

**VILLAGE BOARD
COMMITTEE OF THE WHOLE MEETING**

**APRIL 13, 2015 – 7:00 PM
(FOLLOWING VILLAGE BOARD MEETING)
LEMONT VILLAGE HALL
418 MAIN ST.
LEMONT, IL 60439**

AGENDA

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. DISCUSSION ITEMS**
 - A. QUICKEST STATEMENT OF WORK DISCUSSION
(POLICE DEPT.)(MIKLOS)(MATON)**
 - B. BIRCH PATH FINAL PUD PLAN/PLAT AMENDMENT DISCUSSION
(PLANNING & ED)(STAPLETON)(JONES)**
- IV. UNFINISHED BUSINESS**
- V. NEW BUSINESS**
- VI. AUDIENCE PARTICIPATION**
- VIII. ADJOURN**

Village Board

Agenda Memorandum

To: Mayor & Village Board
From: Chief Marc R. Maton
Subject: **Summary of Quicket Statement of Work**

Date:
04-13-15

BACKGROUND/HISTORY

Attached is a preliminary statement of work proposed by QUICKET Solutions to develop and implement a reporting solution for the Lemont Police Department.

QUICKET is proposing to deliver to the police department a comprehensive reporting solution that will include E-Citation, Crash Reporting, Ordinance and Adjudication, Crash Report Sale, and Incident Reporting and Mobile Fine Payment. In addition to the reporting products, QUICKET is including an analytics platform and a Case and Report Review Module for electronic report approval.

QUICKET will supply all of the hardware and software necessary to implement field reporting of all solutions, including all materials, tools, equipment, expertise, and labor.

The Lemont Police Department would incur no up-front investment in the product. A monthly fee per device will be paid that would incorporate hardware, software, supplies and support. Included in the hardware lease is a Panasonic tablet, a Motorola bar code scanner, a Zebra printer, Verizon Wireless services, and cloud based storage. QUICKET is also agreeing to initial data conversion of existing ticket and crash data.

QUICKET has quoted an annual cost of \$3,120 per device package. Initial estimates are that Lemont will need twelve to fifteen of these device packages. There is an additional cost for a system administrator interface of five licenses that will cost \$2,600 per year. There is a one time training cost of \$2,400 during year one.

RECOMMENDATION : Approval at future board meeting

ATTACHMENTS (IF APPLICABLE)

Summary of Work Statement

SPECIFIC VILLAGE BOARD ACTION REQUIRED

Approval at the upcoming Village Board Meeting

QUICKET SOLUTIONS, INC.

STATEMENT OF WORK

VILLAGE OF LEMONT IMPLEMENTATION PLAN

March 20, 2015

STATEMENT OF WORK

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March 20, 2015

This Quicket Solutions, Inc. (“QUICKET”) Statement of Work (“SOW”) describes the services, hardware and software (separately or together, as required, the “Work”) to be provided to the Village of Lemont (“LEMONT”) for the installation, implementation and deployment of the Quicket Solutions electronic citation management service and solution (the “Quicket Solutions Service”), and is entered into by the parties in connection with and pursuant to the Quicket Solutions Master Software and Service Agreement (“MSSA”) entered into contemporaneously with this SOW.

1. APPLICABLE REFERENCES

Policies, procedures, laws, regulations or other documents referenced in, applicable to or germane to this SOW are listed below. In the performance of the tasks associated with this SOW, QUICKET, as applicable, shall consider, coordinate the work or comply with the following:

1. Criminal Justice Information Services (CJIS) Security Policy, Version 5.3, August, 4, 2014
2. 44 U.S.C. § 3541, “Federal Information Security Management Act (FISMA) of 2002”
3. Federal Information Processing Standards (FIPS) Publication 140-2, “Security Requirements For Cryptographic Modules”
4. 5 U.S.C. § 552a, as amended, “The Privacy Act of 1974”
5. 42 U.S.C. § 2000d “Title VI of the Civil Rights Act of 1964”
6. Department Directive 0710, “Personnel Suitability and Security Program,” September 10, 2004
7. 36 C.F.R. Part 1194 “Electronic and Information Technology Accessibility Standards,” July 1, 2003
8. Directive 6500, “Information Security Program,” August 4, 2006
9. Handbook 6500, “Information Security Program,” September 18, 2007
10. National Institute Standards and Technology (NIST) Special Publications

2. SUPPLIES OR SERVICES AND PRICES

a. GENERAL DESCRIPTION

QUICKET shall furnish the Quicket Services Solution, a comprehensive solution, including all materials, tools, equipment, expertise, and labor to perform the work required by the Village’s solicitation document and awarded on the pricing and for the term as set forth herein.

The Work shall be performed in accordance with the specifications set forth in this SOW, and in the MSSA and ancillary documents referenced therein, under which the Work will be performed. The Contract Line Item Numbers (CLINs) in the pricing table below directly relate to tasks in Section C.

b. ORDER TYPE

QUICKET shall perform the effort required by this SOW on a Firm Fixed Price (FFP) basis and a Not to Exceed (NTE) basis as set forth herein.

c. HARDWARE, SERVICE, AND ACCESS PRICES

The following abbreviations are used in this price schedule:

- NTE: Not to Exceed
- CLIN: Contract Line Item Number
- FFP: Firm Fixed Price

NOTES: Some hardware includes bundled services that are provided at no additional cost. Quantities indicated with “-” are native system features made available as necessary/relevant to authorized users. Exact quantity does not apply.

d. PERIOD OF PERFORMANCE

Base Period (from Effective Date under the MSSA to 12:01 am local time on the first anniversary of the MSSA)

CLIN	Description	Quantity	Unit	Unit Price	Total
0001	Panasonic Toughpad 7” FZ-B2 Tablet Computer	20	FFP	\$3,120	\$62,400
0002	Barcode Scanning and MSR Tablet Add-on	20	FTP	\$0.00	\$0.00
0003	Zebra RW 420 Printer	20	FFP	\$0.00	\$0.00
0004	Motorola 1D/2D Barcode USB Desktop Scanner	1	FFP	\$0.00	\$0.00
0005	Toughpad Car Charger	20	FTP	\$0.00	\$0.00
0006	RW 420 4-Bay Power Station	5	FTP	\$0.00	\$0.00
0007	Verizon 3G/4G Wireless Data Services	20	FFP	\$0.00	\$0.00
0008	E-citation Mobile Software	20	FFP	\$0.00	\$0.00
0009	Accident Report Mobile Software	20	FTP	\$0.00	\$0.00
0010	Incident Report Mobile Software	20	FTP	\$0.00	\$0.00
0011	Mobile Payment Mobile Software	20	FTP	\$0.00	\$0.00
0012	Cloud-Based Data Storage	-	FFP	\$0.00	\$0.00
0013	System Administrator-Interface	5	FFP	\$520	\$2,600
0014	Data, User, & Device Management Interface	-	FTP	\$0.00	\$0.00
0015	Payment Processing Portal & Integration	-	FFP	\$0.00	\$0.00
0016	Adjudication Platform	-	FFP	\$0.00	\$0.00
0017	Data Analytics & Insight Platform	-		\$0.00	\$0.00

0018	Performance Tracking and Measurement Plan	1	FFP	\$0.00	\$0.00
0019	System Management	1	FFP	\$0.00	\$0.00
0020	Training	35	FFP	\$2,400	\$2,400
0021	Operations and Maintenance Support	1	FFP	\$0.00	\$0.00
0022	Data Conversion Plan (DCP)	1	FTP	\$0.00	\$0.00

TOTAL (Year 1):

\$ 67,800

Years 2-4 (CLINs 1001 thru 1021): Initiates 365 Days from the Effective Date, per year:

CLIN	Description	Quantity	Unit	Unit Price	Total
1001	Panasonic Toughpad 10.1" FZ-A1 Tablet Computer	20	FFP	\$3,120	\$62,400
1002	Barcode Scanning and MSR Tablet Attachment FZ-A1-BCR-MSR	20	FTP	\$0.00	\$0.00
1003	Zebra RW 420 Printer	20	FFP	\$0.00	\$0.00
1004	Motorola 1D/2D Barcode USB Desktop Scanner	20	FFP	\$0.00	\$0.00
1005	Toughpad Car Charger	20	FTP	\$0.00	\$0.00
1006	RW 420 4-Bay Power Station	5	FTP	\$0.00	\$0.00
1007	Verizon 3G/4G Wireless Data Services	20	FFP	\$0.00	\$0.00
1008	E-citation Mobile Software	20	FFP	\$0.00	\$0.00
1009	Accident Report Mobile Software	20	FTP	\$0.00	\$0.00
1010	Incident Report Mobile Software	20	FTP	\$0.00	\$0.00
1011	Mobile Payment Mobile Software	20	FTP	\$0.00	\$0.00
1012	Cloud-Based Data Storage	-	FFP	\$0.00	\$0.00
1013	System Administrator-Interface	5	FFP	\$520	\$2,600
1014	Data, User, & Device Management Interface	-	FTP	\$0.00	\$0.00
1015	Payment Processing Portal & Integration	-	FFP	\$0.00	\$0.00
1016	Adjudication Platform	-	FFP	\$0.00	\$0.00
1017	Data Analytics & Insight Platform	-		\$0.00	\$0.00
1018	Performance Tracking and Measurement Plan	1	FFP	\$0.00	\$0.00
1019	System Management	1	FFP	\$0.00	\$0.00
1020	Training	1	FTP	\$0.00	\$0.00
1021	Operations and Maintenance Support	1	FFP	\$0.00	\$0.00

1022	Data Conversion Plan (DCP)	1	FTP	\$0.00	\$0.00
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GRAND TOTAL (Years 1-4): \$ 262,800

THE NTE CEILING AMOUNT REPRESENTS THE MAXIMUM AMOUNT OF THE LEMONT'S POTENTIAL COSTS FOR THE APPLICABLE LINE ITEM. QUICKET EXCEEDS THE CEILING AT ITS OWN RISK UNLESS QUICKET OBTAINS LEMONT'S PRIOR WRITTEN AUTHORIZATION. BILLING AND PAYMENT SHALL OCCUR AS SPECIFIED IN THE MSSA.

3. DESCRIPTION

a. BACKGROUND

QUICKET provides the Quicket Solutions Service, an agency-wide electronic e-citation life-cycle management service solution that provides access to all authorized users, as determined by the customer (LEMONT). QUICKET provides a complete solution (all necessary hardware, software, middleware, networks, connectivity, and technical support) to collect, store, and transmit electronic citations and other similar reports and files.

b. OBJECTIVE

This SOW outlines QUICKET's proposal for the delivery of an electronic citation (e-citation) and electronic report (e-report) system for LEMONT.

QUICKET has developed a suite of software applications for the purpose of electronically collecting and managing citation records. Such software shall be programmed for both mobile devices and desktop computers. QUICKET's Work will include necessary customization of the Quicket Solutions Services for use by LEMONT. Many functions and features will be exclusive to either the mobile software or desktop computer software. QUICKET developed software for mobile devices shall be supplied on QUICKET-owned devices. QUICKET-supplied software for desktop or laptop computers may be installed on or accessible from LEMONT-supplied computers. Other than the LEMONT-supplied computers, with connectivity of such computers to the internet), QUICKET shall supply all other necessary or required hardware, services, and infrastructure as required for implementation and operation of the Quicket Services Solution, including, but not limited to, printers, card readers, scanners, thermal paper, cellular wireless services, a record management platform, and system administration platform. The suite of software applications shall provide authorized users of LEMONT with a variety of core functionalities and complementary features, as described below. LEMONT may request that new or additional functions and features available from QUICKET be added that are within reasonable scope of the original objectives of the Agreement.

c. SCOPE

The period of performance under this SOW shall be _____. Upon completion of the implementation and deployment of the Quicket Services Solution, the MSSA shall be effective in accordance with its terms and shall include a base period of 1 year, with automatic renewals for each year for the 3 years immediately following the expiration of the base year (Subsequent Years 2-4). Each automatic renewal shall occur on the anniversary date of the original date of execution. LEMONT or QUICKET may at its discretion elect to

not renew in subsequent years after the base year, given that the non-renewing party provides written notice to the other party at least 90 days prior to the end of the then current annual period. LEMONT AND QUICKET agree to execute the MSSA contemporaneously with this SOW and that the MSSA shall become effective upon acceptance of the Work set forth herein.

d. TECHNICAL REQUIREMENTS

QUICKET shall provide a flexible, scalable, and configurable solution, including all necessary hardware (other than customer-supplied desktop and laptop computers, with connectivity to the internet), software, middleware, and technical support. The solution shall serve as a method and system to issue and manage electronic citations and electronic reports.

QUICKET'S solution shall include:

- All software, web-based applications, middleware, and hardware components necessary to capture, store, manage, analyze and transmit electronic citations and electronic reports
- All necessary licenses for the operation of the Quicket Services Solution.
- All software upgrades which may become available, including new modules that include features previously unavailable in base product or which affect known operations, patches and firmware
- All support services provided during the term of the MSSA (Base Year and each of Years 2-4).
- All deliverables pertaining to the term of the MSSA
- A warranty for the hardware/software solution.

The LEMONT buildings currently have (or will have prior to the site visit) the following technology:

- Desktop or laptop computers owned or operated by and accessible within or without (e.g., by VPN) the LEMONT police station
- An internet connection for Lemont desktop or laptop computers

4. SPECIFICATIONS QUICKET SERVICES SOLUTIONS

a. PANASONIC TOUGH PAD 7" FZ-B2 TABLET COMPUTER

QUICKET shall supply to LEMONT Panasonic Toughpad FZ-B2 Tablet Computers. These tablets shall serve as the sole device for law enforcement officer's usage of QUICKET'S mobile software. All tablets shall be pre-configured with version 4.4 of the Google Android operating system.

All tablets shall have "restricted" access, meaning certain functions on normal tablet computers shall be restricted. Disabled features include, but are not limited to:

- Internet browser
- Settings/Configuration menu
- System pre-installed applications

Such functions shall be disabled to ensure optimal performance of tablet with QUICKET software. Further, some functions shall be disabled to ensure security of devices. Changing certain settings or using certain normal functionalities may interfere with or compromise the security of the tablets. LEMONT shall not enable and shall not permit enablement of any such disabled functions and shall not install or permit installation of any functionality, applications, programs or similar items without QUICKET's prior written authorization.

All tablets include specific accessories and connectivity features, discussed in detail below.

b. BARCODE SCANNING AND MSR TABLET ATTACHMENT

QUICKET shall supply barcode scanning and MSR capabilities integrated with the Panasonic ToughPad FZ-B2 tablets. These accessories shall have the capability to capture barcodes from drivers' licenses, citations, and other relevant mediums. These accessories shall also have the capability to scan magnetic strips from credit cards, drivers' licenses, and user access cards.

c. ZEBRA RW 420 PRINTER

QUICKET shall supply ruggedized Zebra RW 420 thermal printers. Each printer shall be Bluetooth enabled in order to connect wirelessly to Panasonic Toughpad tablets. Each printer is capable of printing documents, including citations and receipts, on 4" on thermal paper.

QUICKET shall configure each Zebra RW420 printer such that all citation and report formats are stored in the embedded memory. Upon successful transmission of citation and/or report information from the Panasonic Toughpad via Bluetooth, the printer shall print the proper citation/report in accordance with the predefined formats.

Each Printer shall include the necessary 4" white color thermal paper for citation and report printing. QUICKET shall upon delivery to LEMONT provide an adequate supply of thermal paper. LEMONT, at no additional cost, may request from QUICKET additional thermal paper during the duration of the Agreement. The thermal paper shall be both water and heat resistant and perform to the manufacturer's product specifications.

d. MOTOROLA 1D/2D BARCODE USB DESKTOP SCANNER

QUICKET shall supply a Motorola 1D/2D barcode USB desktop scanner to scan barcodes on citations and drivers' licenses. The purpose of this equipment is to assist in registration for the adjudication process.

e. TOUGHPAD CAR CHARGER

QUICKET shall supply a Toughpad Car Charger for each Panasonic Toughpad FZ-B2 tablet.

f. RW 420 4-BAY POWER STATION

QUICKET shall supply 1 RW 420 4-Bay Power Station for every 4 Zebra RW 420 printers. Each Power Station will be capable of simultaneously charging 4 Zebra RW 420 printers.

g. VERIZON 3G/4G WIRELESS DATA SERVICES

QUICKET shall work with Verizon Wireless to integrate 3G/4G wireless data services on each Panasonic Toughpad FZ-B2 tablet. QUICKET shall maintain and cover all costs of the required data plan with Verizon Wireless. QUICKET retains the right to provide wireless data services

through other vendors, provided that any change in vendors shall not cause undue disruption to the Quicket Services Solution.

h. E-CITATION MOBILE SOFTWARE

QUICKET shall supply E-Citation Mobile Software on each Panasonic Toughpad FZ-B2 Tablet delivered to LEMONT. Such software shall be accessible by Authorized Users who have set up credentials using the Data, User, & Device Management Interface. Using a username, password, pin, and access card, authorized users may gain access to the E-Citation Mobile Software.

The E-Citation Mobile Software shall contain the following features:

- Cook County certified e-citation system
- DuPage County certified e-citation system
- Will County certified e-citation system
- Local Ordinance (P/C, O, M) e-citation system
- Warning e-citation system
- Photo evidence collection capabilities, utilizing camera integrated with Panasonic Toughpad FZ-B2 tablet
- Voice memo collection capabilities, utilizing embedded microphone in Panasonic Toughpad FZ-B2 tablet

Each e-citation, upon completion, if applicable, shall be transmitted to the proper Zebra RW 420 printer via Bluetooth connectivity, which will print the citation on standard 4” thermal paper. QUICKET shall ensure that the final format of each e-citation shall maintain compliance with county or LEMONT specifications. Each county citation shall be properly transmitted via Verizon 3G/4G Wireless Data Services to the appropriate county courthouse record management system and simultaneously to the QUICKET-supplied Cloud-Based Data Storage system. Each P/C & O e-citation shall be transmitted to the QUICKET-supplied Cloud-Based Data Storage system. Each warning e-citation shall be transmitted to the QUICKET-supplied Cloud-Based Data Storage system. Each incident report shall be transmitted to the QUICKET-supplied Cloud-Based Data Storage system.

i. ACCIDENT REPORT MOBILE SOFTWARE

QUICKET shall supply Accident Report Mobile Software on each Panasonic Toughpad FZ-B2 Tablet. QUICKET shall maintain compliance with the applicable Illinois Department of Transportation (IDOT) rules pertaining to accident reporting. The software shall have the capability of sending, via Verizon 3G/4G Data Services, the completed accident report to the IDOT record management system and simultaneously to the QUICKET Cloud-Based Data Storage system.

j. INCIDENT REPORT MOBILE SOFTWARE

QUICKET shall supply Incident Report Software on each Panasonic Toughpad FZ-B2 Tablet delivered to LEMONT. Such software shall be accessible by Authorized Users who have set up credentials using the Data, User, & Device Management Interface. Using a username, password, pin, and access card, authorized users may gain access to the E-Citation Mobile Software.

The Incident Report Mobile Software shall contain the following features:

- Comprehensive incident documentation, including all required information fields as outlined by Lemont incident reporting standards & templates
- Configured in accordance with the National Incident-Based Reporting System (NIBRS) Standards and Specifications
- Shall follow uniform crime reporting practices, including utilization of Uniform Crime Reporting Codes (UCRs) and other standards as outlined by the Federal Bureau of Investigations
- Ability to “save” report to complete later on Panasonic Toughpad or on Data Management Interface
- Ability to upload additional documents or other data as evidence in Data Management Portal
- Ability to export incident reports in accordance with report template standards as specified by Lemont
- Ability to redact particular elements when exporting report
- Shall follow proper workflow of review process, including assignment and review by supervisors and commander via access to Data Management Interface
- Shall follow proper workflow when assigned to investigations
- Shall enable supervisors and commanders to send reports back to officer for modification and re-submission
- Photo evidence collection capabilities, utilizing camera integrated with Panasonic Toughpad FZ-B2 tablet
- Voice memo collection capabilities, utilizing embedded microphone in Panasonic Toughpad FZ-B2 tablet.

Each report shall be properly transmitted via Verizon 3G/4G Wireless Data Services to the QUICKET-supplied Cloud-Based Data Storage system.

k. MOBILE PAYMENT MOBILE SOFTWARE

QUICKET shall supply Mobile Payment Mobile Software on each Panasonic Toughpad FZ-B2 Tablet. Local citations and other requirements specified by LEMONT may be paid for by the offender in-person at the time of citation. The offender may supply the authorized user with a credit/debit card, and the authorized user may use the Barcode Scanning and MSR Tablet Attachment to swipe the card. Payments shall be processed by QUICKET’S Payment Processing Portal and the citation shall be marked as PAID in the Cloud-based Data Storage system. Mobile Payment Mobile Software may be used for other payments as specified by LEMONT. A convenience fee of \$3 shall be added to each e-citation or other transaction to cover the costs of payment processing.

LEMONT shall receive the exact fine amount specified on each e-citation. Funds shall be delivered to LEMONT at the end of each calendar month via automatic transfer to the appropriate account, specified by LEMONT.

l. CLOUD-BASED DATA STORAGE

QUICKET shall supply a Cloud-Based Data Storage system that shall maintain all e-citation, e-report, and other relevant information pertaining to the QUICKET system. The Cloud-Based system shall have no data capacity limits for data supplied by LEMONT when using QUICKET supplied software. The data shall be made accessible via both the System Administrator Interface and the Data, User, & Device Management Interface.

The Cloud-Based Data Storage shall remain in a facility fully vetted and certified by the Federal Bureau of Investigation's Criminal Justice Information Services Security Policy Version 5.3.

m. SYSTEM ADMINISTRATOR INTERFACE

QUICKET shall make accessible to certain authorized users via web browsing application, such as Internet Explorer or Google Chrome, a System Administrator Interface. The System Administrator Interface shall contain the following features:

- Authorized user account management: change passwords, issue new access cards, and create/modify/delete user profiles
- Device Administration: Request remote lock and/or wipe of issued Panasonic Toughpad FZ-A1 Tablets
- Notification center: Authorized Users shall have a notification center. Features include void ticket requests, unpaid/past-due ticket notifications, account reset requests, incident report review/approval requests, and personal account notifications
- Log file: Review recent activity based on specified device or specified authorized user

n. DATA, USER, & DEVICE MANAGEMENT INTERFACE

QUICKET shall supply a custom Data, User, & Device Management Interface for each authorized user. Based on authorized user access privileges, the following features may be made available:

- Data Management
 - View/Edit/Delete e-citations and e-reports
 - Advanced search capabilities
 - Advanced sorting features: sorts information into specified data tables
- User Management
 - View/Edit personal profile: Change password, profile picture, request new access card
- Device Management
 - View last known location of device or authorized user on embedded map.
 - View device history and current usage.

o. PAYMENT PROCESSING PORTAL & INTEGRATION

QUICKET shall supply Payment Processing Portal & Integration to LEMONT. The Payment Processing Portal shall be integrated to accommodate payments accepted by both the Magnetic Strip Reader attachment to the Panasonic Toughpad FZ-B2 Tablet and also for payment on a public web portal.

When using the Magnetic Strip Reader, payment information shall be transmitted via Verizon 3G/4G Wireless Data Services to a secure payment processing environment established by QUICKET. Card information shall be verified, processed, and a confirmation message shall be returned to the QUICKET mobile software on the Panasonic Toughpad FZ-B2 Tablet. A receipt may be printed by sending data via Bluetooth connection to the appropriate Zebra RW-420 Printer.

A system administrator may also accept payments for e-citations and reports via the System Administrator Interface. An administrator may search for the appropriate citation and accept payment via credit card. Further, an administrator may accept payment in other forms such as cash or check and manually update the payment status of the appropriate e-citation or report.

When using the public web portal, a person may pay for an e-citation or pay for a copy of an accident report. The person shall utilize a unique identification number, generated upon creation of the e-citation or e-report, to look up the correct information affiliated with such number. The user may also be required to provide other unique credentials for authentication purposes, such as drivers' license number or license plate number. Once credentials have been verified, the person may supply payment card information by typing the required information in the provided text boxes in the Payment Processing Portal. Once submitted, the card information shall be verified, processed, and a confirmation message shall be returned to the webpage on the Payment Processing Portal.

Upon successful payment of an e-citation, citations within the QUICKET-supplied Cloud-Based Data Storage shall be updated and marked PAID. Upon successful payment for a copy of an accident report, a copy will be made available by download by the person in PDF file format.

Funds shall be delivered to LEMONT at the end of each calendar month via automatic transfer to the appropriate account specified by LEMONT. A convenience fee of \$3 shall be added to each e-citation to cover the costs of payment processing. LEMONT shall receive the exact fine amount specified on each e-citation. Accident reports shall have a download fee of \$5. This fee shall cover the costs of generating a unique report, data transmission, and payment processing. The paid report may be downloaded as many times as desired.

The QUICKET payment processing environment shall be certified as Payment Card Industry (PCI) compliant at the appropriate level for the total number of transactions.

p. ADJUDICATION PLATFORM

QUICKET shall provide LEMONT with an Adjudication Platform for the adjudication of Parking, Compliance, and Ordinance e-citations. The platform shall have the following features:

- Check-in web page
 - Shall be made accessible by any authorized user who navigates to the web page in any internet browser
 - The barcodes on e-citations can be scanned using Motorola 1D/2D USB Barcode Scanner. The interface may require additional information by either scanning of driver's license or by manually entering the information using a keyboard attached to the computer
 - Information collected from the e-citation and/or offender shall be used to retrieve files from the QUICKET supplied Cloud-Data Storage system.
 - A list or roll-call shall be generated from the entire list of people who have checked-in

- Adjudication page
 - Authorized users shall be presented with a list of offenders, where each e-citation may be individually selected and reviewed
 - Certain e-citation properties may be modified including fine amount, final judgment, community service hours, and follow-up adjudication date
 - An audio file shall be recorded for each individual citation.
- Adjudication Settings
 - A settings page shall exist that enables significant modifications and updates to the adjudication platform, including adding new adjudication dates, adding/modifying programs for offenders, and reviewing previous adjudication proceedings.

q. DATA ANALYTICS & INSIGHT PLATFORM

- QUICKET shall provide LEMONT a Data Analytics and Insight Platform for analysis of e-citations and e-reports. The platform shall have the following features:
 - Graphical analysis of e-citations and e-reports, including bar chart and pie chart to quantify data over specified period of time or in accordance with a specified data category
 - Cluster analysis of e-citations and e-reports, which employs clustering algorithms to identify areas where certain data aggregates in accordance with latitude and longitude coordinates
 - Financial analysis using bar and pie charts to visualize revenue collected according to a specific category of data or over a specified period of time.

r. PERFORMANCE TRACKING AND MEASUREMENT PLAN (“PTMP”)

QUICKET shall have the capability to oversee and track the performance of the system delivered to LEMONT. The PTMP shall include the capability to monitor, track, and report operational and financial performance criteria. The purpose of such tracking and measuring is to optimize performance and to forecast costs that QUICKET shall incur during the period of this contract. QUICKET shall also use such data to generate a comprehensive report at least twice annually to LEMONT leadership. Reports shall show operational efficiencies or inefficiencies in order to provide analyses, such as Return on Investment (ROI). LEMONT shall recommend criteria to be used in measuring performance of the platform.

s. SYSTEM MANAGEMENT

QUICKET shall be responsible for ensuring that the system maintains a certain level of reliability and performance in accordance with agreed upon standards. QUICKET shall regularly evaluate and test LEMONT’S system to ensure stability. QUICKET will regularly monitor the system for security vulnerabilities and perform additional stress testing to identify bugs and other sources of less-than optimal performance. QUICKET shall, when necessary, provide patches/updates to software and hardware for known bugs or vulnerabilities at no additional cost to LEMONT during the duration the contract.

t. TRAINING

QUICKET shall provide comprehensive training sessions for all LEMONT employees who will be designated as authorized users of QUICKET'S system. Training shall include a comprehensive review of software and proper equipment usage. Training shall familiarize all authorized users with all relevant features of QUICKET'S system. Training shall be divided according to various user types. Training shall be billed in the amount of \$200 per hour, capped at \$1,200 or 12 hours. The specified rate shall provide 3 training specialists. Any additional time required beyond 12 hours shall be at QUICKET'S expense. Exact hours agreed upon shall be mutually agreed upon by QUICKET and LEMONT throughout the training process.

u. OPERATIONS AND MAINTENANCE SUPPORT

QUICKET shall be responsible for maintenance of the Quicket Services Solution and QUICKET Furnished Equipment. Furnished equipment is specified above.

QUICKET shall provide, under the MSSA, for 24/7/365 telephone and email support during the duration of the agreement with LEMONT. Support shall provide comprehensive troubleshooting and assistance for any issues with QUICKET'S system. If technical issues cannot be resolved by phone or email, QUICKET shall bare the expense for on-site support, excluding travel reimbursement. QUICKET shall make every reasonable effort to resolve any issue remotely. If QUICKET determines that on-site support is necessary, QUICKET shall provide service within 72 hours.

QUICKET shall maintain relationships with each manufacturer of hardware to ensure that hardware is promptly repaired. Terms and conditions for hardware warranty/coverage are specified in the MSSA.

v. DATA CONVERSION PLAN ("DCP")

QUICKET shall partner with LEMONT staff to develop a DCP regarding the conversion and migration of data to the QUICKET Cloud-Based Data system. QUICKET shall define the required data format and shall be responsible for the extraction and the translation function of the conversion process. QUICKET shall be responsible for the overall successful execution of the DCP.

The DCP shall be capable of converting and storing all historical citations and reports issued by LEMONT law enforcement officers.

QUICKET shall analyze the accuracy of data for conversion to QUICKET'S platform and make recommendations on how LEMONT will assist QUICKET in ensuring the accuracy and integrity of the content of the converted data.

5. INSPECTION AND ACCEPTANCE

a. PLACE OF INSPECTION AND ACCEPTANCE

Inspection and acceptance of all Work performance, reports and other deliverables under this SOW shall be performed by any of the following designated individuals:

- Lemont Police Head Administrator
- Lemont Chief of Police
- Lemont Operations Unit Commander

b. SCOPE OF INSPECTION

All Work submitted will be inspected for content, completeness, accuracy and conformance to the SOW requirements and Quicket Solutions Services specifications. Inspection may include validation of information or software through the use of automated tools and/or testing of the deliverables, as specified in the SOW. The scope and nature of this testing will be sufficiently comprehensive to ensure the completeness, quality and adequacy of all deliverables.

QUICKET requires a period not to exceed fifteen (15) workdays after receipt of final deliverable items for inspection, testing, acceptance or rejection.

If any Work is deficient in LEMONT's commercially reasonable determination, QUICKET will work with the LEMONT to bring the system up to acceptable standards. QUICKET shall design, plan and deploy the system in accordance with the TECHNICAL REQUIREMENTS set forth herein and in the Quicket Solutions Services specifications.

c. BASIS OF ACCEPTANCE

The basis for inspection/acceptance shall be compliance with the requirements set forth in herein and in the Quicket Solutions Services specifications. Deliverable items rejected shall be corrected in accordance with the applicable clauses.

NTE items such as Travel will be accepted upon receipt of proper documentation as specified herein.

d. INITIAL DELIVERABLES

LEMONT will provide written acceptance, comments and/or change requests, if any, within fifteen (15) work days from receipt by LEMONT of the initial deliverable.

Upon receipt of LEMONT'S comments, QUICKET shall have fifteen (15) working days to incorporate LEMONT'S comments and/or change requests and to resubmit the deliverable in its final form.

e. WRITTEN ACCEPTANCE/REJECTION BY THE GOVERNMENT

LEMONT shall provide written notification of acceptance or rejection of all final deliverables within fifteen (15) work days. All notifications of rejection will be accompanied with an explanation of the specific deficiencies causing the rejection.

f. PLACE OF PERFORMANCE

QUICKET will provide systems that will be used in all areas of LEMONT'S jurisdiction. QUICKET'S primary objective is to create electronic citation solutions that can be accessed both in field operations and at the LEMONT Police Station.

g. TASK ORDER SCHEDULE AND MILESTONE DATES

The following schedule of milestones will be used by LEMONT to monitor timely progress under this task order. In this schedule, NLT designates “No Later Than”, “NTP” designates “Notice to Proceed”, WD designates “Work Days”, and PS designates “Project Start”. This schedule is required to meet mission objectives. Variances to this schedule must be agreed to by both parties.

MILESTONE/DELIVERABLE	DELIVERIES OR PERFORMANCE	PLANNED COMPLETION DATE
Project Start (PS)	QUICKET	At SOW Execution
Post-Award Kickoff Meeting (POA)	QUICKET	NLT 5 days after SOW Execution
Post-Award Orientation & Training	QUICKET/LEMONT	As scheduled between 15 and 30 days after SOW Execution
System Launch	QUICKET/LEMONT	NLT 30 days after SOW Execution

h. NOTICE REGARDING LATE DELIVERY

QUICKET shall notify LEMONT, as soon as it becomes apparent to QUICKET, that a scheduled delivery will be late. QUICKET shall include in the notification the rationale for late delivery, the expected date for the delivery, and the project impact of the late delivery. LEMONT will review the new schedule and provide guidance to QUICKET. The parties recognize and agree that this SOW represents the initial commercial delivery of the Quicket Services Solution and that late delivery or completion of any milestone hereunder shall not be reason for termination unless Quicket is unable to make such delivery or reach such milestone within 75 days after the original scheduled date. LEMONT’s obligation to pay commences upon the MSSA Effective Date.

i. WRITTEN DELIVERABLES

QUICKET’S Project Manager shall review, approve, and sign all draft and final documents before delivery to LEMONT. All draft and final documents shall be delivered electronically by a designated officer or employee of QUICKET.

6. DATA RIGHTS

Data rights in the information entered into the Quicket Solutions Service are defined under the MSSA.

The parties hereby acknowledge their agreement to the terms applicable to the Work specified in this SOW.

QUICKET SOLUTIONS, INC.

VILLAGE OF LEMONT

By: _____

Name:

Title:

By: _____

Name:

Title:



Village of Lemont
Planning & Economic Development Department

418 Main Street · Lemont, Illinois 60439
phone 630-257-1595 · fax 630-257-1598

TO: Committee of the Whole
FROM: Charity Jones, AICP, Planning & Economic Development Director
SUBJECT: Case 13-11 Birch Path Final PUD Plan/Plat Amendment
DATE: April 8, 2015

BACKGROUND

On December 8, 2014 the Village of Lemont approved a Final PUD Plan/Plat for a 19 unit detached single-family development. The development is located south of 127th street and east of Mayfair Estates.

The following items were part of the approvals:

- A. Side yard setback reduced to 10'.
- B. Front yard setback is 25' except for lots 8, 9, 16 and 17, setback is reduced to 20'.
- C. Rear yard setback is 20' except for lots 8, 9, 16 and 17, setback is reduced to 15'.
- D. Lot widths shall vary as indicated in the site plan.
- E. Lot sizes shall be as indicated in the site plan.

The applicant is requesting an amendment to the Final PUD Plan/Plat which includes reducing the subdivision from 19 lots to 17 lots. The applicant is also requesting a reduction in the corner side yard setback for lot 1 from 25 feet to 20 feet. The reduction in the number of lots increases the lot widths and area of the remaining lots. With the proposed amendment, lot widths range up to 80' and lot area ranges from 6,091 sq. ft. to 14,347 sq. ft.

Staff and the Planning & Zoning Commission recommend approval with conditions.

GENERAL ANALYSIS

The Village Engineer did not have any comments regarding the requested amendment. While staff finds the general request for the reduction in the number of lots to be acceptable, the reduction in lots does impact the anti-monotony standards. With the reduction to 17 lots, staff and the PZC recommend the following changes to the

previously approved PUD ordinance (deletions are stricken and additions are underlined):

A) Anti-monotony. Six home models (Labeled A-F) are identified in Exhibit D. The subdivision shall include one of each model's base elevation as shown in Exhibit D. The remaining lots shall be constructed with alternate front elevations of the six models. Each model's alternate elevation must meet the standards of UDO §17.22.020, Design Variety in Residential Construction when compared against the base elevation of the model. Additionally, the following standards shall apply for the construction of the models included in Exhibit D:

- a. A specific model cannot be located immediately adjacent to the same specific model.
- b. If a model is proposed to be located within two lots of or across the street from the same model, it must be a differing elevation of the existing model (i.e. alternate elevation vs. base elevation).
- c. No one model, including its base elevation and alternate elevation, can be constructed on more than ~~7~~6 lots.
- d. Models that are not included in Exhibit D or an alternate elevation of one of the 6 models contained in Exhibit D, but are comparable in architectural style to the approved residential designs shall be processed as a minor amendment to the PUD.

B) Garages.

- a. At least 6 homes shall be constructed with side-loaded garages. A reduction to the minimum number of required side-loaded garages can be requested and shall be evaluated as a minor amendment to the PUD.
- b. No more than ~~7~~6 homes shall have front-loaded garages that protrude more than 10ft from the plane of the front elevation of the home, as defined in Figure 17-22-01 of the UDO.
- c. Windows shall be required on the garage doors of all front-loading garages.
- d. No more than ~~6~~5 homes shall have a 3-car garage, regardless if such garage is a front or side loaded garage.

Additionally, the amendment approval is contingent on the following changes to the submitted plans. The applicant has indicated that he will revise the submitted plans prior to final PUD approval to address the following:

1) In the previously approved plans, the sidewalk around the western side of the northern cul-de-sac was shifted away from the eastern lot line in an effort to minimize the impact to the neighboring lot in Mayfair Estates. The sidewalk configuration should be reestablished as previously approved.

2) The note 1 on page 5 of 12 should be removed.

3) Note 27 on page 8 of 12 should be revised to read "Twenty-two (22) mitigation trees (6 swamp white oaks, 6 bur oaks, 6 red oaks and 4 white oaks) shall be planted in Outlots A, B & C as determined by Lemont's Arborist.

Staff and the PZC were amenable to allowing a reduction in the corner side yard setback for lot 1 from 25 feet to 20 feet.

CONCLUSIONS & RECOMMENDATIONS

The approved smaller lot sizes in the original Birch Path PUD were intended to make feasible the development of a difficult site and increase diversity in Lemont's housing stock; allowing younger families an opportunity to purchase in the community and offering older residents a place to downsize without leaving Lemont. The proposed amendment increases the overall lot sizes, but still provides diversity in that the lots are less than the typical Lemont 12,500 sf residential lot. Additionally, all of the benefits of the original plan such as landscaping, open space, and quality architecture, remain. Therefore, staff and the PZC recommend approval of the proposed amendment with the conditions noted.

Attachments

1. Applicant submittal package
2. O-76-14, An Ordinance Granting Final PUD Plan/Plat Approval for a 19 Lot Residential Subdivision Located South of 127th St and West of Interstate I-355 in Lemont, IL.

DATE	REVISIONS	REV. BY
3/10/14	ISSUED FOR REVIEW	T.G.
4/14/14	VILLAGE COMMENTS	T.G.
5/15/14	VILLAGE COMMENTS	T.G.
5/27/14	LEGAL DESCRIPTION	T.G.
6/3/14	VILLAGE ATTORNEY COMMENTS	T.G.
8/31/14	OWNER'S COMMENTS	T.G.
12/1/14	VILLAGE COMMENTS	M.L.
2/12/15	VILLAGE COMMENTS	M.L.

LANDMARK

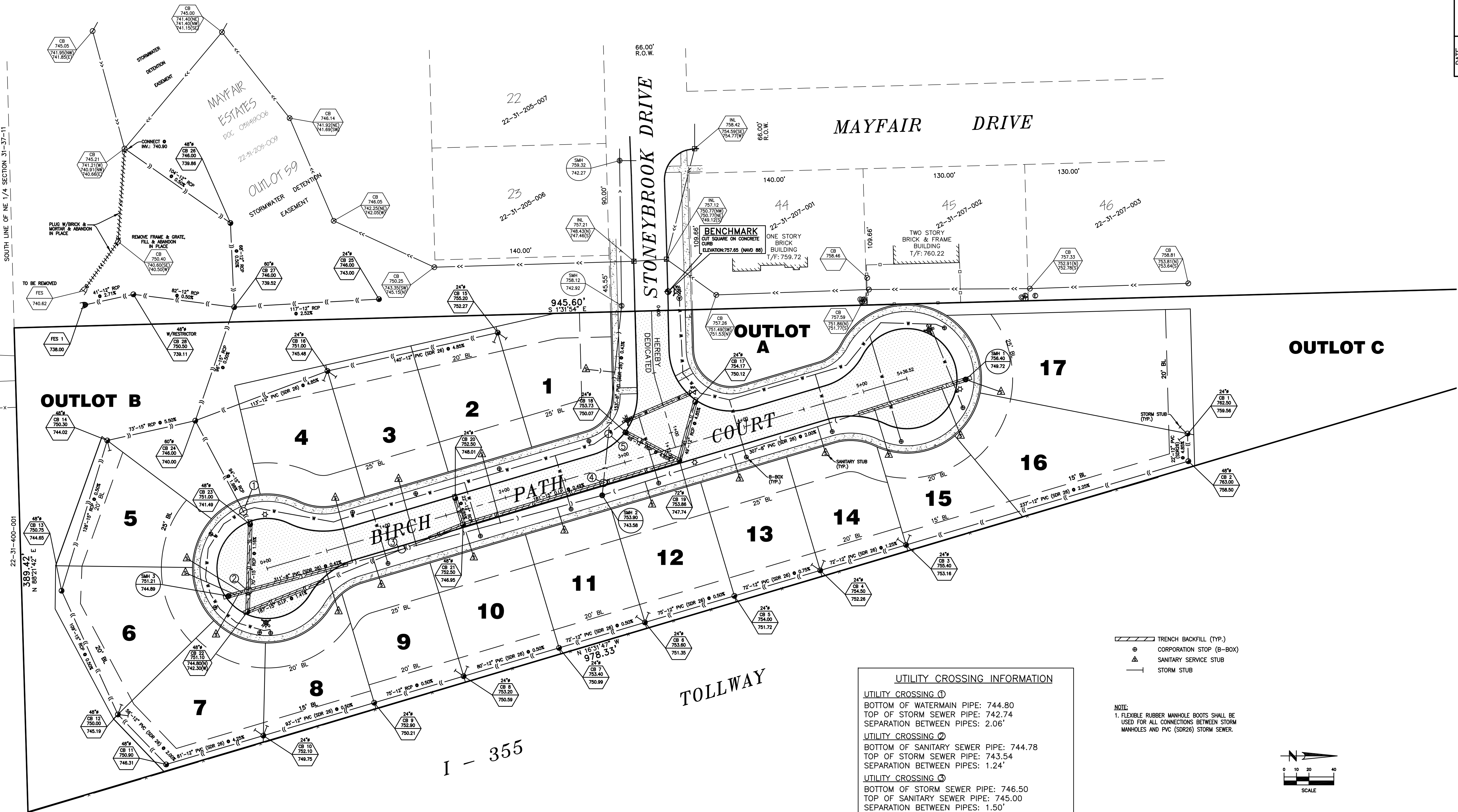
ENGINEERING LLC
 DESIGN FIRM REGISTRATION NO. 184-005777
 7808 WEST 103RD STREET
 PALOS HILLS, ILLINOIS 60465-1529
 Phone: (708) 589-5737
 Fax: (708) 589-2281

BIRCH PATH P.U.D.
127TH & I-355, LEMONT, IL
UTILITY PLAN

DRAWN BY: T.G.
 DESIGNED BY: B.H.
 CHECKED BY: M.L.

SHEET

4 of 12
 13-04-061



FRAME & GRATE SPECIFICATIONS

- MANHOLE FRAME AND COVER - E.J.I.W. NO. 1058 OR NEENAH R-1550 EMBOSSED "STORM" WITH TYPE A HEAVY DUTY COVER.
- ROLLED CURB AND GUTTER INLET - E.J.I.W. No. 7525, NEENAH R-3501 P.
- YARD INLET - E.J.I.W. No. 1020 WITH TYPE M2 FLAT GRATE, NEENAH-4340 B.

UTILITY CROSSING INFORMATION

UTILITY CROSSING ①
 BOTTOM OF WATERMAIN PIPE: 744.80
 TOP OF STORM SEWER PIPE: 742.74
 SEPARATION BETWEEN PIPES: 2.06'

UTILITY CROSSING ②
 BOTTOM OF SANITARY SEWER PIPE: 744.78
 TOP OF STORM SEWER PIPE: 743.54
 SEPARATION BETWEEN PIPES: 1.24'

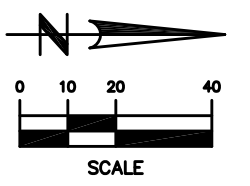
UTILITY CROSSING ③
 BOTTOM OF STORM SEWER PIPE: 746.50
 TOP OF SANITARY SEWER PIPE: 745.00
 SEPARATION BETWEEN PIPES: 1.50'

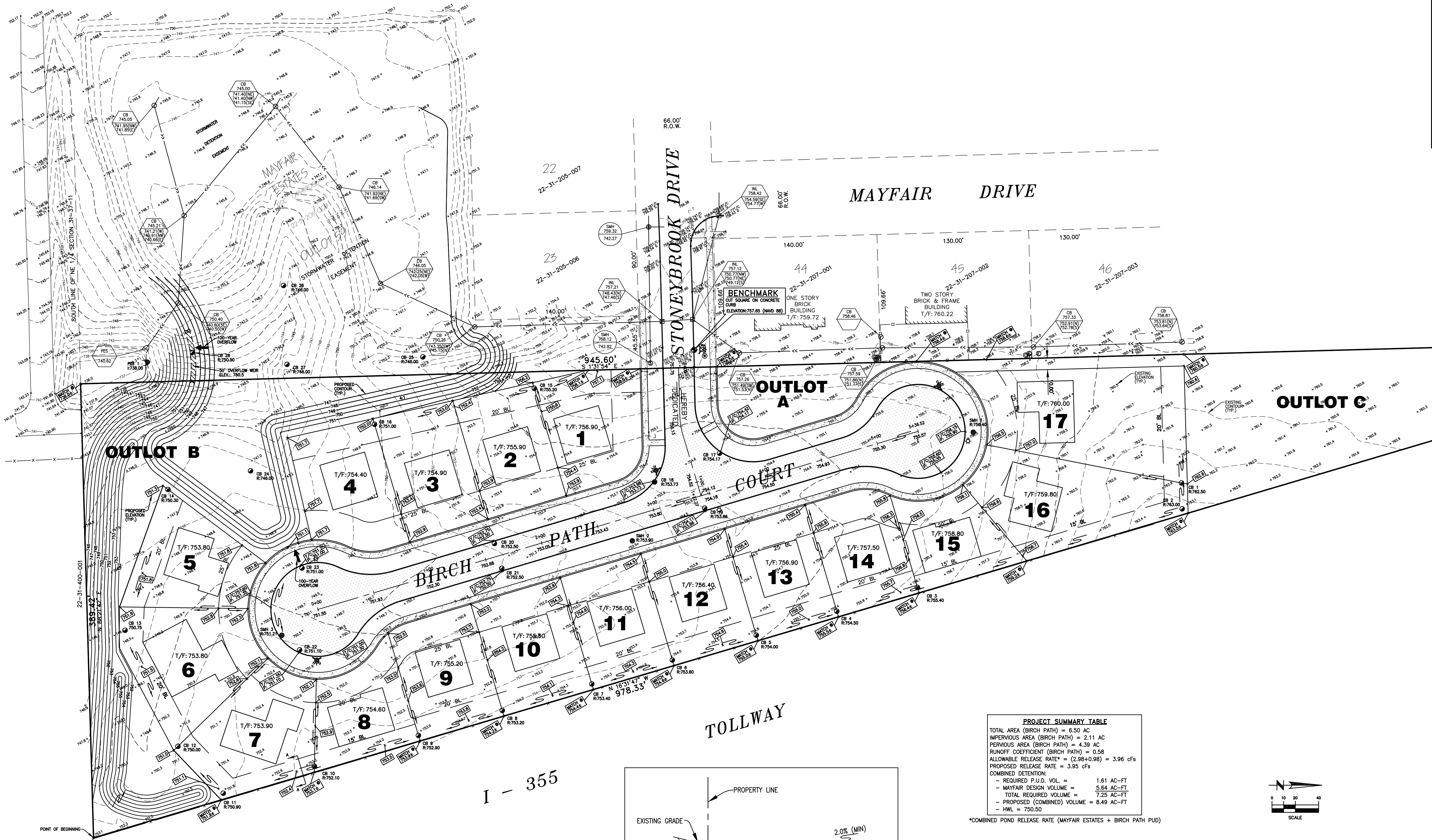
UTILITY CROSSING ④
 BOTTOM OF STORM SEWER PIPE: 747.28
 TOP OF SANITARY SEWER PIPE: 744.23
 SEPARATION BETWEEN PIPES: 3.05'

UTILITY CROSSING ⑤
 BOTTOM OF WATERMAIN PIPE: 748.53
 TOP OF SANITARY SEWER PIPE: 744.06
 SEPARATION BETWEEN PIPES: 4.47'

- ▨ TRENCH BACKFILL (TYP.)
- ⊙ CORPORATION STOP (B-BOX)
- △ SANITARY SERVICE STUB
- STORM STUB

NOTE:
 1. FLEXIBLE RUBBER MANHOLE BOOTS SHALL BE USED FOR ALL CONNECTIONS BETWEEN STORM MANHOLES AND PVC (SDR26) STORM SEWER.



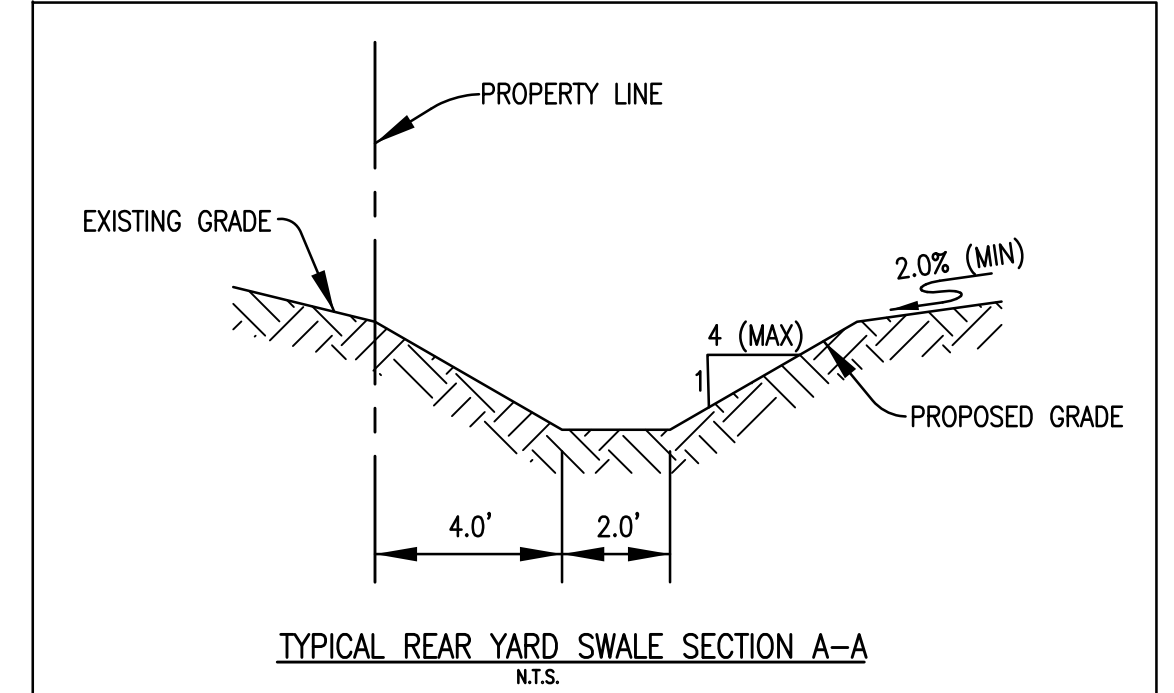


PROJECT SUMMARY TABLE

TOTAL AREA (BIRCH PATH) = 6.50 AC
 IMPERVIOUS AREA (BIRCH PATH) = 2.11 AC
 PERVIOUS AREA (BIRCH PATH) = 4.39 AC
 RUNOFF COEFFICIENT (BIRCH PATH) = 0.58
 ALLOWABLE RELEASE RATE* = (2.98+0.98) = 3.96 cfs
 PROPOSED RELEASE RATE = 3.95 cfs

COMBINED DETENTION:
 - REQUIRED P.U.D. VOL. = 1.61 AC-FT
 - MAYFAIR DESIGN VOLUME = 5.64 AC-FT
 - TOTAL REQUIRED VOLUME = 7.25 AC-FT
 - PROPOSED (COMBINED) VOLUME = 8.49 AC-FT
 - HWL = 750.50

*COMBINED POND RELEASE RATE (MAYFAIR ESTATES + BIRCH PATH PUD)



NOTE:
 1. TREE REPLACEMENT MITIGATION TO BE ENTIRELY CONTAINED WITHIN OUTLOTS A & B.
 2. ALL ON-SITE PROPOSED GRADING SHALL BE AT LEAST 2% MINIMUM SLOPE AND NOT STEEPER THAN 4:1.

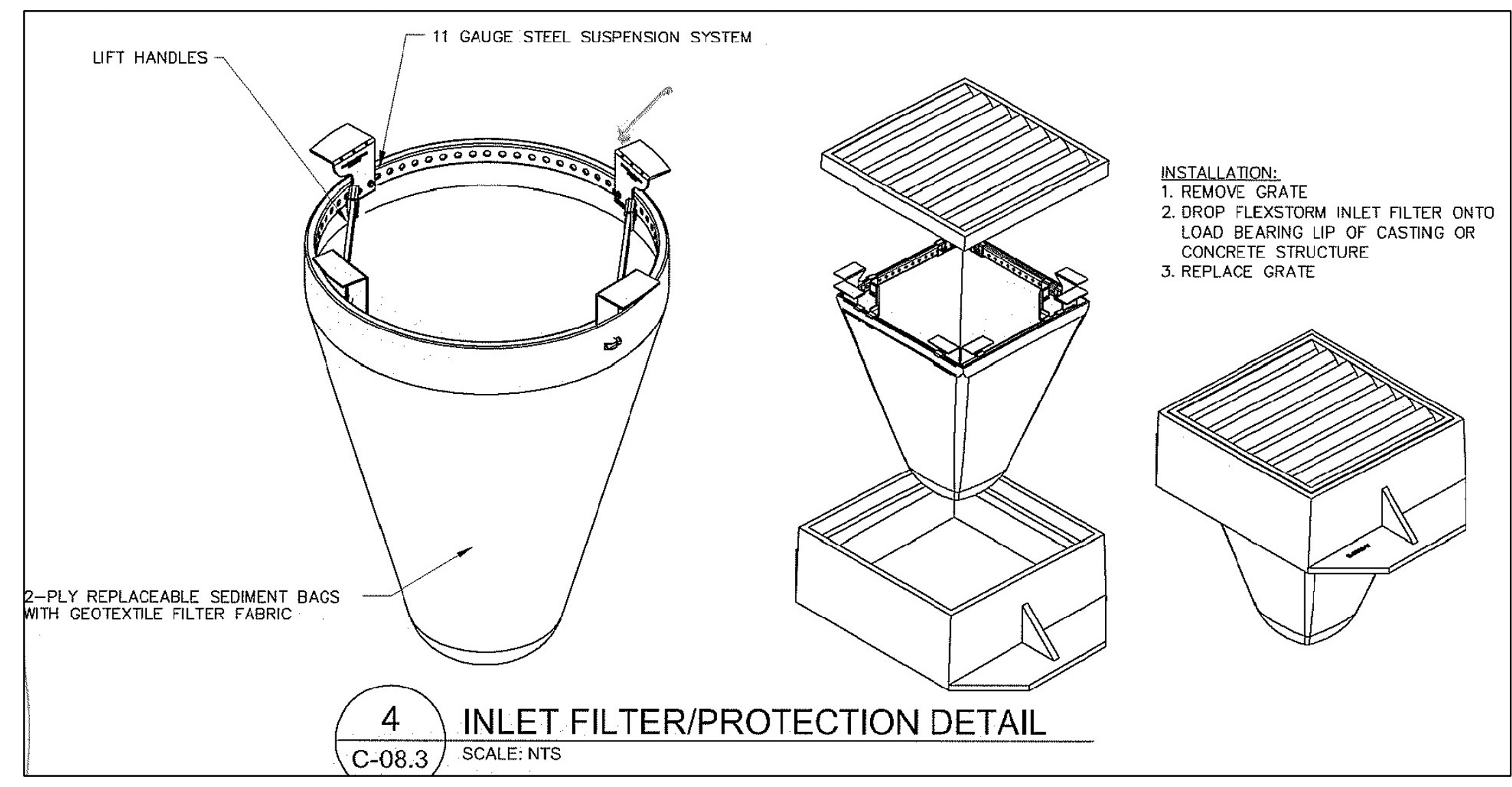
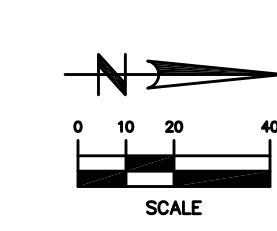
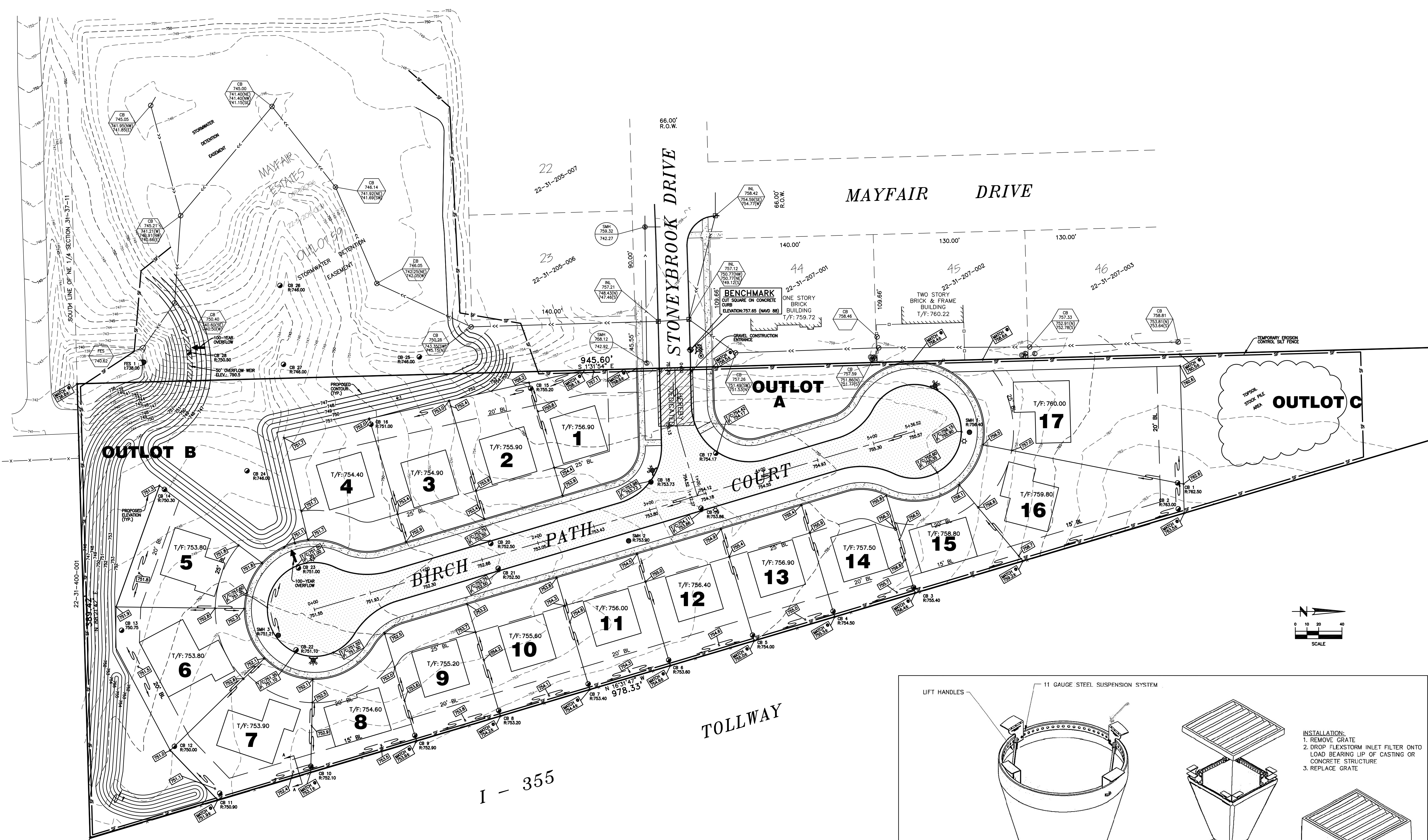
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 ENGINEERING LLC
 DESIGN FIRM REGISTRATION NO. 184-005777
 7808 WEST 103RD STREET
 PALOS HILLS, ILLINOIS 60465-1529
 Phone: (708) 589-5737
 Fax: (708) 589-2281

BIRCH PATH P.U.D.
 127TH & I-355, LEMONT, IL
 GRADING PLAN

DRAWN BY: T.G.
 DESIGNED BY: B.H.
 CHECKED BY: M.L.

SHEET
 5 of 12
 13-04-061

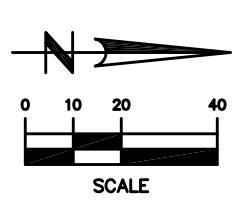
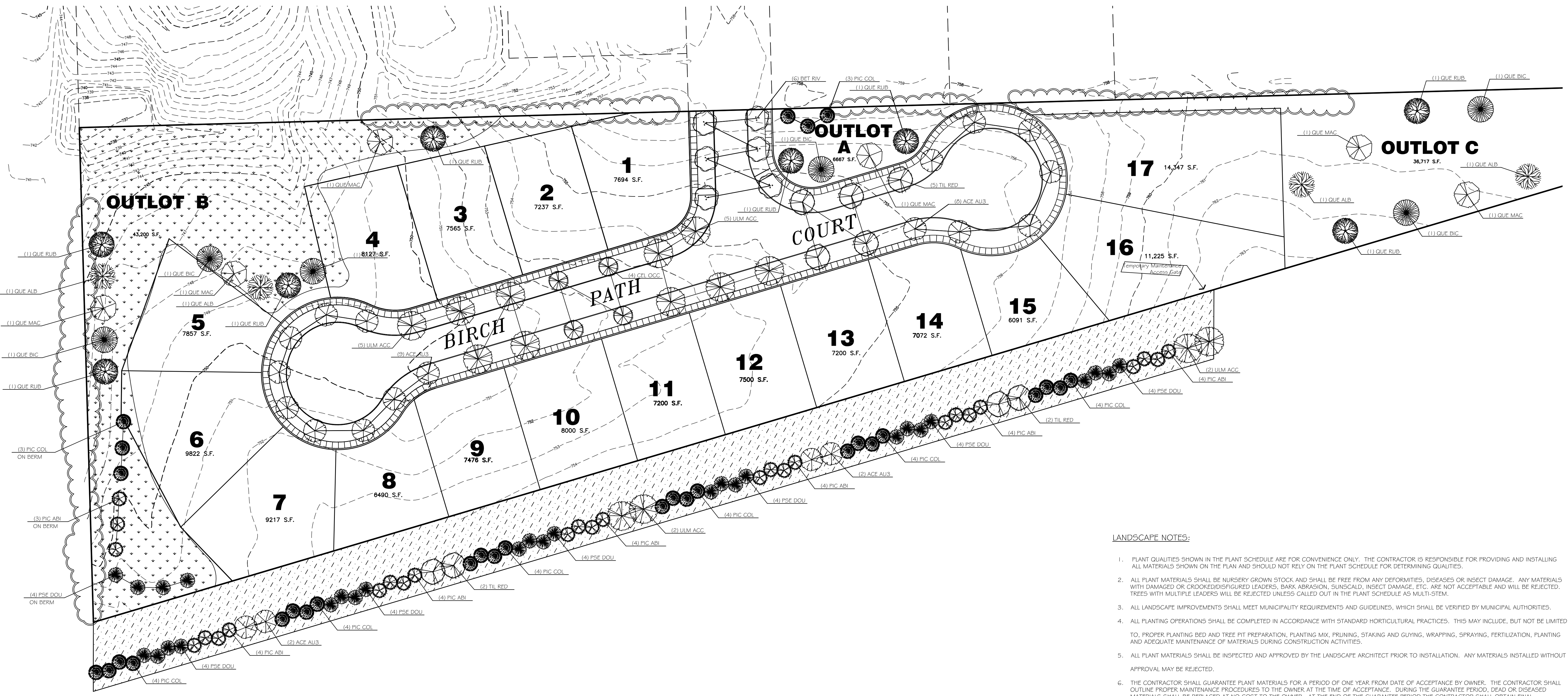


DATE	REVISIONS	REV. BY
3/10/14	ISSUED FOR REVIEW	T.G.
4/14/14	VILLAGE COMMENTS	T.G.
5/5/14	VILLAGE COMMENTS	T.G.
5/27/14	LEGAL DESCRIPTION	T.G.
6/3/14	VILLAGE ATTORNEY COMMENTS	T.G.
8/31/14	OWNER'S COMMENTS	T.G.

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Phone: (708) 589-5737
Fax: (708) 589-2281

BIRCH PATH P.U.D.
127TH & I-355, LEMONT, IL
EROSION CONTROL PLAN

DRAWN BY: T.G.
DESIGNED BY: B.H.
CHECKED BY: M.L.



LANDSCAPE NOTES:

- PLANT QUALITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUALITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 6.5' FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC., SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- ANY AREAS TO BE LOADED AND SEEDED WHICH HAVE NOT BEEN DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 1"-2" OF LOAM OVER SCARIFIED EXISTING SOILS. CARE SHOULD BE GIVEN TO NOT PLACE GREATER THAN 1" SOIL OVER EXPOSED ROOTS OF EXISTING TREES IN SUCH AREAS.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING SIZES AND FOOTPRINTS.
- REFER TO ENGINEERING PLANS FOR DETENTION CALCULATIONS, UTILITY LOCATIONS, TOPOGRAPHIC INFORMATION AND THE LIKE.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
- ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE SOD AS A GROUND COVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SOD UNLESS OTHERWISE NOTED.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL. PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
- ALL BEDS TO BE BERMED 12" TO 24" ABOVE GRADE AND MEET DRAINAGE REQUIREMENTS.
- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- A COMBINATION OF A TOTAL OF 24 RED OAK, WHITE OAK, SWAMP WHITE OAK & BUR OAK TREES, 2.5" CALIPER, SHALL BE LOCATED AROUND THE MAYFAIR ESTATES DETENTION POND. LOCATION TO BE DETERMINED BY LEMONT'S ARBORIST.
- NEW DETENTION AREA IS TO BE SODDED, PER VILLAGE CODE.
- OWNERSHIP & MAINTENANCE OF OUTLOTS A & C SHALL BE BY THE HOA.

PLANT SCHEDULE BIRCH PATH PROPERTY

CANOPY TREES	BOTANICAL NAME / COMMON NAME	CONDITION	SIZE	QTY
ACE AU3	ACER RUBRUM "AUTUMN BLAZE" / AUTUMN BLAZE RED MAPLE	B # B	3" CAL	17
CEL OCC	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B # B	3" CAL	4
QUE ALB	QUERCUS ALBA / WHITE OAK	B # B	2.5" CAL	4
QUE BIC	QUERCUS BICOLOR / SWAMP WHITE OAK	B # B	2.5" CAL	6
QUE MAC	QUERCUS MACROCARPA / BUR OAK	B # B	2.5" CAL	6
QUE RUB	QUERCUS RUBRA / RED OAK	B # B	2.5" CAL	8
TIL RED	TILIA AMERICANA "REDMOND" / REDMOND AMERICAN LINDEN	B # B	3" CAL	5
ULM ACC	ULMUS X "ACCOLADE" / ACCOLADE ELM	B # B	3" CAL	10

EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONDITION	SIZE	QTY
PIC ABI	PICEA ABIES / NORWAY SPRUCE	B # B	6" - 8" HT.	3
PIC COL	PICEA PUNGENS "COLORADO GREEN" / BLUE SPRUCE	B # B	6" - 8" HT.	6
PSE DOU	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	B # B	6" - 8" HT.	4

UNDERSTORY TREES	BOTANICAL NAME / COMMON NAME	CONDITION	SIZE	QTY
BET RIV	BETULA NIGRA / RIVER BIRCH (SINGLE STEM)	B # B	6" - 8" HT.	6

SEEDING SCHEDULE BIRCH PATH PROPERTY

	TURF SOD	72,106 SF
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NOTE: NEW DETENTION AREA IS TO BE SODDED, PER VILLAGE CODE.

PLANT SCHEDULE ISTHA R.O.W.

CANOPY TREES	BOTANICAL NAME / COMMON NAME	CONDITION	SIZE	QTY
ACE AU3	ACER RUBRUM "AUTUMN BLAZE" / AUTUMN BLAZE RED MAPLE	B # B	3" CAL	4
TIL RED	TILIA AMERICANA "REDMOND" / REDMOND AMERICAN LINDEN	B # B	3" CAL	4
ULM ACC	ULMUS X "ACCOLADE" / ACCOLADE ELM	B # B	3" CAL	4

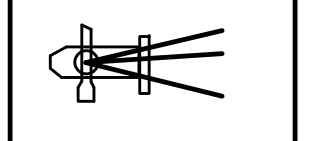
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONDITION	SIZE	QTY
PIC ABI	PICEA ABIES / NORWAY SPRUCE	B # B	6" - 8" HT.	24
PIC COL	PICEA PUNGENS "COLORADO GREEN" / BLUE SPRUCE	B # B	6" - 8" HT.	24
PSE DOU	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	B # B	6" - 8" HT.	24

SEEDING SCHEDULE ISTHA R.O.W.

	FESCUE PRAIRIE 47,984 SF
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REV. BY	REVISIONS	DATE
T.G.	LANDSCAPE PLAN	9/21/14
B.H.	VILLAGE COMMENTS	9/24/14
M.L.	VILLAGE COMMENTS	12/1/14
M.L.	VILLAGE COMMENTS	2/12/15

LANDMARK
ENGINEERING LLC
DESIGN FIRM REGISTRATION NO. 194-00577
7808 WEST 103RD STREET
PALOS HILLS, ILLINOIS 60465-1529
Phone: (708) 589-3737
Fax: (708) 589-2281



BIRCH PATH P.U.D.
127TH & I-355, LEMONT, IL
LANDSCAPE PLAN (BY J.G.S. LANDSCAPE ARCHITECTS)

DRAWN BY: T.G.
DESIGNED BY: B.H.
CHECKED BY: M.L.

GENERAL SITE INFORMATION NOTES

THIS PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF THE GENERAL NPDES PERMIT NUMBER IRL10, ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FOR STORMWATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

- SITE DESCRIPTION:
 - DESCRIPTION OF THE NATURE OF THE CONSTRUCTION ACTIVITY.

THE PROPOSED DEVELOPMENT CONSISTS OF A 6.50 AC., 19-LOT PLANNED UNIT DEVELOPMENT. CONSTRUCTION ACTIVITIES FOR SITE IMPROVEMENT INCLUDES MASS GRADING AS WELL AS CONSTRUCTION OF SIDEWALKS, ROADS, UTILITIES, STORMWATER MANAGEMENT MEASURES AND SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
 - DESCRIPTION OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURB SOIL FOR MAJOR PORTIONS OF THE SITE (E.G. GRUBBING, EXCAVATION, GRADING)

THE PROPOSED SEQUENCE OF CONSTRUCTION ACTIVITIES IS AS FOLLOWS: 1) INSTALLATION OF SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE, 2) DEMOLITION, 3) MASS GRADING, 4) CONSTRUCTION OF SIDEWALKS, ROADS, UTILITIES AND STORMWATER MANAGEMENT MEASURES, 5) INSTALLATION OF PERMANENT EROSION CONTROL MEASURES. NOTE, EROSION CONTROL DEVICES SUCH AS INLET PROTECTION, ETC. WILL BE INSTALLED AS REQUIRED DURING CONSTRUCTION ACTIVITIES.
 - THE TOTAL AREA OF THE SITE IS 6.50 ACRES

THE TOTAL AREA OF THE SITE EXPECTED TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES IS APPROXIMATELY 6.50± ACRES.
 - THE ESTIMATE OF THE RUNOFF COEFFICIENT OF THE SITE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED AND EXISTING DATA DESCRIBING THE SOIL OR THE QUALITY OF ANY DISCHARGE FROM THE SITE.

THE CALCULATED RUNOFF COEFFICIENT OF THE SITE AFTER CONSTRUCTION IS 0.58.
 - A SITE MAP INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED BEFORE AND AFTER MAJOR GRADING ACTIVITIES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AND CONTROLS TO PREVENT OFF-SITE SEDIMENT TRACKING, AREAS OF SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORMWATER IS DISCHARGED TO SURFACE WATER

REFER TO THE ENGINEERING IMPROVEMENT PLANS BY LANDMARK ENGINEERING LLC DATED: 3/10/14
 - THE NAME OF THE RECEIVING WATERS AND THE ULTIMATE RECEIVING WATERS, AND AERIAL EXTENT OF WETLAND ACREAGE AT THE SITE.

SITE DRAINS TO AN ONSITE DETENTION POND & THEN TO A LARGE OFFSITE RAVINE. THERE ARE NO WETLANDS ON THE SITE.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF LEMONT'S BASIC DESIGN CRITERIA, LEMONT'S CONSTRUCTION STANDARDS FOR WORK IN THE PUBLIC WAY AND IDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION AND ALL ADDENDA.
- BEFORE STARTING CLEARING AND SITE GRADING WORK, A CONSTRUCTION ENTRANCE AND SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLANS.
- THE CONSTRUCTION ENTRANCE TO THE SITE SHALL BE STABILIZED WITH GRAVEL PRIOR TO BEGINNING ANY WORK ON THE SITE. THE ENTRANCE SHALL BE MAINTAINED PERIODICALLY FOR ITS EFFECTIVENESS TO REMOVE DIRT WHICH COULD LEAVE THE SITE BY CONSTRUCTION VEHICLES.
- SILT FILTER FENCE SHALL BE PLACED AS SHOWN ON THE PLANS AND AS DIRECTED BY THE VILLAGE'S ENGINEERING INSPECTOR TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- STAKED SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE INLETS AND CATCH BASINS AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER ANY STORM EVENT IN EXCESS OF 1/2" OR AN EQUIVALENT SNOWFALL. AN INSPECTION REPORT SHALL BE PREPARED FOR EACH INSPECTION AND SHALL BE RETAINED FOR A PERIOD OF THREE YEARS FOLLOWING THE INSPECTION.
- AT THE COMPLETION OF THE PROJECT, ALL STORM SEWER PIPES AND STRUCTURES SHALL BE CLEANED AND FREE OF DIRT AND DEBRIS. THE SEDIMENTATION SHALL BE REMOVED FROM THE STORM SEWER SYSTEM AND SHALL NOT BE WASHED OUT TO THE RECEIVING STREAM.
- THE TEMPORARY EROSION CONTROL MEASURES SHALL BE IN PLACE EFFECTIVELY UNTIL ALL THE PERMANENT EROSION CONTROL ITEMS ARE FULLY FUNCTIONAL.
- THE GUARANTEE PERIOD SHALL START AFTER ALL THE PERMANENT EROSION CONTROL MEASURES ARE FULLY FUNCTIONAL AND ACCEPTABLE TO OWNER OR HIS REPRESENTATIVE.
- STOCKPILES:
 - STOCKPILES OF ANY KIND SHALL NOT BE PLACED IN SPECIAL MANAGEMENT AREAS.
 - IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 14 DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.
- IF THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION, THEN PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM SUCH DEVELOPMENT SITES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION.
- STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION. THE CONTRACTOR SHALL CLEAN-OUT ALL SUMPS OF SUSPENDED SOLIDS AND OTHER POLLUTANTS UNTIL THE COUNTY ACCEPTS THE IMPROVEMENTS.
- THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 14 DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 14 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION. TEMPORARY COVER SHALL BE MAINTAINED CONTINUOUSLY UNTIL PERMANENT COVER IS ESTABLISHED.
- WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DRAINAGE, IRRIGATION, OR FIRE HYDRANT FLUSHING SHALL BE FILTERED PRIOR TO LEAVING PROJECT SITE.
- GRAVELLED ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLE WASHDOWN FACILITIES IF NECESSARY, SHALL BE PROVIDED TO PREVENT THE DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED CONTINUOUSLY.
- THE CONTRACTOR/DEVELOPER SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER, AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
- CONTRACTORS ARE TO PROVIDE A CONSTRUCTION SCHEDULE AT THE PRECONSTRUCTION MEETING.

Public Notice
NPDES Permit No. IRL10
Public Notice Beginning Date: November 1, 2014
Public Notice Ending Date: December 1, 2014

National Pollutant Discharge Elimination System (NPDES) Permit Program
PUBLIC NOTICE/FACT SHEET
of
Reissued General NPDES Permit to Discharge Storm Water From Construction Site Activities into Waters of the State

Public Notice/Fact Sheet Issued By:
Illinois EPA
Division of Water Pollution Control
Permit Section
1021 North Grand Avenue East
Post Office Box 19276
Springfield, Illinois 62794-9276
217-782-0610

The Illinois Environmental Protection Agency (IEPA) has made a tentative determination to reissue NPDES General Permit No. IRL10 for the discharge of storm water associated with industrial activity from construction sites into waters of the state for the following types of dischargers:

Coverage under this permit
This Permit covers all areas of the State of Illinois
Eligibility

This permit shall authorize all discharges of storm water associated with industrial activity from construction sites that will result in the disturbance of one or more acres total land area, construction sites less than one acre of total land that is part of a larger common plan of development or site if the larger common plan will ultimately disturb one or more acres total land area or construction sites that are designated by the Agency that have the potential for contribution to a violation of water quality standard or significant contribution of pollutants to waters of the State, occurring after the effective date of this permit (including discharges occurring after the effective date of this permit where the construction activity was initiated before the effective date of this permit), except for discharges identified under paragraph I.B.3 (Limitations on Coverage).
This permit may only authorize a storm water discharge associated with industrial activity from a construction site that is mixed with a storm water discharge from an industrial source other than construction, where:
the industrial source other than construction is located on the same site as the construction activity;
storm water discharges associated with industrial activity from the areas of the site where construction activities are occurring are in compliance with the terms of this permit; and
storm water discharges associated with industrial activity from the areas of the site where industrial activity other than construction are occurring (including storm water discharges from dedicated asphalt plants and dedicated concrete plants) are covered by a different NPDES general permit or individual permit authorizing such discharges.

Limitations on Coverage. The following storm water discharges from construction sites are not authorized by this permit:

- Storm water discharges associated with industrial activity that originate from the site after construction activities have been completed and the site has undergone final stabilization.
- Discharges that are mixed with sources of non-storm water other than discharges identified in Part III.A (Prohibition on Non-Storm Water Discharges) of this permit and in compliance with Part IV.D.5 (Non-Storm Water Discharges) of this permit.
- Storm water discharges associated with industrial activity that are subject to an existing NPDES individual or general permit or which are issued a permit in accordance with Part V.I.N (Requiring an Individual Permit or an Alternative General Permit) of this permit. Such discharges may be authorized under this permit after an existing permit expires provided the existing permit did not establish numeric limitations for such discharges.
- Storm water discharges from construction sites that the Agency has determined to be or may reasonably be expected to be contributing to a violation of a water quality standard.
- Storm water discharges that the Agency, at its discretion, determines are not appropriately authorized or controlled by this general permit.

Final Conditions

Length of Permit: Approximately 5 Years
Classification of Receiving Waters: All surface waters of the State
Discharge No(s): Various Locations
Type of Waste: Storm Water Runoff
Flow Rate: Varies

Pollution Prevention Plan

The Pollution Prevention Plan is considered to be the most important requirement of the General Permit. Each construction activity covered by the general permit must develop a Plan, tailored to the site specific conditions, and designed with the goal to control the amount of pollutants in storm water discharges from the site.

Components of the Plan -- The permit requires that the Plan contain a site description, and a description of the measures and controls to prevent or minimize pollution of storm water. The site description must include:

- A description of the nature of the construction activity
- A sequence of major construction activities
- An estimate of the total area of the site and of the area to be disturbed
- An estimate of the runoff coefficient of the site after construction is complete
- Any existing data on the quality of storm water discharge from the site
- The name of the receiving water
- A site map indicating: drainage patterns and slopes before and after grading activities are complete, areas of soil disturbance, the outline of the area to be disturbed, the location of stabilization measures and controls, surface waters at the discharge points
- Contractors certifications as to their understanding of the plan
- Measures and Controls -- Measures and controls to prevent or minimize pollution of storm water must include three different types of controls: erosion and sediment controls, storm water management controls and other controls.

Erosion and Sediment Controls -- Stabilization (seeding, mulching, etc.) -- Disturbed areas where construction has temporarily ceased must be stabilized within 14 days of the last disturbance. (Areas which will be redisturbed within 21 days do not have to be stabilized).
Storm Water Management Controls -- Where construction results in an increase in the storm water discharged from the construction site, the permittee shall consider measures (storm water detention structures, infiltration measures, etc.) to control pollutants after construction is complete. Velocity dissipation devices must be installed in outfall channels to prevent erosive conditions if conditions warrant.
Other Controls -- The plan must insure that solid waste materials are not carried by storm water into the receiving waters. The owner must comply with State and/or local sanitary sewer or septic system regulations.
Local Programs -- Where Local programs for sediment and erosion control, storm water management or site permits exist, the pollution prevention plan should certify that their plan reflects the requirements of the local program. If local programs require plan approval, then the approved plan must be included in the Pollution Prevention Plan.

Inspection/Maintenance -- Personnel must inspect the construction site at least once every 7 days and within 24 hours of a rainfall of 0.5 inches or more. The inspector must prepare a report documenting his/her findings on the conditions of the controls and stabilized areas.

Deadlines -- The plan must be completed prior to the start of the construction to be covered under the permit and be updated as appropriate. The construction project must comply with the provisions of the plan throughout the construction period.

Signature -- The plan must be signed by a responsible official such as the owner, president, vice president or general partner.

Plan Review -- The plan is to be kept at the construction facility during the entire construction period. The plan should be submitted for review only when requested by IEPA.

Title 35: Environmental Protection, Subtitle C: Water Pollution, Chapter I: Illinois Pollution Control Board Rules and Regulations and the Clean Water Act were applied in determining the applicable standards, limitations and conditions contained in the draft permit.

A general permit is a single permit issued to cover discharges from a number of facilities in a specified geographic area which involve the same or substantially similar types of operations. The facilities must discharge the "same type of wastes" which has been interpreted to mean the waste streams need not be identical but must be sufficiently similar that the same permit conditions are appropriate. A determination by the IEPA must be made that the discharges are more appropriately covered under a general permit than under individual permits.

A general permit is the equivalent of an individual permit in terms of effluent limitations, water quality standards, monitoring and reporting requirements, and enforceability. The effluent limits would be based on the more stringent of either technology-based or water quality-based requirements. Since the permit would be applicable to discharges into any receiving stream, no dilution or mixing will be allowed to meet water quality standards.

An applicant would be required to submit the same application information, using the required Federal forms, as for an individual permit or Notice of Intent (NOI). No application or NOI will be required from the owners or operators of dischargers who are currently covered under the previous general permit. These dischargers would be automatically covered under the re-issued general permit. Any owner or operator of these dischargers may request to be excluded from the coverage of the general permit by submitting an application for individual permit with reasons supporting the request. IEPA will review the application and make a determination as to whether or not the general permit is appropriate to regulate the discharge. If the conclusion is that it would, the discharger will be notified of our decision to include him under the general permit. The IEPA's decision is appealable to the Pollution Control Board.

The general permit does not name any Permittees, nor does it authorize any person to discharge. The authorization to discharge under a general permit will be by separate letter, issued to a specific applicant. The letters can be issued at any time while the Permit is in effect.

Interested persons are invited to submit written comments on the draft permits to the IEPA at the above address. The NPDES permit number(s) must appear on each comment page. Any interested person may submit a written request for a public hearing on a draft permit, stating his or her name and address, the nature of the issues proposed to be raised and the evidence proposed to be presented with regards to those issues.


The Public Notice, Fact Sheet, draft permit, comments received, and other documents are available for inspection and may be copied at the IEPA between 9:30 a.m. and 3:30 p.m. Monday through Friday.

All comments on the draft permit and requests for hearing must be received by the IEPA not later than 30 days from the date of this publication. If written comments or requests indicate a significant degree of public interest in the draft permit, the permitting authority may, at its discretion, hold a public hearing. Public notice will be given 30 days before any public hearing.

For further information call the Public Notice Clerk at 217-782-0610.

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (LR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION."

PROJECT NAME: BIRCH PATH P.U.D.

SIGNATURE: 

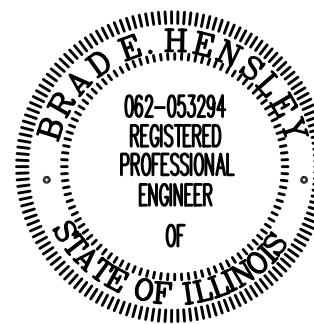
NAME: BRAD E. HENSLEY, P.E.

TITLE: ENGINEER/OWNER'S REP.

COMPANY NAME: LANDMARK ENGINEERING LLC

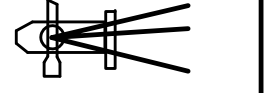
COMPANY ADDRESS: 7808 W. 103rd ST., PALOS HILLS, IL 60465

COMPANY TELEPHONE NO: (708) 599-3737



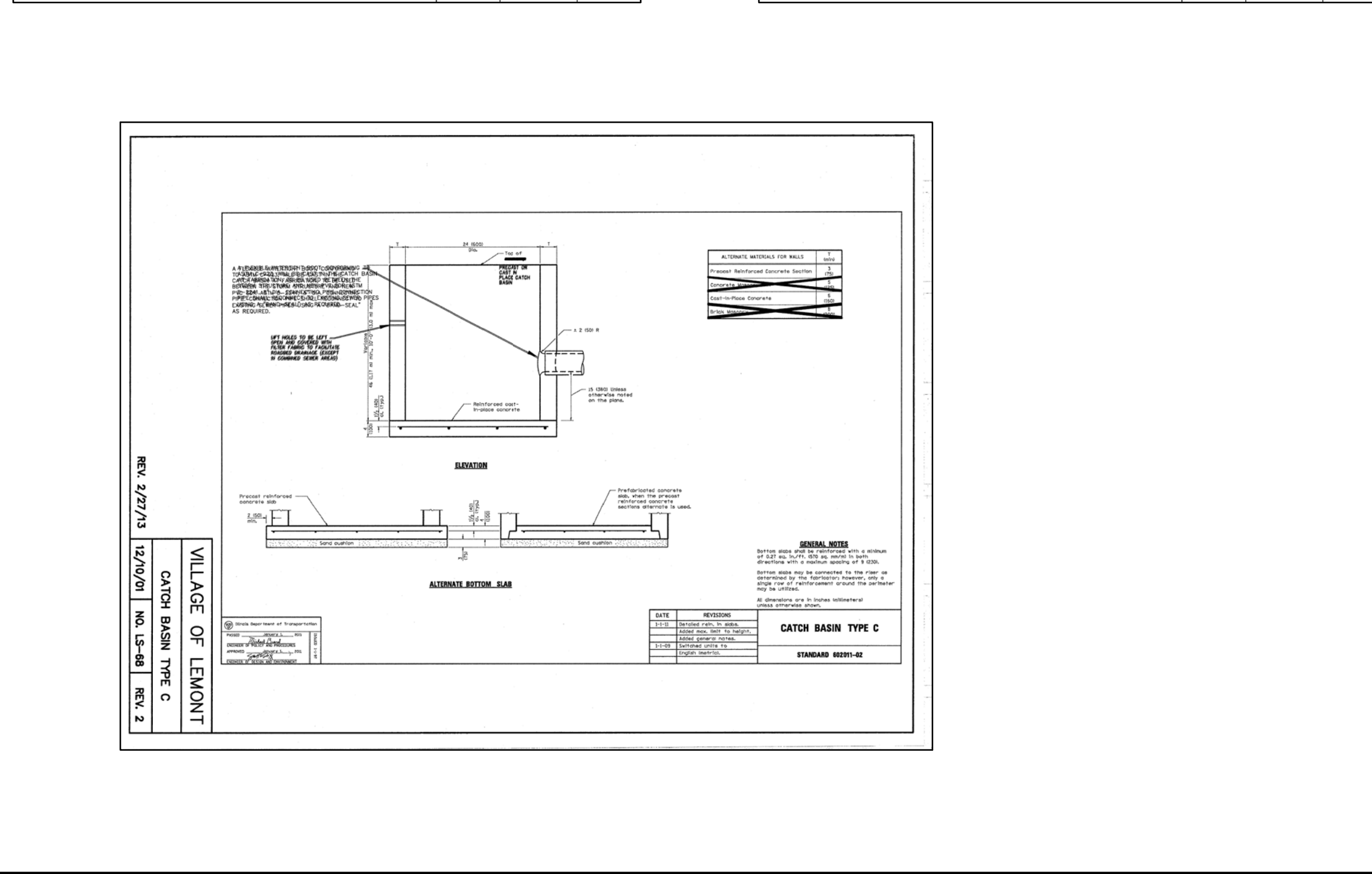
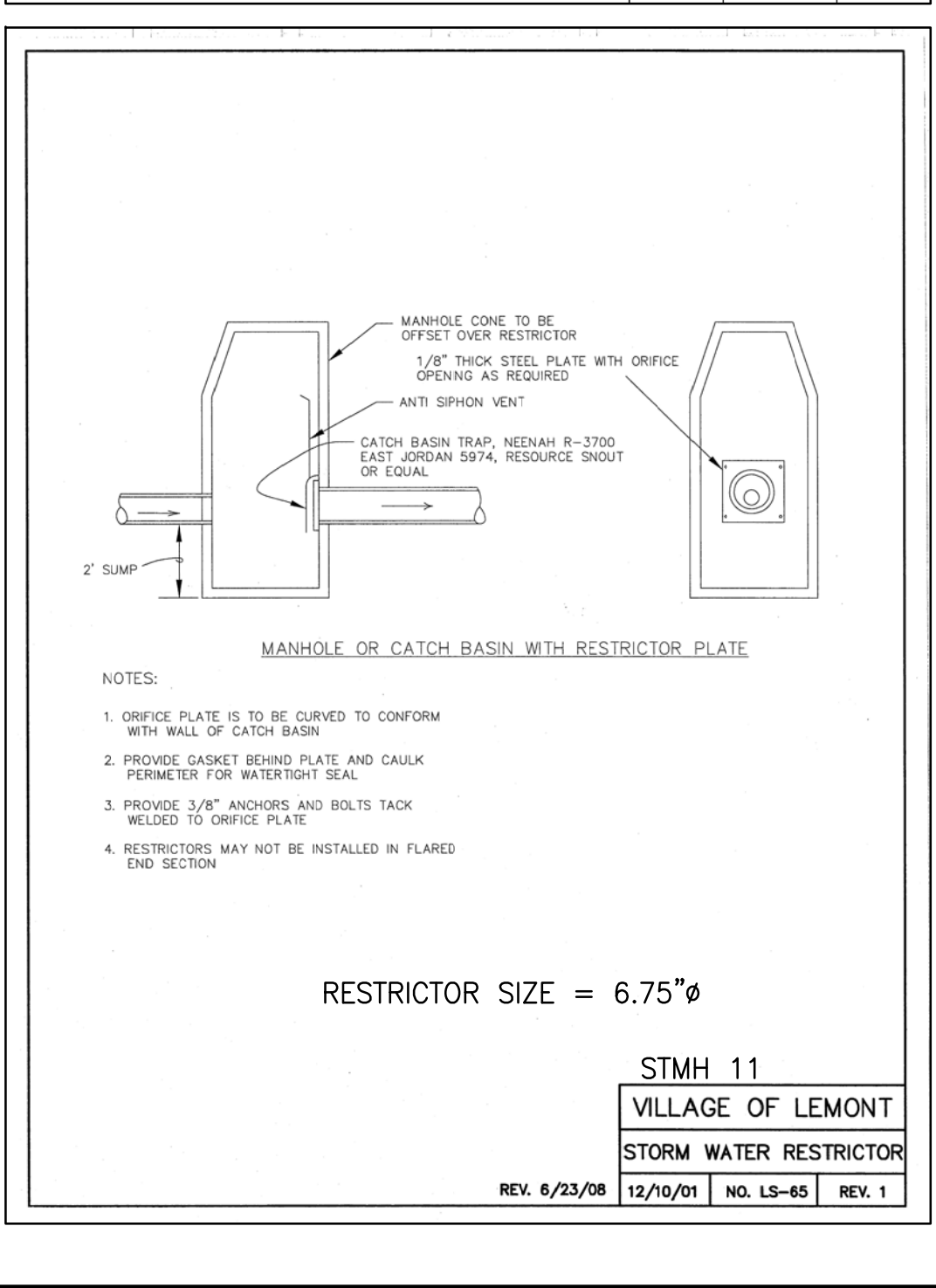
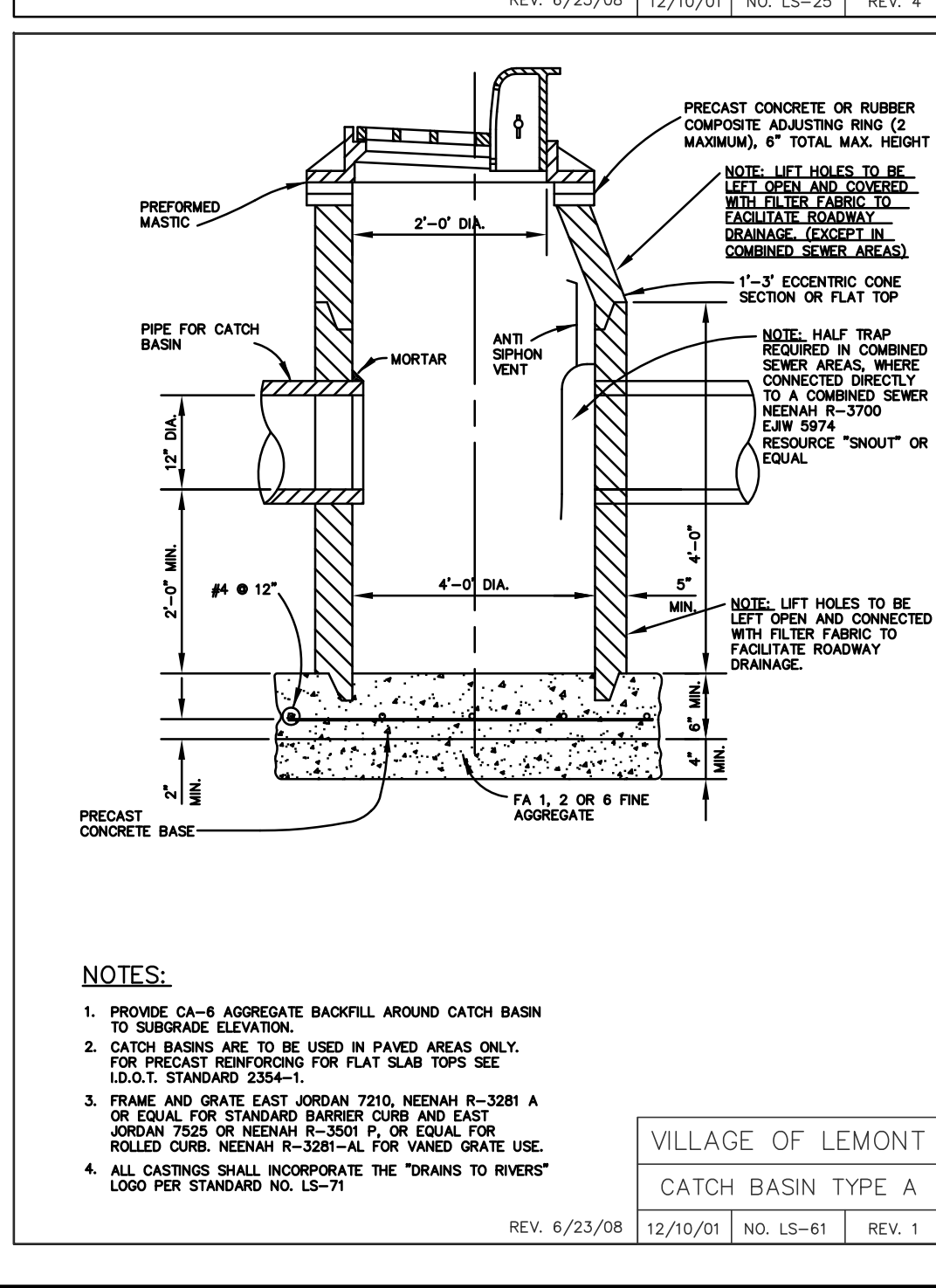
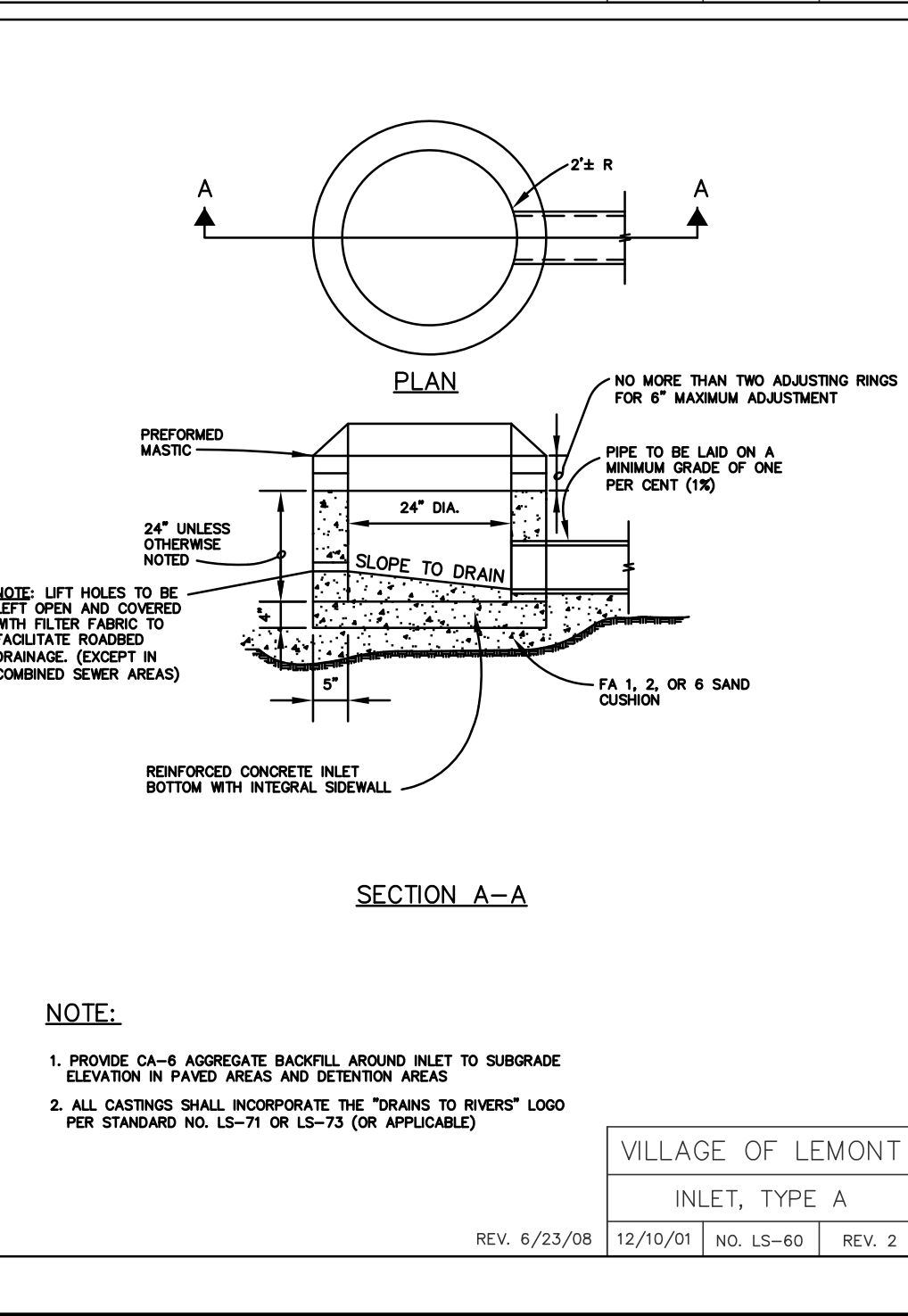
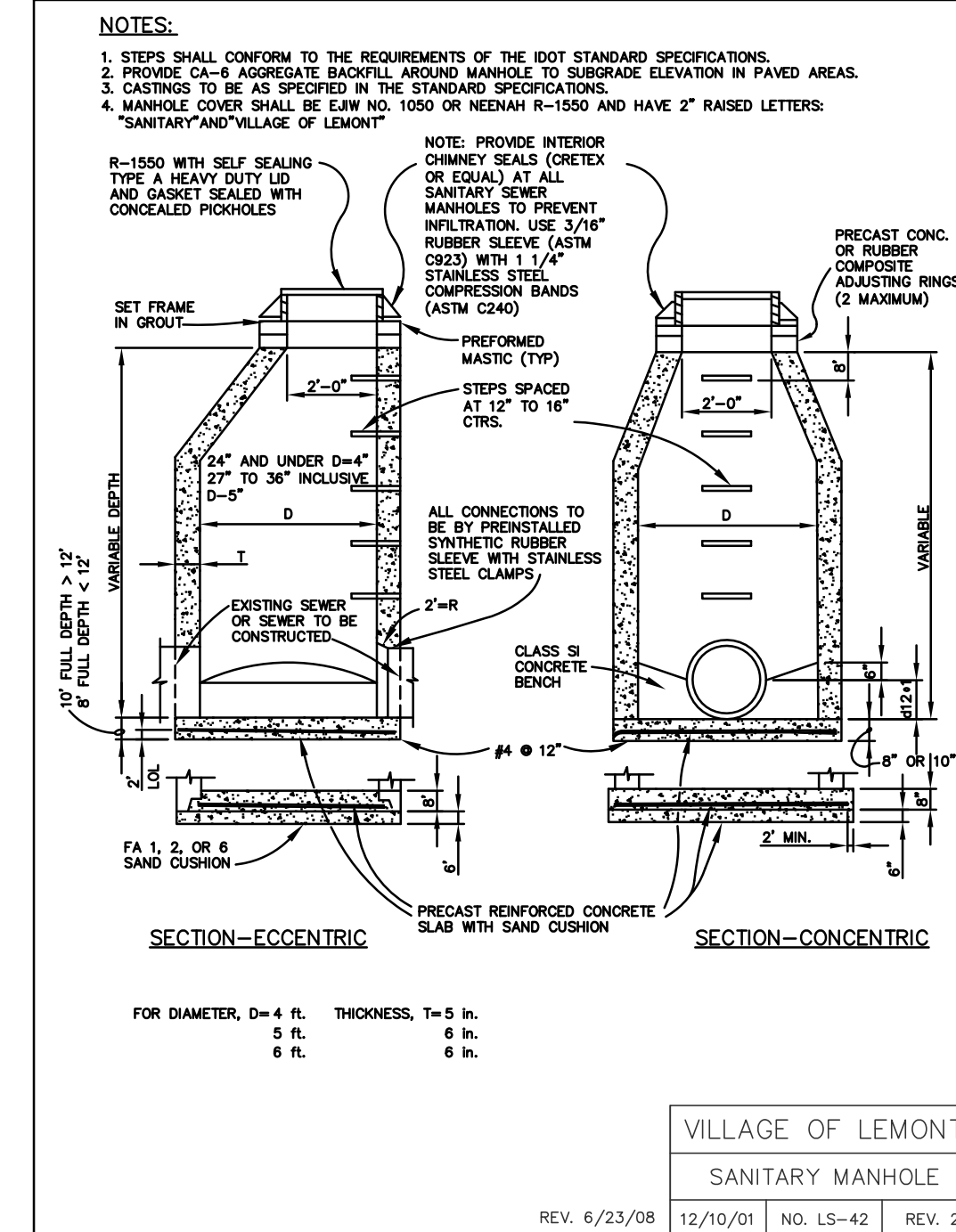
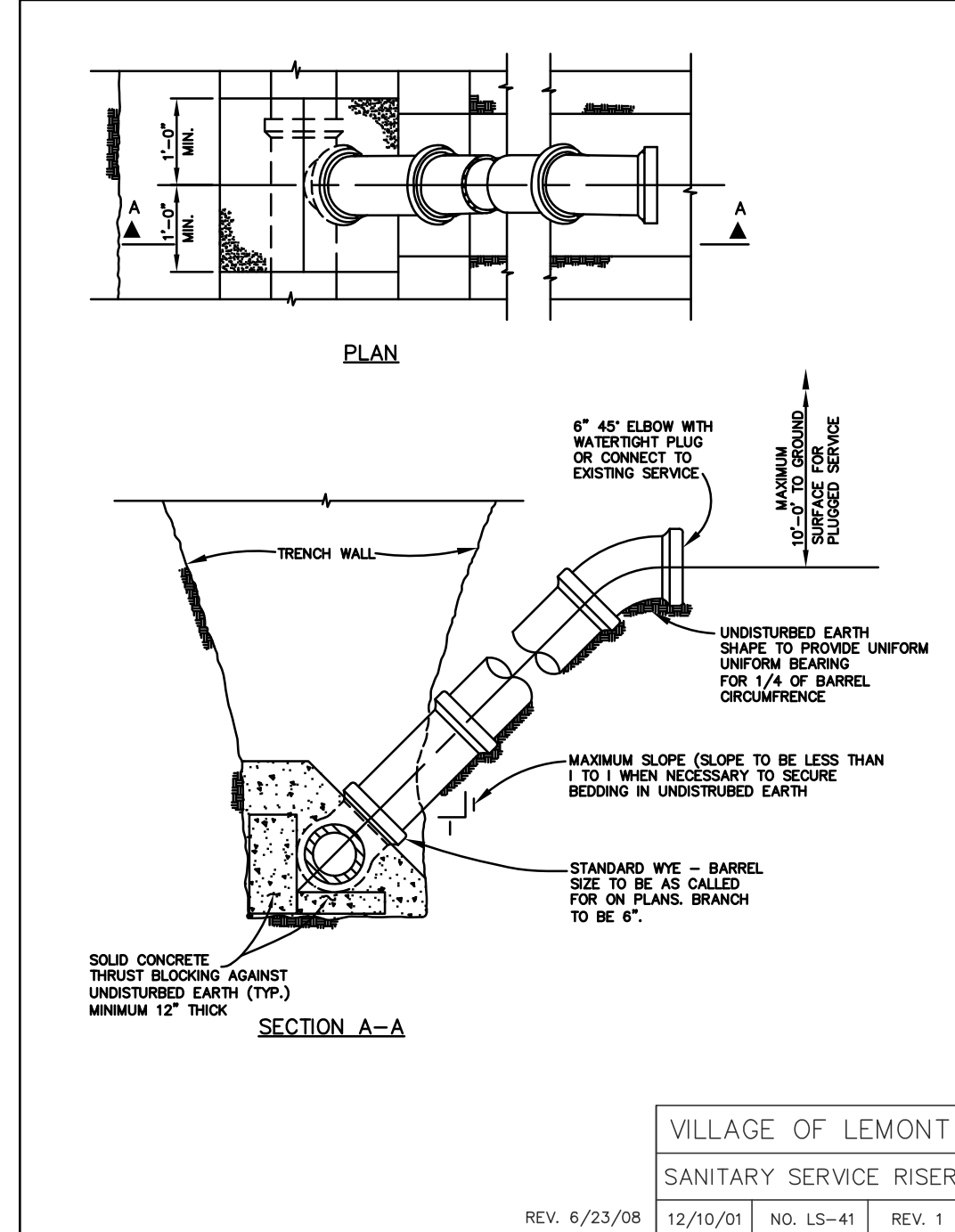
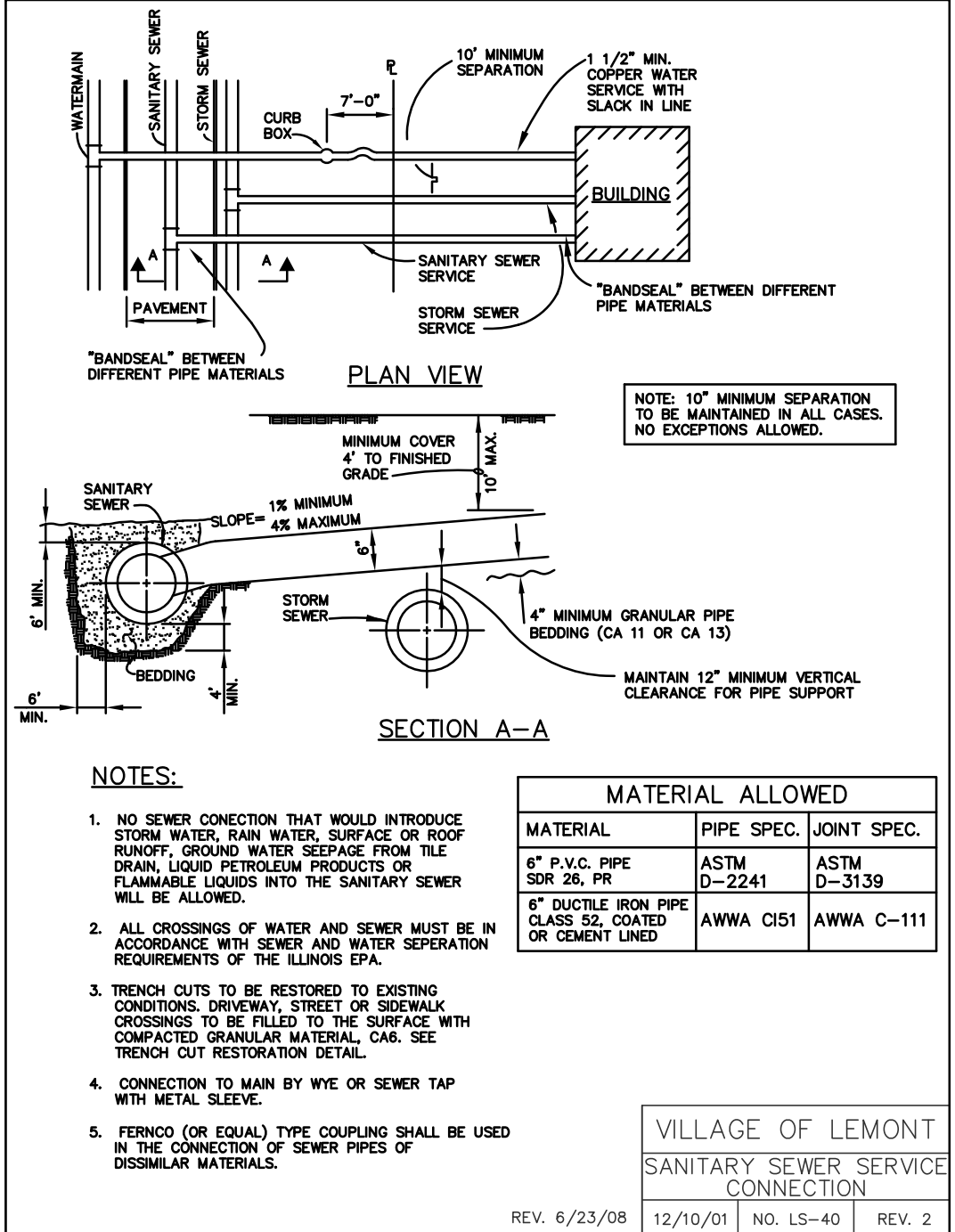
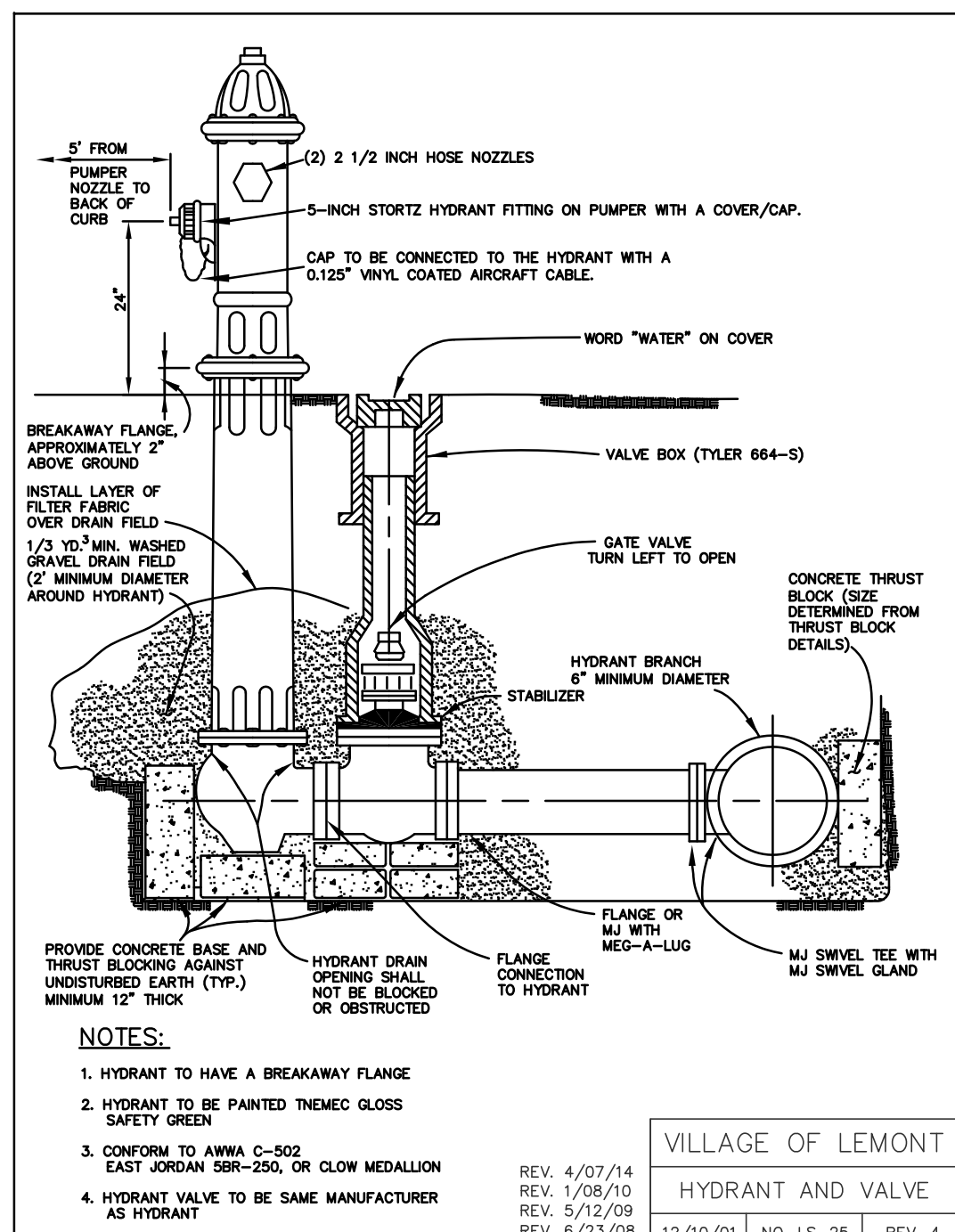
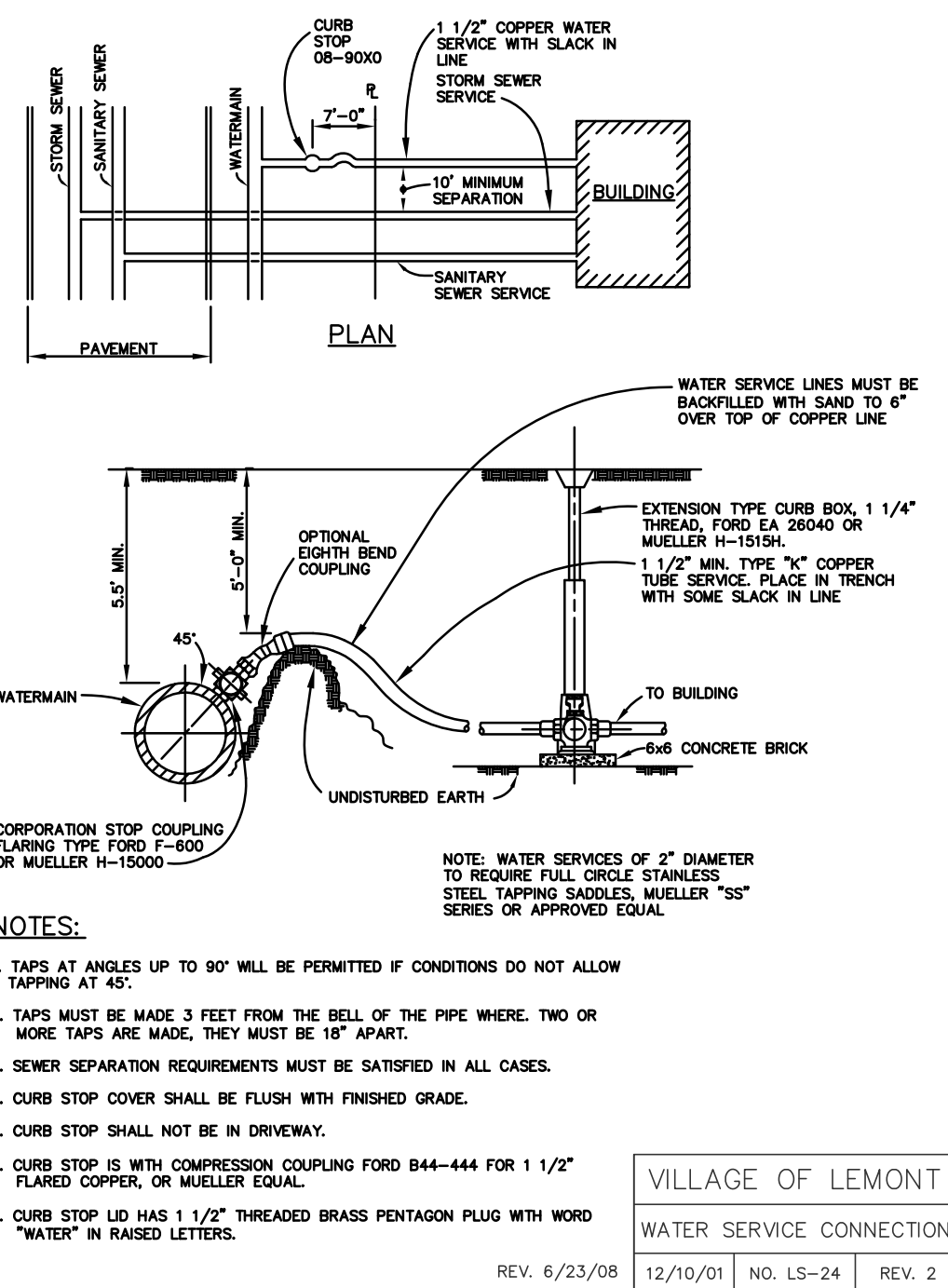
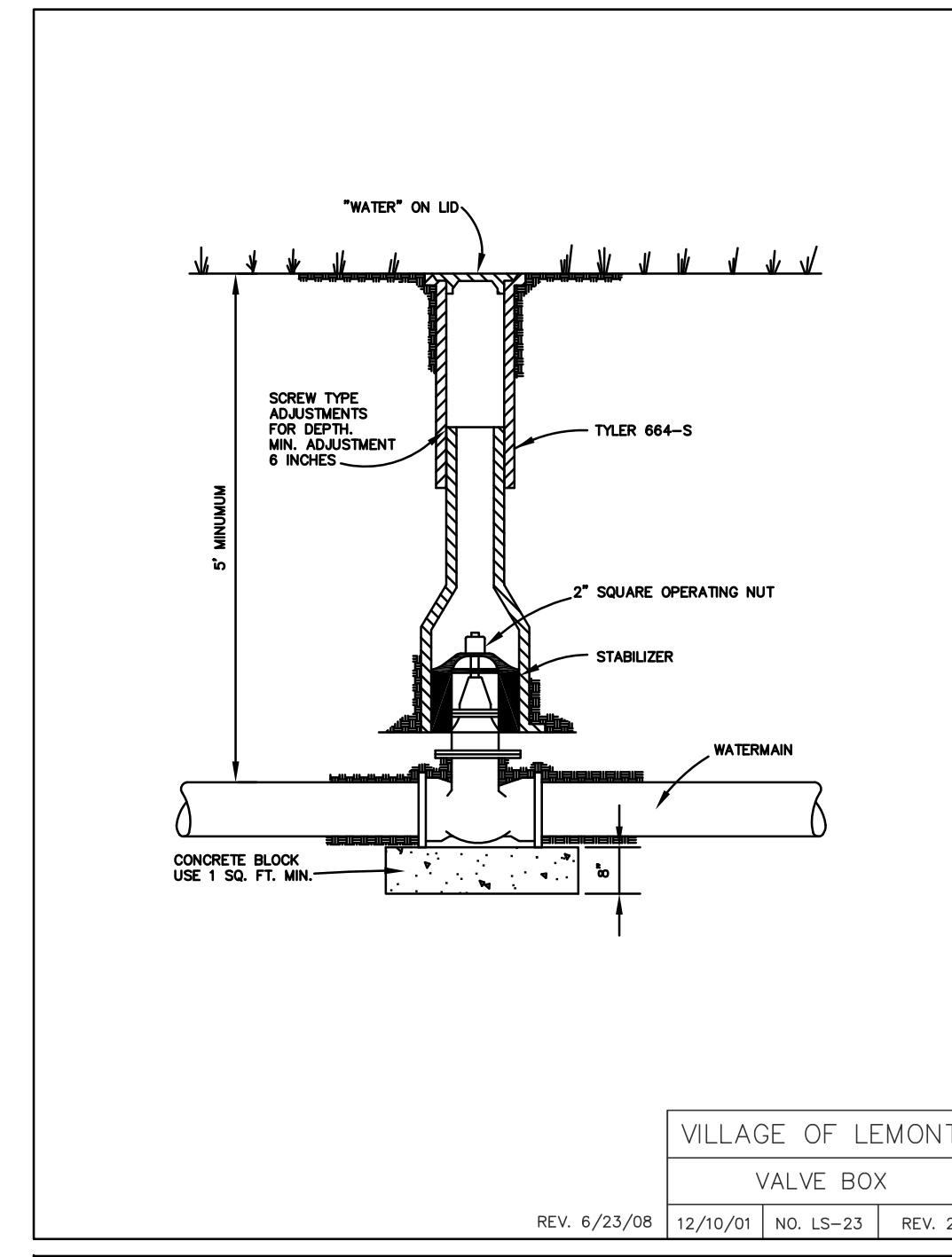
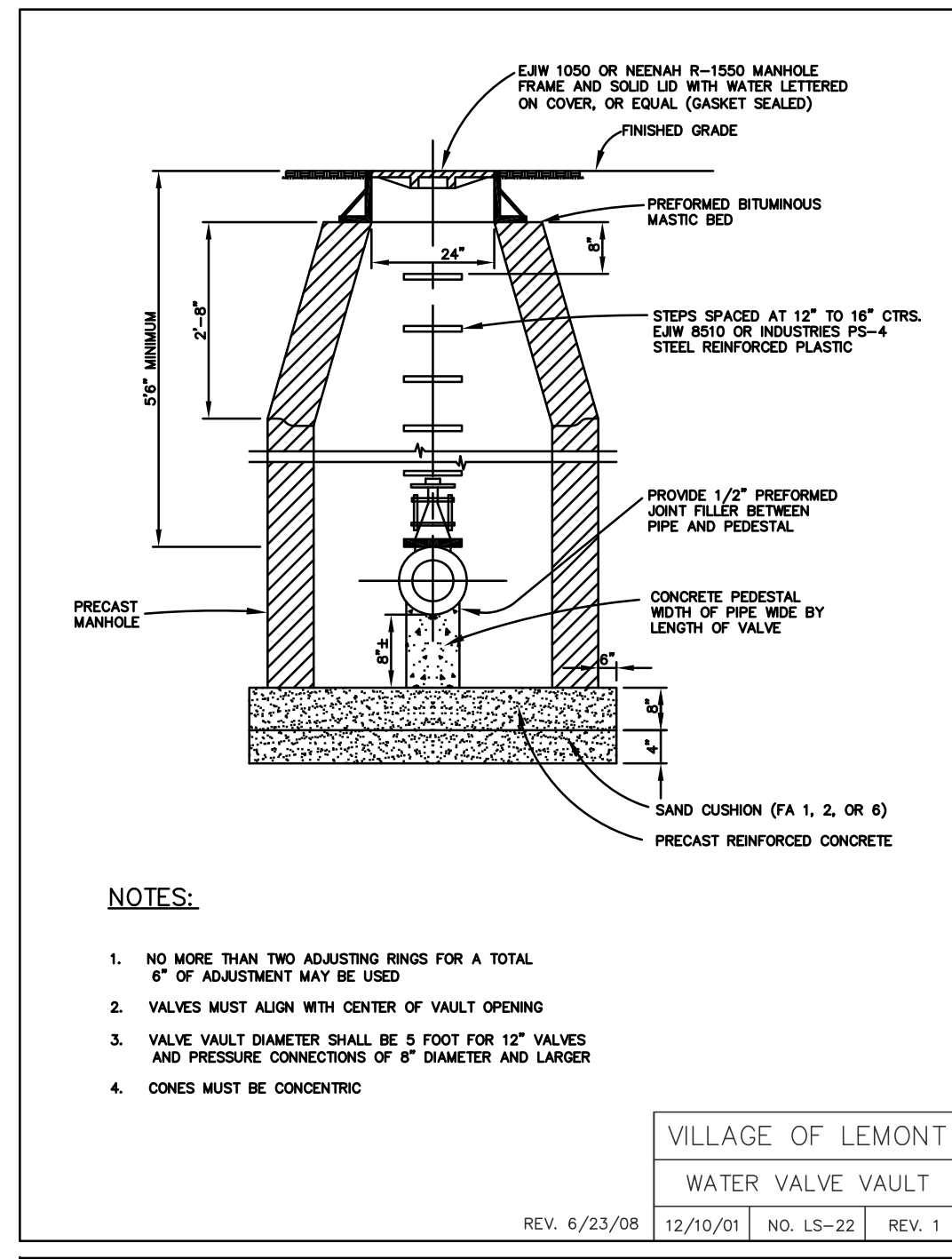
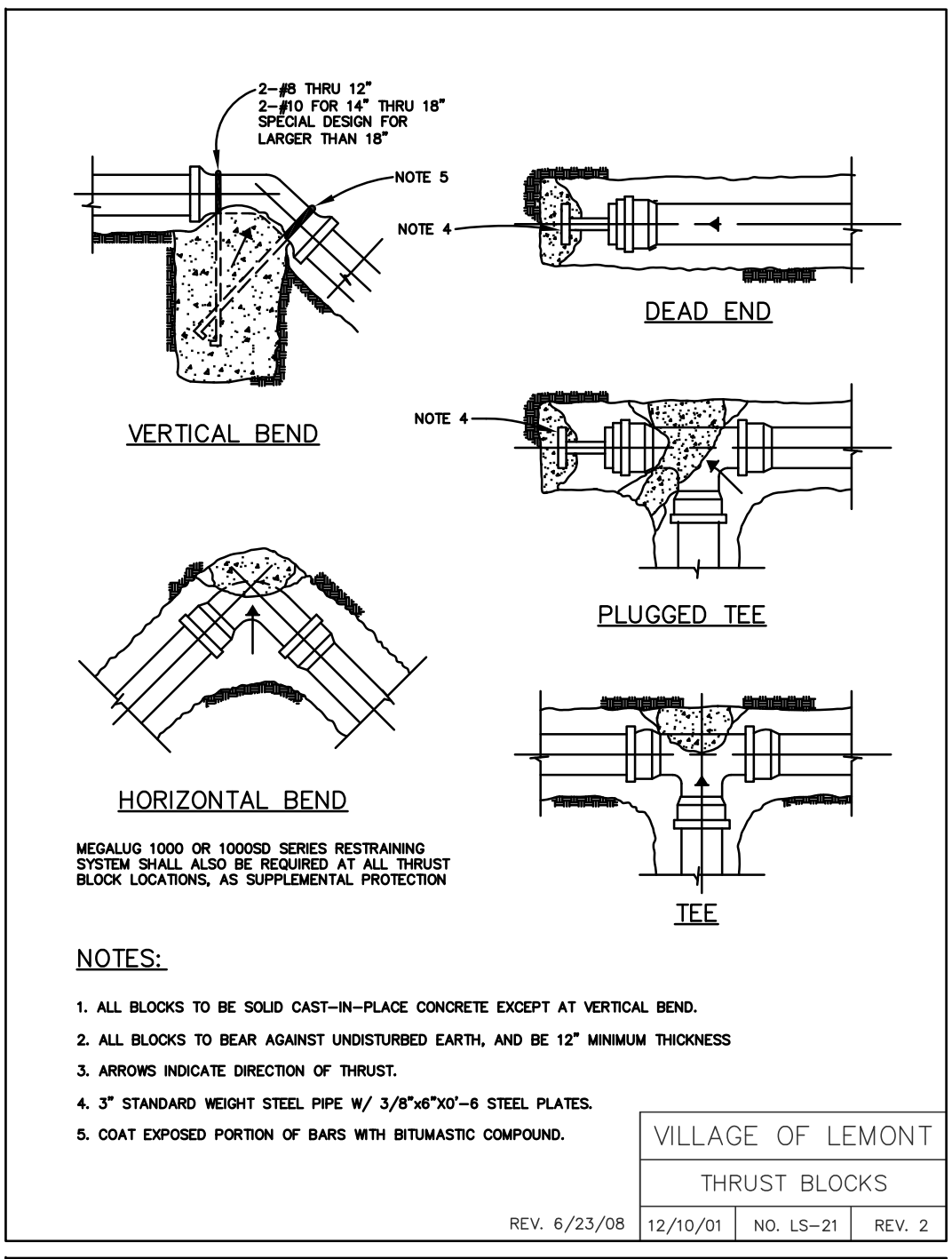
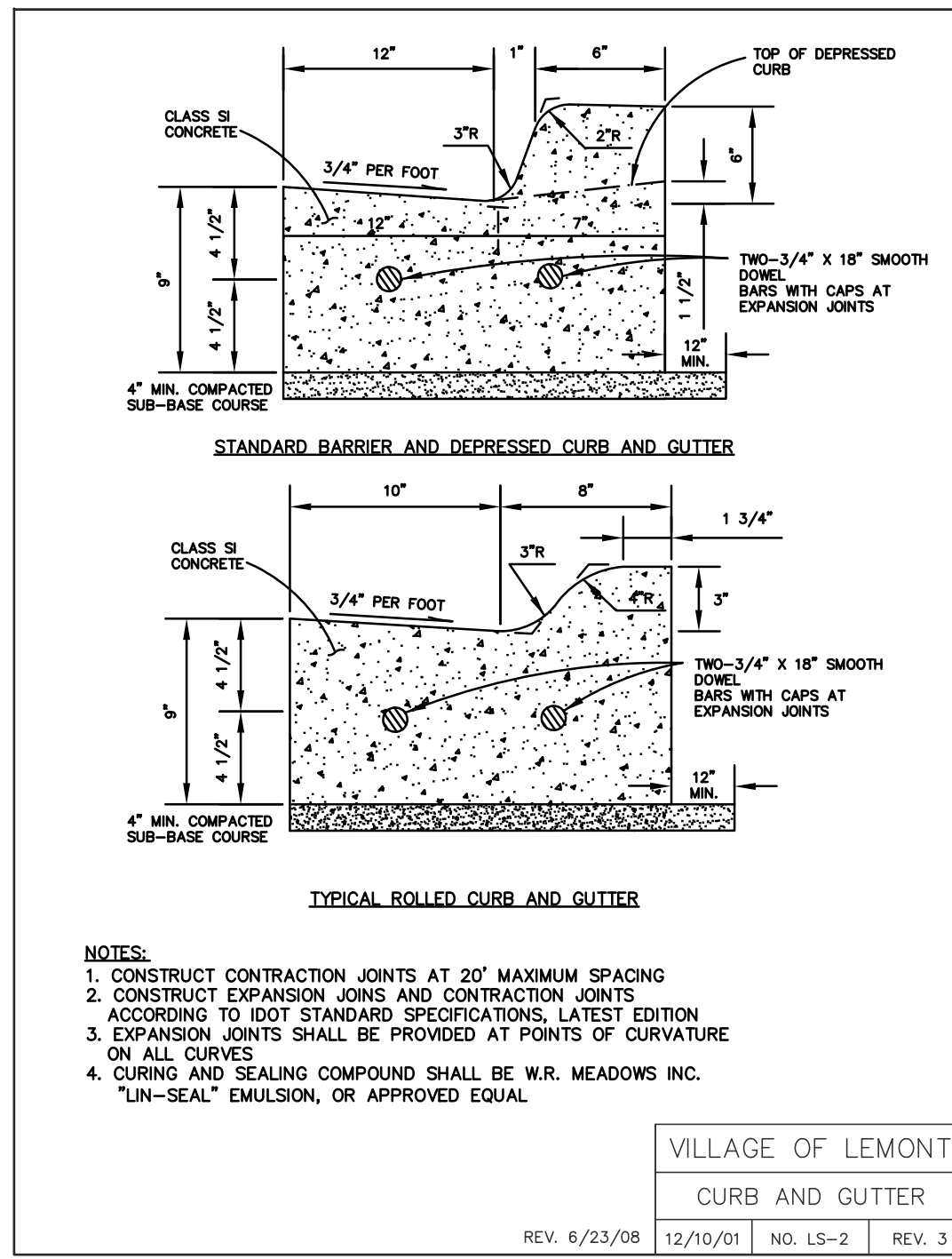
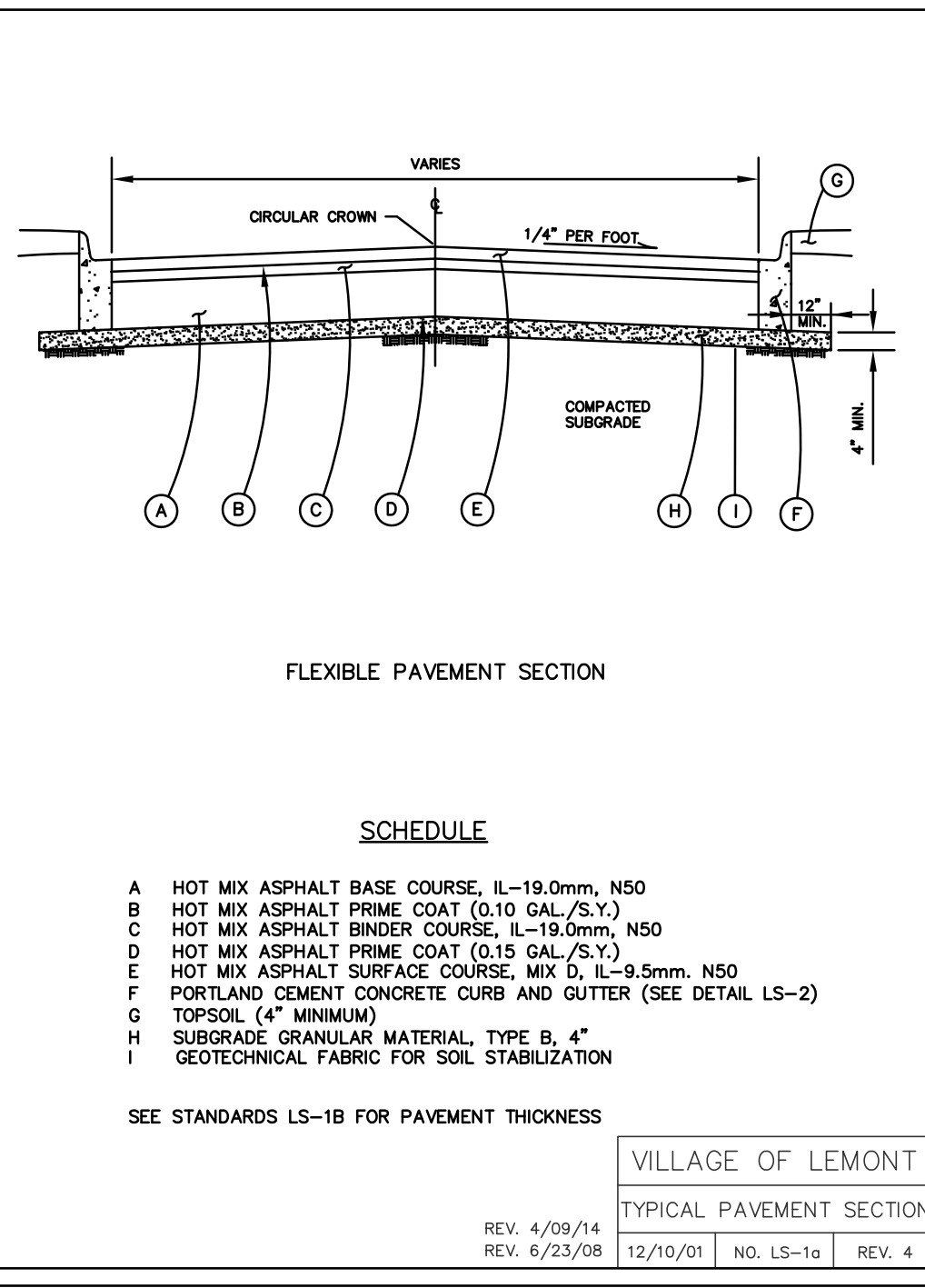
REV. BY	DATE	REVISIONS
T.G.	3/10/14	ISSUED FOR REVIEW
T.G.	4/14/14	VILLAGE COMMENTS
T.G.	5/5/14	VILLAGE COMMENTS
T.G.	5/27/14	LEGAL DESCRIPTION
T.G.	6/23/14	VILLAGE ATTORNEY COMMENTS

LANDMARK
ENGINEERING LLC
DESIGN FIRM REGISTRATION NO. 184-00577
7808 WEST 103RD STREET
PALOS HILLS, ILLINOIS 60465-1529
Phone: (708) 599-3737
Fax: (708) 599-2291



BIRCH PATH P.U.D.
127TH & I-355, LEMONT, IL
STORM WATER POLLUTION PROTECTION PLAN

DRAWN BY: T.G.
DESIGNED BY: B.H.
CHECKED BY: M.L.

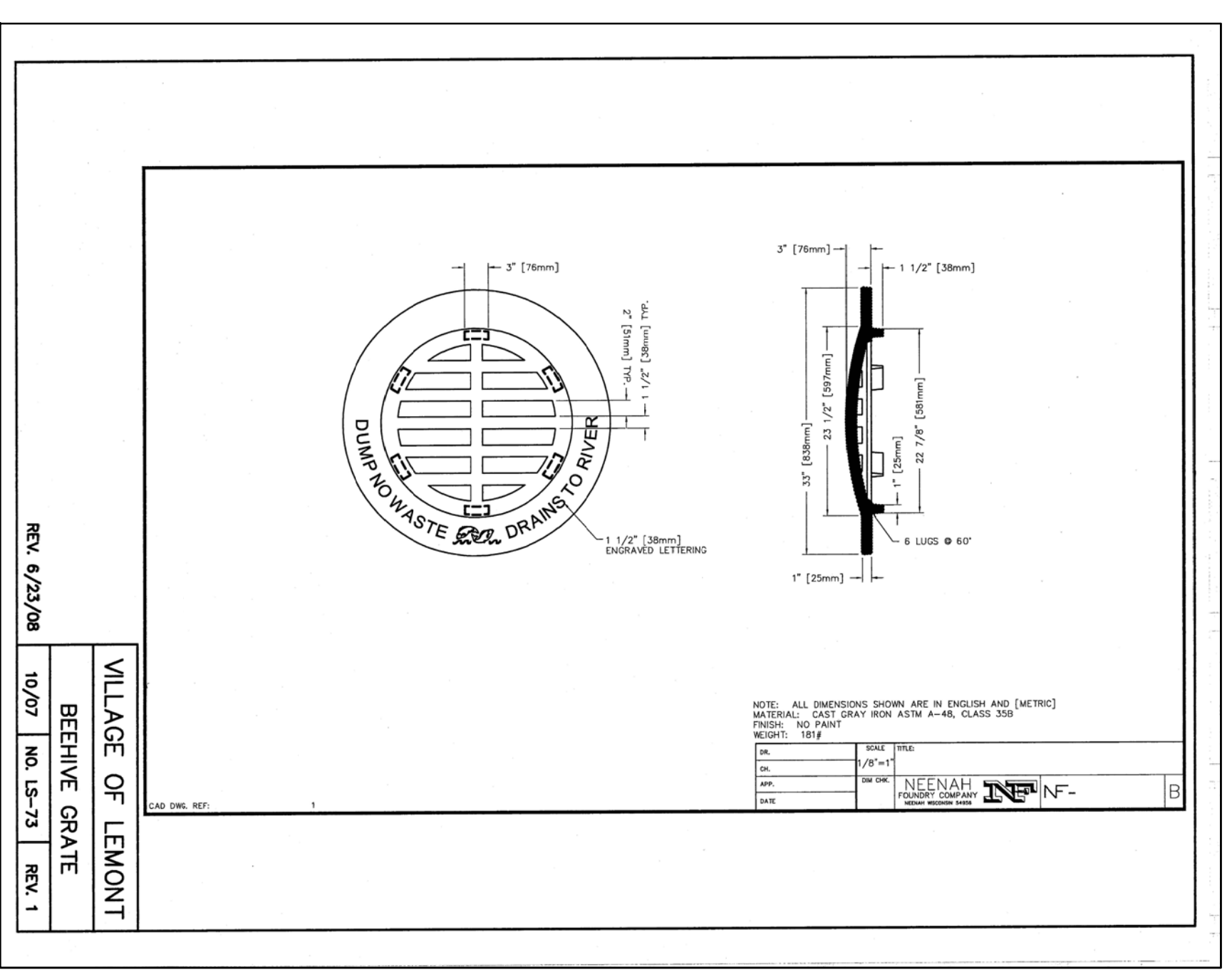
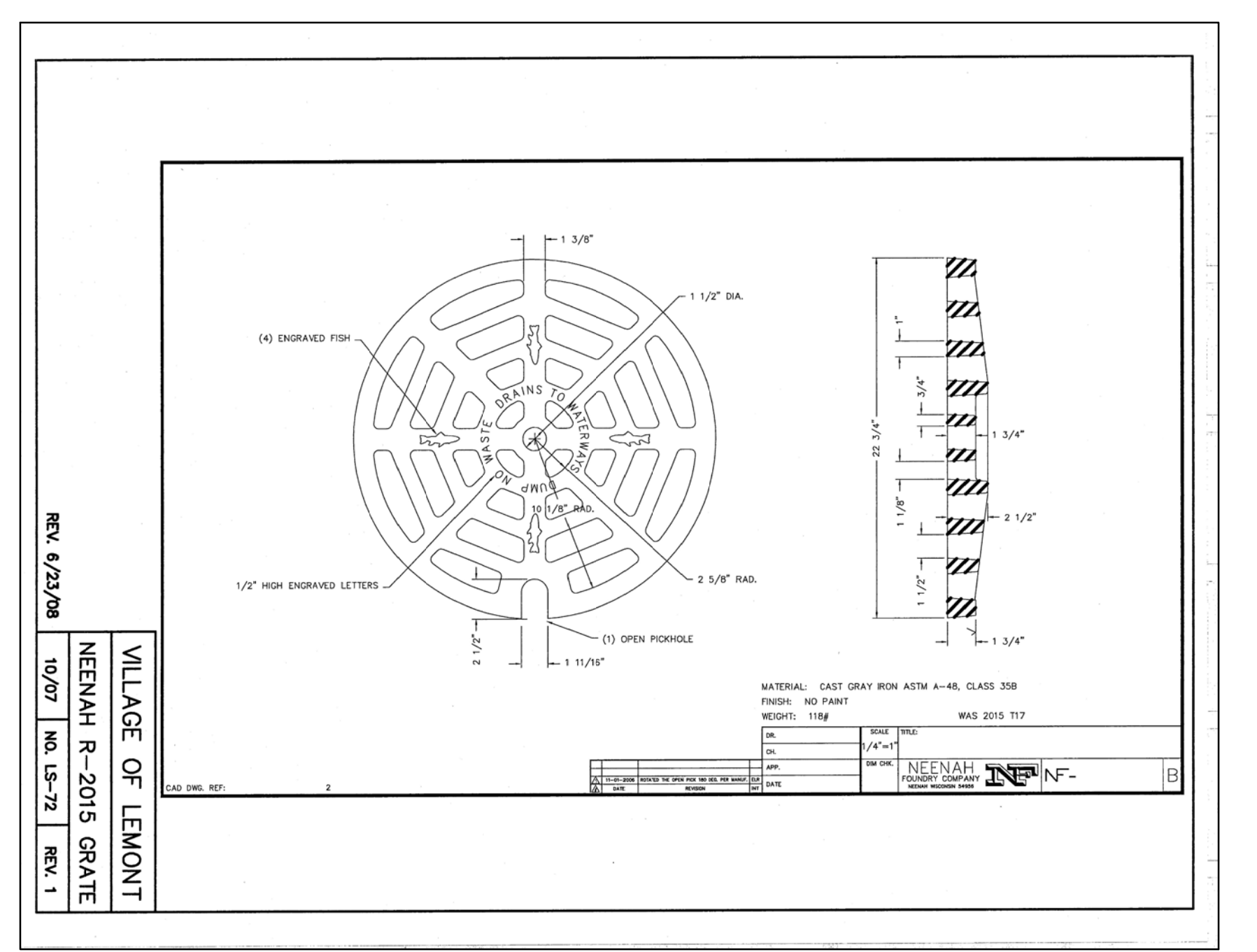
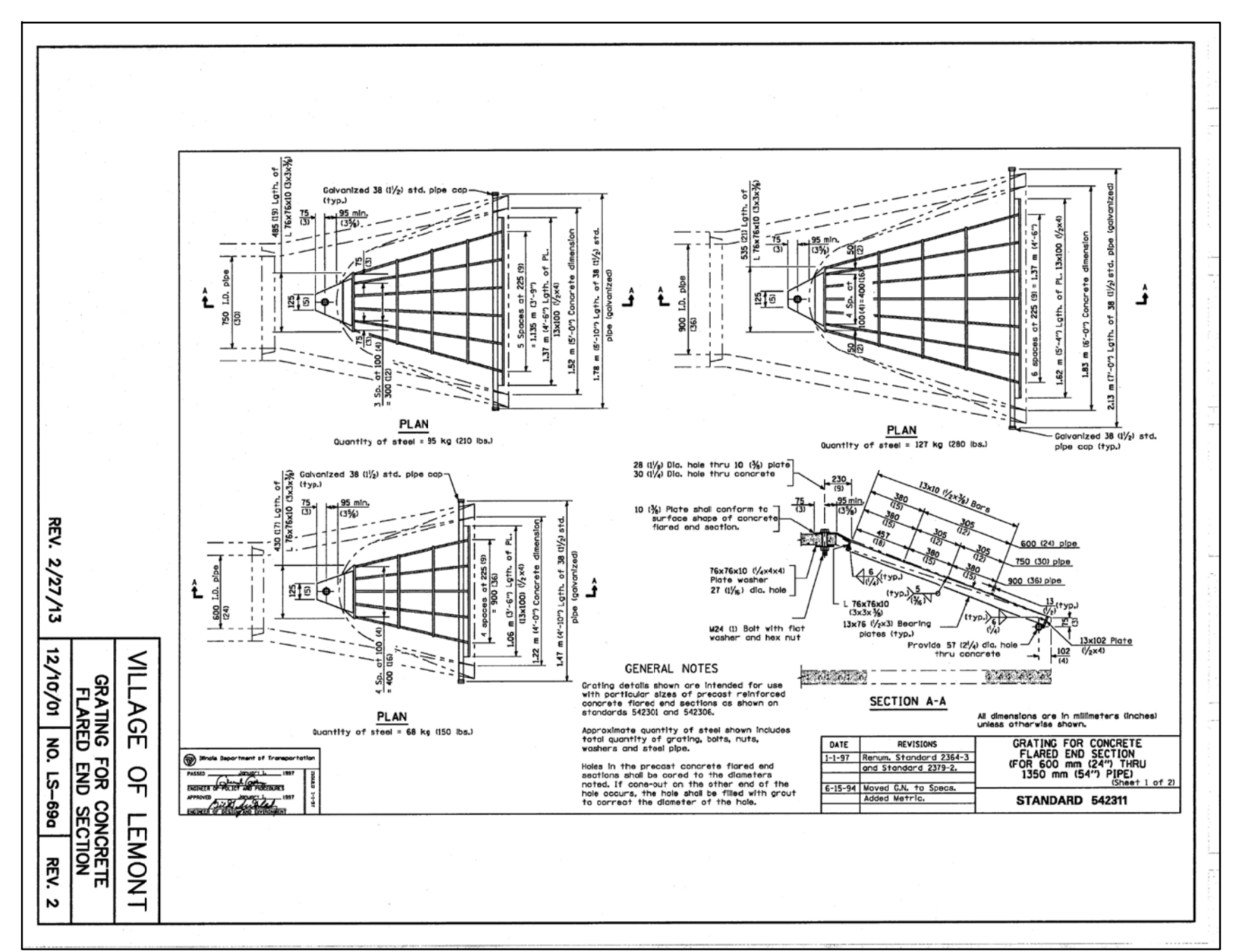
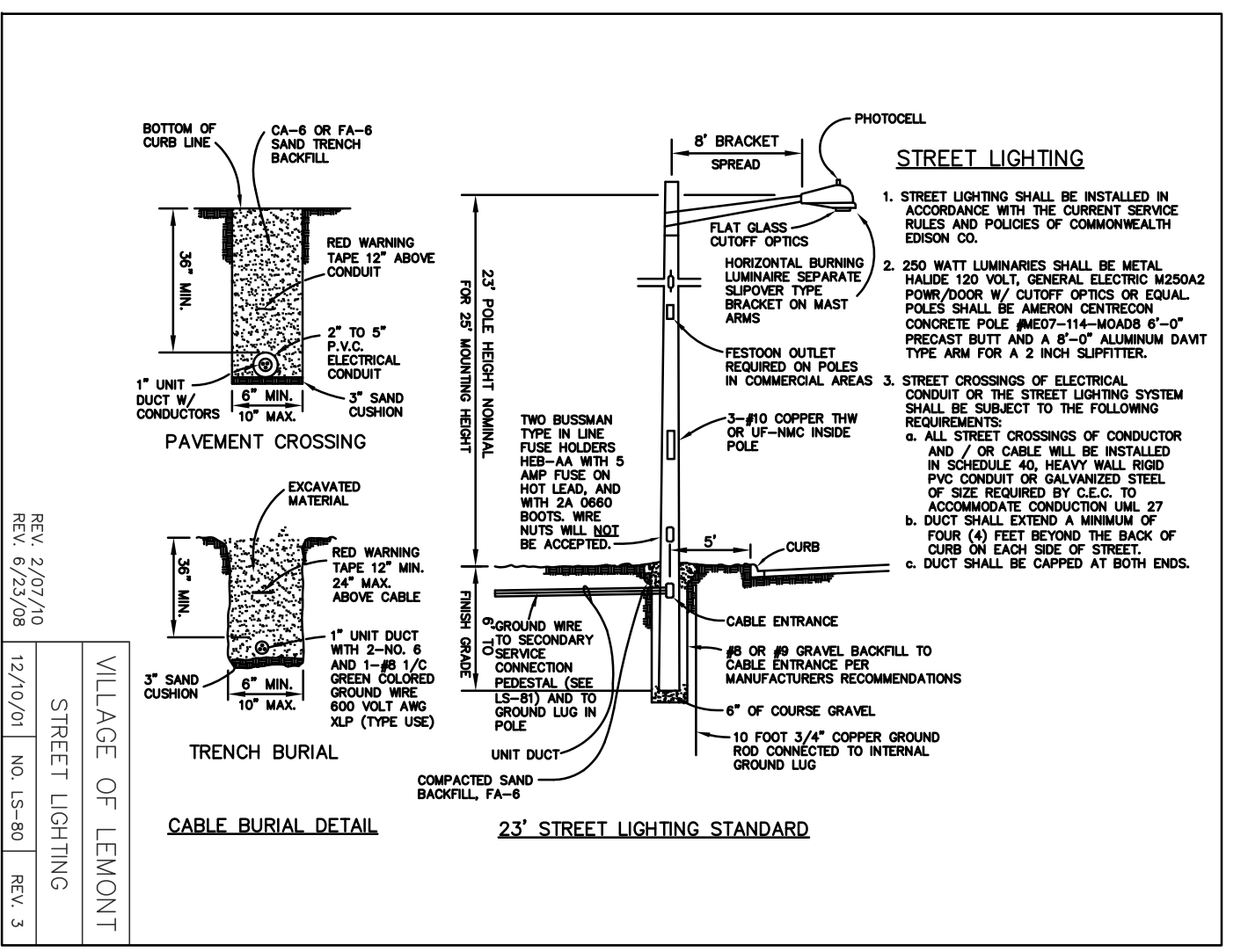
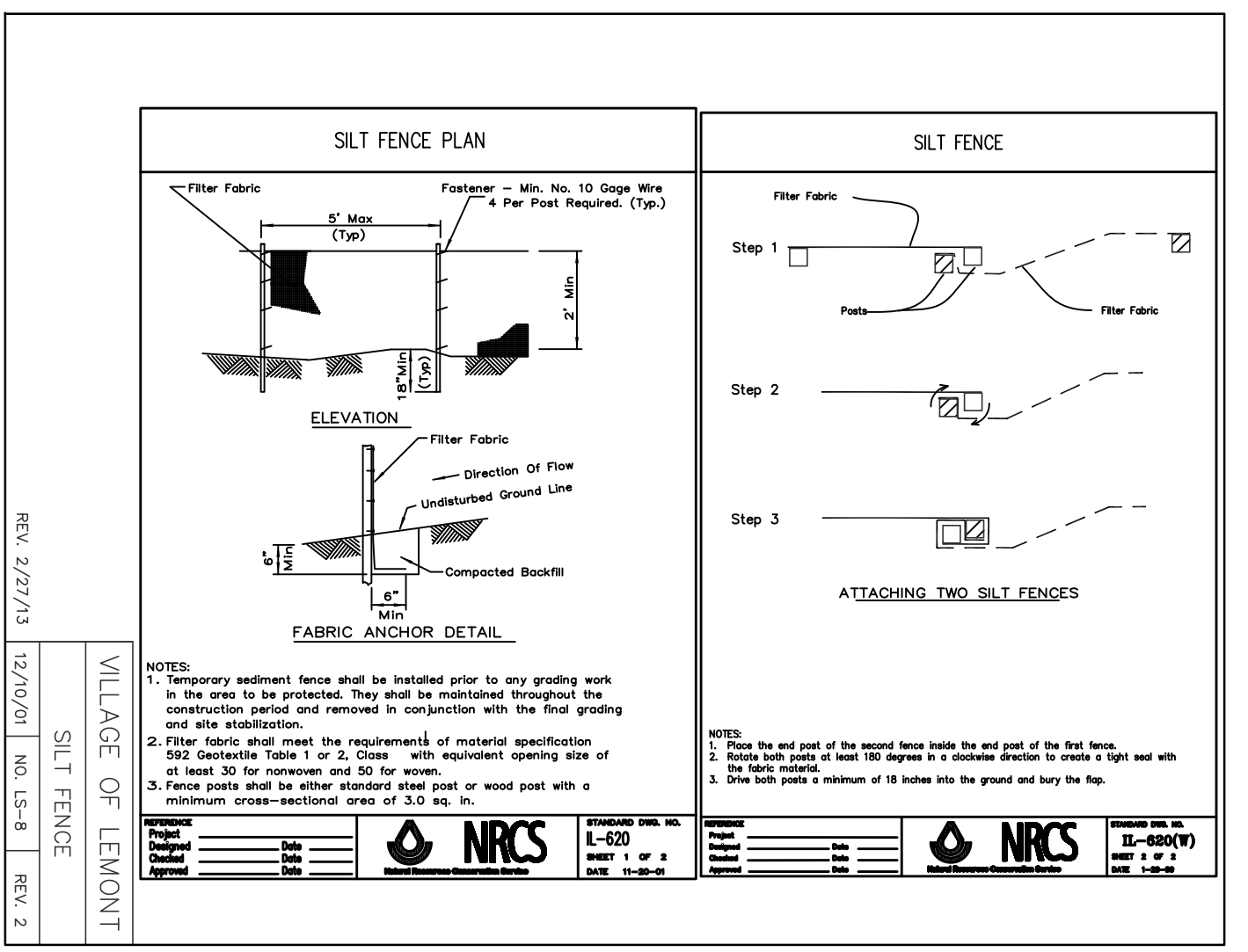
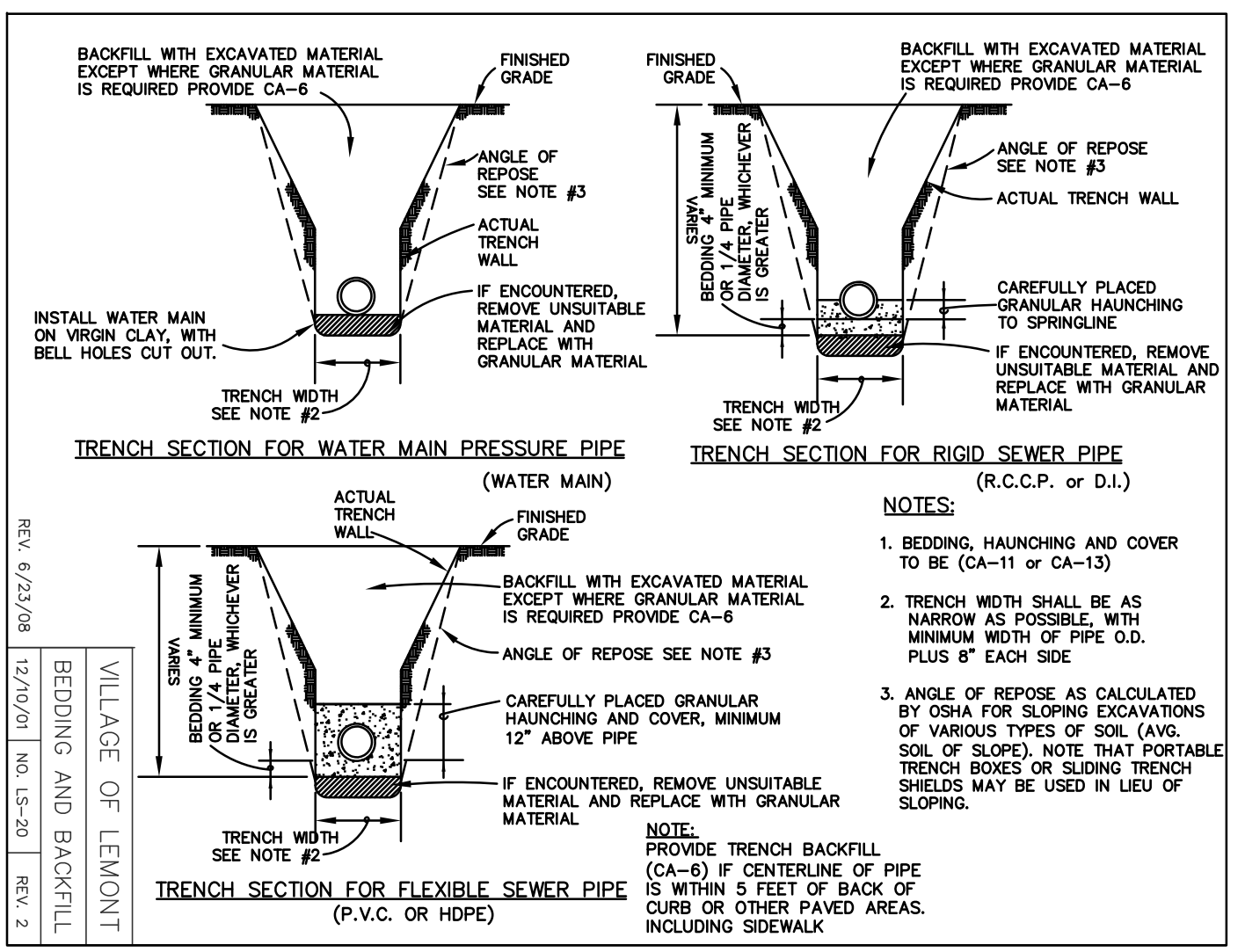
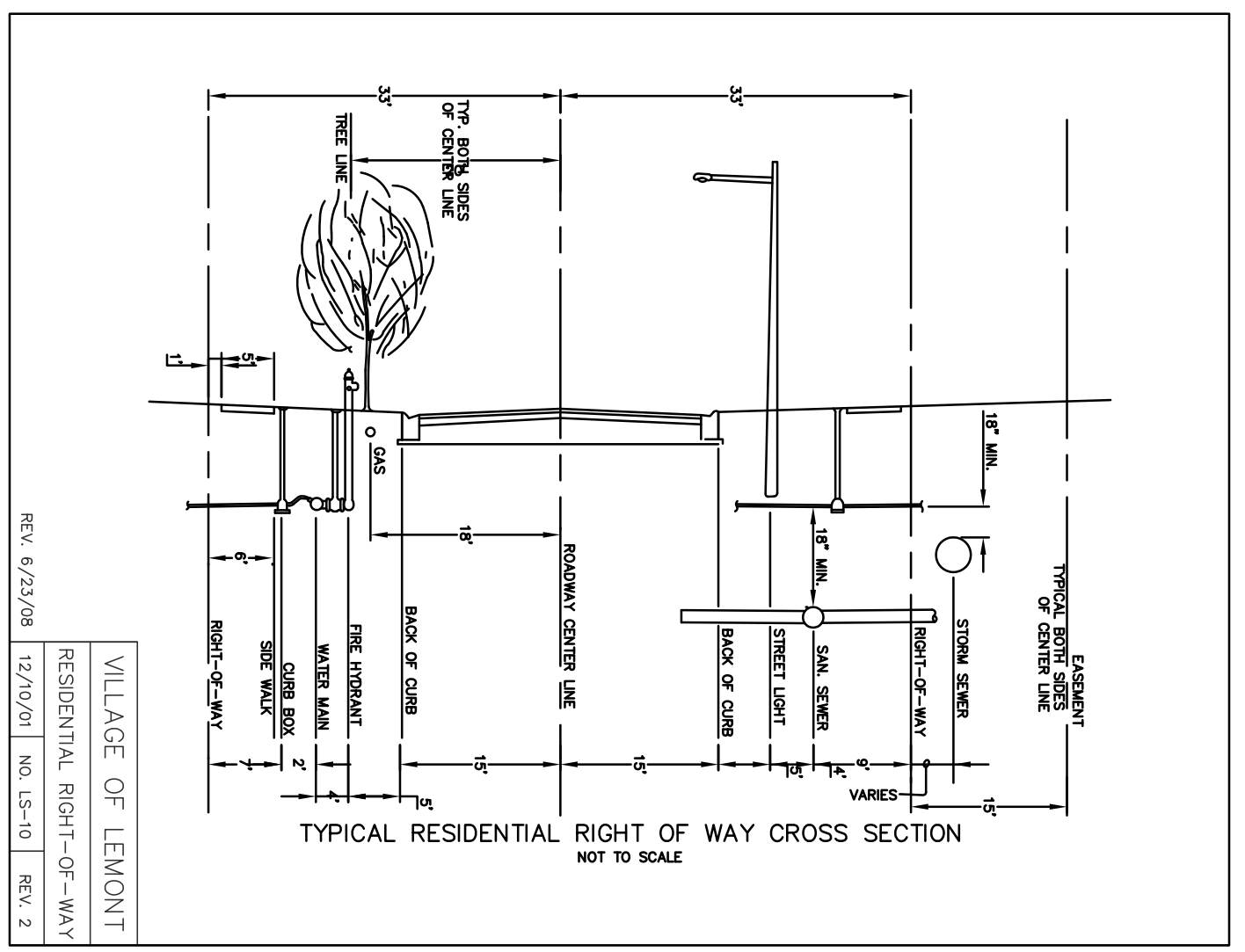
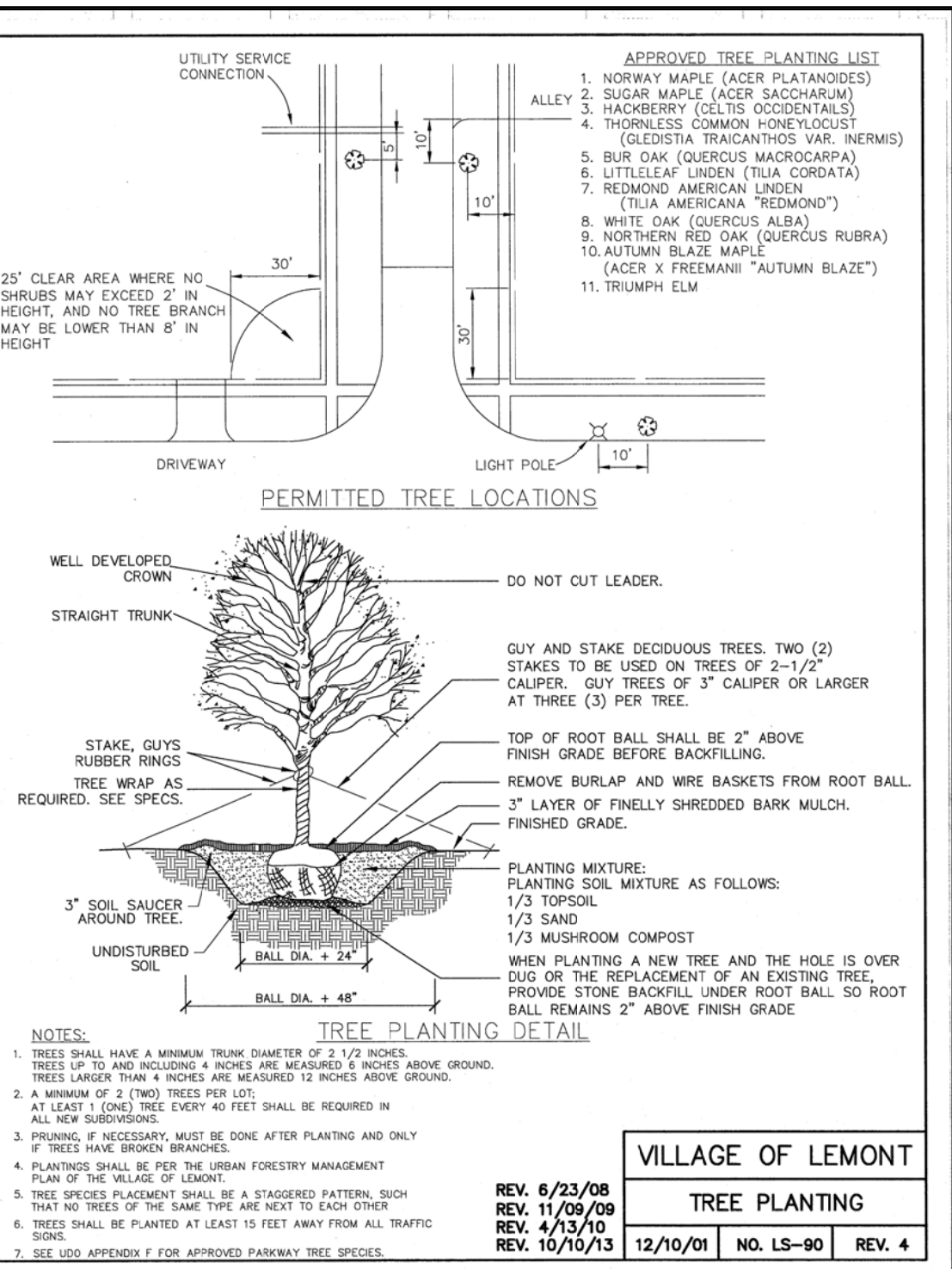
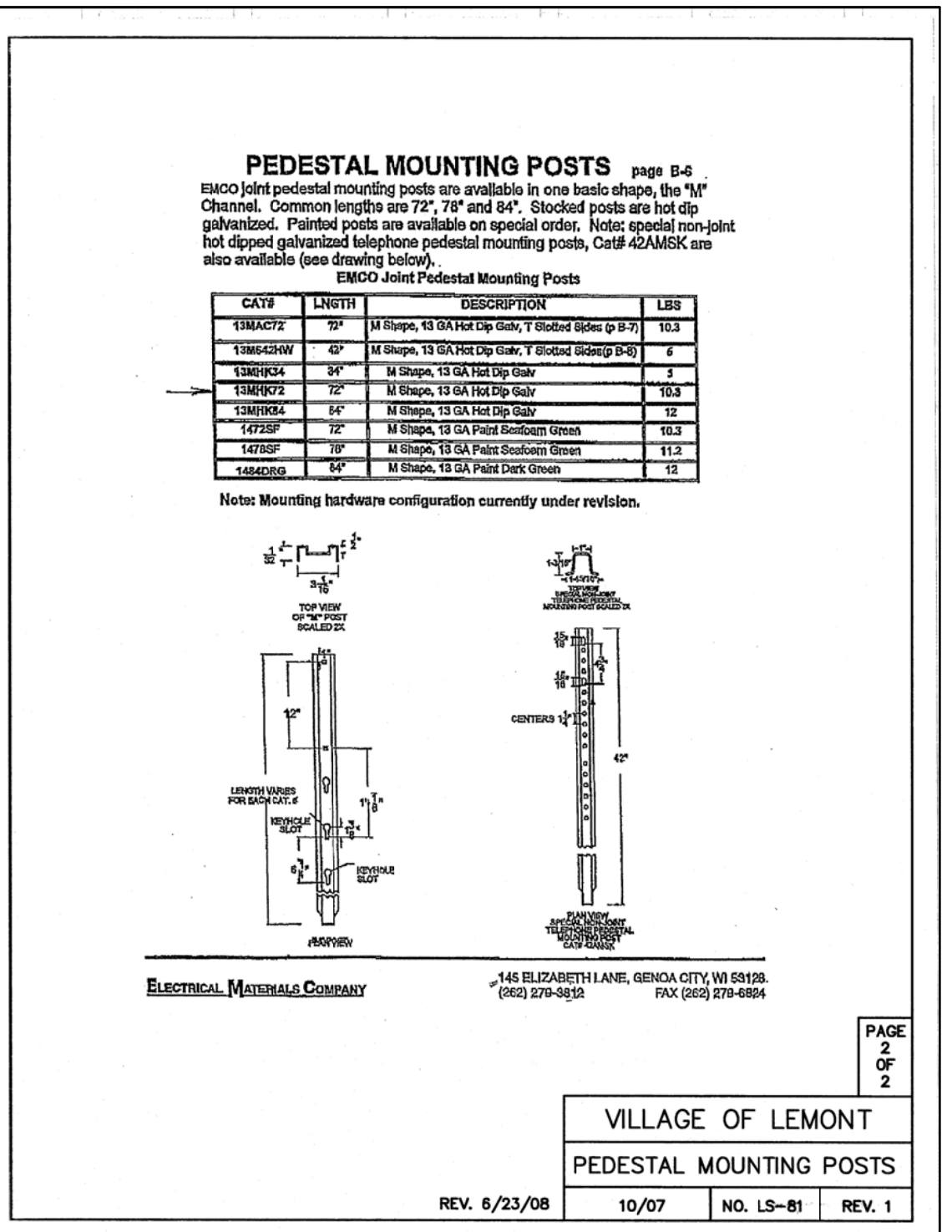
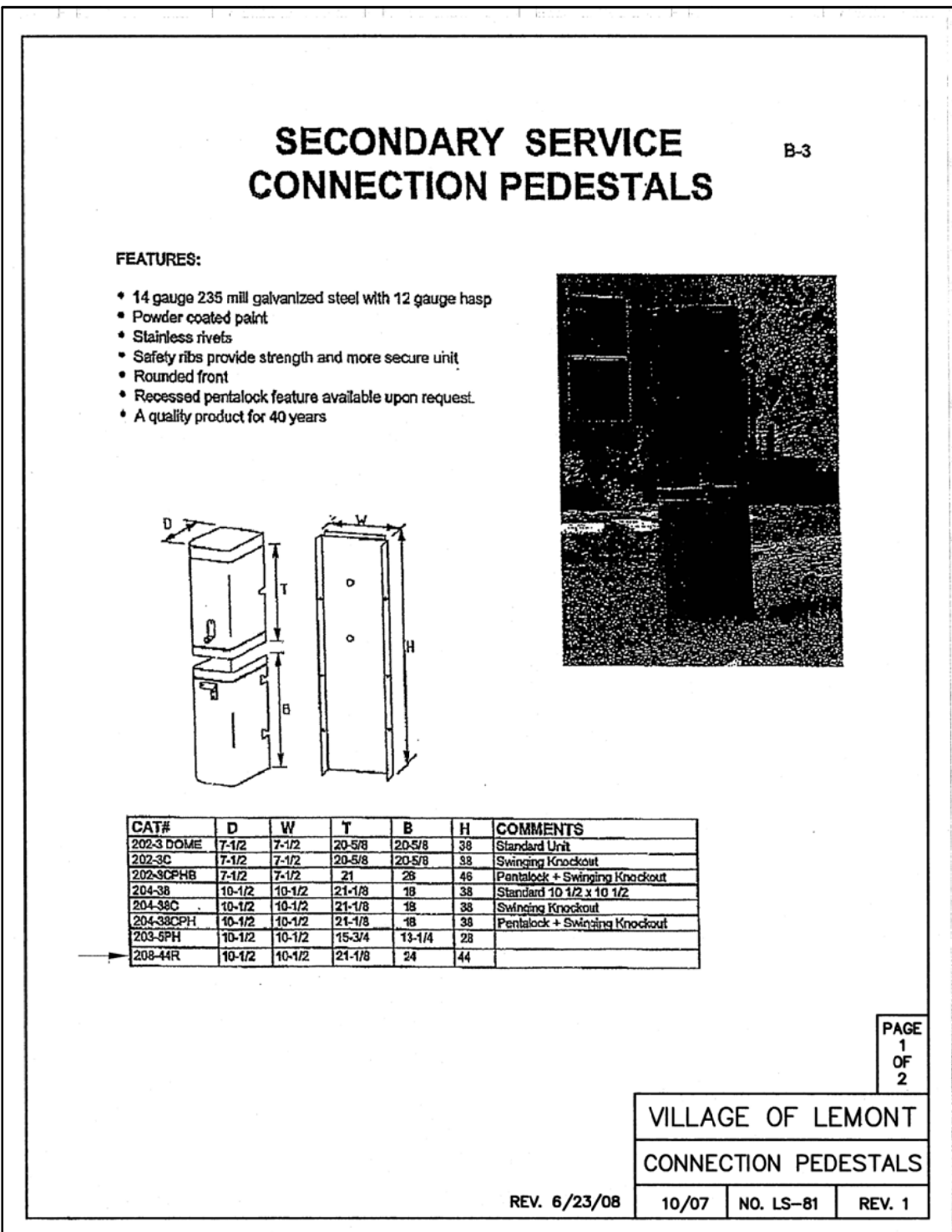
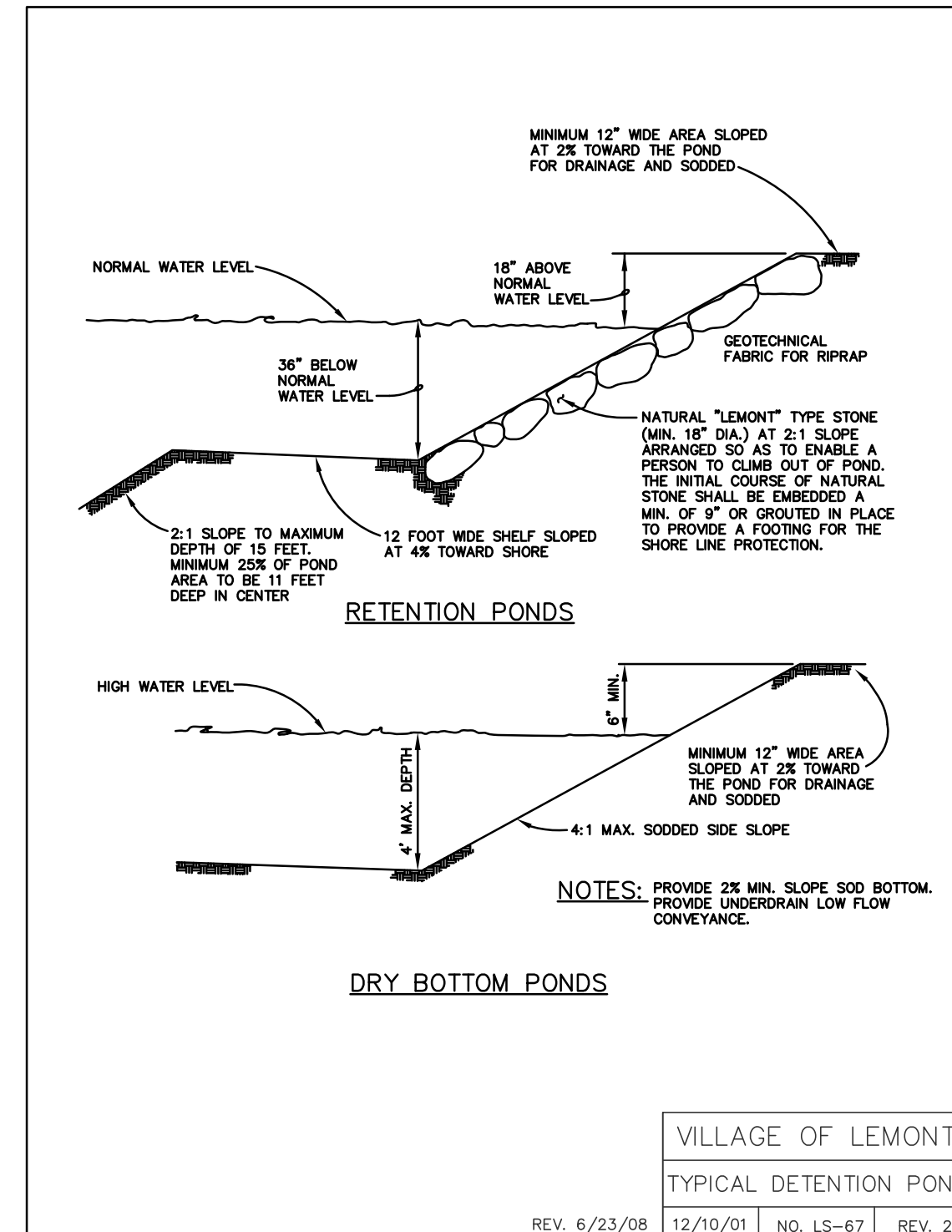


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M.L. <td>2/12/15 <td>VILLAGE COMMENTS <td>M.L.</td> </td></td>	2/12/15 <td>VILLAGE COMMENTS <td>M.L.</td> </td>	VILLAGE COMMENTS <td>M.L.</td>	M.L.

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 ENGINEERING LLC
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BIRCH PATH P.U.D.
 127TH & I-355, LEMONT, IL
 NOTES & DETAILS

DRAWN BY: T.G.
 DESIGNED BY: B.H.
 CHECKED BY: M.L.
 SHEET
 10 OF 12
 13-04-061



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NOTES & DETAILS

REV. BY	DATE	REVISIONS	T.G.
	3/10/14	ISSUED FOR REVIEW	T.G.
	4/14/14	VILLAGE COMMENTS	T.G.
	5/15/14	VILLAGE COMMENTS	T.G.
	5/27/14	LEGAL DESCRIPTION	T.G.
	6/3/14	VILLAGE ATTORNEY COMMENTS	T.G.
	2/12/15	VILLAGE COMMENTS	M.L.

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SHEET 11 OF 12
13-04-061

GENERAL NOTES

- 1. AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF ALL PHASES OF WORK, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING: VILLAGE OF LEMONT: (630) 257-1580 LANDMARK ENGINEERING: (708) 599-3737
2. UTILITY INFORMATION IS BASED UPON FIELD MEASUREMENTS AND THE BEST AVAILABLE RECORDS. FIELD DATA IS LIMITED TO THAT OF WHICH IS VISIBLE AND CAN BE MEASURED. THIS DOES NOT PRECLUDE THE EXISTENCE OF OTHER UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL NOTIFY J.U.L.I.E. (1-800-892-0123) 48 HOURS PRIOR TO ANY EXCAVATION WORK TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES.
4. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING DOCUMENTS:
*STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS, ILLINOIS DEPARTMENT OF TRANSPORTATION.
STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.
STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, ILLINOIS ENVIRONMENTAL PROTECTION AGENCY DIVISION OF WATER POLLUTION CONTROL.
LEMONT SUBDIVISION DEVELOPMENT ORDINANCE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AS ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION, CURRENT EDITION, SHALL BE CONSULTED. APPROPRIATE CONTROL METHODS SHALL BE APPLIED TO THE SPECIFIC SITUATIONS AND TYPES OF CONSTRUCTION OPERATIONS BEING PERFORMED.
6. NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY ON A HOLIDAY, WEEKEND, OR AFTER 3 P.M. ON THE DAY PRECEDING A HOLIDAY OR A WEEKEND.
7. THE CONTRACTOR SHALL ESTABLISH THE NECESSARY PERFORMANCE BONDS REQUIRED. PERMITS SHALL BE OBTAINED FROM ALL OUTSIDE GOVERNMENTAL AGENCIES HAVING JURISDICTION PRIOR TO INITIATION OF CONSTRUCTION ACTIVITY.
8. THE CONTRACTOR IS RESPONSIBLE FOR HAVING THE MOST RECENT SET OF THE "APPROVED" FINAL ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.
9. THE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
10. CONTRACTOR SHALL RESTORE OFF-SITE SURFACES TO ORIGINAL CONDITION IF DAMAGED BY CONSTRUCTION.
11. THE DEVELOPER IS TO PROVIDE THE VILLAGE ENGINEER WITH RECORD DRAWINGS OF ALL UTILITIES SHOWING LOCATIONS OF ALL SEWER PIPE, MAINS, SERVICE STUBS AND STRUCTURES.
12. THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS AND PROGRAMS INCIDENT THERETO, AND THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONTRACTOR'S FAILURE TO PERFORM OR FURNISH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
13. THE ENGINEER WARRANTS THE DESIGN, RECOMMENDATIONS AND SPECIFICATIONS TO HAVE BEEN PROMULGATED ON CONDITIONS GENERALLY ENCOUNTERED IN THE INDUSTRY. THE ENGINEER ASSUMES NO RESPONSIBILITY WHATSOEVER, WITH RESPECT TO THE DESIGN RECOMMENDATIONS OR SPECIFICATIONS, FOR COMPLEX OR UNUSUAL SOIL CONDITIONS ENCOUNTERED ON THE PROJECT. IT SHALL BE THE OWNERS/BIDDERS RESPONSIBILITY TO ASCERTAIN THE EXACT NATURE OF SUBSURFACE CONDITIONS PRIOR TO THE CONSTRUCTION OF THE IMPROVEMENT.
14. ALL TRENCHES CAUSED BY THE CONSTRUCTION OF SEWERS, WATERMANS, WATER SERVICE PIPES AND IN EXCAVATIONS AROUND CATCH BASINS, MANHOLES, INLETS, AND OTHER APPURTENANCES WHICH OCCUR WITHIN TWO FEET OF THE LIMITS OF EXISTING AND PROPOSED PAVEMENTS, SIDEWALKS AND CURBS AND GUTTERS SHALL BE BACKFILLED WITH TRENCH BACKFILL (AS DEFINED IN SECTION 210 I.D.O.T. STANDARD SPECIFICATIONS).
15. STREET SIGNS SHALL BE ERRECTED AT EACH STREET INTERSECTION, THE TYPE OF SIGN AND LOCATION THEREOF SHALL BE SUBJECT TO THE APPROVAL AND DIRECTION OF THE DEPARTMENT OF PUBLIC WORKS.
16. LANDSCAPE PLAN ON PAGE 8 OF 11 WAS TAKEN DIRECTLY FROM J.G.S. LANDSCAPE ARCHITECTS. NO CONSTRUCTION WAS MADE BY LANDMARK ENGINEERING AND SAID PLAN IS SUBJECT TO APPROVALS.
17. ALL SANITARY AND STORM SEWERS SHALL BE CLEANED AND TELEVISED, PRIOR TO ACCEPTANCE.

WATERMAIN

- 1. WATER SYSTEM CONSTRUCTION SHALL, IN ALL RESPECTS, BE IN ACCORDANCE WITH THE REGULATIONS OF THE ENVIRONMENTAL PROTECTION AGENCY OF THE STATE OF ILLINOIS. WATER SERVICES MUST COMPLY WITH I.E.P.A. TITLE 35, SECTION 653.119. NO CONSTRUCTION SHALL COMMENCE UNTIL A COPY OF A PERMIT FROM THIS AGENCY IS FILED WITH THE VILLAGE AND VILLAGE ENGINEER.
2. ALL WATERMAIN SHALL BE DUCTILE IRON MECHANICAL JOINT, CLASS 52, CEMENT LINED, CONFORMING AWMA C-151, OR AS REQUIRED BY AWMA C-150 FOR VARIOUS DEPTHS. JOINTS SHALL BE PUSH-ON AND MECHANICAL CONFORMING TO AWMA C-111. FITTINGS SHALL BE CAST OR DUCTILE IRON CONFORMING TO AWMA C-110 AND AWMA C-111. STAINLESS STEEL BOLTS AND ACCESSORIES ARE REQUIRED ON ALL WATERMAIN FITTINGS.
3. THE MINIMUM DEPTH OF WATERMAIN FROM THE TOP OF THE PIPE TO THE FINISHED GRADE SHALL BE FIVE AND A HALF (5.5) FEET.
4. POLYVINYL WRAPPING OF ALL WATERMAIN IS REQUIRED FOR ALL DUCTILE IRON PIPE.
5. VALVES SHALL BE EPOXY COATED CLOW-RESILIENT WEDGE WITH NON-RISING STEM GATE VALVES, COUNTER-CLOCKWISE TO OPEN, IN FULL CONFORMANCE WITH AWMA C-509 WITH MECHANICAL JOINT ENDS.
6. ALL VALVES UP TO 6" SHALL BE INSTALLED IN BOXES UNLESS IN PAVEMENT. VALVE VAULTS SHALL HAVE A 48" INSIDE DIAMETER FOR 8" DIAMETER VALVES. PRESSURE CONNECTIONS SHALL BE INSTALLED IN 60" INSIDE DIAMETER VAULTS. VALVE VAULTS SHALL BE PRECAST REINFORCED CONCRETE CONFORMING TO ASTM C-478.
7. VALVE VAULTS REQUIRING OFFSET CONES SHALL BE POSITIONED SO THAT NEITHER THE INSIDE OF THE CONE NOR THE MANHOLE STEPS WILL INTERFERE WITH THE OPERATION OF THE VALVE.
8. VAULTS SHALL NOT HAVE MORE THAN TWO (2) PRECAST CONCRETE ADJUSTING RINGS WITH A TWELVE INCH MAXIMUM TOTAL HEIGHT ADJUSTMENT.
9. CASTINGS SHALL HAVE "WATER" STAMPED ON THE LIDS. CASTINGS SHALL BE NEEHAW R-1689 WITH "WATER" EMBOSSED ON THE LID. MANHOLE STEPS SHALL BE E.J.I.W. 8518 OR STEEL REINFORCED PLASTIC CONFORMING TO O.S.H.A. STANDARDS.
10. BEDDING IS NOT REQUIRED FOR DUCTILE IRON WATERMAIN UNLESS UNSUITABLE SOILS ARE ENCOUNTERED. BEDDING IN THE TRENCH BASE SHALL BE PROVIDED TO FIT THE BELL OF EACH PIPE SECTION. THE TRENCH BASE SHALL BE GRADED TO PROVIDE FULL BEARING SUPPORT ALONG THE ENTIRE LENGTH OF WATERMAIN.
11. ELEVATIONS SHOWN AT FIRE HYDRANTS ARE GROUND ELEVATIONS.
12. ALL DOMESTIC WATER SERVICE SHALL BE CONSTRUCTED OF TYPE K COPPER PIPE, HAVING A MINIMUM INTERNAL DIAMETER OF ONE INCH. SUCH SERVICES SHALL BE EQUIPPED WITH COPPERATION STOP, CURB STOPS AND OTHER NECESSARY FITTINGS IN ACCORDANCE WITH VILLAGE STANDARDS. A CURB STOP AND BOX SHALL BE INSTALLED BETWEEN SEVEN AND EIGHT FEET FROM THE PROPERTY LINE, WITHIN THE PUBLIC RIGHT-OF-WAY, FOR EACH LOT. ALL WATER SERVICE LINES SHALL BE LOCATED AT THE APPROXIMATE CENTER OF EACH LOT AT A MINIMUM DEPTH OF FIVE FEET. THE END OF THE SERVICE LINE SHALL BE MARKED WITH A 4 x 4 WOODEN STAKE PAINTED BLUE.
13. PROVIDE MECHANICAL JOINT THRUST RESTRAINTS AT ALL FITTING AND VALVES MEQA-LUG BY EBMA IRON.
14. CONCRETE THRUST RESTRAINTS SHALL BE PRECAST OR POURED CONCRETE AND PROVIDED AT ALL TEES, PLUGGED ENDS, HYDRANTS AND BENDS BETWEEN 11.25 DEGREES AND 90 DEGREES. CARE SHOULD BE TAKEN WHEN POURING CONCRETE SO THAT THE MIX WILL NOT INTERFERE WITH ACCESS TO JOINTS OR WITH HYDRANT DRAINAGE.
15. CASING PIPES SHALL BE STEEL CONFORMING TO ASTM A-120 WITH 0.375 INCH MINIMUM THICKNESS.
16. WHENEVER A SEWER CROSSES OVER A WATERMAIN, THE SEWER SHALL HAVE JOINTS AND JOINT MATERIALS MEETING SPECIFICATIONS C-443 (RCP) AND C-425 (CLAY), FOR A MINIMUM OF 10 FEET ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATERMAIN. A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED. THE SEWER SHALL BE SUPPORTED TO PREVENT SETTLING AND BREAKING THE WATERMAIN.
17. HORIZONTAL SEPARATION:
A.) A WATERMAIN SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED STORM OR SANITARY SEWER LINE.
B.) SHOULD LOCAL CONDITIONS PREVAIL WHICH WOULD PREVENT A LATERAL SEPARATION OF TEN (10) FEET, A WATERMAIN MAY BE LAID CLOSER THAN TEN (10) FEET PROVIDED THAT THE MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER AND AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATERMAIN IS AT LEAST EIGHTEEN INCHES ABOVE THE TOP OF THE SEWER. IN SUCH CASES, WATERMAIN SHALL BE LAID WITH AS MUCH HORIZONTAL CLEARANCE FROM THE SEWER AS POSSIBLE.
C.) IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED IN SUBSECTIONS (A) OR (B) ABOVE, BOTH THE WATERMAIN AND THE LENGTH OF SEWER BETWEEN ADJACENT MANHOLES SHALL BE CONSTRUCTED OF PUSH-ON OR MECHANICAL JOINT DUCTILE IRON PIE, OR PRESTRESSED CONCRETE PIPE, AND SHALL BE PRESSURE-TESTED TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.

VERTICAL SEPARATION:

- A.) WHENEVER A WATERMAIN MUST CROSS HOUSE SEWERS, STORM DRAINS OR SANITARY SEWER, THE WATERMAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATERMAIN IS EIGHTEEN (18) INCHES ABOVE THE TOP OF THE DRAIN OR SEWER. THIS VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN (10) FEET, HORIZONTALLY, OF ANY SEWER OR DRAIN CROSSED. SAID TEN (10) FEET IS TO BE MEASURED HORIZONTALLY FROM THE WATERMAIN TO THE DRAIN OR SEWER.
B.) WHERE CONDITIONS EXIST THAT THE MINIMUM VERTICAL SEPARATION SET FORTH IN A SUBSECTION ABOVE CANNOT BE MAINTAINED, OR IT IS NECESSARY FOR THE WATERMAIN TO PASS UNDER A SEWER OR DRAIN, THE FOLLOWING MEASURE MUST BE TAKEN:
1.) THE STORM SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING (SEE WATERMAIN NOTE #2 FOR SPECIFICATIONS).
19. INSTALLED WATERMAIN SHALL BE PRESSURE TESTED AND CHLORINATED UNDER THE DIRECTION OF THE DEPARTMENT OF PUBLIC WORKS PRIOR TO FINAL ACCEPTANCE.
20. ALL WATER VALVE VAULTS SHALL HAVE INF-SHIELD SEALS (EXTERIOR).

STORM SEWER

- 1. REINFORCED CONCRETE PIPE STORM SEWER SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C-76 CLASS IV. DUCTILE IRON PIPE STORM SEWER SHALL MEET OR EXCEED THE REQUIREMENTS OF ASA A21.51, CLASS 52 CEMENT-LINED, POLYVINYL CHLORIDE PIPE STORM SEWER SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM D-2241.
2. SEWER PIPE JOINTS SHALL BE BELL AND SPIGOT TYPE WITH "O" RING GASKETS - ASTM C-443 FOR RCP AND SHALL BE PUSH-ON (BELL-TITE) FOR DUCTILE IRON PIPE.
3. MANHOLES AND CATCH BASINS SHALL BE PRECAST REINFORCED CONCRETE - ASTM C-478 CONFORMING TO THE FOLLOWING MINIMUM SIZE CRITERIA UNLESS SPECIFIED OTHERWISE:
* FOR SEWER EIGHTEEN (18) INCH DIAMETER OR LESS, MANHOLE SHALL HAVE A FORTY-EIGHT (48) INCH INSIDE DIAMETER UNLESS OTHERWISE NOTED.
* FOR SEWER TWENTY-ONE (21) INCH TO FORTY-TWO (42) INCH DIAMETER, MANHOLE SHALL HAVE A SIXTY (60) INCH INSIDE DIAMETER.
* FOR SEWER GREATER THAN FORTY-TWO (42) INCH DIAMETER, MANHOLE SHALL HAVE A SEVENTY-TWO (72) INCH INSIDE DIAMETER.
4. NO MORE THAN TWO PRECAST ADJUSTING RINGS WITH A TWELVE INCH MAXIMUM HEIGHT ADJUSTMENT SHALL BE ALLOWED.
5. STORM SEWER MANHOLE JOINTS SHALL BE SEALED WITH PORTLAND CEMENT MORTAR, "O" RING GASKETS, OR MASTIC MATERIAL.
6. MANHOLE FRAME AND COVER CASTINGS SHALL BE E.J.I.W. NO. 1058 OR NEEHAW R-1550, EMBOSSED "STORM" ON A TYPE A HEAVY DUTY COVER. ROLLED CURB & GUTTER INLET CASTINGS SHALL BE E.J.I.W. NO. 7525 OR NEEHAW R-3501-P. INLETS AND CATCH BASIN CASTINGS IN GRASSY AREAS SHALL BE NEEHAW R-4340-B "BEEHIVE" GRATE.
7. MANHOLE STEPS SHALL BE SIXTEEN (16) INCHES ON CENTER, CAST IN PLACE, E.J.I.W. 8518, OR STEEL REINFORCED PLASTIC CONFORMING TO O.S.H.A. STANDARDS.
8. INLETS SHALL BE TWENTY-FOUR (24) INCH DIAMETER PRECAST REINFORCED CONCRETE CONFORMING ASTM C-478.
9. SEE MWRD NOTE #6 FOR BEDDING CONDITIONS.
10. RIM GRADES IN CURB AND GUTTER ARE EDGE OF PAVEMENT ELEVATIONS.
11. ALL EXISTING FIELD TILE AND/OR DRAIN PIPES ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. IF THIS CANNOT BE ACCOMPLISHED THEN IT SHALL BE REPAIRED WITH A NEW PIPE OF SIMILAR IN SIZE AND MATERIAL TO THE ORIGINAL LINE AND GRADE AND PUT INTO AN ACCEPTABLE OPERATION CONDITION. A RECORD OF FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER ON COMPLETION OF THE PROJECT. THE COST OF THIS WORK IS CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
12. ALL FOOTING DRAINS AND DOWNSPOUTS SHALL DISCHARGE TO THE STORM SYSTEM OR OVER GROUND.
13. ANY PIPES OR MANHOLES CONTAINING DEBRIS OR SEDIMENT SHALL BE CLEANED PRIOR TO ACCEPTANCE.
14. ALL STORM SEWER STRUCTURES SHALL HAVE INF-SHIELD SEALS (EXTERIOR).
15. ALL PIPE CONNECTION OPENINGS (AT MANHOLES, CATCH BASINS AND INLETS) SHALL BE PRECAST WITH RESILIENT RUBBER WATER-TIGHT PIPE TO MANHOLE SLEEVES OR SEALS, PER ASTM C-923.
16. BACKFILLING OF THE TRENCH SHALL BE ACCOMPLISHED BY CAREFUL REPLACEMENT OF THE EXCAVATED MATERIAL AFTER THE PIPE, BEDDING, AND THE COVER MATERIAL HAVE BEEN INSTALLED. ANY PIPE INSTALLED UNDER OR WITHIN TWO (2) FEET OF A PAVEMENT EDGE, CURB AND GUTTER, OR SIDEWALK SHALL BE BACKFILLED TO THE TOP OF THE TRENCH WITH CA-7 MATERIAL.

PAVEMENT, SIDEWALK AND CURB & GUTTER

- 1. PAVEMENT THICKNESS SHALL COMPLY WITH THE VILLAGE OF LEMONT REQUIREMENTS.
2. SIDEWALK SHALL BE 5" PORTLAND CEMENT CONCRETE, FIVE (5) FEET WIDE, AND INSTALLED ONE (1) FOOT OFF OF THE RIGHT OF WAY LINE WITHIN THE PUBLIC RIGHT OF WAY.
3. HANDICAPPED RAMPS AND DEPRESSED CURBS SHALL BE PROVIDED WHEREVER SIDEWALK INTERSECTS CURB IN ACCORDANCE WITH IDOT SPECIFICATIONS.
4. THE CURB & GUTTER BASE COURSE SHALL BE CA-8, TRIMMED OR FILLED AS NECESSARY TO PROVIDE A FULL DEPTH CURB & GUTTER. PRIOR TO CONCRETE PLACEMENT, THE BASE SHALL BE COMPACTED AND PROOF - ROLLED.
5. EXPANSION JOINTS SHALL BE PLACED, AS A MINIMUM, AT ALL CURB RADIUS POINTS AND ALL CONSTRUCTION JOINTS IN THE CURB, AND SHALL CONSIST OF 3/4 INCH THICK PREFORMED EXPANSION JOINT FILLER AND DOWELS WITH END CAPS.
6. CONTRACTION JOINTS SHALL BE SAW CUT AT 20 FOOT MAXIMUM INTERVALS TO A DEPTH OF 2 INCHES. CONTRACTION JOINT SPACES SHALL BE SEALED WITH A COLD POURED JOINT COMPOUND. CONCRETE CURING COMPOUND SHALL BE APPLIED AS FINISHING WORK PROCEEDS.
7. THE CONTRACTOR SHALL BACKFILL CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO PLACEMENT OF BASE COURSE MATERIALS. THE CURB IS TO BE SAW CUT WITHIN 24 HOURS AFTER PLACEMENT. GUTTER FITTER SHALL BE REVERSED WHERE APPROPRIATE FOR DRAINAGE.
8. ALL CURBS CONSTRUCTED OVER A UTILITY TRENCH SHALL BE REINFORCED WITH TWO #4 REBARS FOR A LENGTH OF 20 FEET CENTERED OVER THE TRENCH. SIDEWALKS SHALL BE TREATED IN THE SAME MANNER USING THREE #6 REBARS.
9. PRIOR TO PLACING ANY PAVEMENT MATERIAL, THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY PREPARING AND COMPACTING THE SUBGRADE. BOTH THE CURB & GUTTER AND PAVEMENT BASE COURSE SHALL BE PROOF ROLLED WITH A FULLY LOADED DUMP TRUCK. THE ENGINEER SHALL BE NOTIFIED AT LEAST 24 HOURS BEFORE PROOF ROLLING. ADDITIONAL PROOF ROLLS MAY BE NECESSARY TO VERIFY THAT ANY UNSTABLE AREAS HAVE BEEN REPAIRED. NO PACEMENT MATERIAL IS TO BE PLACED ON A WET OR SOFT SUBGRADE.
10. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO A NEAT EDGE ALONG LIMITS OF PROPOSED REMOVAL BEFORE REMOVAL OPERATION BEGINS.
11. THE CONTRACTOR SHALL CONTACT PUBLIC WORKS AT (630) 257-2532 48 HOURS PRIOR TO:
1. COMMENCING CONSTRUCTION;
2. ANY UNDERCUTTING AND UNSUITABLE EXCAVATION AND REPLACEMENT;
3. THE INSTALLATION OF THE AGGREGATE BASE COURSE SO THAT THE SUBGRADE COMPACTION MAY BE TESTED FOR COMPLIANCE WITH THE SPECIFICATIONS. NO AGGREGATE COURSE SHALL BE PLACED WITHOUT APPROVAL;
4. THE INSTALLATION OF THE BITUMINOUS CONCRETE BINDER COURSE SO THAT THE AGGREGATE BASE MAY BE CHECKED. THE BINDER SHALL NOT BE PLACED UNTIL APPROVAL IS OBTAINED;
5. THE INSTALLATION OF THE BITUMINOUS CONCRETE SURFACE COURSE SO THAT THE BINDER COURSE MAY BE CHECKED. THIS WORK SHALL NOT BE COMPLETED UNTIL 80% OF THE HOMES ARE DEVELOPED AND APPROVAL IS OBTAINED.

SITE GRADING

- 1. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS MAY REQUIRE EARTH EXCAVATION AND COMPACTED EARTH FILL MATERIAL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS.
2. PLACEMENT OF THE EXCAVATED MATERIAL SHALL BE IN AREAS DESIGNATED BY THE OWNER FOR FUTURE USE, WITHIN AREAS TO BE LANDSCAPED, AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL.
3. COMPACTION OF THE EXCAVATED MATERIAL PLACED IN AREAS NOT REQUIRING STRUCTURAL FILL SHALL BE MODERATE.
4. EXCESS MATERIALS, IF NOT UTILIZED AS FILL OR IF NOT STOCKPILED FOR FUTURE LANDSCAPING, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF BY THE CONTRACTOR.
5. EXCAVATION OF EARTH AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL: THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.3" +/- OF THE PLAN SUBGRADE ELEVATIONS. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIAL SHALL BALANCE AS PART OF THE FINE GRADING OPERATION.
6. PLACEMENT AND COMPACTION OF THE MATERIALS SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATIONS.
7. THE CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
8. PAYMENT FOR THE REMOVAL OF UNSUITABLE MATERIAL (EXCLUDING TOPSOIL EXCAVATION) SHALL BE BASED ON THE QUANTITIES AS FIELD MEASURED BY THE ENGINEER. THE CONTRACTOR SHALL PROVIDE AS PART OF HIS BID A UNIT PRICE PER CUBIC YARD FOR THE REMOVAL OF UNSUITABLE MATERIAL. SAID UNIT PRICE SHALL INCLUDE THE COMPLETE REMOVAL OF THE MATERIAL, REPLACEMENT WITH A SUITABLE MATERIAL OBTAINED BY THE CONTRACTOR FROM A BORROW SOURCE, AND COMPACTION TO THE REQUIRED SPECIFICATION OF THE VILLAGE.

MWRDGC NOTES:

- 1. THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055).
2. ELEVATION DATUM IS NAVD 88.
3. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
4. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
5. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO:

Table with 2 columns: PIPE MATERIAL SPEC. and JOINT SPEC. Rows include Vitrified Clay Pipe, Concrete Pipe C-14, ABS Sewer Pipe, and Composite/Truss Pipe.

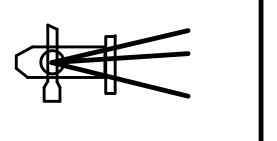
NOTE: THE DISTRICT HAS APPROVED LESS COMMON PIPE MATERIALS ON A QUALIFIED BASIS IN ADDITION TO THOSE ABOVE. PLEASE CONTACT THE DISTRICT IF CONSIDERING USING PIPE NOT LISTED ABOVE.

- 6. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1/2" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
7. "BAND SEAL" OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR MATERIALS.
8. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
1. CURCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-WYE SADDLE OR HUB-TEE SADDLE.
2. REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
3. WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
9. WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMANS SHALL BE MAINTAINED UNLESS THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED ABOVE CAN NOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATERMAIN, THE SEWER SHALL BE CONSTRUCTED TO WATERMAIN STANDARDS.
10. ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
11. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE. ALL INLET & OUTLET PIPES OF SANITARY MANHOLES & OTHER UNDERGROUND STRUCTURES (AND IN COMBINED SEWER AREAS, ALSO ALL COMBINED/STORM SEWER MANHOLES, CATCH BASINS, INLETS & UNDERGROUND DETENTION STORAGE STRUCTURES) SHALL BE JOINED WITH WATER TIGHT FLEXIBLE RUBBER CONNECTIONS, CONFORMING TO A.S.T.M. C-443 & C-923 WITH STAINLESS STEEL BAND.
12. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED WITH CONCRETE/ MORTAR NON-SHEDDING GROUT OF TWO FEET LONG FROM BOTH ENDS OF THE PIPE.

Table with 2 columns: REVISIONS and REV. BY. Rows include T.G., T.G., T.G., T.G., M.L., M.L.

Table with 2 columns: DATE and ISSUED FOR REVIEW. Rows include 3/10/14, 4/14/14, 5/5/14, 5/27/14, 6/3/14, 12/1/14, 2/12/15.

LANDMARK ENGINEERING LLC logo and contact information: 7808 WEST 103RD STREET, PALOS HILLS, ILLINOIS 60465-1529. Phone: (708) 599-3737. Fax: (708) 599-2291.



BIRCH PATH P.U.D. 127TH & I-355, LEMONT, IL NOTES & DETAILS. DRAWN BY: T.G. DESIGNED BY: B.H. CHECKED BY: M.L. SHEET 12 of 12 13-04-061

VILLAGE OF LEMONT
ORDINANCE NO. 0-76-14

**AN ORDINANCE GRANTING FINAL PUD PLAN/PLAT APPROVAL FOR A
NINETEEN-LOT RESIDENTIAL SUBDIVISION LOCATED SOUTH OF 127th
STREET AND WEST OF INTERSTATE 355 IN LEMONT, IL.**

(Birch Path)

**ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT
THIS 8th DAY OF DECEMBER, 2014**

**PUBLISHED IN PAMPHLET FORM BY
AUTHORITY OF THE PRESIDENT AND
BOARD OF TRUSTEES OF THE VILLAGE
OF LEMONT, COOK, WILL AND DUPAGE
COUNTIES, ILLINOIS,
THIS 8th DAY OF DECEMBER 2014**

ORDINANCE NO. 0-76-14

AN ORDINANCE GRANTING FINAL PUD PLAN/PLAT APPROVAL FOR A NINETEEN-LOT RESIDENTIAL SUBDIVISION LOCATED SOUTH OF 127th STREET AND WEST OF INTERSTATE 355 IN LEMONT, IL.

(Birch Path)

WHEREAS, Lemont 19, LLC (hereinafter referred to as “Petitioner”) is the owner of the subject property covering approximately 6.5 acres located south of 127th St, west of Interstate 355 (PIN# 22-31-200-007) which is legally described and depicted in the Final Plat of Subdivision titled “Birch Path Planned Unit Development” attached hereto and incorporated herein as Exhibit A; and

WHEREAS, the Petitioner applied for preliminary plan/plat approval, special use for a planned unit development, and zoning map amendment to Lemont R-4 Single-family Residential District for a planned unit development consisting of a 19 unit single-family detached residential subdivision; and

WHEREAS, said application was reviewed in accordance with the Lemont Unified Development Ordinance of 2008 (Chapter 17 of the Lemont, Illinois Municipal Code) (hereinafter referred to as “UDO”) and approved by the Village Board of Trustees on June 9, 2014; and

WHEREAS, the Petitioner has submitted a PUD Final Plan/Plat consisting of the following (hereinafter referred to as “Birch Path PUD Final Plan/Plat”):

1. Birch Path Grading Plan, prepared by Landmark Engineering, LLC. and dated 12/1/14, attached hereto and incorporated herein as Exhibit B; and
2. Birch Path Final Landscape Plan prepared by Landmark Engineering, LLC. and dated 12/1/14, attached hereto and incorporated herein as Exhibit C; and
3. Residential Plans consisting of 6 base models, attached hereto and incorporated herein as Exhibit D; and

WHEREAS, the Planning & Zoning Commission (PZC) held a hearing for this matter on October 15, 2014 and reviewed the Birch Path PUD Final Plan/Plat and found the documents to be in substantial compliance with the approved PUD Preliminary Plan/Plat.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE, AND WILL, ILLINOIS:

SECTION 1: Incorporation of Recitals. The foregoing findings and recitals are hereby adopted as Section 1 of this Ordinance and are incorporated by reference as if set forth verbatim herein.

SECTION 2: Plat Approval. Subject to the conditions set forth in this Ordinance, the Village Board shall and does hereby approve the Birch Path PUD Final Plan/Plat

SECTION 3: Conditions. The approvals set forth in this Ordinance are contingent upon the following conditions:

1. **General Conditions.** Unless otherwise approved by the Village Board the Subject Property shall be maintained in accordance with Village Code, the approved plans, the Annexation Agreement pertaining to the Subject Property and the exhibits to this Ordinance.
2. **Specific Conditions.** The following specific conditions shall apply to the entire development and all single family units to be constructed, unless otherwise limited below.
 - A) **Anti-monotony.** Six home models (Labeled A-F) are identified in Exhibit D. The subdivision shall include one of each model's base elevation as shown in Exhibit D. The remaining lots shall be constructed with alternate front elevations of the six models. Each model's alternate elevation must meet the standards of UDO §17.22.020, Design Variety in Residential Construction when compared against the base elevation of the model. Additionally, the following standards shall apply for the construction of the models included in Exhibit D:
 - a. A specific model cannot be located immediately adjacent to the same specific model.
 - b. If a model is proposed to be located within two lots of or across the street from the same model, it must be a differing elevation of the existing model (i.e. alternate elevation vs. base elevation).
 - c. No one model, including its base elevation and alternate elevation, can be constructed on more than 7 lots.

Models that are not included in Exhibit D or an alternate elevation of one of the 6 models contained in Exhibit D, but are comparable in architectural style to the approved residential designs shall be processed as a minor amendment to the PUD.

B) Garages.

- a. At least 6 homes shall be constructed with side-loaded garages. A reduction to the minimum number of required side-loaded garages can be requested and shall be evaluated as a minor amendment to the PUD.
- b. No more than 7 homes shall have front-loaded garages that protrude more than 10ft from the plane of the front elevation of the home, as defined in Figure 17-22-01 of the UDO.
- c. Windows shall be required on the garage doors of all front-loading garages.
- d. No more than 6 homes shall have a 3-car garage, regardless if such garage is a front or side loaded garage.

C) Masonry

- a. Masonry shall extend from grade to the lowest sill of the first floor windows on all sides of all single family units, but in no case shall be less than 3 feet.
- b. Brick and stone veneer shall be anchored veneer. Adhered brick and stone veneer systems shall not be permitted, except adhered natural stone veneer shall be permitted for porch columns.

D) Other Exterior Materials & Features

- a. Siding shall be cement fiber board, LP Smart Side® or a comparable product of similar style and quality as approved by the Village Planning & Economic Development Director.
- b. All windows shall include window trim. Windows that do not include shutters shall have a minimum 3.5” trim around the entire window.
- c. Shutters shall be the lesser of 15” wide or half the width of the adjacent window.
- d. Architectural elements such as shutters and window mullions that are present on the front elevation shall be included on all sides of the home unless the inclusion of the element will detract from the architectural style of the home, as determined by the Village Planning & Economic Development Director.

E) Homeowner’s Association Establishment

- a. The Petitioner shall establish a Homeowner’s Association prior to the issuance of a site development permit.

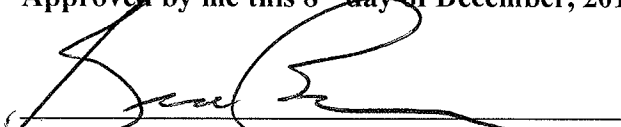
SECTION 4: That the Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

SECTION 5: That this Ordinance shall be in full force and effect from and after its passage, approval and publication provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE AND WILL, ILLINOIS, ON THIS 8th DAY OF DECEMBER, 2014.

	<u>AYES</u>	<u>NAYS</u>	<u>ABSENT</u>	<u>ABSTAIN</u>
Debby Blatzer	✓			
Paul Chialdikas	✓			
Clifford Miklos	✓			
Ron Stapleton	✓			
Rick Sniegowski	✓			
Jeanette Virgilio			✓	

Approved by me this 8th day of December, 2014


BRIAN K. REAVES, Village President

Attest:


CHARLENE M. SMOLLEN, Village Clerk Deputy Clerk

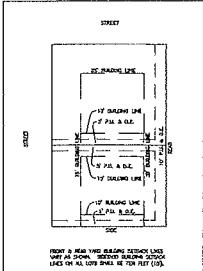
BIRCH PATH PLANNED UNIT DEVELOPMENT

EXHIBIT A

IN THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 27 NORTH, RANGE 11 EAST
OF THE 1989 PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS.

COOK COUNTY P.L.M.
20-31-000-000-0000
SEND FUTURE TAX BILLS TO:
LENDING 15, LLC
11221 S. HERRIN AVENUE
EVALES PARK, IL 60154

NO CORRECT ACCESS SHALL BE ALLOWED TO
EASER (EXCEPT FROM LOTS 7 THROUGH 15
OR FROM OUTLOT B) ACCESS FOR
MOTORISTS SHALL BE FROM OUTLOT C
ONLY, THROUGH AGREEMENT WITH THE
ILLINOIS STATE TOLL TROOP AUTHORITY.



TYPICAL LOT EASEMENT DETAIL
STANDARD EASEMENT # 10000

FRONT & REAR YARD SETBACKS SHALL BE AS SHOWN. SETBACKS SHALL BE 10' FROM THE FRONT & REAR YARD LINES ON ALL LOTS EXCEPT LOT 10.

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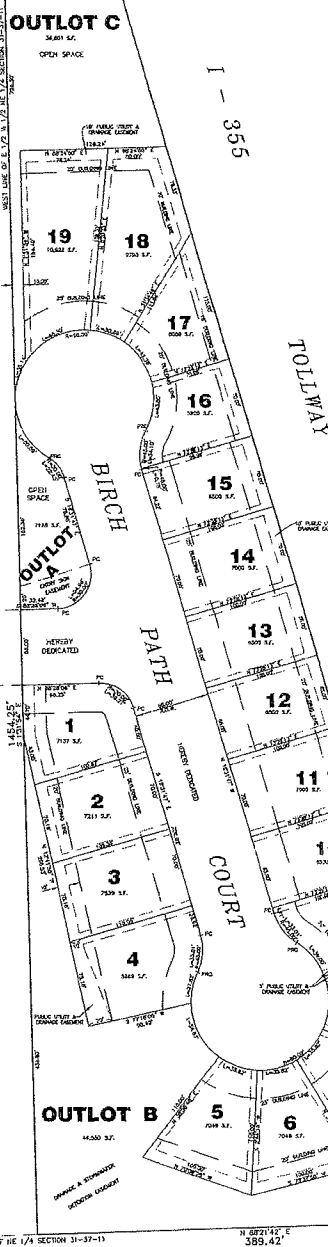
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OWNER'S CERTIFICATE
LENDING 15, LLC HEREBY CERTIFIES THAT IT IS THE OWNER OF THE PROPERTY DESCRIBED HEREIN AND THAT, AS SUCH OWNER, IT HAS CAUSED SAID PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN HEREON, AS ITS OWN FREE AND VOLUNTARY ACT AND DEED. IT HEREBY REQUESTS FOR PUBLIC USE OF THE LANDS SHOWN ON THIS PLAN AS "VEHICLE EGRESS" AND THAT SAID EGRESS, STREETS, DRIVEWAYS AND PUBLIC SERVICES (IF ANY) SHALL BE PROVIDED BY THE STATE OF ILLINOIS AND ANY OTHER PUBLIC OR PRIVATE UTILITY COMPANIES AS SHOWN ON THIS PLAN AND THAT THE PROPOSED ASSOCIATION WILL OWN AND MAINTAIN UTILITIES A AND C. IT FURTHER CERTIFIES THAT THERE ARE NO UNPAID DEFERRED SETTLEMENTS OF ANY SPECIAL ASSESSMENTS AFFECTING THE LANDS DESCRIBED AND SHOWN ON THIS PLANNED UNIT DEVELOPMENT. IT FURTHER CERTIFIES THAT TO THE BEST OF ITS KNOWLEDGE, SAID PROPERTY LIES WITHIN COLUMBIAN SCHOOL DISTRICT 113A, HIGH SCHOOL DISTRICT 210 AND JAMES COLLIER SCHOOL DISTRICT 225.

DATED THIS 26th DAY OF November, A.D. 2014.
BY: LENDING 15 LLC
John A. Ford, Manager
JOHN MICHAEL FORD, Manager
STATE OF ILLINOIS
COUNTY OF COOK

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DO HEREBY CERTIFY THAT JOHN MICHAEL FORD OF LENDING 15, LLC, WHO IS PERSONALLY KNOWN TO ME TO BE THE SAID OWNER, HAS BEEN PERSONALLY KNOWN TO ME TO BE THE SAID OWNER AND VALIDATED THIS INSTRUMENT AS HIS FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF JOHN MICHAEL FORD AND JOHN MICHAEL FORD, HIS HUSBAND, ON 11/20/2014.
C. J. McLaughlin, Notary Public

SURFACE WATER DRAINAGE CERTIFICATE
TO THE BEST OF OUR KNOWLEDGE AND BELIEF, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND EXTENSION OF SURFACE WATERS INTO PUBLIC AREAS OR DRAINAGE CANALS THAT THE SUBDIVISION HAS A RIGHT TO USE, AND THAT SAID SURFACE WATER WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES AND TO PREVENT THE OCCURRENCE OF DAMAGE TO ADJACENT PROPERTIES BECAUSE OF THE CONSTRUCTION OF THIS PLANNED UNIT DEVELOPMENT.
DATED THIS 26th DAY OF November, A.D. 2014.
John A. Ford, Manager
OWNER
C. J. McLaughlin, Notary Public
NOTARY PUBLIC

VILLAGE ENGINEER CERTIFICATE
I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DO HEREBY CERTIFY THAT JOHN MICHAEL FORD OF LENDING 15, LLC, WHO IS PERSONALLY KNOWN TO ME TO BE THE SAID OWNER, HAS BEEN PERSONALLY KNOWN TO ME TO BE THE SAID OWNER AND VALIDATED THIS INSTRUMENT AS HIS FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF JOHN MICHAEL FORD AND JOHN MICHAEL FORD, HIS HUSBAND, ON 11/20/2014.
C. J. McLaughlin, Notary Public

VILLAGE TREASURER CERTIFICATE
I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DO HEREBY CERTIFY THAT JOHN MICHAEL FORD OF LENDING 15, LLC, WHO IS PERSONALLY KNOWN TO ME TO BE THE SAID OWNER, HAS BEEN PERSONALLY KNOWN TO ME TO BE THE SAID OWNER AND VALIDATED THIS INSTRUMENT AS HIS FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF JOHN MICHAEL FORD AND JOHN MICHAEL FORD, HIS HUSBAND, ON 11/20/2014.
C. J. McLaughlin, Notary Public

PRESIDENT & BOARD OF TRUSTEES CERTIFICATE
APPROVED AND ACCEPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LENDING, COOK COUNTY, ILLINOIS, AT A PUBLIC MEETING HELD ON THIS 26th DAY OF November, A.D. 2014.
John A. Ford, Manager
OWNER
C. J. McLaughlin, Notary Public

PUBLIC UTILITY & DRAINAGE EASEMENT PROVISIONS
IN SUCH EXTENT AS NECESSARY TO PROVIDE FOR THE COLLECTION AND EXTENSION OF SURFACE WATERS INTO PUBLIC AREAS OR DRAINAGE CANALS THAT THE SUBDIVISION HAS A RIGHT TO USE, AND THAT SAID SURFACE WATER WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES AND TO PREVENT THE OCCURRENCE OF DAMAGE TO ADJACENT PROPERTIES BECAUSE OF THE CONSTRUCTION OF THIS PLANNED UNIT DEVELOPMENT.

DRAINAGE AND STORMWATER DETENTION EASEMENT
IN SUCH EXTENT AS NECESSARY TO PROVIDE FOR THE COLLECTION AND EXTENSION OF SURFACE WATERS INTO PUBLIC AREAS OR DRAINAGE CANALS THAT THE SUBDIVISION HAS A RIGHT TO USE, AND THAT SAID SURFACE WATER WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES AND TO PREVENT THE OCCURRENCE OF DAMAGE TO ADJACENT PROPERTIES BECAUSE OF THE CONSTRUCTION OF THIS PLANNED UNIT DEVELOPMENT.

SUBDIVISION ENTRY SIGN EASEMENT PROVISIONS
A PERPETUAL EASEMENT IS HEREBY RESERVED AND GRANTED TO THE HOMEOWNERS ASSOCIATION FOR THE HOMEOWNERS ASSOCIATION AND THE VILLAGE OF LENDING, THEIR SUCCESSORS AND ASSIGNS, OVER UPON, UNDER, THROUGH, AND ALONG ALL AREAS SHOWN ON THIS PLAN AS "VEHICLE EGRESS" AND THAT SAID EGRESS, STREETS, DRIVEWAYS AND PUBLIC SERVICES (IF ANY) SHALL BE PROVIDED BY THE STATE OF ILLINOIS AND ANY OTHER PUBLIC OR PRIVATE UTILITY COMPANIES AS SHOWN ON THIS PLAN AND THAT THE PROPOSED ASSOCIATION WILL OWN AND MAINTAIN UTILITIES A AND C. IT FURTHER CERTIFIES THAT THERE ARE NO UNPAID DEFERRED SETTLEMENTS OF ANY SPECIAL ASSESSMENTS AFFECTING THE LANDS DESCRIBED AND SHOWN ON THIS PLANNED UNIT DEVELOPMENT. IT FURTHER CERTIFIES THAT TO THE BEST OF ITS KNOWLEDGE, SAID PROPERTY LIES WITHIN COLUMBIAN SCHOOL DISTRICT 113A, HIGH SCHOOL DISTRICT 210 AND JAMES COLLIER SCHOOL DISTRICT 225.

LAND SURVEYOR CERTIFICATE
I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DO HEREBY CERTIFY THAT JOHN MICHAEL FORD OF LENDING 15, LLC, WHO IS PERSONALLY KNOWN TO ME TO BE THE SAID OWNER, HAS BEEN PERSONALLY KNOWN TO ME TO BE THE SAID OWNER AND VALIDATED THIS INSTRUMENT AS HIS FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF JOHN MICHAEL FORD AND JOHN MICHAEL FORD, HIS HUSBAND, ON 11/20/2014.
C. J. McLaughlin, Notary Public

PRODUCED BY A S.M.L. CO.
LANDMARK
ENGINEERING LLC
15001 PARK VILLAGE DRIVE, SUITE 100
PALOS HILLS, ILLINOIS 60465-1529
PHONE (708) 589-1737
SURVEY NO. 13-04-091-SUB-B

EXHIBIT B

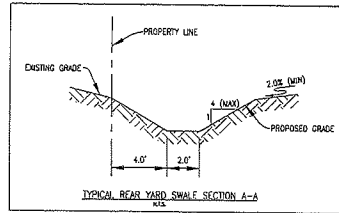
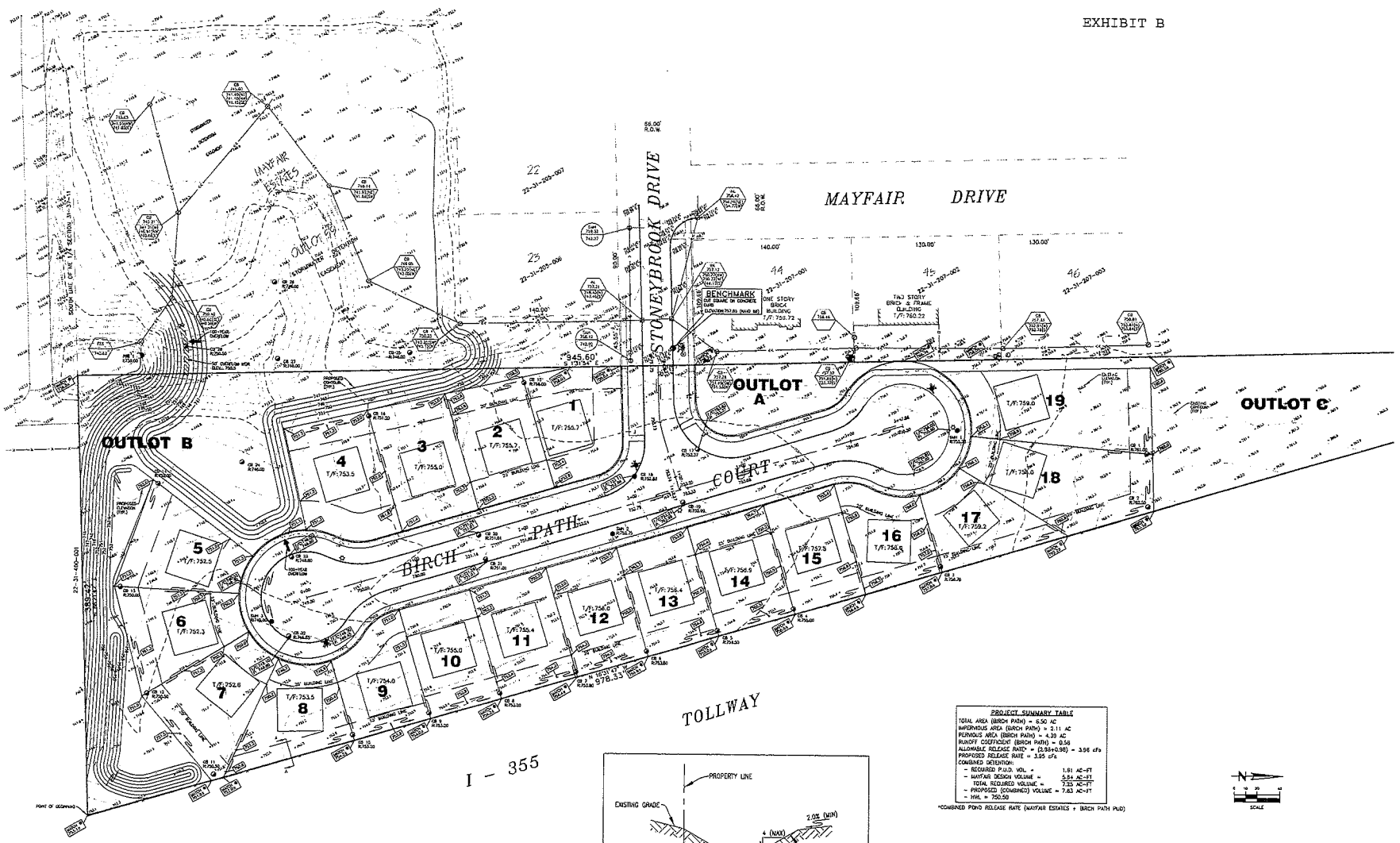
DATE	REVISIONS	REV. BY
3/7/07/14	ISSUED FOR REVIEW	T.G.
4/15/14	VILLAGE COMMENTS	T.G.
5/23/14	VILLAGE COMMENTS	T.G.
7/27/14	LEGAL DESCRIPTION	T.G.
8/27/14	VILLAGE COMMENTS	T.G.
12/7/14	VILLAGE COMMENTS	T.G.

LANDMARK
 LANDMARK SURVEYING, LLC
 1000 N. WASHINGTON ST., SUITE 100
 PLAINFIELD, IL 62554
 PHONE: (217) 398-2381
 FAX: (217) 398-2381

BIRCH PATH P.U.D.
 12TH & I-355, LEMONT, IL
 PLAN
 GR

DRAWN BY: T.G.
 DESIGNED BY: B.H.
 CHECKED BY: M.L.

SHEET
 5 of 11
 13-04-061



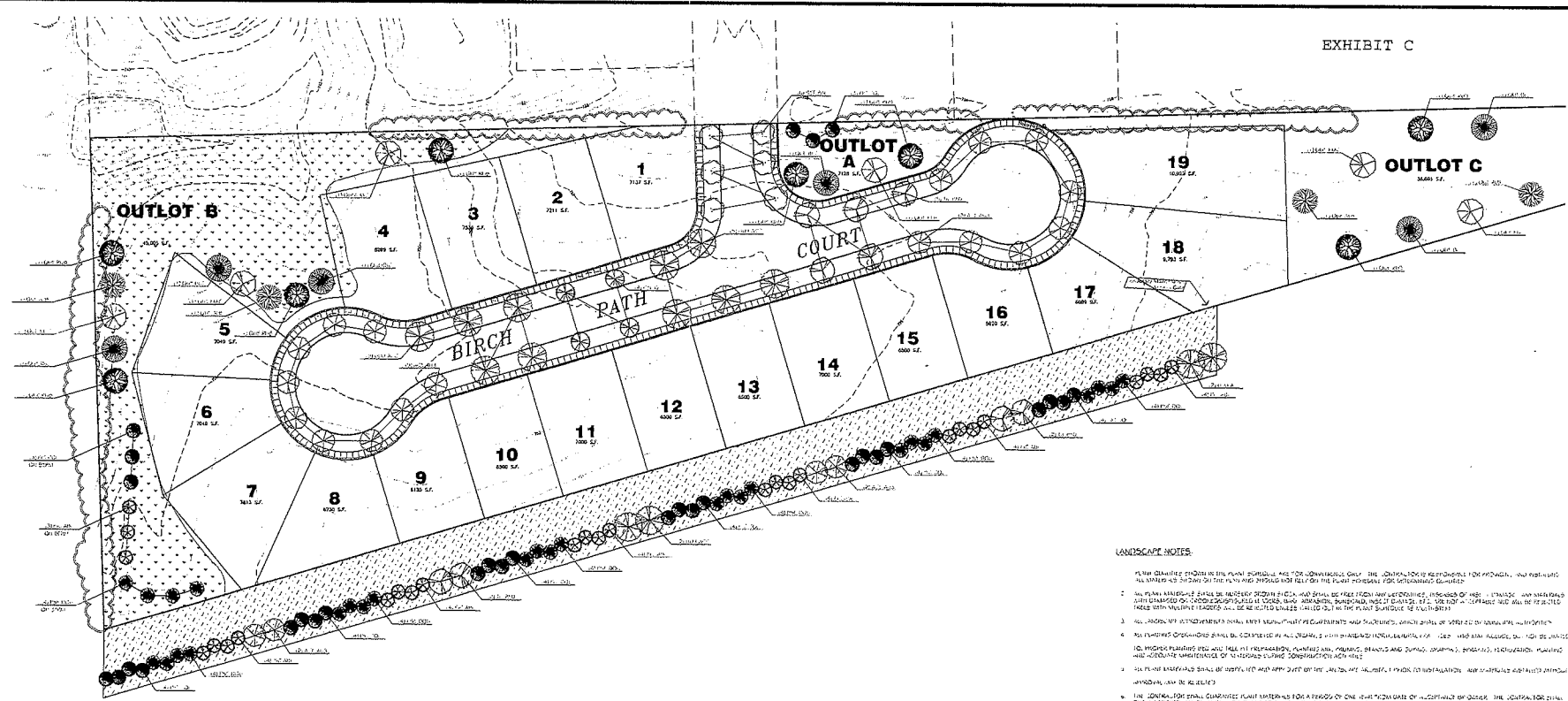
PROJECT SUMMARY TABLE

TOTAL AREA (BIRCH PATH)	= 6.50 AC
IMPONDUS AREA (BIRCH PATH)	= 2.11 AC
PERVIOUS AREA (BIRCH PATH)	= 4.39 AC
RUNOFF COEFFICIENT (BIRCH PATH)	= 0.58
ALLOWABLE RELEASE RATE	= (0.58 x 0.98) = 356 cfs
PROPOSED RELEASE RATE	= 335 cfs
COMBINED RETENTION:	
- REQUIRED POND VOL.	= 1.91 AC-FT
- MAYFAIR DESIGN VOLUME	= 5.54 AC-FT
- TOTAL REQUIRED VOLUME	= 7.45 AC-FT
- PROPOSED (COMBINED) VOLUME	= 7.83 AC-FT
- DEFICIT	= 700.50

COMBINED POND RELEASE RATE (MAYFAIR ESTIMATES + BIRCH PATH PLAN)



NOTE:
 1. SEE DIMENSIONS W/STATION TO BE CORRECT
 CONTAINED WITHIN OUTLOTS A & B.
 2. ALL IN-SIDE PAVED DRIVEWAYS SHALL BE AT
 LEAST 2' WIDE, 4" DEEP AND NOT STREPER
 THAN 4".



PLANT SCHEDULE ISTHA R.O.W.

CONTAINER TYPE	PROPAGANDA NAME / COMMUNITY NAME	CONDITION	SIZE	QTY
PIC AD	PICTA ADELPHI HEDYARDI SPINICE	B 4 B	24"	11
PIC CO	PICTA PUNICENSIS COLORADO GREEN / BLUE SPINUCE	B 4 B	24"	11
PME DOT	PSEUDOTSUGA MENZESII / OULULAS FPK	B 4 B	24"	11

SEEDING SCHEDULE ISTHA R.O.W.

PLANT	SEEDS PER LB
TENTACLE GRASS	47,000 SF

PLANT SCHEDULE BIRCH PATH PROPERTY

CANOPY TYPE	PROPAGANDA NAME / COMMUNITY NAME	CONDITION	SIZE	QTY
OLE DCL	OLEA EUROPAEA 'AUTUMN BLAZE' / AUTUMN BLAZE RED MAPLE	B 4 B	30"	7
OLE ALC	OLEA EUROPAEA 'COMMON HACKBERRY'	B 4 B	30"	1
OLE SBC	OLEA EUROPAEA 'SPICE OAK'	B 4 B	24"	1
OLE MAC	OLEA EUROPAEA 'RED OAK'	B 4 B	24"	1
OLE RED	OLEA EUROPAEA 'RED OAK'	B 4 B	24"	1
OLE AME	OLEA EUROPAEA 'AMERICAN LINDEN'	B 4 B	24"	10

PLANT	SEEDS PER LB
PIC AD	PICTA ADELPHI HEDYARDI SPINICE
PIC CO	PICTA PUNICENSIS COLORADO GREEN / BLUE SPINUCE
PME DOT	PSEUDOTSUGA MENZESII / OULULAS FPK

SEEDING SCHEDULE BIRCH PATH PROPERTY

PLANT	SEEDS PER LB
TENTACLE GRASS	47,000 SF

LANDSCAPE NOTES

- PLANT SCHEDULES PROVIDED IN THIS PLAN ARE SUBJECT TO THE AVAILABILITY OF THE PLANT STOCKS AND THE RESPONSIBILITY FOR PROVIDING THE PLANTS IS THE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT.
- ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH THE ILLINOIS PLANTING AND MAINTENANCE ACT (23 ICS 500.01) AND THE ILLINOIS PLANTING AND MAINTENANCE ACT REGULATIONS (23 ICS 500.02).
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DATE	12/21/14	REV. BY	MLL
DATE	12/24/14	REV. BY	B.H.
DATE	12/24/14	REV. BY	B.H.
DATE	12/24/14	REV. BY	MLL

REVISIONS

NO.	DESCRIPTION
1	LANDSCAPE PLAN
2	VILLAGE COMMENTS
3	VILLAGE COMMENTS

LANDMARK
 LANDMARK ARCHITECTS, P.C.
 127TH & I-55, LEMONT, IL 60433
 PHONE: (708) 599-3911
 FAX: (708) 599-3911

LANDSCAPE ARCHITECTS

LANDSCAPE PLAN (BY)

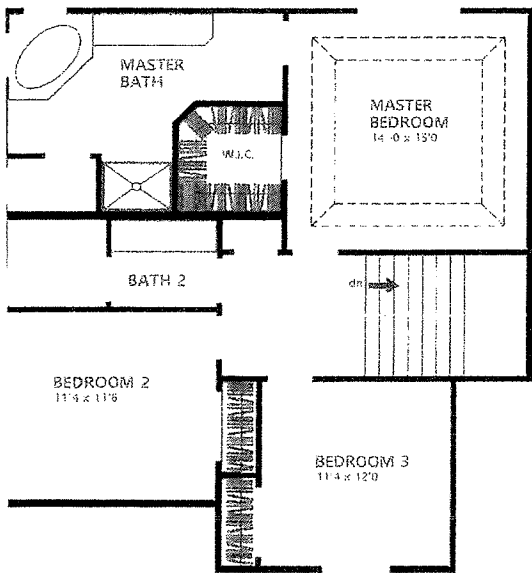
BIRCH PATH P.U.D.
 127TH & I-55, LEMONT, IL

DRAWN BY: T.G.
 DESIGNED BY: B.H.
 CHECKED BY: M.L.

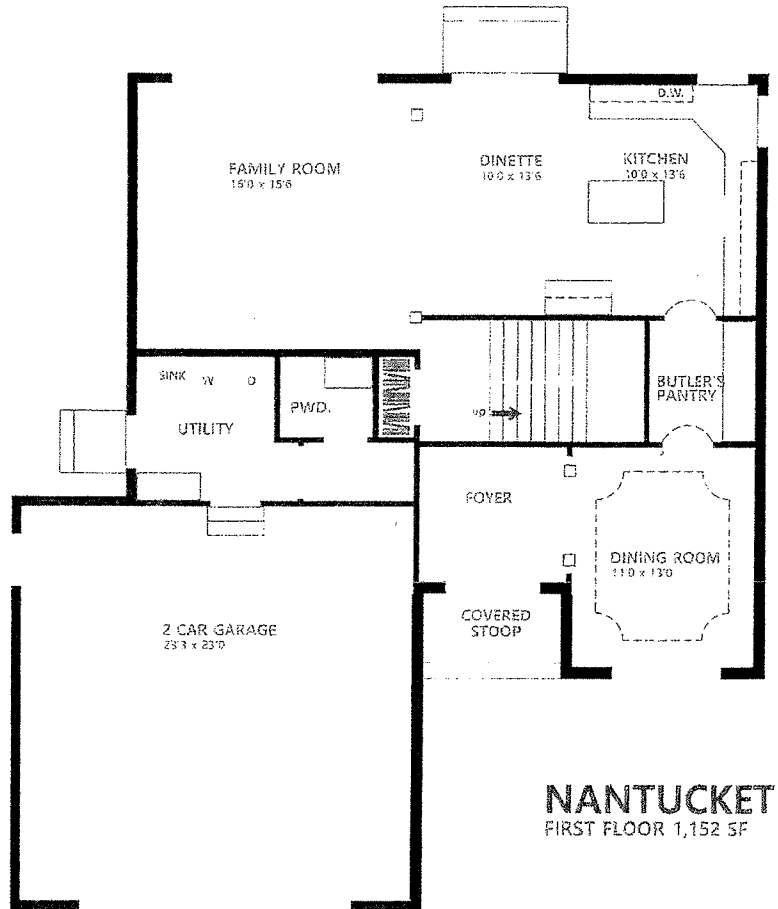
SHEET
 8 OF 11
 13-04-051

EXHIBIT D
MODEL A





SECOND FLOOR 870 SF



NANTUCKET
FIRST FLOOR 1,152 SF

MODEL B

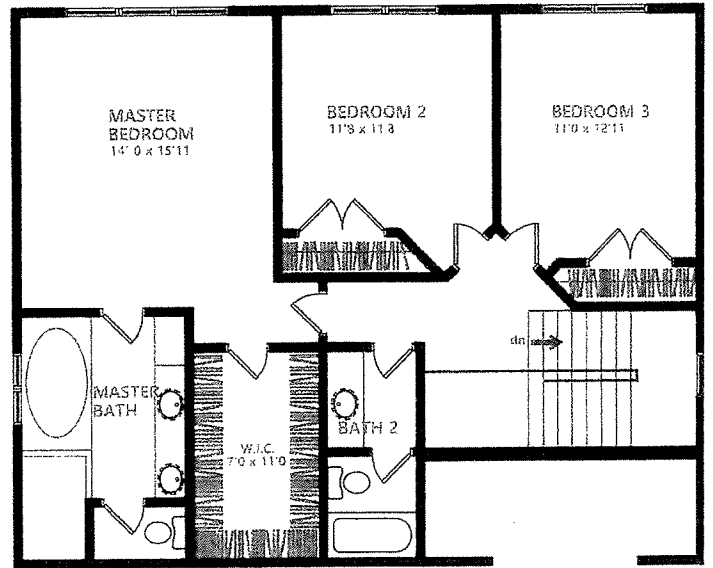
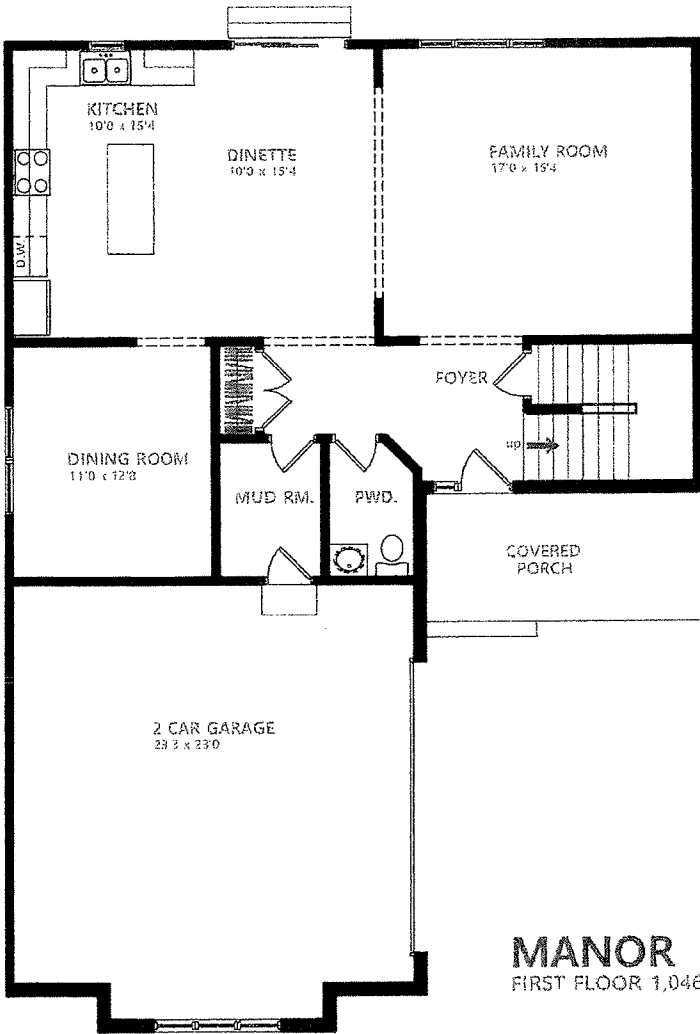




PATRIOT
 641 SF

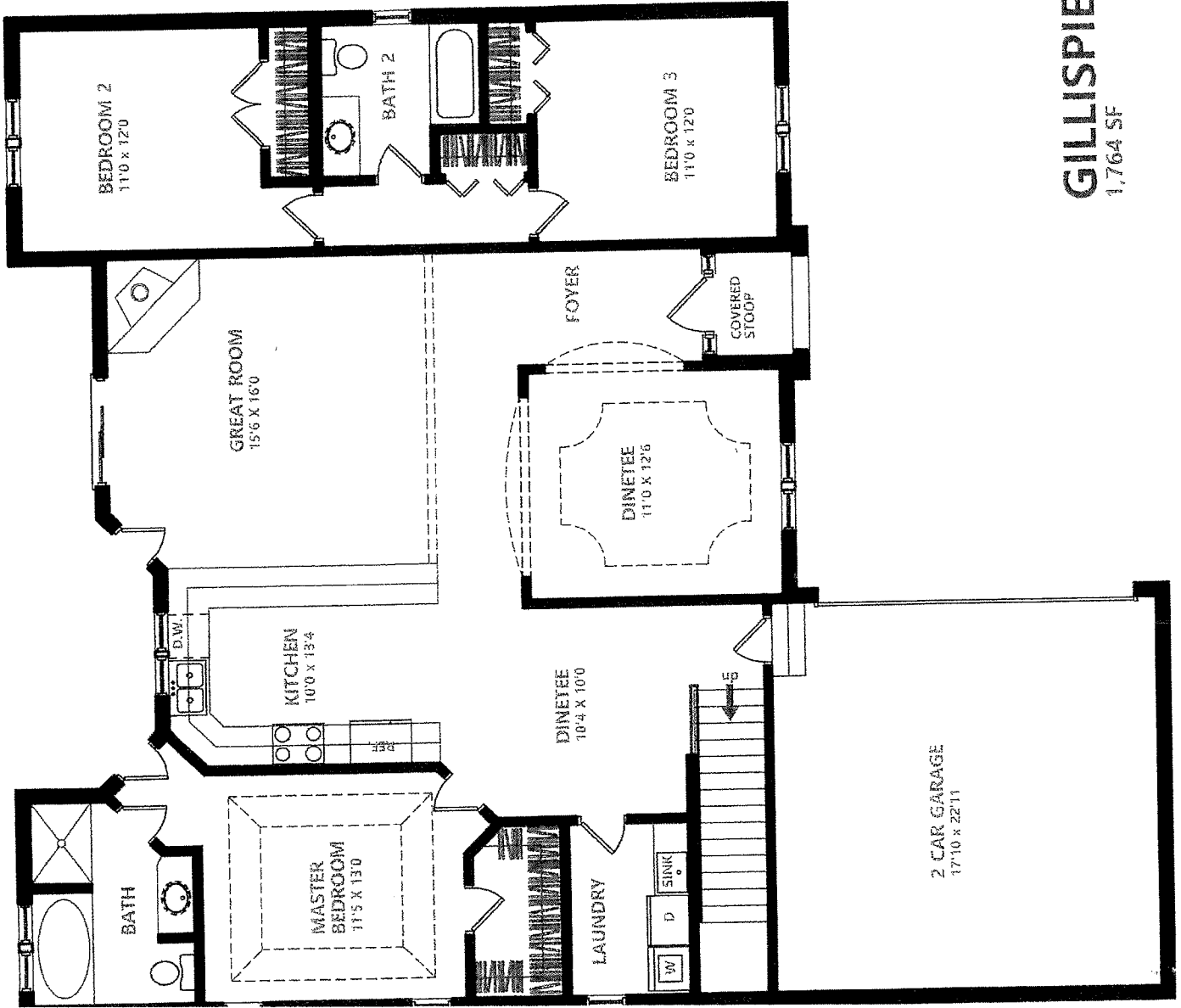
MODEL C





MODEL D

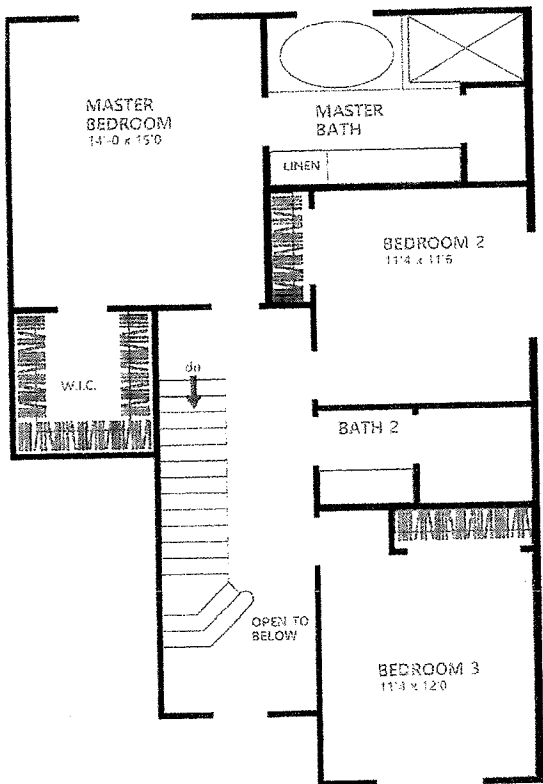




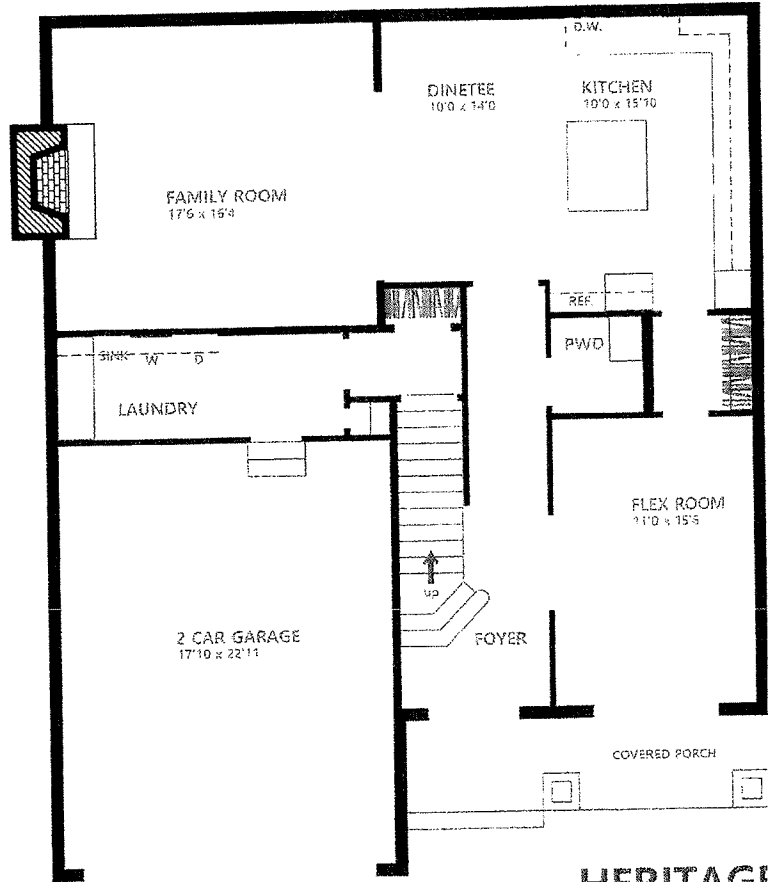
GILLISPIE
1,764 SF

MODEL E





SECOND FLOOR 915 SF



HERITAGE
FIRST FLOOR 1,238

MODEL F



