130.23 FEET, THENCE NORTH 88 DEGREES, 22 MINUTES, 39 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL AN ARC LENGTH OF 20.10 FEET, THENCE ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE BEARING SOUTH 26 DEGREES, 48 MINUTES, 36 SECONDS WEST A DISTANCE OF 19.99 FEET, THENCE ALONG A 230 FOOT RADIUS CURVE TO THE SOUTHWEST TANGENT TO THE LAST DESCRIBED CALL AN ARC DISTANCE OF 101.11 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 700 FEET OF SAID NORTHWEST 1/4, THENCE NORTH 88 DEGREES, 22 MINUTES, 39 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTH A DISTANCE OF 706.94 FEET TO THE POINT OF BEGINNING.

Given under my hand and seal this ____ day of _____ 20____

Notary Public
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, _____, a Notary Public in and for said County in the State aforesaid, do hereby certify that Ann Bell and James Marth of Equestrian Meadows LLC, are personally known to me to be the same persons whose names are subscribed to this subdivision plat as Managers of Equestrian Meadows LLC, appeared before me this day in person and acknowledged that they signed this subdivision plat as their own free and voluntary act and the free and voluntary act of Equestrian Meadows LLC, for the uses and purposes therein set forth.

Owner's Certificate - School District(s)
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

This is to certify that the undersigned are the Managers of record of Equestrian Meadows LLC, the owner of the following described land, and here certifies that the subject property is located with the following school districts:

ELEMENTARY SCHOOL DISTRICT; LEMONT-BROMBEREK COMBINED DISTRICT 113A HIGH SCHOOL DISTRICT; LEMONT TOWNSHIP HIGH SCHOOL DISTRICT 210 COMMUNITY COLLEGE DISTRICT; JOLIET JUNIOR COLLEGE DISTRICT 529

in Cook, DuPage and Will, Counties, Illinois.
 Dated this ____ day of _____ 20____

By: _____ By: _____
 Ann Bell, Manager James Marth, Manager

School District Notary Certificate
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, _____, a Notary Public in and for said County in the State aforesaid, so hereby certify that Ann Bell and James Marth are personally known to me to be the Managers of Equestrian Meadows Development Company LLC and the same persons whose names are subscribed to the foregoing instrument as such Managers appeared before me this day in person and acknowledged that they signed the subdivision plat as their own free and voluntary act for the uses and purposes therein set forth.

Given under my hand and Notarial Seal
 This ____ Day of _____ 20____

By: _____
 Notary Public

Surface Water Drainage Certificate
 STATE OF ILLINOIS)
)SS
 COUNTY OF WILL)

We hereby certify that the topographical and profile studies required by the Illinois Plat Act, Ill. Compiled Stat., ch. 109, sec. 1 et seq., as now or hereafter amended, have been filed with the Village of Lemont, a municipal corporation in Cook, DuPage, and Will Counties, Illinois, and the certification as to drainage required by said Act made thereon.

Dated this ____ day of _____ 20____

Scott Schreiner
 Registered Professional Engineer No. 062-049702
 My License Expires 11-30-2017

Ann Bell James Marth
 Managers of Equestrian Meadows Development Company LLC.

THE SOUTH 1/2 OF THE FOLLOWING DESCRIBED TRACT:
 THE EAST 1/2 OF THE NORTHWEST 1/4 (EXCEPT THE SOUTH 700 FEET THEREOF AND EXCEPT THE WEST 250 FEET THEREOF, AND ALSO EXCEPT THE NORTH 663 FEET THEREOF) OF SECTION 26, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN,

AND ALSO EXCEPTING THAT PART DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEAST CORNER OF THE ABOVE TRACT, SAID POINT ALSO BEING THE INTERSECTION OF THE EAST LINE OF SAID NORTHWEST 1/4 AND THE NORTH LINE OF THE SOUTH 700 FEET OF SAID NORTHWEST 1/4, THENCE WEST ALONG THE NORTH LINE OF THE SOUTH 700 FEET (THE SOUTH LINE OF THE ABOVE TRACT) A DISTANCE OF 110.5 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 01 DEGREE, 53 MINUTES, 51 SECONDS WEST, A DISTANCE OF 59.43 FEET, THENCE NORTH 57 DEGREES, 33 MINUTES, 32 SECONDS WEST A DISTANCE OF 154.19 FEET, THENCE ALONG A 100 FOOT RADIUS CURVE TO THE NORTHEAST AN ARC DISTANCE OF 100.54 FEET TO A LINE TANGENT TO THE TERMINUS OF SAID CURVE, SAID TANGENT BEARING NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST, THENCE NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST, THENCE NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST ALONG THE PREVIOUSLY DESCRIBED LINE A DISTANCE OF 67.29 FEET, THENCE SOUTH 88 DEGREES, 22 MINUTES, 39 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 60.00 FEET, THENCE NORTH 01 DEGREES, 37 MINUTES, 21 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 22.94 FEET, THENCE SOUTH 88 DEGREES, 22 MINUTES, 39 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 525.00 FEET, THENCE SOUTH 01 DEGREES, 37 MINUTES, 21 SECONDS EAST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL A DISTANCE OF 130.23 FEET, THENCE NORTH 88 DEGREES, 22 MINUTES, 39 SECONDS WEST AT A RIGHT ANGLE TO THE LAST DESCRIBED CALL AN ARC LENGTH OF 20.10 FEET, THENCE ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE BEARING SOUTH 26 DEGREES, 48 MINUTES, 36 SECONDS WEST A DISTANCE OF 19.99 FEET, THENCE ALONG A 230 FOOT RADIUS CURVE TO THE SOUTHWEST TANGENT TO THE LAST DESCRIBED CALL AN ARC DISTANCE OF 101.11 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 700 FEET OF SAID NORTHWEST 1/4, THENCE NORTH 88 DEGREES, 22 MINUTES, 39 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTH A DISTANCE OF 706.94 FEET TO THE POINT OF BEGINNING.

ALL IN COOK COUNTY, ILLINOIS.
 as shown on this subdivision plat, which is a true and correct representation of said survey and subdivision. All distances are shown in feet and decimal parts thereof. I certify that iron rods were set at all lot corners and that monuments were placed at all lot corners as depicted per state statutes. I further certify that all regulations enacted by the Board of Trustees of the Village of Lemont, a municipal corporation in Cook, DuPage and Will Counties, Illinois, relative to plats and subdivisions have been complied within the preparation of this plat.

I further certify that no part of the property covered by this plat of subdivision is located within a special food hazard area as identified by the Federal Emergency Management Agency and that no part of said property borders on or includes any public waters in which the State of Illinois has any property rights or property interests.

I further certify that this subdivision lies within the corporate limits of said Village of Lemont or within 1-1/2 miles of the corporate limits of said Village, which has adopted a city plan and is exercising the special powers authorized by Division 12 of Article 11 of the Illinois Municipal Code, as now or hereafter amended.

By my signature on this certificate, I hereby grant to the Village of Lemont, their respective successors and assigns, the authority to record this plat.
 Given under my hand and seal at NEW LENOX, Illinois, this ____ day of _____ 20____

Illinois Registered Land Surveyor

Village Engineer's Certificate
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

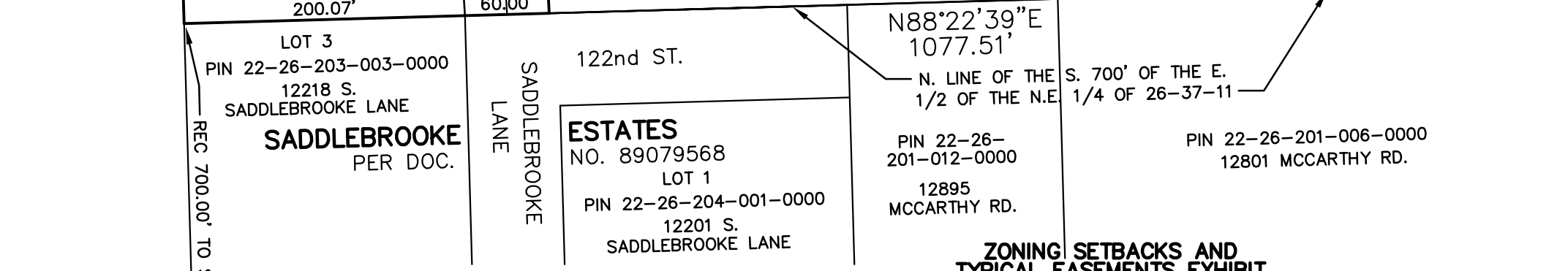
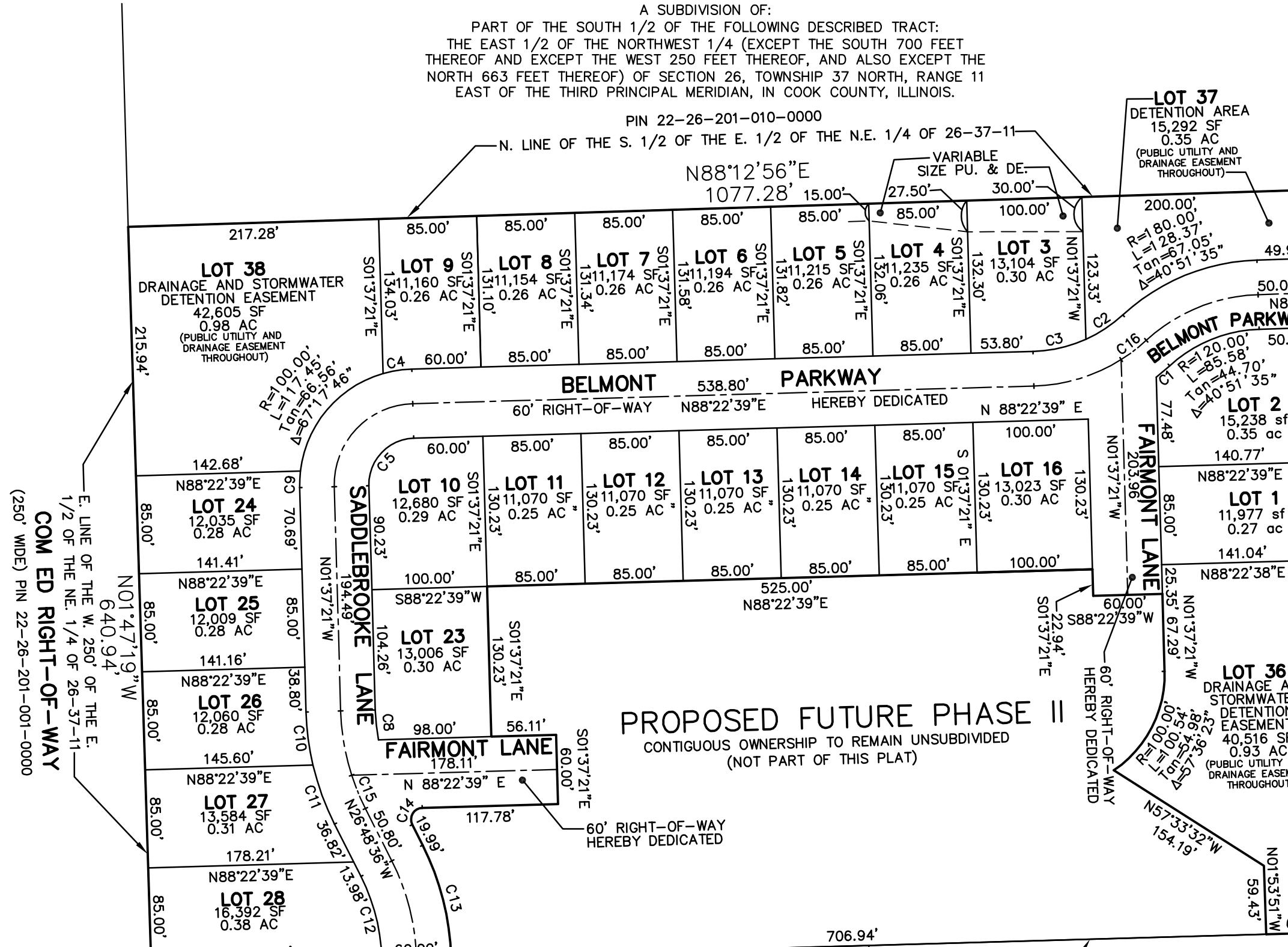
Certificate as to Special Assessments
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, _____, Village Engineer of the Village of Lemont, Illinois, hereby certify that the land improvements in this Subdivision, as shown by the Plans and Specifications therefore, meet the minimum requirements of said Village and have been approved by all public authorities having jurisdiction thereof. Dated at Lemont, Illinois, Cook, Will, and DuPage Counties, Illinois, this ____ day of _____ 20____

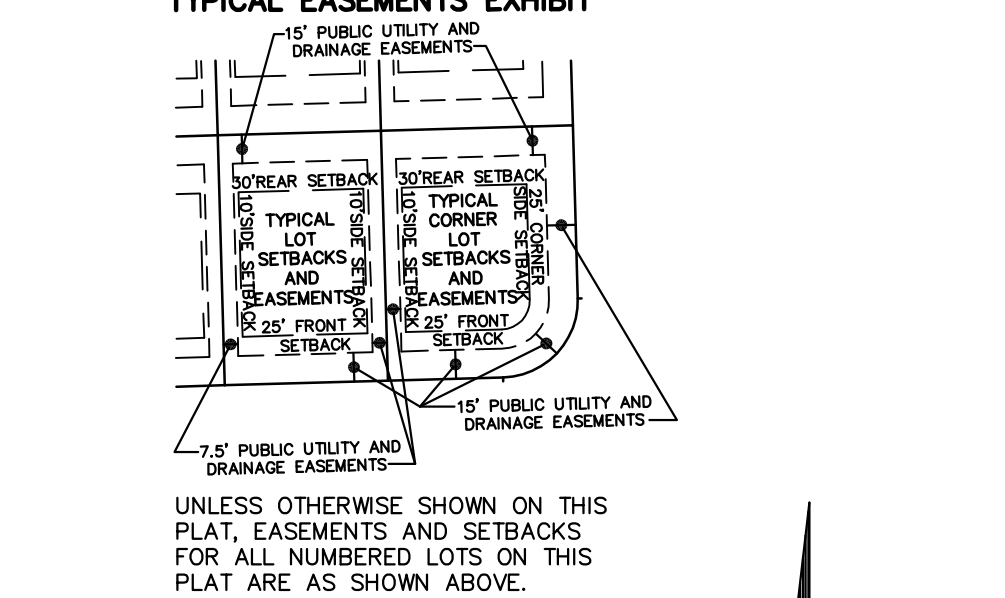
Dated at Lemont, COOK County, Illinois, this ____ day of _____ 20____

 Village Engineer

 County Clerk



CURVE TABLE						
CURVE	LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING	TANGENT	DELTA
C1	15.30	180.00	15.30	N49°47'05"E	7.66	4°52'17"
C2	38.50	120.00	38.34	N56°22'29"E	19.42	18°23'05"
C3	47.42	120.00	47.12	N7°03'20"E	24.03	22°36'37"
C4	25.27	100.00	25.20	S81°08'19"W	12.70	14°28'39"
C5	62.83	40.00	56.57	S43°22'39"W	40.00	90°00'00"
C8	26.08	170.00	26.05	S06°01'01"E	13.06	8°47'19"
C9	14.36	100.00	14.35	S02°29'26"W	7.19	8°13'38"
C10	46.52	230.00	46.44	S07°25'02"E	23.34	11°35'20"
C11	54.59	230.00	54.46	S20°00'39"E	27.42	13°35'54"
C12	74.73	170.00	74.13	N14°12'59"W	37.98	25°11'44"
C13	101.11	230.00	100.30	N14°12'59"W	51.38	25°11'44"
C14	20.10	10.00	16.89	S30°47'01"W	15.75	115°11'14"
C15	31.19	200.00	31.16	S22°20'33"E	15.63	8°56'06"
C16	27.48	150.00	27.44	N52°35'53"E	13.78	10°29'52"



UNLESS OTHERWISE SHOWN ON THIS PLAT, EASEMENTS AND SETBACKS FOR ALL NUMBERED LOTS ON THIS PLAT ARE AS SHOWN ABOVE. SETBACKS REFLECT CURRENT R-4 DISTRICT ZONING REQUIREMENTS FOR THE VILLAGE OF LEMONT.

President and Board of Trustees Certificate
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

Approved and accepted by the Board of Trustees of the Village of Lemont, Cook County, Illinois at a Public Meeting held:
 this ____ day of _____ 20____

By: _____
 President

Attest: _____
 Village Clerk

County Clerk Certificate
 STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, _____, County Clerk of COOK County, Illinois, do hereby certify that I find no delinquent general taxes, no unpaid current general taxes, no unpaid forfeited taxes, no delinquent or unpaid current special assessments, no redeemable tax sales against any of the land shown on this plat of subdivision and no deferred installments of any outstanding unpaid special assessments which have not been divided in accordance with the proposed subdivision and duly approved by the court that confirmed the special assessment.

Given under my hand and seal at COOK, County, Illinois, this ____ day of _____ 20____

 County Clerk

 Superintendent of Highways

LOT 37 DETENTION AREA 15,292 SF 0.35 AC (PUBLIC UTILITY AND DRAINAGE EASEMENT THROUGHOUT)

LOT 38 DRAINAGE AND STORMWATER DETENTION EASEMENT 0.98 AC (PUBLIC UTILITY AND DRAINAGE EASEMENT THROUGHOUT)

LOT 36 DRAINAGE AND STORMWATER DETENTION EASEMENT 40,516 SF 0.93 AC (PUBLIC UTILITY AND DRAINAGE EASEMENT THROUGHOUT)

LOT 111 22-25-104-001-0000 1 CHESTNUT CT.

LOT 112 22-25-104-002-0000 2 CHESTNUT CT.

LOT 113 22-25-104-003-0000 3 CHESTNUT CT.

LOT 188 EQUESTRIAN ESTATES UNIT NO. 12 REC. APRIL 8, 1968 AS DOC. NO. 86133499 AS DOC. NO. 86133499

LOT 189

Drainage and Stormwater Detention Easement

Declorant hereby reserves and grants to the Village of Lemont in, over, under, through, and upon those areas designated on the Plat as Drainage and Stormwater Detention Easement" or "D.E." for purposes of providing adequate stormwater drainage control together with reasonable access thereto. Said easements shall be perpetual and shall run with the land and shall be binding upon the decedent, it's successors, heirs, executors and assigns. To ensure the integrity of the stormwater facilities, no obstructions shall be placed, nor alterations made, including alterations in the final topographical grading plan which in any manner impeded or diminish stormwater drainage of detention in, over, under, through or upon said easement areas. In the event such obstruction or alteration are found to exist, the Village shall, upon seventy-two (72) hours prior notice to the property owner, have the right, but not the duty, to perform, or have performed on it's behalf, the removal of said obstruction of alterations or to perform other repair, alteration or replacement as may reasonably be necessary to ensure that adequate stormwater storage, storm drainage, detention and retention facilities and appurtenances thereto remain fully operational and that the condition of said drainage easement complies with all applicable Village codes. In the event of an emergency situation, as determined by the Village, the seventy-two (72) hour prior notice requirement set fourth above shall not apply, and the Village shall have the right, but not the duty to proceed without notice to the property owner.

In the event the Village shall perform, or have performed on it's behalf, removal of any obstruction or alteration to or upon the stormwater facilities drainage easement, as set fourth in this easement, the cost of such work shall, upon recordation of Notice of Lien and the Record of Deeds of [Cook DuPage or Will] County, Illinois, constitute a lien against the assets of the property owner which cause such obstruction or alteration.

The cost of the work incurred by the Village shall include all expenses and costs associated with the performance of such work including, but not limited to, reasonable engineering, consulting and attorney's fees related to the planning and actual performance of the work.

Lot 36, (Outlot C on the approved engineering plans) is hereby dedicated to the Village of Lemont for stormwater retention.

Lot 37, (Outlot B on the approved engineering plans) is hereby dedicated to the Village of Lemont for stormwater retention.

Lot 38, (Outlot A on the approved engineering plans) is hereby dedicated to the Village of Lemont for stormwater retention.

NOTES: THIS PLAT PERTAINS TO PIN PART OF 22-26-201-011-0000

PLEASE RETURN ONE RECORDED COPY OF THIS PLAT TO MATTHEW DUNN, P.E., P.L.S. LINCOLNWAY ENGINEERING AND LAND SURVEYING LTD. 846 REGENT ST. NEW LENOX, IL 60451

PREPARED BY:
LINCOLNWAY
 ENGINEERING AND LAND SURVEYING LTD.
 846 REGENT STREET, NEW LENOX, IL. 60451
 PHONE: 300.301-1322
 Date: 06/06/2016

Public Utility and Drainage Easement Provisions

Non-exclusive, perpetual easements are hereby reserved and dedicated as depicted on this plat to the Village of Lemont and to those public utility companies operating within the Village of Lemont including, but not limited to, Commonwealth Edison Company, A.T. NICOR, Comcast Cable, and their successors and assigns over all areas marked "Public Utilities and Drainage Easement" and those areas designated "P.U. & D.E." on this plat for the perpetual right, privilege and authority to construct, reconstruct, repair, inspect, maintain, and operate various utility transmission and distribution systems, and including but not limited to overhead drainage, storm and/or sanitary sewers, together with any and all necessary manholes, catch basins, connections, appliances and other structures and appurtenances as may be deemed necessary by said Village and/or utility companies, over, upon, along, under and through said indicated easement, together with right of access across the property for necessary personnel and equipment to do any of the above work. The right is also granted to cut down and trim or remove any fences, temporary structures, trees, shrubs, or other plants without obligation to restore or replace and without need for providing compensation therefore on the easement that interfere with a the operation of the sewers or other utilities. No permanent buildings or structures shall be placed on said easement, but same may be used for gardens, shrubs, landscaping, and other purposes that do not then or later interfere with the aforesaid uses or rights. Where an easement is used for both sewer and other utilities, the other utility installation shall be subject to the ordinances of the Village of Lemont and to Village approval as to design and location.

Perpetual easements are hereby reserved for and granted to the Village of Lemont and other governmental authorities having jurisdiction, over the entire easement area for ingress, egress, and the performance of municipal and other governmental services including water, storm and sanitary sewer service and maintenance and emergency and routine police, fire, and other public safety related services.

COM ED COMPANY AND AT&T CORPORATION

An easement is hereby reserved for and granted to ComEd Company and AT&T Corporation, their respective successors and assigns, jointly and severally, for the installation, maintenance, relocation, renewal and removal of overhead and underground electric and communications cables and appurtenances in, over, under across, along and upon the surface of the property shown on the plat and designated on the plat and designated as "Public Utility and Drainage Easement" or "PU & DE" and the property designated on the plat for streets and alleys required to provide the Equestrian Meadows Subdivision and other property, weather or not contiguous thereto, with electric and communications services, together with the right to install required service connections over or under the surface of each lot to serve improvements thereon, or on adjacent lots, the right to cut, trim or remove trees, bushes and roots, as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes.

No buildings or other obstructions shall be placed over grantees' facilities or in, upon or over the property within the "Public Utility and Drainage Easement" or "PU & DE" without the prior written consent of grantees. Nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby. After installation of any such facilities, the grade of subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

NICOR CORPORATION / NICOR GAS COMPANY

An easement is hereby reserved for and granted to Nicor Corporation and Nicor Gas Company, their successors and assigns, jointly and severally, for the installation, maintenance, relocation, renewal and removal of gas mains and appurtenances in, under, across, along and upon the surface of the property shown on the plat and designated as "Public Utility and Drainage Easement" or "PU & DE" and the property designated on the plat for streets and alleys required to provide the Equestrian Meadows Subdivision and other property, whether not contiguous thereto, with gas supply services, together with the right to install required service connections for each lot. No buildings or other obstructions shall be constructed or erected in any such "Public Utility and Drainage Easement" or "PU & DE" areas, without the prior written consent of grantees. Nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby.

COMCAST COMMUNICATIONS

An easement is hereby reserved for and granted to Comcast Communications Corporation operating within the Village of Lemont, it's successors and assigns, jointly and severally, for the installation, maintenance, relocation, renewal and removal of cable communication and broadcast signal systems in, under, across, along and upon the surface of the property shown on the plat and designated as "Public Utility and Drainage Easement" or "PU & DE" and the property designated on the plat for streets and alleys as required to provide the Equestrian Meadows Subdivision and other property, whether not contiguous thereto, with communication and broadcast TV services, together with the right to install required service connections for each lot. No buildings or other obstructions shall be constructed or erected in any such "Public Utility and Drainage Easement" or "PU & DE" areas, without the prior written consent of grantees. Nor shall any other use be made thereof which will interfere with the easements reserved and granted hereby.



Village of Lemont
Planning & Economic Development Department

418 Main Street · Lemont, Illinois 60439
phone 630-257-1595 · fax 630-257-1598

TO: Committee of the Whole
FROM: Charity Jones, AICP, Planning & Economic Development Director
SUBJECT: FY17 Marketing Initiative – Contract with HCCVB
DATE: June 23, 2016

SUMMARY

As discussed at the June Committee of the Whole staff has selected to contract with the Heritage Corridor Convention and Visitors Bureau (HCCVB) for the development of a one-year marketing strategy and advertising campaign to begin implementation of the Village's recently adopted brand strategy. The HCCVB staff will direct all campaign efforts and provide advertising placement services. The HCCVB has subcontracted with one of its established partners, Diane Stelken Associates, for the creative design for the marketing materials.

BOARD ACTION

Vote on the attached resolution.

ATTACHMENTS

1. A Resolution Approving an Agreement for Marketing Services

**VILLAGE OF LEMONT
RESOLUTION NO. _____**

A RESOLUTION APPROVING AN AGREEMENT FOR MARKETING SERVICES

**Adopted by the President
and Board of Trustees
of the Village of Lemont
This 27th Day of June, 2016.**

**Published in pamphlet form by
authority of the President and
Board of Trustees of the Village
of Lemont, Cook, DuPage, and Will
Counties, Illinois this 27th day of
June, 2016.**

A RESOLUTION APPROVING AN AGREEMENT FOR MARKETING SERVICES

WHEREAS, the Village of Lemont (“Village”) budgeted \$56,000 in fiscal year 2017 for marketing services including the development of a marketing plan, a social media engagement plan, and design and placement of advertising to promote the Village; and

WHEREAS, the Heritage Corridor Convention and Visitors Bureau is the state-certified destination marketing organization representing Lemont and the other communities and counties within the Illinois and Michigan Canal National Heritage Area; and

WHEREAS, the President and Board of Trustees desire to enter into an agreement for marketing services with the Heritage Corridor Convention and Visitors Bureau, a copy of which is attached as Exhibit A; and

NOW THEREFORE, BE IT RESOLVED by the President and Village Board of Trustees of the Village of Lemont, Cook, Will and Du Page Counties, Illinois as follows:

Section One: The foregoing findings and recitals, and each of them, are hereby adopted as Section One of this Resolution and are incorporated by reference as if set forth verbatim herein

Section Two: The Village Administrator is authorized to execute the Agreement and to make minor changes to the document prior to execution that do not materially alter the Village’s obligations, and to take any other steps necessary to carry out this resolution.

Section Three: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL AND DUPAGE,
ILLINOIS on this 27th day of June, 2016.**

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk