

Village of Lemont

Mayor
Brian K. Reaves

Village Clerk
Charlene Smollen

Administrator
George J. Schafer



Trustees
Debby Blatzer
Paul Chialdikas
Clifford Miklos
Rick Sniegowski
Ronald Stapleton
Jeanette Virgilio

VILLAGE BOARD MEETING

August 10, 2015 – 7:00 PM
Village Hall – 418 Main Street

AGENDA

- I. PLEDGE OF ALLEGIANCE**
- II. ROLL CALL**
- III. CONSENT AGENDA**
 - A. APPROVAL OF MINUTES**
 - 1. JULY 27, 2015 VILLAGE BOARD MEETING MINUTES**
 - B. APPROVAL OF DISBURSEMENTS**
 - C. A RESOLUTION PROVIDING FOR THE DESTRUCTION OF CERTAIN VERBATIM RECORDINGS OF CLOSED SESSION MEETINGS**
 - D. A RESOLUTION REVIEWING THE NEED FOR CONFIDENTIALITY OF CLOSED SESSION MEETINGS**
- IV. MAYOR'S REPORT**
 - A. AUDIENCE PARTICIPATION**
- V. CLERK'S REPORT**
 - A. CORRESPONDENCE**
 - B. ORDINANCES**
 - 1. AN ORDINANCE AMENDING THE BUDGET FOR FISCAL YEAR 15-16 FOR THE VILLAGE OF LEMONT (ADMIN/FINANCE)(REAVES/SNIEGOWSKI)(SCHAFFER/SMITH)**
 - 2. AN ORDINANCE GRANTING PRELIMINARY PLAN/PLAT APPROVAL, SPECIAL USE FOR A PRELIMINARY PLANNED UNIT DEVELOPMENT (PUD) AND ZONING MAP AMENDMENT FOR A FIFTY-TWO TOWNHOME AND THIRTY-FIVE SINGLE-FAMILY DETACHED RESIDENTIAL SUBDIVISION LOCATED AT 11250 ARCHER AVENUE**

**AND 12900 MAIN STREET IN LEMONT, ILLINOIS (ESTATES OF MONTEFIORI)
(PLANNING & ED)(CHIALDIKAS/STAPLETON)(JONES/MILWAY)**

- 3. AN ORDINANCE GRANTING A ZONING MAP AMENDMENT FOR THE PROPERTY
LOCATED AT 13011 GRANT ROAD IN LEMONT, ILLINOIS (JUNKYARDS)
(ADMINISTRATION)(REAVES)(SCHAFFER)**

C. RESOLUTION

- 1. A RESOLUTION APPROVING THE PURCHASE OF A JOHN DEERE MODEL 544K
WHEEL LOADER
(PUBLIC WORKS)(BLATZER)(PUKULA)**

VI. VILLAGE ATTORNEY REPORT

VII. VILLAGE ADMINISTRATOR REPORT

VIII. BOARD REPORTS

IX. STAFF REPORTS

X. UNFINISHED BUSINESS

XI. NEW BUSINESS

XII. MOTION FOR EXECUTIVE SESSION

XIII. ACTION ON CLOSED SESSION ITEM(S)

XIV. MOTION TO ADJOURN

Minutes
VILLAGE BOARD MEETING
Village Hall – 418 Main Street
July 27, 2015
7:00 p.m.

The regular meeting of the Lemont Village Board was held on Monday, July 27, 2015, at 7:00 p.m., with Mayor Brian Reaves presiding.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL

Roll call: Sniegowski, Stapleton, Virgilio, Chialdikas, Miklos, present. Blatzer, absent.

III. CONSENT AGENDA

Motion by Miklos, seconded by Sniegowski, to approve the following items on the consent agenda by omnibus vote:

A. Approval of Minutes

1. June 22, 2015 Village Board Meeting Minutes
2. July 20, 2015 Committee of the Whole Meeting Minutes

B. Approval of Disbursements.

C. Ordinance O-23-15 Amending Title 17 of the Lemont Municipal Code, the Lemont Unified Development Ordinance of 2008.

D. Resolution R-33-15 Approving a Plat of Dedication for Public Right-of-Way Adjacent to Smith Road in the Village of Lemont, IL.

E. Resolution R-34-15 Accepting a Plat of Easement for Sanitary Sewer & Water Main Purposes.

F. Resolution R-35-15 Authorizing a Reduction and Release of Letters of Credit for Birch Path Subdivision.

Roll Call: Sniegowski, Stapleton, Virgilio, Chialdikas, Miklos; 5 ayes. Motion Passed. Blatzer, absent.

IV. MAYOR'S REPORT

A. Kops-N-Kidz Day T-shirt Contest Winner Award was presented.

B. Appointment of Planning & Zoning Commission Member and Police Commission Member was deferred to Executive Session.

C. Audience Participation – None.

V. **CLERK'S REPORT**

A. Clerk Smollen attended the Municipal Clerks of Illinois Summer Seminar last week. The topics of discussion were "The Place Between," the time when change is going to take place, and "Emotional Intellect of the Manager."

B. **ORDINANCE**

1. Ordinance O-21-15 Granting a Variation to §17.09.090 of the UDO to Allow for a Greater than 80% Lot Coverage at 107 Stephen Street in Lemont, IL (La Dolce Vita Variation). Motion by Stapleton, seconded by Sniegowski, to adopt said Ordinance. Roll call: Sniegowski, Stapleton, Virgilio, Chialdikas, Miklos; 5 ayes. Motion Passed. Blatzer, absent.

2. Ordinance O-22-15 Amending the Zoning Map of the Village of Lemont From B-3 Arterial Commercial District to DD Downtown District at 15800 New Avenue in Lemont, IL. Motion by Miklos, seconded by Chialdikas, to adopt said Ordinance. Roll call: Sniegowski, Stapleton, Virgilio, Chialdikas, Miklos; 5 ayes. Motion Passed. Blatzer Absent.

C. **RESOLUTIONS**

1. Resolution R-36-15 Authorizing Award of Contract – 2015 Resurfacing Program. Motion by Chialdikas, seconded by Miklos, to adopt said Resolution. Roll call: Sniegowski, Stapleton, Virgilio, Chialdikas, Miklos; 5 ayes. Motion Passed. Blatzer Absent.

2. Resolution R-37-15 Authorizing Award of Contract – 2015 Pavement Striping Program. Motion by Chialdikas, seconded by Sniegowski, to adopt said Resolution. Roll call: Sniegowski, Stapleton, Virgilio, Chialdikas, Miklos; 5 ayes. Motion Passed. Blatzer Absent.

3. Resolution R-38-15 Approving Proposal from Compass Minerals for Purchase of Salt. Motion by Sniegowski, seconded by Virgilio, to adopt said Resolution. Roll call: Sniegowski, Stapleton, Virgilio, Chialdikas, Miklos; 5 ayes. Motion Passed. Blatzer Absent.

VI. **VILLAGE ATTORNEY REPORT**

VII. **VILLAGE ADMINISTRATOR REPORT**

VIII. **BOARD REPORTS**

IX. **STAFF REPORTS**

A. Finance Department

-Vehicle Sticker regular cost is extended through August 14. After that, a \$50 late fee will apply.

B. Police Department

- Kops-N-Kidz Day will be held on August 8.

- Gave a tip on what information to have ready when dialing the Police Department.

X. **UNFINISHED BUSINESS - NONE**

XI. **NEW BUSINESS** – Discussion of the Aero Heights/Rolling Meadows Recapture Ordinance took place.

XII. **MOTION FOR EXECUTIVE SESSION**

Motion by Stapleton, seconded by Chialdikas, to move into Executive Session(s) for the purpose of discussing Personnel and Pending Litigation. Roll call: Sniegowski, Stapleton, Virgilio, Chialdikas, Miklos; 5 ayes. Motion Passed. Blatzer absent.

XIII. **RESOLUTION R-39-15** Approving Settlement Agreement and Release. Motion by Chialdikas, seconded by Miklos, to adopt said Resolution. Roll call: Sniegowski, Stapleton, Virgilio, Chialdikas, Miklos; 5 ayes. Motion Passed. Blatzer Absent.

XIV. **ACTION ON CLOSED SESSION ITEM**

Appointment of Matt Zolecki to the Planning & Zoning Commission and Matt Brady to the Police Commission was made by Sniegowski, seconded by Miklos. VV 5 ayes. Motion passed. Blatzer absent.

XV. **MOTION TO ADJOURN**

There being no further business, a motion was made by Chialdikas, seconded by Stapleton, to adjourn the meeting at 8:25 p.m. VV 5 ayes. Motion passed.

Payment Register

From Payment Date: 7/28/2015 - To Payment Date: 8/10/2015

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
FM-Clearing - Accounts Payable									
Check									
12442	08/10/2015	Open			Utility Management Refund	GROSELAK, DR ROBERT	\$32.23		
	<u>Account Type</u>		<u>Account Number</u>	<u>Description</u>	<u>Transaction Date</u>	<u>Transaction Type</u>			
	Senior		100544-001	Final reading refund	08/10/2015	Refund			
12443	08/10/2015	Open			Utility Management Refund	KERELIS INC	\$1,436.94		
	<u>Account Type</u>		<u>Account Number</u>	<u>Description</u>	<u>Transaction Date</u>	<u>Transaction Type</u>			
	Multi Family		141596-001	Refund 1001 State final reading balance	08/10/2015	Refund			
12444	08/10/2015	Open			Utility Management Refund	KERELIS INC	\$946.60		
	<u>Account Type</u>		<u>Account Number</u>	<u>Description</u>	<u>Transaction Date</u>	<u>Transaction Type</u>			
	Multi Family		141350-001	Refund 918-920 State final reading	08/10/2015	Refund			
12445	08/10/2015	Open			Utility Management Refund	KERELIS INC	\$431.57		
	<u>Account Type</u>		<u>Account Number</u>	<u>Description</u>	<u>Transaction Date</u>	<u>Transaction Type</u>			
	Multi Family		141346-001	Refund 916 State final reading	08/10/2015	Refund			
12446	08/10/2015	Open			Utility Management Refund	KERELIS INC	\$450.44		
	<u>Account Type</u>		<u>Account Number</u>	<u>Description</u>	<u>Transaction Date</u>	<u>Transaction Type</u>			
	Multi Family		141336-001	Refund 914 State final reading	08/10/2015	Refund			
12447	08/10/2015	Open			Utility Management Refund	KERELIS INC	\$463.02		
	<u>Account Type</u>		<u>Account Number</u>	<u>Description</u>	<u>Transaction Date</u>	<u>Transaction Type</u>			
	Multi Family		141316-001	Refund 904 State final reading	08/10/2015	Refund			
12448	08/10/2015	Open			Utility Management Refund	KERELIS INC	\$437.66		
	<u>Account Type</u>		<u>Account Number</u>	<u>Description</u>	<u>Transaction Date</u>	<u>Transaction Type</u>			
	Multi Family		141306-001	Refund 902 State final reading	08/10/2015	Refund			
12449	08/10/2015	Open			Accounts Payable	5th Avenue Construction	\$9,000.00		
	<u>Invoice</u>		<u>Date</u>	<u>Description</u>		<u>Amount</u>			
	2014-00000435		07/20/2015	refund clean up deposit - 12824 Waterford Dr		\$1,000.00			
	2014-00000435(L)		07/20/2015	refund Landscape Bond - 12824 Waterford Dr		\$7,500.00			
	2014-00000435(T)		07/20/2015	refund clean up bond - 12824 Waterford Dr		\$500.00			
12450	08/10/2015	Open			Accounts Payable	Amalgamated Bank of Chicago	\$475.00		
	<u>Invoice</u>		<u>Date</u>	<u>Description</u>		<u>Amount</u>			
	15-08-01 4008		08/01/2015	Series 2007 bond fees #4008		\$475.00			
12451	08/10/2015	Open			Accounts Payable	Aspen Valley Landscape	\$927.74		
	<u>Invoice</u>		<u>Date</u>	<u>Description</u>		<u>Amount</u>			
	INV243491		07/15/2015	black dirt		\$550.44			
	INV243493		07/15/2015	black dirt		\$377.30			
12452	08/10/2015	Open			Accounts Payable	AT&T Illinois	\$1,111.54		
	<u>Invoice</u>		<u>Date</u>	<u>Description</u>		<u>Amount</u>			
	63025764210515		05/25/2015	630 257-6421 123 8 well #5		\$73.61			

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Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
	63025764210615		06/25/2015	630 257-6421 123 8 well #5			\$69.27		
	63025764210715		07/25/2015	630 257-6421 123 8 well #5			\$70.60		
	63025764210415		04/25/2015	630 257-6421 123 8 well #5			\$63.89		
	63025719820715		07/25/2015	630 257-1982 589 2 ruffled fthrs l/s			\$99.18		
	63025704360715		07/25/2015	630 257-0436 056 6 glens of connemara l/s			\$103.88		
	63025722900715		07/25/2015	630 257-2290 820 6 well #3			\$162.62		
	63025795390715		07/25/2015	630 257-9539 074 6 keepataw trails l/s			\$98.97		
	63025724740715		07/25/2015	630 257-2474 474 0 p.d. phone line			\$254.03		
	63025752720715		07/25/2015	630 257-5272 181 8 metra station			\$115.49		
12453	08/10/2015	Open			Accounts Payable	Avalon Petroleum Company			\$7,191.41
	Invoice		Date	Description			Amount		
	016065		07/10/2015	700 gals dsl fuel			\$1,519.00		
	458369		07/10/2015	1200 gals unl fuel			\$3,108.00		
	458318		07/03/2015	971 gals unl fuel			\$2,564.41		
12454	08/10/2015	Open			Accounts Payable	Carey C. Cosentino, PC			\$2,000.00
	Invoice		Date	Description			Amount		
	15-08-03		08/03/2015	Jul 2015 legal			\$2,000.00		
12455	08/10/2015	Open			Accounts Payable	Castletown Homes, Inc.			\$1,000.00
	Invoice		Date	Description			Amount		
	2014-00000417		07/23/2015	refund clean up deposit - 12763 Mayfair Dr			\$1,000.00		
12456	08/10/2015	Open			Accounts Payable	Chicago Materials Corp.			\$293.18
	Invoice		Date	Description			Amount		
	94933MB		07/15/2015	black top			\$293.18		
12457	08/10/2015	Open			Accounts Payable	Comcast Cable			\$256.03
	Invoice		Date	Description			Amount		
	15-07-1615		07/24/2015	8771 20 147 0001615 v.h. cable TV			\$29.50		
	15-07-8896		07/22/2015	8771 20 147 0138896 p.w. cable/internet			\$226.53		
12458	08/10/2015	Open			Accounts Payable	Compass Minerals America			\$5,597.90
	Invoice		Date	Description			Amount		
	71356327		07/14/2015	salt			\$2,797.24		
	71357309		07/16/2015	salt			\$2,800.66		
12459	08/10/2015	Open			Accounts Payable	Conley Excavating, Inc.			\$151,957.35
	Invoice		Date	Description			Amount		
	14490-1		07/27/2015	Crestview Water Main replacement			\$139,274.55		
	14505-1		07/27/2015	Hillview Dr storm sewer			\$12,682.80		
12460	08/10/2015	Open			Accounts Payable	Cook County Recorder of Deeds			\$120.00
	Invoice		Date	Description			Amount		
	INV2726302015BEN		06/30/2015	1516329070 - plat recording R-25-15			\$120.00		
12461	08/10/2015	Open			Accounts Payable	Cook County Treasurer			\$724.50
	Invoice		Date	Description			Amount		
	2015-2		07/23/2015	EMIM 2015 - traffic signal maintenance			\$724.50		
12462	08/10/2015	Open			Accounts Payable	Crawford, Murphy, Tilly, Inc.			\$290.00
	Invoice		Date	Description			Amount		
	103784		02/16/2015	Lemont Bridge repair plans			\$290.00		

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Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
12463	08/10/2015	Open			Accounts Payable	De Lage Landen Public Finance	\$602.00		
	Invoice		Date	Description		Amount			
	46583738		07/28/2015	629642 - Canon copier leases - Aug-Sep		\$602.00			
12464	08/10/2015	Open			Accounts Payable	ETP Labs Inc./EnviroTest/Perry Laboratories Inc.	\$248.00		
	Invoice		Date	Description		Amount			
	15-131128		07/08/2015	sample testing		\$248.00			
12465	08/10/2015	Open			Accounts Payable	Fastenal Company	\$70.88		
	Invoice		Date	Description		Amount			
	ILROM53738		07/06/2015	hardware		\$70.88			
12466	08/10/2015	Open			Accounts Payable	Frank Novotny & Associates, Inc.	\$38,927.74		
	Invoice		Date	Description		Amount			
	02115-56		07/16/2015	engineering		\$1,357.31			
	05027-32		07/16/2015	engineering		\$4,734.17			
	05482-8		07/16/2015	engineering		\$78.00			
	06172-9		07/16/2015	Bella Strada condominiums		\$624.00			
	12116-10		07/16/2015	Briarcliffe		\$120.00			
	12387-12		07/16/2015	Kettering		\$4,563.00			
	13237-10		07/16/2015	Birch Path		\$4,031.50			
	13286-7		07/16/2015	rugby complex		\$156.00			
	13357-7		07/16/2015	Franciscan Sisters addition		\$354.00			
	14078-4		07/16/2015	IMTT culvert		\$418.58			
	14127-4		07/16/2015	Sun and Shade		\$510.00			
	14282-5F		07/16/2015	Peiffer Ave retaining wall		\$969.00			
	14285-5F		07/16/2015	State St retaining wall		\$142.50			
	14397-4		07/16/2015	902 East		\$156.00			
	14400-2		07/16/2015	Timberline Knolls Parking Lot		\$480.00			
	14403-2		07/16/2015	Ledochowski St water main		\$2,555.08			
	14406-1		07/16/2015	2015 MFT road resurfacing		\$9,281.22			
	14490-2		07/16/2015	Crestview Dr water main		\$3,890.92			
	14505-2		07/16/2015	Hillview Dr storm sewer		\$996.46			
	15101-1		07/16/2015	Fresenius Medical Center		\$936.00			
	15109-2		07/16/2015	Montefiori Property redevelopment		\$546.00			
	15135-2		07/16/2015	Seven Oaks townhomes		\$1,092.00			
	15161-1		07/16/2015	508 Illinois St		\$312.00			
	15162-1		07/16/2015	Annual Facility Insp Report		\$156.00			
	15168-1		07/16/2015	15790 New Ave paving permit		\$312.00			
	15175-1		07/16/2015	NW Corner Main & Walker		\$78.00			
	15177-1		07/16/2015	LaDolce Vita variance		\$78.00			
12467	08/10/2015	Open			Accounts Payable	G & K Services, Inc.	\$62.08		
	Invoice		Date	Description		Amount			
	1028231136		07/23/2015	V.H. carpet mats		\$62.08			
12468	08/10/2015	Open			Accounts Payable	Guaranteed Technical Services And Consulting, Inc.	\$1,800.00		
	Invoice		Date	Description		Amount			
	2012763		07/25/2015	I.T. Support		\$1,800.00			

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Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
12469	08/10/2015	Open			Accounts Payable	Harkness, Patrick, J	\$640.21		
	Invoice		Date	Description		Amount			
	15-08-03		08/03/2015	2014 property tax rebate		\$640.21			
12470	08/10/2015	Open			Accounts Payable	HD Supply Waterworks, Ltd.	\$254.42		
	Invoice		Date	Description		Amount			
	E194977		07/22/2015	080400 - hyd repair parts		\$254.42			
12471	08/10/2015	Open			Accounts Payable	Kelbus, Susan	\$553.62		
	Invoice		Date	Description		Amount			
	15-08-03		08/03/2015	2014 property tax rebate		\$553.62			
12472	08/10/2015	Open			Accounts Payable	LEAF	\$954.49		
	Invoice		Date	Description		Amount			
	5845620		07/21/2015	046-2580918-001 - copier lease		\$277.98			
	5845621		07/21/2015	046-2580918-002 - copier lease		\$676.51			
12473	08/10/2015	Open			Accounts Payable	Lemont Fire Protection District	\$400.00		
	Invoice		Date	Description		Amount			
	15-07-31		07/31/2015	impact fees		\$400.00			
12474	08/10/2015	Open			Accounts Payable	Lemont High School Dist 210	\$5,056.00		
	Invoice		Date	Description		Amount			
	15-07-31		07/31/2015	impact fees		\$5,056.00			
12475	08/10/2015	Open			Accounts Payable	Lemont Public Library District	\$647.26		
	Invoice		Date	Description		Amount			
	15-07-31		07/31/2015	impact fees		\$647.26			
12476	08/10/2015	Open			Accounts Payable	Lemont-Bromberek Combined School District 113A	\$10,115.54		
	Invoice		Date	Description		Amount			
	15-07-31		07/31/2015	impact fees		\$10,115.54			
12477	08/10/2015	Open			Accounts Payable	Lynn Peavey Company	\$83.50		
	Invoice		Date	Description		Amount			
	305610		07/24/2015	supplies		\$83.50			
12478	08/10/2015	Open			Accounts Payable	M & M Auto Glass & Upholstery Service	\$125.00		
	Invoice		Date	Description		Amount			
	486030		07/16/2015	installation		\$125.00			
12479	08/10/2015	Open			Accounts Payable	Macke Water Systems, Inc.	\$159.80		
	Invoice		Date	Description		Amount			
	1040860		07/15/2015	146998 - Lease ID:63885 - water cooler rental agreement		\$159.80			
12480	08/10/2015	Open			Accounts Payable	Mathias, Bruce, E	\$623.66		
	Invoice		Date	Description		Amount			
	15-08-03		08/03/2015	2014 property tax rebate		\$623.66			
12481	08/10/2015	Open			Accounts Payable	Menards	\$471.50		
	Invoice		Date	Description		Amount			
	67941		07/27/2015	tools & equipment		\$382.50			
	67046		07/10/2015	pop up canopy		\$89.00			

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Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
12482	08/10/2015	Open			Accounts Payable	Napa Auto Parts	\$149.00		
	Invoice		Date	Description		Amount			
	10000058738		07/23/2015	parts subscription service		\$149.00			
12483	08/10/2015	Open			Accounts Payable	Nicholson, Myron	\$507.54		
	Invoice		Date	Description		Amount			
	15-08-03		08/03/2015	2014 property tax rebate		\$507.54			
12484	08/10/2015	Open			Accounts Payable	NiCor Gas	\$71.87		
	Invoice		Date	Description		Amount			
	15/07-8700 1		07/21/2015	93-56-54-8700 1 smith farms l/s		\$26.06			
	15/07-9378 5		07/20/2015	25-59-90-9378 5 well #6		\$21.25			
	15/07-9589 2		07/21/2015	37-62-87-9589 2 target-kohls l/s		\$24.56			
12485	08/10/2015	Open			Accounts Payable	North East Multi-Regional Training Inc	\$175.00		
	Invoice		Date	Description		Amount			
	198879		07/23/2015	training - R Keane		\$175.00			
12486	08/10/2015	Open			Accounts Payable	Politza, Robert	\$582.89		
	Invoice		Date	Description		Amount			
	15-08-03		08/03/2015	2014 property tax rebate		\$582.89			
12487	08/10/2015	Open			Accounts Payable	Promos 911 Inc	\$327.28		
	Invoice		Date	Description		Amount			
	5261		07/17/2015	photo standups		\$327.28			
12488	08/10/2015	Open			Accounts Payable	Proven Business Systems, LLC	\$561.88		
	Invoice		Date	Description		Amount			
	257482		07/23/2015	P.D. copier usage		\$561.88			
12489	08/10/2015	Open			Accounts Payable	Quill Corporation	\$113.06		
	Invoice		Date	Description		Amount			
	6103306		07/21/2015	C482401 - supplies		\$18.99			
	6083564		07/21/2015	supplies		\$94.07			
12490	08/10/2015	Open			Accounts Payable	Rainbow Printing	\$915.90		
	Invoice		Date	Description		Amount			
	411323		07/14/2015	#10 utility bill envelopes		\$179.95			
	411271		06/17/2015	printing of OAN annual report booklets		\$735.95			
12491	08/10/2015	Open			Accounts Payable	Ray O'Herron Co., Inc.	\$135.99		
	Invoice		Date	Description		Amount			
	1540815-IN		07/28/2015	uniform - RR		\$42.99			
	1540814-IN		07/28/2015	uniform - RK		\$93.00			
12492	08/10/2015	Open			Accounts Payable	RCM Data Corporation	\$248.68		
	Invoice		Date	Description		Amount			
	IN54412		07/07/2015	toner		\$248.68			
12493	08/10/2015	Open			Accounts Payable	Rod Baker Ford	\$31.22		
	Invoice		Date	Description		Amount			
	W80308		07/15/2015	repair 0143		\$31.22			
12494	08/10/2015	Open			Accounts Payable	Shaw Media	\$624.48		
	Invoice		Date	Description		Amount			
	061510074590		07/16/2015	legal notices		\$624.48			

Payment Register

From Payment Date: 7/28/2015 - To Payment Date: 8/10/2015

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
12495	08/10/2015	Open			Accounts Payable	Standard Equipment Company	\$495.31		
	Invoice		Date	Description		Amount			
	C01014		03/27/2015	parts		\$64.31			
	A43153		04/21/2015	repair		\$431.00			
12496	08/10/2015	Open			Accounts Payable	Suburban General Construction	\$68,691.60		
	Invoice		Date	Description		Amount			
	14403-1		07/31/2015	Ledochowski St water main replacement		\$68,691.60			
12497	08/10/2015	Open			Accounts Payable	Suburban Laboratories Inc	\$1,600.00		
	Invoice		Date	Description		Amount			
	124375		06/30/2015	sample testing		\$1,600.00			
12498	08/10/2015	Open			Accounts Payable	Szydlo, Lenore	\$538.94		
	Invoice		Date	Description		Amount			
	15-08-03		08/03/2015	2014 property tax rebate		\$538.94			
12499	08/10/2015	Open			Accounts Payable	Target Outdoor Power	\$36.76		
	Invoice		Date	Description		Amount			
	0030545		07/24/2015	parts		\$36.76			
12500	08/10/2015	Open			Accounts Payable	The Municipal Clerks of Illinois	\$90.00		
	Invoice		Date	Description		Amount			
	15-08-05		08/05/2015	2015-2016 membership renewal		\$90.00			
12501	08/10/2015	Open			Accounts Payable	TigerDirect, Inc.	\$140.62		
	Invoice		Date	Description		Amount			
	L24039080101		07/19/2015	monitor		\$140.62			
12502	08/10/2015	Open			Accounts Payable	Tressler, LLP	\$419.76		
	Invoice		Date	Description		Amount			
	360060		07/21/2015	IMET litigation		\$419.76			
12503	08/10/2015	Open			Accounts Payable	Uline, Inc.	\$198.31		
	Invoice		Date	Description		Amount			
	69146363		07/20/2015	2950663 - supplies		\$198.31			
12504	08/10/2015	Open			Accounts Payable	Underground Pipe & Valve Co, Inc	\$1,794.00		
	Invoice		Date	Description		Amount			
	009442		07/22/2015	repair parts		\$1,794.00			
12505	08/10/2015	Open			Accounts Payable	Village of Orland Park	\$65.00		
	Invoice		Date	Description		Amount			
	11837		07/21/2015	prisoner housing		\$65.00			
12506	08/10/2015	Open			Accounts Payable	Vision Service Plan	\$961.63		
	Invoice		Date	Description		Amount			
	15-07-17		07/17/2015	Aug 2015 premiums		\$961.63			
12507	08/10/2015	Open			Accounts Payable	Warehouse Direct Workplace Solutions	\$486.74		
	Invoice		Date	Description		Amount			
	2764225-0		07/22/2015	supplies		\$189.75			
	2766382-0		07/16/2015	supplies		\$103.59			
	2757671-0		07/16/2015	supplies		\$73.94			
	2757580-0		07/16/2015	supplies		\$119.46			

Payment Register

From Payment Date: 7/28/2015 - To Payment Date: 8/10/2015

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
12508	08/10/2015	Open			Accounts Payable	Wohlt, Carl, A	\$4,161.37		
	Invoice		Date	Description		Amount			
	2015018		07/06/2015	Jul 2015		\$4,161.37			
12509	08/10/2015	Open			Accounts Payable	Robert S Snow Trust #2	\$9,469.24		
	Invoice		Date	Description		Amount			
	15-08-06		08/06/2015	lease payment - Budnik Plaza		\$9,469.24			
12510	08/10/2015	Open			Accounts Payable	Amoonjump4u Inc	\$1,117.50		
	Invoice		Date	Description		Amount			
	34497.		07/31/2015	8/8/15 Kops n Kidz bal due		\$1,117.50			
12511	08/10/2015	Open			Accounts Payable	DeSimone, Kathy	\$800.00		
	Invoice		Date	Description		Amount			
	15-07-31		07/31/2015	8/8/15 Kops N Kidz pony rides & petting zoo		\$800.00			
12512	08/10/2015	Open			Accounts Payable	Donahue, Eileen	\$110.00		
	Invoice		Date	Description		Amount			
	15-08-05		08/05/2015	reimbursement - Costco membership		\$110.00			
12513	08/10/2015	Open			Accounts Payable	Petty Cash	\$304.65		
	Invoice		Date	Description		Amount			
	15-08-03		08/03/2015	reimbursement		\$304.65			
12514	08/10/2015	Open			Accounts Payable	Ed Napleton Westmont	\$50.00		
	Invoice		Date	Description		Amount			
	15-07-21		07/21/2015	refund amount overpaid for PC-014097 w/ ck#50697		\$50.00			
12515	08/10/2015	Open			Accounts Payable	R. A. James Construction, Inc.	\$1,000.00		
	Invoice		Date	Description		Amount			
	2015-00000215		07/21/2015	refund clean up deposit - 831 Kromray Rd		\$1,000.00			
Type Check Totals:						74 Transactions	\$343,915.03		
EFT									
136	08/07/2015	Open			Accounts Payable	Illinois Municipal Retirement Fund	\$36,825.24		
	Invoice		Date	Description		Amount			
	2016-00000372		08/07/2015	July 2015 IMRF		\$36,825.24			
Type EFT Totals:						1 Transactions	\$36,825.24		
FM-Clearing - Accounts Payable Totals									

Checks	Status	Count	Transaction Amount	Reconciled Amount
	Open	74	\$343,915.03	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	74	\$343,915.03	\$0.00
EFTs	Status	Count	Transaction Amount	Reconciled Amount
	Open	1	\$36,825.24	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Total	1	\$36,825.24	\$0.00
All	Status	Count	Transaction Amount	Reconciled Amount
	Open	75	\$380,740.27	\$0.00

Payment Register

From Payment Date: 7/28/2015 - To Payment Date: 8/10/2015

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
					Reconciled	0	\$0.00	\$0.00	
					Voided	0	\$0.00	\$0.00	
					Stopped	0	\$0.00	\$0.00	
					Total	75	\$380,740.27	\$0.00	

FM-GMAT Grant - GMAT Grant

Check

2225	07/29/2015	Open			Accounts Payable	Canon Financial Services, Inc.	\$61.05		
	Invoice		Date	Description		Amount			
	15088477		07/13/2015	copier lease		\$61.05			
2226	07/29/2015	Open			Accounts Payable	Village of Lemont	\$5,000.00		
	Invoice		Date	Description		Amount			
	2016-00000001		07/10/2015	4/1/15-6/30/15 accounting services		\$5,000.00			
2227	08/06/2015	Open			Accounts Payable	DuPage Airport	\$1,263.88		
	Invoice		Date	Description		Amount			
	RC0065760		08/01/2015	A-DAT01 - Rms #12 & #13		\$1,263.88			
2228	08/06/2015	Open			Accounts Payable	DuPage County Division of Transportation	\$1,013.82		
	Invoice		Date	Description		Amount			
	3217		07/15/2015	3/1/15-5/31/15 gasoline for BATTLE 1500-3500-42107 -Gas		\$1,013.82			

Type Check Totals:

FM-GMAT Grant - GMAT Grant Totals

4 Transactions

\$7,338.75

Checks	Status	Count	Transaction Amount	Reconciled Amount
	Open	4	\$7,338.75	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	4	\$7,338.75	\$0.00

EFTs	Status	Count	Transaction Amount	Reconciled Amount
	Open	0	\$0.00	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Total	0	\$0.00	\$0.00

All	Status	Count	Transaction Amount	Reconciled Amount
	Open	4	\$7,338.75	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	4	\$7,338.75	\$0.00

FM-GMAT Project - GMAT Project

Check

30060	07/29/2015	Open			Accounts Payable	Copart	\$1,169.50		
	Invoice		Date	Description		Amount			
	15052030		05/07/2015	00 GENR 4000XL		\$514.00			
	30883574		05/21/2015	07 SUPR TRLR 2TONE		\$340.00			
	29186184		07/08/2015	95 HOND CIVIC		\$315.50			

Payment Register

From Payment Date: 7/28/2015 - To Payment Date: 8/10/2015

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
30061	07/29/2015	Open			Accounts Payable	Waste Management	\$333.92		
	Invoice		Date	Description		Amount			
	15-07-02		07/02/2015	430-0090231-2011-7		\$333.92			
30062	08/06/2015	Open			Accounts Payable	Copart	\$25.00		
	Invoice		Date	Description		Amount			
	27568355		07/10/2015	95 HOND CIVIC EX		\$25.00			

Type Check Totals:
FM-GMAT Project - GMAT Project Totals

3 Transactions \$1,528.42

Checks	Status	Count	Transaction Amount	Reconciled Amount
	Open	3	\$1,528.42	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	3	\$1,528.42	\$0.00

EFTs	Status	Count	Transaction Amount	Reconciled Amount
	Open	0	\$0.00	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Total	0	\$0.00	\$0.00

All	Status	Count	Transaction Amount	Reconciled Amount
	Open	3	\$1,528.42	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	3	\$1,528.42	\$0.00

Grand Totals:

Checks	Status	Count	Transaction Amount	Reconciled Amount
	Open	81	\$352,782.20	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	81	\$352,782.20	\$0.00

EFTs	Status	Count	Transaction Amount	Reconciled Amount
	Open	1	\$36,825.24	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Total	1	\$36,825.24	\$0.00

All	Status	Count	Transaction Amount	Reconciled Amount
	Open	82	\$389,607.44	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	82	\$389,607.44	\$0.00

RESOLUTION NO. _____

**A RESOLUTION PROVIDING FOR THE DESTRUCTION
OF CERTAIN VERBATIM RECORDINGS OF CLOSED SESSION MEETINGS**

WHEREAS, the President and Board of Trustees of the Village of Lemont have maintained verbatim recordings of all closed session meetings of the Village of Lemont in accordance with and as required by Section 2.06 the Open Meetings Act (5 ILCS 120/1 *et seq.*) (the “Act”); and

WHEREAS, the Act allows verbatim records of closed meetings or closed sessions of open meetings (“Closed Session Meetings”) to be destroyed without notification to, or the approval of, a records commission under the Local Records Act, no less than 18 months after the completion of the meeting recorded, but only after:

1. The President and Board of Trustees approve the destruction of a particular recording; and
2. The President and Board of Trustees approve minutes of the closed session meeting that meet the written minutes requirements of subsection 2.06 (a) of the Act; and

WHEREAS, the Village of Lemont wishes to destroy certain verbatim recordings of Closed Session Meetings as permitted under the Act;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES AS FOLLOWS:

SECTION 1: The foregoing findings and recitals, and each of them, are hereby adopted as Section 1 of this Resolution and are incorporated by reference as if set forth verbatim herein.

SECTION 2: The President and Board of Trustees hereby approve the minutes for all of the Closed Session Meetings set forth in Exhibit A, attached hereto and incorporated by reference herein.

SECTION 3: The President and Board of Trustees hereby authorize the destruction of all verbatim recordings of the Closed Session Meetings identified in Exhibit A, and hereby direct Village of Lemont staff to destroy said verbatim recordings on the destruction dates set forth in Exhibit A, or as soon thereafter as practicable.

SECTION 4: This Resolution shall be in full force and effect from and after its passage as provided by law. All prior resolutions, motions and orders in conflict herewith are hereby repealed, to the extent of such conflict.

**PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF
THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL AND DUPAGE,
ILLINOIS on this 10th day of August, 2015.**

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

EXHIBIT A

Closed Session Verbatim Recordings Destruction Schedule

Meeting Date	Minutes Approved Date	Destruction Date
02-09-15	08-10-15	08-09-16
02-23-15	08-10-15	08-23-16
03-09-15	08-10-15	09-09-16
04-13-15	08-10-15	10-13-16
05-11-15	08-10-15	11-11-16
06-08-15	08-10-15	12-08-16
06-22-15	08-10-15	12-22-16

RESOLUTION NO. _____

A RESOLUTION REVIEWING THE NEED FOR CONFIDENTIALITY OF CLOSED SESSION MEETINGS

WHEREAS, Section 2.06 of the Open Meetings Act (5 ILCS 120/2.06) requires all public bodies to keep written minutes of all of their meetings, whether open or closed, and specifies the minimum contents thereof; and

WHEREAS, the Open Meetings Act requires each public body to periodically, but no less than semi-annually, meet to review minutes of all closed meetings to determine (1) the need for confidentiality still exists as to all or part of those minutes or (2) that the minutes or portions thereof no longer require confidential treatment and are available for public inspection.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES AS FOLLOWS:

SECTION 1: The foregoing findings and recitals, and each of them, are hereby adopted as Section 1 of this Resolution and are incorporated by reference as if set forth verbatim herein.

SECTION 2: The President and Board of Trustees hereby determine that the need for confidentiality still exists with respect to the minutes of the closed session previously approved, and nothing contained herein shall be construed as or constitute a waiver of said confidentiality.

SECTION 3: This Resolution shall be in full force and effect from and after its passage as provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL AND DUPAGE, ILLINOIS on this 10th day of August, 2015.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

Village Board Agenda Memorandum

To: Mayor & Village Board

From: George Schafer, Village Administrator
Chris Smith, Finance Director

Subject: FY16 Budget Amendment

Date: August 10, 2015

BACKGROUND/HISTORY

Per State Statute a budget needs to be adopted by the Board before the beginning of the fiscal year and can be amended with Board approval during the course of the fiscal year. On April 13, 2015 the Village passed ordinance O-8-15 adopting the FY2015-2016 Operating and Capital Improvement Budget.

Listed below are the proposed changes for a quarterly budget amendment. This amendment changes expenditures to account for contracts that were awarded by the Board in FY15. There are 4 accounts that were affected by the change:

1) General Fund		
Carl Wohlt- Visual Identity		\$ 15,000.00
2) Downtown/Road Way Improvement		
Rausch Construction- Bridge Repairs		\$ 66,430.00
3) Water / Sewer Department		
HR Green-Needs Analysis		\$ 33,915.00
4) Village Hall Improvement		
Braniff Communications- Siren		\$ 21,232.00
Rag's Electric		<u>\$ 1,850.00</u>
		\$138,427.00

ATTACHMENTS

Ordinance
Budget Amendment Report

**VILLAGE OF LEMONT
ORDINANCE NO. _____**

**AN ORDINANCE AMENDING THE BUDGET FOR FISCAL YEAR 15-16
FOR THE VILLAGE OF LEMONT**

**Adopted by the President
and Board of Trustees
of the Village of Lemont
This 10th of August 2015**

**Published in pamphlet form by
authority of the President and
Board of Trustees of the Village
of Lemont, Cook, DuPage, and Will
Counties, Illinois this 10th day of August 2015**

ORDINANCE NO. _____

**AN ORDINANCE AMENDING THE BUDGET FOR FISCAL YEAR 15-16
FOR THE VILLAGE OF LEMONT**

WHEREAS, the Village of Lemont (“Village”) is an Illinois Municipal Corporation pursuant to the Illinois Constitution of 1970 and the Statutes of the State of Illinois.

WHEREAS, the Village of Lemont Board of Trustees have adopted a budget for the fiscal year ending April 30, 2016, a certified copy of said Budget and a Certificate of Estimate of Revenues have been filed with the Office of the County Clerk for the Counties of Cook, DuPage and Will; and,

WHEREAS, circumstances have arisen during the fiscal year by which said Village wishes to amend said budget filed with the County Clerks according to the general ledger numbers and amounts listed in Attachment A; and

WHEREAS, the Village has additional revenue and/or designated fund balances that will be and is hereby allocated for said budget amendments as listed in Attachment A.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES of the Village of Lemont, Illinois:

SECTION 1: The above recitals are incorporated in this ordinance as if fully set forth.

SECTION 2: The budget filed with the County Clerks is hereby amended according to the amendments outlined and enumerated in Attachment A to this Ordinance; and

SECTION 3: That the Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

SECTION 4: Should any Section or provision of this Ordinance be declared by a Court of competent jurisdiction to be invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part thereof other than the part declared to be invalid.

SECTION 5: This Ordinance shall be in full force and effect from and after its passage, approval and publication provided by law.

**PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE AND WILL,
ILLINOIS, ON THIS 10th DAY OF AUGUST 2015**

	<u>AYES</u>	<u>NAYS</u>	<u>ABSENT</u>	<u>ABSTAIN</u>
Debby Blatzer				
Paul Chialdikas				
Clifford Miklos				
Ron Stapleton				
Rick Sniegowski				
Jeanette Virgilio				

Approved by me this 10th day of August 2015

BRIAN K. REAVES, Village President

Attest:

CHARLENE M. SMOLLEN, Village Clerk

ATTACHMENT A

Lemont, IL
Budget Amendments Report
 From Date: 5/1/2015 - To Date: 7/31/2015

Account	G/L Date	Journal	Description	Increases	Decreases	Amended Balance
Fund: 10 General Fund						
Department: 30 Planning & Economic Development						
Division: 420 Economic Development						
Program: 0000 Non Program						
523.45 - Other Services Economic Development				Amended Balance as of: 7/31/2015		\$20,516.00
	05/01/2015	2016-00000573	Year End Soft Close	\$15,000.00	\$0.00	\$35,516.00
				\$15,000.00	\$0.00	\$35,516.00
Program: 0000 Non Program Totals:				\$15,000.00	\$0.00	
Division: 420 Economic Development Totals:				\$15,000.00	\$0.00	
Department: 30 Planning & Economic Development Totals:				\$15,000.00	\$0.00	
Fund Totals: General Fund				\$15,000.00	\$0.00	
Fund: 30 Downtown TIF Fund						
Department: 92 Public Works Capital						
Division: 500 Capital						
Program: 5039 Bridge Repair						
604.10 - Infrastructure Construction				Amended Balance as of: 7/31/2015		\$0.00
	05/01/2015	2016-00000573	Year End Soft Close	\$33,215.00	\$0.00	\$33,215.00
				\$33,215.00	\$0.00	\$33,215.00
Program: 5039 Bridge Repair Totals:				\$33,215.00	\$0.00	
Division: 500 Capital Totals:				\$33,215.00	\$0.00	
Department: 92 Public Works Capital Totals:				\$33,215.00	\$0.00	
Fund Totals: Downtown TIF Fund				\$33,215.00	\$0.00	

Lemont, IL
Budget Amendments Report

From Date: 5/1/2015 - To Date: 7/31/2015

Account	G/L Date	Journal	Description	Increases	Decreases	Amended Balance
Fund: 40 Road Improvement Fund						
Department: 92 Public Works Capital						
Division: 500 Capital						
Program: 5039 Bridge Repair						
604.10 - Infrastructure Construction				Amended Balance as of: 7/31/2015		\$0.00
	05/01/2015	2016-00000573	Year End Soft Close	\$33,215.00	\$0.00	\$33,215.00
				\$33,215.00	\$0.00	\$33,215.00
Program: 5039 Bridge Repair Totals:				\$33,215.00	\$0.00	
Division: 500 Capital Totals:				\$33,215.00	\$0.00	
Department: 92 Public Works Capital Totals:				\$33,215.00	\$0.00	
Fund Totals: Road Improvement Fund				\$33,215.00	\$0.00	
Fund: 52 Village Hall Improvement Fund						
Department: 90 General Government						
Division: 500 Capital						
Program: 0000 Non Program						
610.05 - Capital Outlay Machinery & Equipment Capitalized Asset				Amended Balance as of: 7/31/2015		\$0.00
	07/15/2015	2016-00000773	roll purchase order	\$23,082.00	\$0.00	\$23,082.00
				\$23,082.00	\$0.00	\$23,082.00
Program: 0000 Non Program Totals:				\$23,082.00	\$0.00	
Division: 500 Capital Totals:				\$23,082.00	\$0.00	
Department: 90 General Government Totals:				\$23,082.00	\$0.00	
Fund Totals: Village Hall Improvement Fund				\$23,082.00	\$0.00	

Budget Amendments Report

From Date: 5/1/2015 - To Date: 7/31/2015

Account	G/L Date	Journal	Description	Increases	Decreases	Amended Balance
Fund: 70 Water & Sewer Fund						
Department: 70 Water						
Division: 001 Administration						
Program: 0000 Non Program						
523.10 - Other Services Consulting				Amended Balance as of: 7/31/2015		\$0.00
	05/01/2015	2016-00000573	Year End Soft Close	\$33,915.00	\$0.00	\$33,915.00
				\$33,915.00	\$0.00	\$33,915.00
Program: 0000 Non Program Totals:				\$33,915.00	\$0.00	
Division: 001 Administration Totals:				\$33,915.00	\$0.00	
Department: 70 Water Totals:				\$33,915.00	\$0.00	
Fund Totals: Water & Sewer Fund				\$33,915.00	\$0.00	
Grand Totals:				\$138,427.00	\$0.00	



Village of Lemont
Planning & Economic Development Department

418 Main Street · Lemont, Illinois 60439
phone 630-257-1595 · fax 630-257-1598

TO: Mayor Reaves
Village Board of Trustees

FROM: Heather Milway, Village Planner

THRU: Charity Jones, AICP, Planning & Economic Development Director

SUBJECT: Case 15-08 Estates of Montefiori Preliminary PUD and Rezoning

DATE: July 31, 2015

SUMMARY

Walter Rebenson, on behalf of Ascend Real Estate Group, LLC, contract purchaser of the subject property, has requested a preliminary planned unit development (PUD) approval for 52 townhomes and 32 single family homes and rezoning to R-4 and R-5. Staff recommends approval with conditions. The Planning and Zoning Commission vote 3-3 in a failed motion to recommend approval of the application. Staff is recommending approval of the PUD and rezoning. The Committee of the Whole reviewed the development proposal on July 20, 2015 and expressed support for the submitted plans.

BOARD ACTION

Vote on the attached ordinance.

ATTACHMENTS

1. An ordinance granting preliminary plan/plat approval, special use for a preliminary planned unit development (PUD) and zoning map amendment for a fifty-two townhomes and thirty-five Single-Family residential subdivision located at 11250 Archer Avenue and 12900 Main Street in Lemont, Illinois.

VILLAGE OF LEMONT
ORDINANCE NO. _____

AN ORDINANCE GRANTING PRELIMINARY PLAN/PLAT APPROVAL, SPECIAL USE FOR A PRELIMINARY PLANNED UNIT DEVELOPMENT (PUD) AND ZONING MAP AMENDMENT FOR A FIFTY-TWO TOWNHOME AND THIRTY-FIVE SINGLE-FAMILY DETACHED RESIDENTIAL SUBDIVISION LOCATED AT 11250 ARCHER AVENUE AND 12900 MAIN STREET IN LEMONT, ILLINOIS.

(Estates of Montefiori)

**Adopted by the
President and Board of Trustees
of the Village of Lemont**

This 10th Day of August, 2015

**Published in pamphlet form by
authority of the President and
Board of Trustees of the Village
of Lemont, Cook, DuPage, and Will
Counties, Illinois this 10th day of
August, 2015.**

ORDINANCE NO. _____

AN ORDINANCE GRANTING PRELIMINARY PLAN/PLAT APPROVAL, SPECIAL USE FOR A PRELIMINARY PLANNED UNIT DEVELOPMENT (PUD) AND ZONING MAP AMENDMENT FOR A FIFTY-TWO TOWNHOMES AND THIRTY-FIVE SINGLE-FAMILY RESIDENTIAL SUBDIVISION LOCATED AT 11250 ARCHER AVENUE AND 12900 MAIN STREET IN LEMONT, ILLINOIS.

(Estates of Montefiori)

WHEREAS, Walter Rebenson of Ascend Real Estate Group, LLC, (hereinafter referred to as the “Petitioner”), is the contract purchaser of the property covering approximately 30.58 acres located at 11250 Archer Avenue and 12900 Main Street (PINs # 22-14-402-003-0000, 22-14-402-004-0000, 22-14-402-013-0000, 22-23-203-003-0000, 22-23-203-004-0000, and 22-23-203-008-0000), legally described and depicted in Exhibit A (hereinafter referred to collectively as the “Subject Property”); and

WHEREAS, the Petitioner applied pursuant to the provisions of the Lemont, Illinois Municipal Code, Title 17 Unified Development Ordinance (“UDO”) seeking rezoning to the R-4 Single-Family Detached Residential District and R-5 Single-Family Attached Residential District for the Subject Property, preliminary plat of subdivision, and a special use for a preliminary planned unit development, consisting of the following (hereinafter referred to as “Estates of Montefiori Preliminary PUD”);

1. Preliminary P.U.D. Plat of the Estates of Montefiori Subdivision, prepared by Geotech Inc., dated 7/8/2015, attached hereto and incorporated herein as Exhibit B; and
2. Preliminary Improvement Plans for the Estates of Montefiori, prepared by Geotech Inc., dated 7/1/2015, attached hereto and incorporated herein as Exhibit C; and
3. Overall Preliminary Landscape Plan, prepared by Wingreen Landscape, dated 7/6/2015, attached hereto and incorporated herein as Exhibit D; and
4. Existing Tree Survey, prepared by Geotech Inc., dated 5/21/2015, attached hereto and incorporated herein as Exhibit E; and
5. Townhome Elevations, prepared by Linden Group Architects, dated 7/6/2015 attached hereto and incorporated herein as Exhibit F; and
6. Proposed Zoning for the Estates of Montefiori Subdivision, prepared by Geotech Inc., dated 8/3/2015 attached hereto and incorporated herein as Exhibit G; and

WHEREAS, a notice of the aforesaid Public Hearing was made in the manner provided by law and was published in the *Lemont Reporter-Met*, a newspaper of general circulation within the Village; and

WHEREAS the Planning and Zoning Commission of the Village of Lemont, Illinois, in accordance with the UDO, conducted a public hearing on the petition on June 17, 2015 and did not recommend approval of the Estates of Montefiori Preliminary PUD ; and

WHEREAS, the President and Board of Trustees of the Village have reviewed the matter herein and have determined that the same is in the best interest of the public health, safety and welfare of the residents of the Village of Lemont, and hereby adopt the finding of facts as set forth in Exhibit H.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE, AND WILL, ILLINOIS:

SECTION 1: Incorporation of Recitals. The foregoing findings and recitals are hereby adopted as Section 1 of this Ordinance and are incorporated by reference as if set forth verbatim herein.

SECTION 2: Special Use & Zoning Map Amendment. A zoning map amendment from B-3 Arterial Commercial district and R-1 Single-Family Detached Residential to R-4 Single-Family Residential and R-5 Single-Family Attached Residential districts is granted for the Subject Property as depicted in Exhibit G. A special use is granted as provided and conditioned in this Ordinance.

SECTION 3: Conditions. The special use for a planned unit development shall have the following conditions:

1. **General Conditions.** Prior to final plat approval the following plans shall be submitted for approval to the Village:
 - a) final engineering plan,
 - b) tree preservation plan,
 - c) landscape plan, and
 - d) subdivision plat/plans.

2. **Specific Conditions.** The following specific conditions shall apply:

A. Homeowner's Association Establishment. The Petitioner shall establish a Homeowners' Association for the townhome units prior to the issuance of a site development permit, which shall be binding upon the Subject Property, recorded against the Subject Property, and in accord with the provisions of this Ordinance. The Homeowners' Association shall have the obligation and responsibility at its sole cost and expense to ensure the upkeep, landscaping and maintenance of the common areas that are not dedicated and accepted by the Village in a first-rate condition at all times. The common areas include but are not limited to, Outlots A and B, the walking path located at Outlot C, the emergency access located at Archer Avenue, and the maintenance access located at Main Street.

In the event the Village determines, in the Village's sole and absolute discretion,

that the Homeowners' Association is not adequately maintaining, or has not adequately maintained, any improvement or area of the common areas, the Village shall have the right, but not the obligation, after ten (10) business days' prior written notice to the Homeowners' Association, to enter upon any or all of the common areas for the purpose of performing maintenance work on any affected improvement or area.

In the event that the Village shall cause to be performed any work pursuant to this Section 2A of this Ordinance, the Village shall have the right to: (i) assess the membership of the Homeowners' Association for that work; and (ii) file a lien against the property of the Homeowners' Association and the property of any member failing to pay the assessment; and (iii) enforce the lien in the manner provided by law for mortgage foreclosure proceedings.

B. Tree Preservation. Existing trees in fair or better condition located within 10 feet of either side of the property line between the townhomes units and single-family detached units (generally the rear lot lines of lots 31-35 and 43-50, and west lot line of lot 36) shall be preserved. If such trees cannot be preserved, the petitioner shall comply with the tree mitigation requirements of Section 17.20.130.D of the Lemont, Illinois Municipal Code.

C. Open Space Amenities. The Petitioner is hereby required to install a walking path around the detention pond located at Outlot C. In accord with this requirement, the landscape plan shall be amended and submitted to the Village depicting such walking path which shall be subject to the approval of the Village's Planning and Economic Development Director.

3. **Specific Conditions for Single-Family Detached Buildings.** The following specific conditions shall apply to all single family detached units to be constructed, unless otherwise limited below.

A. Anti-monotony. The UDO Section 17.22.020 – Design Variety in Residential Construction and 17.22.050 – Architectural Standards for Residences shall apply.

B. Garages.

- 1) At least 13 (40.6%) of the single family detached units shall have side loaded garages;
- 2) No more than 11 single family detached units (34%) shall have three-car front loaded garages.

C. Exterior Materials & Features.

- 1) All elevations of the single-family detached unit to be constructed on Lot 5 shall be constructed with masonry extending from grade to the top of the first storey. Of the remaining single family detached units, 12 (34.3%) units shall not have a minimum first floor masonry requirement; however, single family detached units constructed with less than 25% masonry on all elevations shall be subject to further design guidelines to be approved as part of the Final PUD ordinance. Such guidelines may limit the

architectural styles that may be constructed without a minimum masonry component and shall establish minimums for eaves, window trim, and other architectural details for single family detached units constructed without a minimum masonry component.

- 2) Brick and stone veneer shall be anchored veneer. Adhered brick and stone veneer systems shall not be permitted, except adhered natural stone veneer shall be permitted for porch columns.
- 3) When a single family detached unit includes masonry on at least 40% of the front elevation, such masonry shall be extended to all elevations of the single family detached unit at the same height as is present on the front elevation.
- 4) Siding shall be cement fiber board, LP Smart Side® or a comparable product of similar style and quality as approved by the Village Planning & Economic Development Director.

SECTION 4: The planned unit development approval shall lapse in the event the Petitioner does not file a complete application for Final PUD approval within one (1) year of the effective date of this ordinance.

SECTION 5: The Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

SECTION 6: This Ordinance shall be in full force and effect from and after its passage, approval and publication provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DuPAGE, ILLINOIS, ON THIS 10th DAY OF August, 2015.

	<u>AYES</u>	<u>NAYS</u>	<u>ABSENT</u>	<u>ABSTAIN</u>
Debby Blatzer				
Paul Chialdikas				
Clifford Miklos				
Ron Stapleton				
Rick Sniegowski				
Jeanette Virgilio				

Approved by me this 10th day of August, 2015

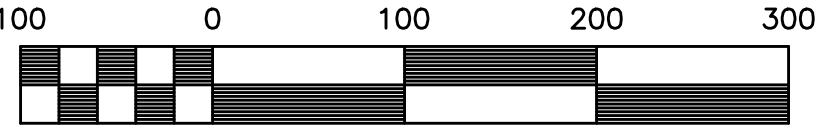
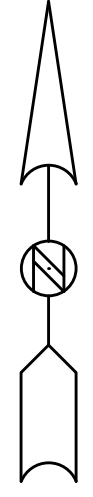
BRIAN K. REAVES, Village President

Attest:

CHARLENE M. SMOLLEN, Village Clerk

P.I.N. 22-14-402-003
 22-14-402-004
 22-14-402-013
 22-23-203-003
 22-23-203-004
 22-23-203-008

EXISTING CONDITIONS / TOPOGRAPHIC MAP



Scale: 1" = 100'

LEGAL DESCRIPTION:

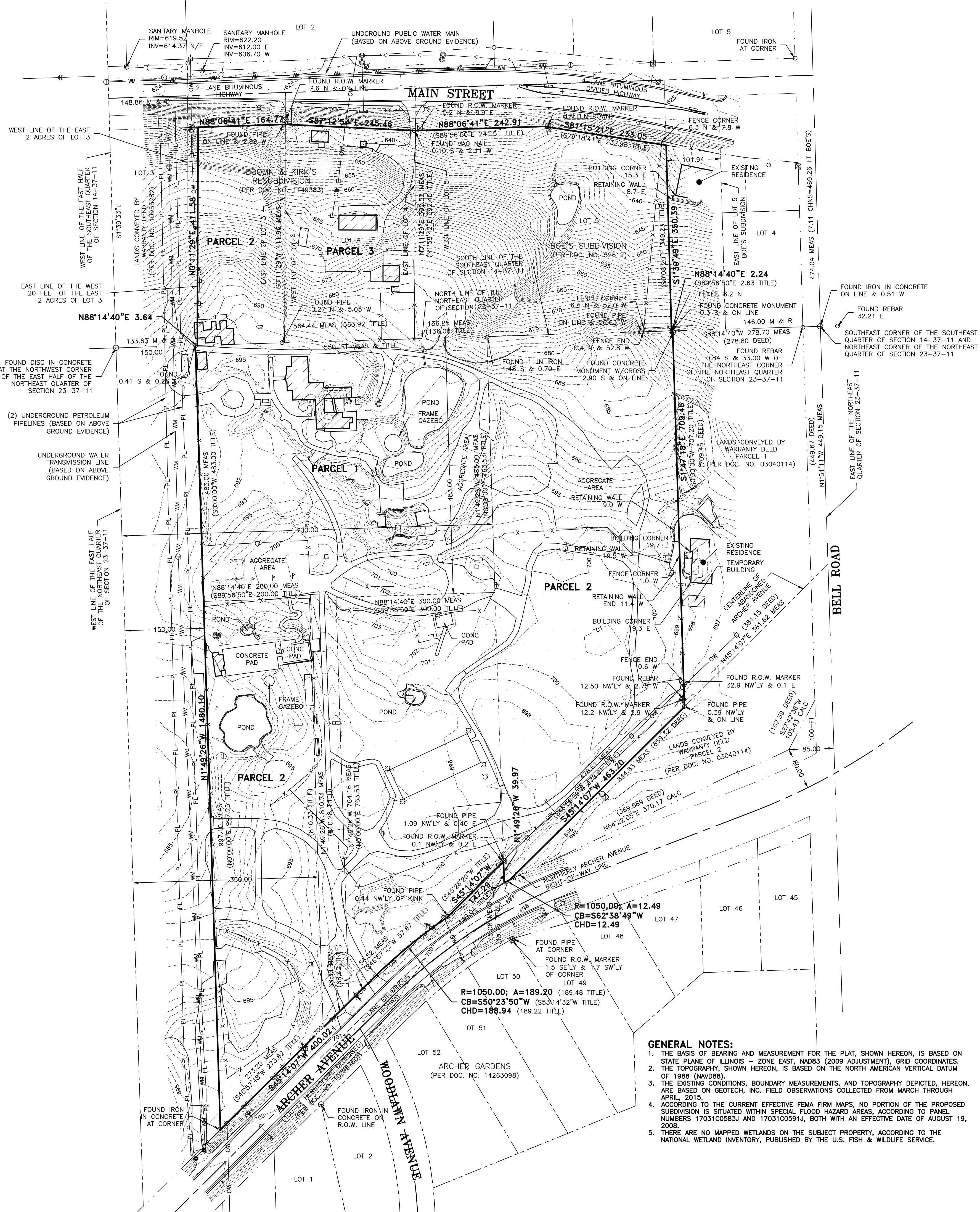
PARCEL 1:
 A PARCEL OF LAND IN THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: MEASURE ALONG THE NORTH SECTION LINE FROM THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION, A DISTANCE OF 150 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SECTION LINE A DISTANCE OF 550 FEET; THENCE SOUTH ALONG A LINE PARALLEL WITH AND 700 FEET EAST OF THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION, 483 FEET; THENCE WEST PARALLEL WITH SAID NORTH LINE OF SAID SECTION, 300 FEET; THENCE SOUTH PARALLEL WITH SAID WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER, 763.58 FEET TO THE NORTHWESTERLY RIGHT-OF-WAY OF ARCHER AVENUE (STATE AID ROUTE 4A); THENCE SOUTHWESTERLY ALONG SAID RIGHT-OF-WAY LINE 68.42 FEET TO A POINT ON A LINE 350 FEET EAST OF SAID WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23; THENCE NORTH OF SAID LINE 810.28 FEET; THENCE WEST 200 FEET; THENCE NORTH 483 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

PARCEL 2:
 THAT PART OF LOT 5 IN CHRISTIAN BOE'S SUBDIVISION IN THE SOUTHWEST PART OF THE SOUTHEAST QUARTER OF SECTION 14 AND PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, ALL IN TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 5 IN CHRISTIAN BOE'S SUBDIVISION AFORESAID, SAID CORNER BEING DISTANT 89 DEGREES 56 MINUTES 50 SECONDS EAST 563.92 FEET FROM THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 01 DEGREES 58 MINUTES 42 SECONDS EAST ALONG THE WEST LINE OF SAID LOT 5, A DISTANCE OF 392.45 FEET TO A POINT ON THE SOUTH LINE OF CHICAGO-JOLIET ROAD AS WIDENED; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST ALONG SAID SOUTH LINE 241.51 FEET TO AN ANGLE POINT IN SAID SOUTH LINE; THENCE SOUTH 79 DEGREES 18 MINUTES 41 SECONDS EAST ALONG SAID SOUTH LINE 232.98 FEET TO A POINT DISTANT 101.94 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID LOT 5; THENCE SOUTH 00 DEGREES 08 MINUTES 20 SECONDS EAST 349.23 FEET TO A POINT IN THE SOUTH LINE OF SAID LOT 5, BEING ALSO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST 2.63 FEET ALONG SAID NORTH LINE; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 707.20 FEET TO THE CENTERLINE OF A ROAD (ARCHER AVENUE); THENCE SOUTH 46 DEGREES 56 MINUTES 29 SECONDS WEST ALONG SAID CENTERLINE 478.61 FEET, MORE OR LESS TO A POINT WHICH IS 700.00 FEET EAST OF THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 45.15 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF ARCHER AVENUE (STATE AID ROUTE 4A HIGHWAY); THENCE SOUTH 46 DEGREES 28 MINUTES 20 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE 149.04 FEET TO A POINT ON A CURVE; THENCE SOUTHWESTERLY 189.48 FEET ALONG SAID NORTHERLY RIGHT OF WAY LINE, HAVING A RADIUS OF 1050.00 FEET CHORD BEARING SOUTH 53 DEGREES 14 MINUTES 32 SECONDS WEST 189.22 FEET; THENCE SOUTH 46 DEGREES 57 MINUTES 22 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE 57.67 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 763.53 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 300.00 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, A DISTANCE OF 483.00 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 56 MINUTES 50 SECONDS WEST 136.08 FEET TO THE POINT OF BEGINNING.

ALSO:
 THE EAST 2 ACRES OF LOT 3 (EXCEPT THE WEST 20 FEET THEREOF) IN DOOLIN AND KIRK'S RESUBDIVISION OF THE EAST 404.7 FEET TO THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER AND OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL (EXCEPT LOTS 1 TO 5 OF BOE'S SUBDIVISION OF PART THEREOF) IN COOK COUNTY, ILLINOIS (EXCEPT PART TAKEN FOR HIGHWAY PURPOSES IN CHICAGO-JOLIET ROAD)

ALSO:
 THAT PART OF THE EAST HALF OF THE NORTHEAST HALF OF SECTION 23, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23 AFORESAID; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 150.00 FEET TO A POINT ON A LINE PARALLEL WITH AND 150.00 FEET EAST OF THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE SOUTH 00 DEGREES 00 SECONDS WEST 483.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST 200.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 810.33 FEET TO A POINT ON THE NORTHWESTERLY RIGHT OF WAY LINE OF ARCHER AVENUE (STATE ROUTE 4A HIGHWAY); THENCE SOUTH 46 DEGREES 57 MINUTES 48 SECONDS WEST ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE 273.62 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 997.25 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

PARCEL 3:
 LOT 4 (EXCEPTING THEREFROM THAT PART OF SAID LOT TAKEN FOR RIGHT-OF-WAY FOR MAIN STREET, FORMERLY CHICAGO-JOLIET ROAD) IN DOOLIN AND KIRK'S RESUBDIVISION OF THE EAST 404.7 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THERE RECORDED AUGUST 30, 1889 AS DOCUMENT 1149383 IN BOOK 37 OF PLATS, PAGE 18, IN COOK COUNTY, ILLINOIS.



- GENERAL NOTES:**
1. THE BASIS OF BEARING AND MEASUREMENT FOR THE PLAT, SHOWN HEREON, IS BASED ON STATE PLANE OF ILLINOIS - ZONE EAST, NAD83 (2009 ADJUSTMENT), GRID COORDINATES.
 2. THE TOPOGRAPHY, SHOWN HEREON, IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 3. THE EXISTING CONDITIONS, BOUNDARY MEASUREMENTS, AND TOPOGRAPHY DEPICTED, HEREON, ARE BASED ON GEOTECH, INC. FIELD OBSERVATIONS COLLECTED FROM MARCH THROUGH APRIL, 2015.
 4. ACCORDING TO THE CURRENT EFFECTIVE FEMA FIRM MAPS, NO PORTION OF THE PROPOSED SUBDIVISION IS SITUATED WITHIN SPECIAL FLOOD HAZARD AREAS, ACCORDING TO PANEL NUMBERS 17031G0583J AND 17031G0581J, BOTH WITH AN EFFECTIVE DATE OF AUGUST 19, 2008.
 5. THERE ARE NO MAPPED WETLANDS ON THE SUBJECT PROPERTY, ACCORDING TO THE NATIONAL WETLAND INVENTORY, PUBLISHED BY THE U.S. FISH & WILDLIFE SERVICE.

GEOTECH INC.
 CONSULTING ENGINEERS - LAND SURVEYORS
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

PART OF SECTION 14-37-11 AND SECTION 23-37-11

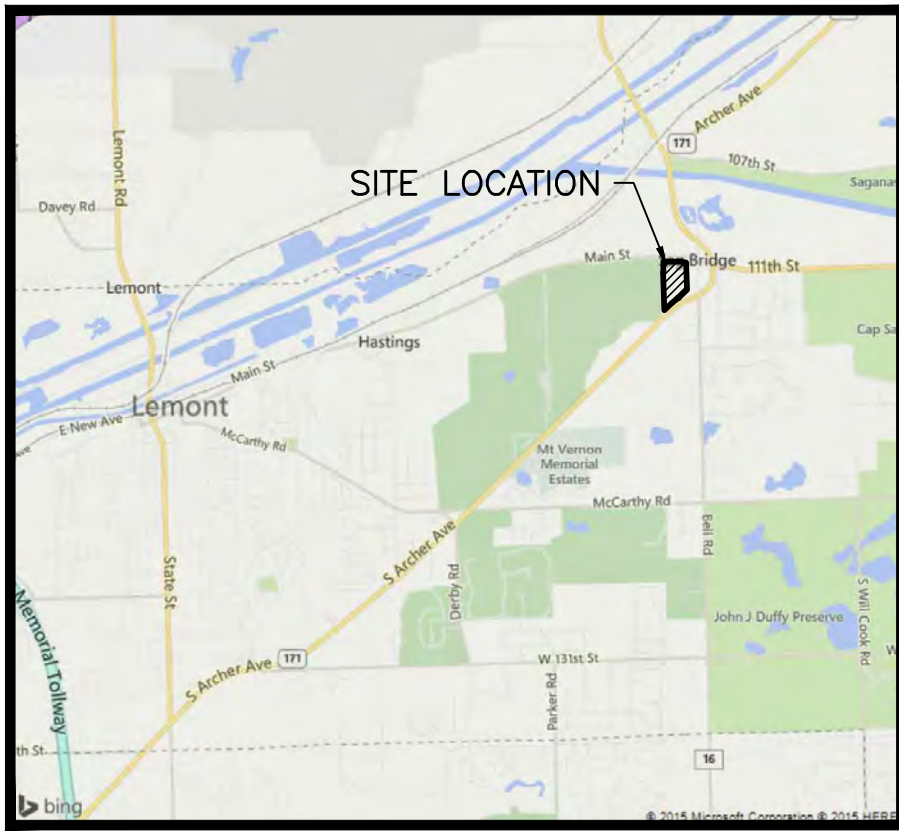
ORDERED BY:
 ASCEND REAL ESTATE GROUP
 912 WEST LAKE STREET
 CHICAGO, ILLINOIS 60607

DRAWN BY: CJT
 CHECKED BY: CMP

JOB # GJN19203
 DATE: 05/21/2015

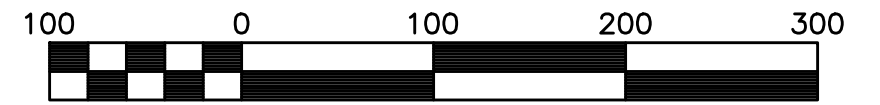
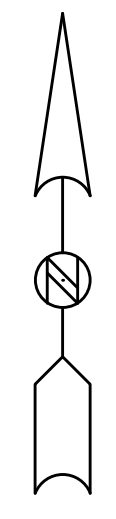
DATE BY REVISION

VICINITY MAP



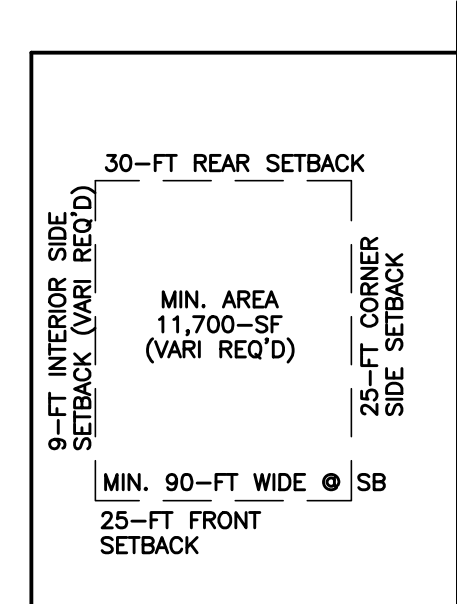
PRELIMINARY P.U.D. PLAT OF THE ESTATES OF MONTEFIORI SUBDIVISION

BEING PART OF THE SOUTHEAST QUARTER OF SECTION 14 AND PART OF THE NORTHEAST QUARTER OF SECTION 23 IN TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

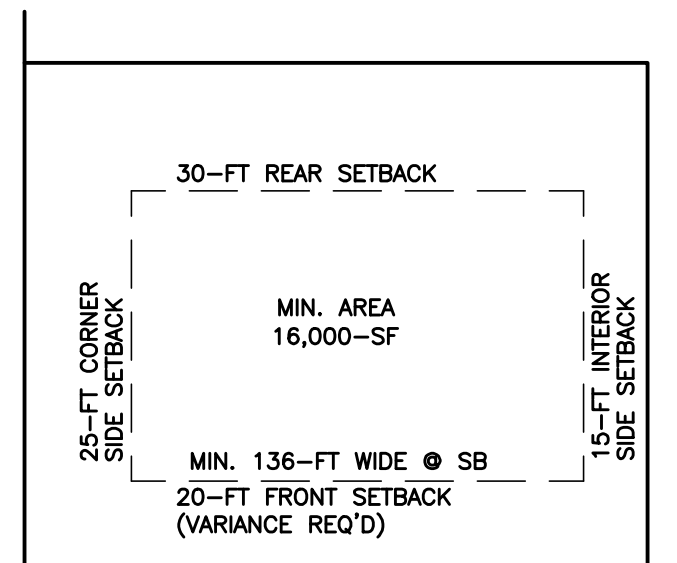


Scale 1" = 100'

TYPICAL R-4 LOT (SINGLE FAMILY)



TYPICAL R-5 LOT (TOWNHOMES)



SCOPE OF DEVELOPMENT

TOTAL AREA	= 30.58 ACRES (100%)
ROADWAY AREA	= 5.73 ACRES (18.7%)
DETENTION AREA	= 6.98 ACRES (22.9%)
DETENTION LOTS	= OUTLOTS A, B & C
TOTAL RESIDENTIAL AREA	= 17.87 ACRES (58.4%)
SINGLE-FAMILY AREA	= 11.29 ACRES (36.9%)
SINGLE-FAMILY LOTS	= 35 LOTS
MINIMUM LOT SIZE	= 11,700 SF (90'-FT X 130'-FT)
MINIMUM LOT WIDTH	= 90'-FT AT 25'-FT BUILDING SETBACK LINE
AVERAGE LOT SIZE	= 14,100 SF (11.29 AC/35 LOTS)
TOWNHOUSE AREA	= 6.58 ACRES (21.5%)
TOWNHOUSE LOTS	= 15 LOTS
3-UNIT LOTS	= 8 LOTS
4-UNIT LOTS	= 7 LOTS
TOWNHOUSE UNITS	= 52 DWELLING UNITS
TOTAL DWELLING UNITS	= 87 UNITS
DENSITY	= 2.8 UNITS/ACRE (87 DU/30.58 AC)

LEGAL DESCRIPTION:

PARCEL 1: A PARCEL OF LAND IN THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: MEASURE ALONG THE NORTH SECTION LINE FROM THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION, A DISTANCE OF 150 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SECTION LINE A DISTANCE OF 650 FEET; THENCE SOUTH ALONG A LINE PARALLEL WITH AND 700 FEET EAST OF THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION, 483 FEET; THENCE WEST PARALLEL WITH SAID NORTH LINE OF SAID SECTION, 300 FEET; THENCE SOUTH PARALLEL WITH SAID WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER, 783.58 FEET TO THE NORTHWESTERLY RIGHT-OF-WAY OF ARCHER AVENUE (STATE AID ROUTE 4A); THENCE SOUTHWESTERLY ALONG SAID RIGHT-OF-WAY LINE 68.42 FEET TO A POINT ON A LINE 350 FEET EAST OF SAID WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23; THENCE NORTH OF SAID LINE 810.28 FEET; THENCE WEST 200 FEET; THENCE NORTH 483 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF LOT 5 IN CHRISTIAN BOE'S SUBDIVISION IN THE SOUTHEAST PART OF THE SOUTHEAST QUARTER OF SECTION 14 AND PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, ALL IN TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 5 IN CHRISTIAN BOE'S SUBDIVISION AFORESAID, SAID CORNER BEING DISTANT SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST 563.92 FEET FROM THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 01 DEGREES 58 MINUTES 42 SECONDS EAST ALONG THE WEST LINE OF SAID LOT 5, A DISTANCE OF 392.45 FEET TO A POINT ON THE SOUTH LINE OF CHICAGO-JOLIET ROAD AS WIDENED; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST ALONG SAID SOUTH LINE 241.51 FEET TO AN ANGLE POINT IN SAID SOUTH LINE; THENCE SOUTH 79 DEGREES 18 MINUTES 41 SECONDS EAST ALONG SAID SOUTH LINE 232.98 FEET TO A POINT DISTANT 101.94 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID LOT 5; THENCE SOUTH 00 DEGREES 08 MINUTES 20 SECONDS EAST 349.23 FEET TO A POINT IN THE SOUTH LINE OF SAID LOT 5, BEING ALSO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST 2.63 FEET ALONG SAID NORTH LINE; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 707.20 FEET TO THE CENTERLINE OF A ROAD (ARCHER AVENUE); THENCE SOUTH 46 DEGREES 56 MINUTES 29 SECONDS WEST ALONG SAID CENTERLINE 478.61 FEET, MORE OR LESS TO A POINT WHICH IS 700.00 FEET EAST OF THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 45.15 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF ARCHER AVENUE (STATE AID ROUTE 4A HIGHWAY); THENCE SOUTH 45 DEGREES 28 MINUTES 20 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE 149.04 FEET TO A POINT ON A CURVE; THENCE SOUTHWESTERLY 189.48 FEET ALONG SAID NORTHERLY RIGHT OF WAY LINE, HAVING A RADIUS OF 1050.00 FEET CHORD BEARING SOUTH 53 DEGREES 14 MINUTES 32 SECONDS WEST 189.22 FEET; THENCE SOUTH 46 DEGREES 57 MINUTES 22 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE 57.67 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 763.53 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 50 SECONDS EAST PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23, A DISTANCE OF 300.00 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 23, A DISTANCE OF 483.00 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 56 MINUTES 50 SECONDS WEST 136.08 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

ALSO: THE EAST 2 ACRES OF LOT 3 (EXCEPT THE WEST 20 FEET THEREOF) IN DOLIN AND KIRK'S RESUBDIVISION OF THE EAST 404.7 FEET TO THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER AND OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT LOTS 1 TO 5 OF BOE'S SUBDIVISION OF PART THEREOF) IN COOK COUNTY, ILLINOIS (EXCEPT PART TAKEN FOR HIGHWAY PURPOSES IN CHICAGO-JOLIET ROAD) ALSO:

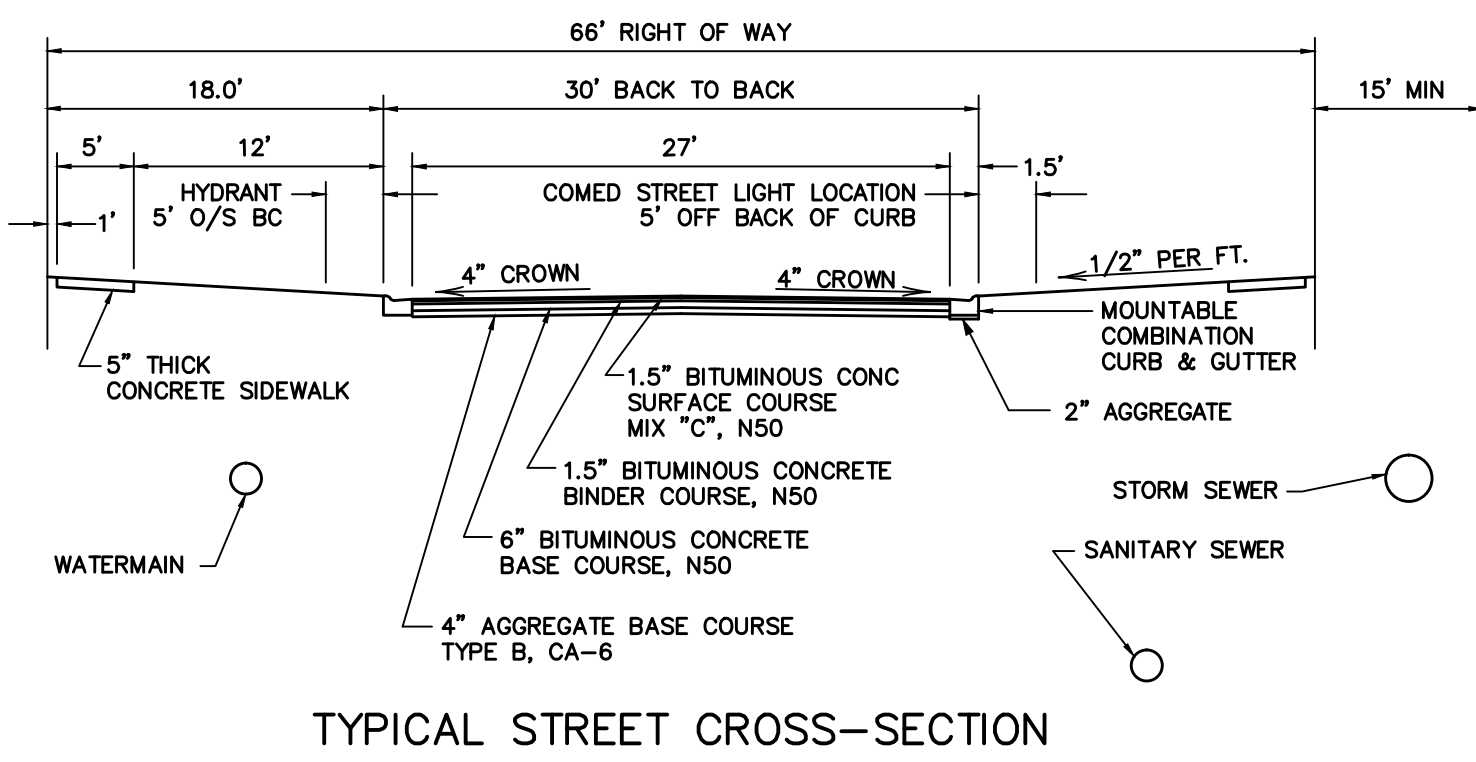
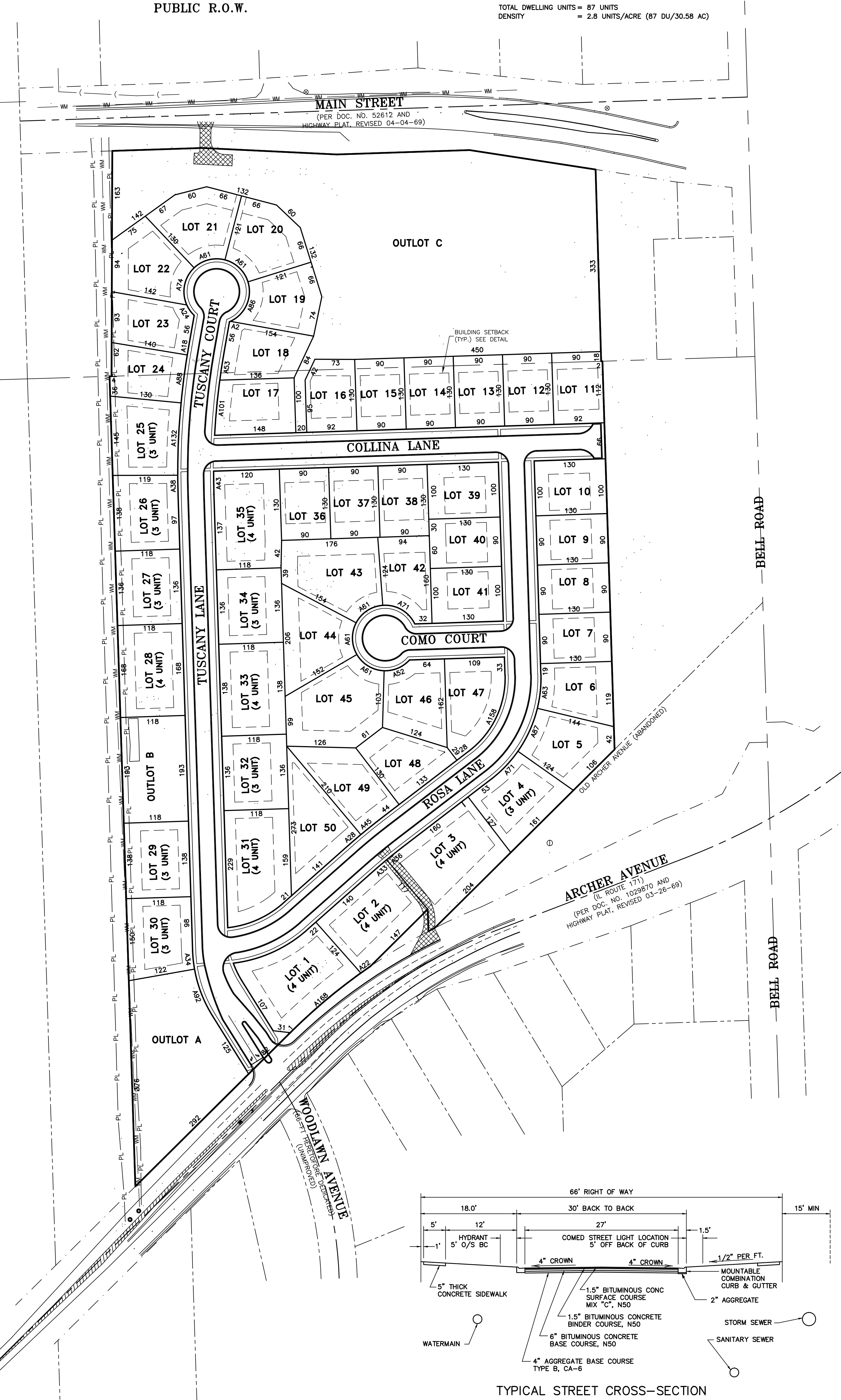
PARCEL 3: LOT 4 (EXCEPTING THEREFROM THAT PART OF SAID LOT TAKEN FOR RIGHT-OF-WAY FOR MAIN STREET, FORMERLY CHICAGO-JOLIET ROAD) IN DOLIN AND KIRK'S RESUBDIVISION OF THE EAST 404.7 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER TOGETHER WITH THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER (EXCEPTING THEREFROM LOTS 1 TO 5 IN BOE'S SUBDIVISION OF CERTAIN PARTS THEREOF) OF SECTION 14, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THERE RECORDED AUGUST 30, 1889 AS DOCUMENT 1148353 IN BOOK 37 OF PLATS, PAGE 18, IN COOK COUNTY, ILLINOIS.

GENERAL NOTES:

- THE BASIS OF BEARING AND MEASUREMENT FOR THE PLAT, SHOWN HEREON, IS BASED ON STATE PLANE OF ILLINOIS - ZONE EAST, NAD83 (2009 ADJUSTMENT), GRID COORDINATES.
- THE EXISTING CONDITIONS, BOUNDARY MEASUREMENTS, AND TOPOGRAPHY DEPICTED, HEREON, ARE BASED ON GROUND SURVEY OBSERVATIONS COLLECTED FROM MARCH THROUGH APRIL, 2015.
- DE = DENOTES DRAINAGE EASEMENT.
- PUE = DENOTES PUBLIC UTILITY EASEMENT.
- PUBDE = DENOTES PUBLIC UTILITY & DRAINAGE EASEMENT.
- WDE = DENOTES WATER DETENTION EASEMENT.
- BSL = DENOTES BUILDING SETBACK LINE.
- A PORTION OF THE SUBJECT PROPERTY IS PRESENTLY CLASSIFIED IN A VILLAGE OF LEMONT R1 (SINGLE FAMILY DETACHED) ZONING DISTRICT.
- A PORTION OF THE SUBJECT PROPERTY IS PRESENTLY CLASSIFIED IN A VILLAGE OF LEMONT B3 (ARTERIAL COMMERCIAL) ZONING DISTRICT.
- A PORTION OF THE SUBJECT PROPERTY SHALL BE RE-CLASSIFIED TO A VILLAGE OF LEMONT R4 (SINGLE FAMILY DETACHED) ZONING DISTRICT.
- A PORTION OF THE SUBJECT PROPERTY SHALL BE RE-CLASSIFIED TO A VILLAGE OF LEMONT R5 (SINGLE FAMILY ATTACHED) ZONING DISTRICT.
- ACCORDING TO THE CURRENT EFFECTIVE FEMA FIRM MAPS, NO PORTION OF THE PROPOSED SUBDIVISION IS SITUATED WITHIN SPECIAL FLOOD HAZARD AREAS, ACCORDING TO PANEL NUMBERS 17031C0583J AND 17031C0591J, BOTH WITH AN EFFECTIVE DATE OF AUGUST 19, 2008.
- THERE ARE NO MAPPED WETLANDS ON THE SUBJECT PROPERTY, ACCORDING TO THE NATIONAL WETLAND INVENTORY DATA, AS PUBLISHED BY THE U.S. FISH & WILDLIFE SERVICE.
- UNLESS OTHERWISE NOTED, ALL OF THE PROPOSED RIGHTS-OF-WAY SHALL BE 66'-FT WIDE.
- UNLESS OTHERWISE NOTED, ALL CUL-DE-SAC SHALL BE NO LONGER THAN 300'-LF FROM THE CENTER OF THE CUL-DE-SAC TO THE CENTERLINE OF THE INTERSECTING RIGHT-OF-WAY.
- UNLESS OTHERWISE NOTED, ALL CUL-DE-SAC RADIUS SHALL BE 60'-FT.
- UNLESS OTHERWISE NOTED, ALL EASEMENTS ABUTTING A RIGHT-OF-WAY SHALL BE 15'-FT WIDE.
- UNLESS OTHERWISE NOTED, ALL SIDE YARD EASEMENTS SHALL BE 15'-FT WIDE, CENTERED ON TWO ADJOINING LOT LINES.
- UNLESS OTHERWISE NOTED, ALL REAR YARD EASEMENT SHALL BE 20'-FT WIDE, CENTERED ON TWO ADJOINING LOT LINES.
- OUTLOT 'A' SHALL BE COVERED ENTIRELY BY A PUBLIC UTILITY, DRAINAGE, LANDSCAPE, AND STORM WATER DETENTION EASEMENT.
- OUTLOT 'B' SHALL BE COVERED ENTIRELY BY A PUBLIC UTILITY, DRAINAGE, LANDSCAPE, AND STORM WATER DETENTION EASEMENT.
- OUTLOT 'C' SHALL BE COVERED ENTIRELY BY A PUBLIC UTILITY, DRAINAGE, LANDSCAPE, AND STORM WATER DETENTION EASEMENT.
- BEST MANAGEMENT PRACTICES SHALL BE PROVIDED IN THE STORM WATER DETENTION SYSTEMS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, VEGETATED SWALES FOR THE INFLOW AND OUTFLOW STORM SEWERS, NATIVE PLANTINGS/WETLAND PLANTINGS AROUND THE PERIMETER OF THE DETENTION BASINS, ETC.
- THE STORM WATER DETENTION FACILITIES SHALL BE CONSTRUCTED ACCORDING TO SECTION 605 ILCS9-115.1 OF THE ILLINOIS HIGHWAY CODE IN REGARDS TO THE PROXIMITY TO THE RIGHT OF WAY OF THE DETENTION BASIN.
- A VARIANCE IS HEREBY REQUESTED TO INCREASE THE MAXIMUM RISE OF THE STORMWATER DETENTION FACILITIES FROM 4'-FT TO 5'-FT.
- A VARIANCE IS HEREBY REQUESTED FOR THE MINIMUM LOT AREA IN A R-4 DISTRICT FROM 12,500-SF TO 11,700-SF.
- A VARIANCE IS HEREBY REQUESTED FOR THE MINIMUM INTERIOR SIDE YARD SETBACK IN A R-4 DISTRICT WHERE THE LOT WIDTH IS 80'-FT OR GREATER FROM 15'-FT TO 9'-FT.
- A VARIANCE IS HEREBY REQUESTED FOR THE MINIMUM FRONT YARD SETBACK IN A R-5 DISTRICT FROM 25'-FT TO 20'-FT.
- A VARIANCE IS HEREBY REQUESTED REGARDING THE REQUIRED BRICK COVERAGE ON THE FIRST FLOOR OF A RESIDENTIAL STRUCTURE TO 0%.
- A WAIVER IS HEREBY REQUESTED FOR TREE PRESERVATION ON THE SUBJECT PROPERTY.
- ALL OF THE PROPOSED RIGHTS-OF-WAY WILL BE DEDICATED TO THE VILLAGE OF LEMONT.
- OUTLOT 'A' WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNERS' ASSOCIATION ESTABLISHED FOR THE TOWNHOMES.
- OUTLOT 'B' WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNERS' ASSOCIATION ESTABLISHED FOR THE TOWNHOMES.
- OUTLOT 'C' WILL BE DEDICATED TO THE VILLAGE OF LEMONT.

STATE OF ILLINOIS)
 COUNTY OF COOK) SS
 APPROVED AND ACCEPTED APPROVED BY THE VILLAGE OF LEMONT PLAN COMMISSION ON
 THIS _____ DAY OF _____, 20____
 BY: _____
 CHAIRPERSON
 ATTEST: _____
 SECRETARY
 STATE OF ILLINOIS)
 COUNTY OF COOK) SS
 APPROVED AND ACCEPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT,
 COOK COUNTY, ILLINOIS AT A PUBLIC MEETING HELD:
 THIS _____ DAY OF _____, 20____
 BY: _____
 PRESIDENT
 ATTEST: _____
 VILLAGE CLERK

PREPARED BY: CHRISTOPHER M. PAGESH, I.P.L.S. NO. 3369
 LICENSE EXPIRATION DATE: 11/30/2016
 DATE: July 7, 2015



<p>GEOTECH INC. CONSULTING ENGINEERS - LAND SURVEYORS 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010</p>	<p>ESTATES OF MONTEFIORI SUBDIVISION</p>	<p>PRELIMINARY P.U.D. PLAT</p>	<p>07/08/2015 CJT REMOVE TOPO PER VILLA</p>
			<p>DATE BY REVISION</p>
<p>DRAWN BY: CJT CHECKED BY: CMP</p>	<p>JOB # GJN19203 DATE: 05/21/2015</p>	<p>07/01/2015 CJT VILLAGE STAFF & CLIENT 06/22/2015 CJT PZC & VILLAGE</p>	<p>DATE BY REVISION</p>

PRELIMINARY IMPROVEMENT PLANS FOR ESTATES OF MONTEFIORI

SPECIAL PROVISIONS

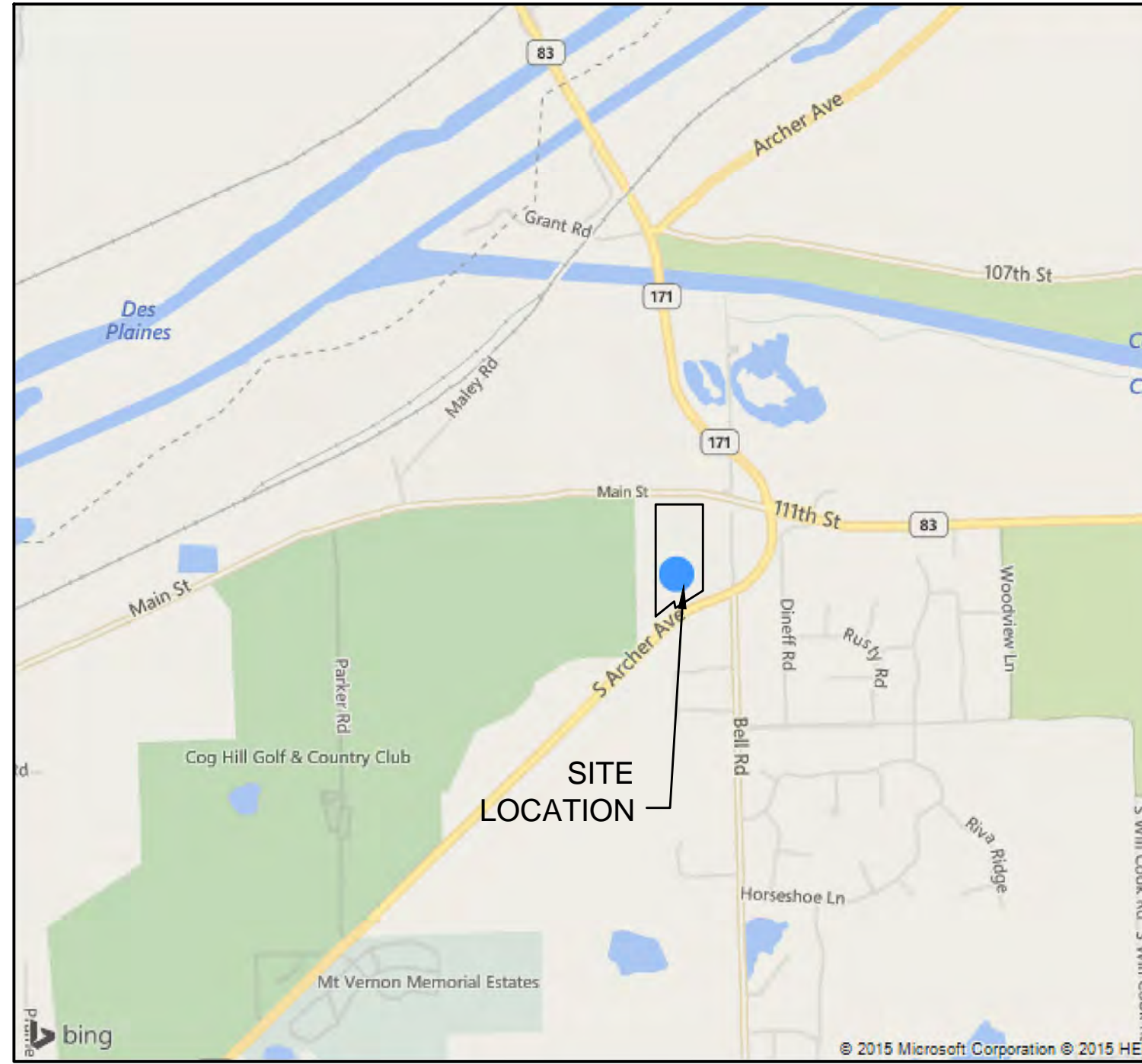
1. The location of existing underground facilities is shown on the plans for the convenience only. The Owner or Engineer assumes no responsibility whatsoever in respect to the sufficiency or accuracy of the information shown on the plans relative to the location of underground facilities. It shall be the Contractor's responsibility to determine the actual location of all such facilities.
2. All construction of improvements shall be in accordance with, and materials used shall be in compliance with, the methods and materials required in the appropriate sections of the latest editions, amendments or revisions of the following:
 - a. All applicable Village/City Ordinances, Standards, Specifications, and Details, most recent edition, as adapted.
 - b. All applicable State of Illinois and County rules and regulations.
 - c. "Standard Specifications for Road and Bridge Construction" by the Illinois Department of Transportation, latest edition.
 - d. "Manual for Uniform Traffic Control Devices for Streets & Highways" by U.S. Department of Transportation Federal Highway Administration, latest edition.
 - e. "A Policy on Geometric Design of Highways and Streets" by American Association of State Highway and Transportation Officials, latest edition.
 - f. "Standard Specifications for Water and Sewer Main Construction in Illinois" by Illinois Society of Professional Engineers, et al, latest edition.
 - g. "Illinois Recommended Standards for Sewage Works", Title 35, Subtitle C, Part 370 of the Illinois Administrative Code
 - h. "Public Water Supplies", Title 35, Subtitle F of the Illinois Administrative Code
 - i. "Procedures and Standards for Urban Soil Erosion and Sedimentation Control in Illinois" by Urban Committee of the Association of Illinois Soil and Water Conservation Districts.
3. For disturbances exceeding one acre, a Notice of Intent shall be submitted to the IEPA in accordance with the current NPDES Permit No. ILR10, General NPDES Permit for Storm Water Discharge from Construction Site Activities.
4. Storm sewer shall be reinforced concrete pipe, circular or elliptical reinforcement, minimum Class IV, wall B, ASTM C-76 with continuous O-ring gaskets, or conforming to ASTM C-443.
5. If approved by the Village Engineer, polyvinyl chloride (PVC) pipe, ASTM D-2241 SDR 26 with D-3139 joints or flexible pipe (HDPE) may be utilized outside of the right-of-way.
6. Storm sewer structures shall be precast reinforced concrete (ASTM C478) with tongue and groove joints sealed with gaskets conforming to ASTM C-443 or bituminous jointing material. All pipe connections shall be precast and sealed with Portland Cement mortar, O-ring gaskets, or mastic material. Structure castings shall be adjusted to finished grade using precast adjusting rings set in mortar or rubber adjusting rings conforming to IDOT Standard Specifications, with a maximum six-inch adjustment with no more than two adjusting rings.
7. Sanitary sewer and services shall be polyvinyl chloride (PVC) pipe, SDR 26, ASTM D-2241 with elastomeric seal joints, ASTM D-3139, pressure joint for ASTM D-2241 pipe. All sewer services shall be minimum six-inch diameter and shall be the same type pipe as the sewer main and shall be installed in the same manner.
8. Sanitary sewer structures shall be precast reinforced concrete manholes meeting ASTM C478 with tongue and groove joints sealed with gaskets conforming to ASTM C-443 or bituminous jointing material. All pipe connection openings shall be precast with resilient rubber water-tight pipe to manhole sleeves per ASTM C-923. Internal chimney seals shall be provided. Structure castings shall be adjusted to finished grade using precast adjusting rings set in mortar with a maximum six-inch adjustment with no more than two adjusting rings.
9. All sanitary sewer pipes and manholes shall be low-pressure air tested in accordance with the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition, except that all sections of the sewer main shall be tested.
10. All flexible thermoplastic sewer main pipe shall be deflection tested by pulling a mandrel through the pipe from manhole to manhole in accordance with the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition, except that all sections of the sewer main shall be tested.
11. All sanitary sewer main shall be televised with a written report and two DVD copies of the televised main provided to the Village Engineer.
12. Water main shall be ductile iron, Class 52, minimum thickness per AWWA C-151, or as required by AWWA C-150 for valves. Interior of pipe shall be cement lined. Exterior of pipe shall have a bituminous coating approximately 1 mil thick, as specified in AWWA C-151. Joints shall be push-on or mechanical, AWWA C-111. Fittings shall be ductile iron, mechanical joint, AWWA C-110 and AWWA C-111. Mechanical joints shall be restrained by Meg-a-lug 1100 or 1100 SD series by EBAA Iron Sales, Inc or equal, restraining system. Polyethylene Encasement shall be provided in accordance with AWWA C-105. Minimum cover shall be 5.5 feet.
13. Valves shall be epoxy coated resilient wedge with non-rising stem gate valves, counter clockwise to open, AWWA C-509, Clow, Mueller, or equal with mechanical joint end.
14. Valve box shall be Tyler 664-S with lid embossed with "WATER". Valve boxes shall be provided with stabilizers.
15. Valve vaults shall be precast reinforced concrete, ASTM C-478 with tongue and groove joints sealed with gaskets conforming to ASTM C-443 or bituminous jointing material. Pipe openings in wall shall be flexible, watertight connections, A-Lok, PS-10, Kor-N-Seal or equal. Castings shall be adjusted to finished grade using precast concrete adjusting rings set in mortar with a maximum six-inch adjustment.
16. Fire Hydrants shall be East Jordan #BR6 or Clow Medallion dry barrel type with breakaway flange, primed and painted gloss safety green (safety orange or safety yellow where required by Village).
17. Water services shall be copper tube, Type K, minimum size 1.5 inch diameter. Corporation stop shall be Mueller H-15000 or Ford F-600. Curb stop shall be Mueller H-15154 or Ford B44-444. Curb box shall be Mueller H-10302 or H-10304 or Ford EA 26040.
18. Water main shall be pressure tested in accordance with AWWA C-600 and Section 17-27-040B of the Lemont Unified Development Ordinance.
19. Watermain shall be flushed, disinfected, and tested in accordance with Standards for Disinfecting Water Mains, AWWA C-607 and Sections 17-27-040C, 17-27-040D, and 17-27-040E of the Lemont Unified Development Ordinance.
20. Required horizontal and vertical separation between water mains and sewers shall be provided in accordance with the "Standard Specifications for Water and Sewer Main Construction in Illinois".
21. Connection to existing sewers shall be done with circular saw-cut of sewer main by proper tools ("sewer tap" machine or similar) and proper installation of hub-wye saddle or hub-tee wye. Connection of a new pipe to an existing structure shall be by core drilling with Link-Seal, A-Loc or equal insert.
22. A granular cradle extending from 4 inches below the pipe to 12 inches over the top of the sanitary sewer pipe and watermain, and to the spring line of the storm sewer pipe, shall be provided. Granular cradle gradation shall be IDOT CA-11 or CA-13. Cost of the granular cradle shall be considered incidental to the cost of the pipe. For HDPE pipe, all trench preparation and bedding material shall be in accordance with pipe manufacturer's specifications.
23. Selected granular trench backfill shall be required for all utility trenches that are constructed under or within 5 feet horizontally of the edge of the proposed roadway pavements, curb and gutter, driveways or sidewalk and at locations shown on the plans or as directed by the Engineer. Trench backfill gradation shall be IDOT CA-6. For HDPE pipe, all trench preparation and trench backfill material shall be in accordance with pipe manufacturer's specifications.
24. Existing pavement, curb and gutter, appurtenances, and property shall be adequately protected during construction. Any damage shall be repaired or replaced by the contractor at no additional cost.
25. All disturbed areas to remain as open space shall be cleared of any unsuitable soil, boulders, and other debris to provide a suitable subgrade. A minimum 6" of topsoil shall be provided and the areas graded to proposed finish surface elevations. The areas shall then be seeded or sodded.
26. All field drainage tile encountered or damaged during construction shall be restored to their original condition or routed into the proposed storm sewer system or the proposed stormwater detention facility. All sizes and locations of encountered field drainage tiles shall be indicated on the record set of drawings. If an existing field tile is larger than the proposed intercepting storm sewer, the engineer shall be notified immediately.
27. The contractor is solely responsible for safety on the job in accordance with OSHA regulations.
28. The contractor shall collect and remove all construction debris, excess materials, trash, oil and grease residue, machinery, tools, and other miscellaneous items. The contractor shall be responsible for acquiring any and all permits necessary for the hauling and disposal required for cleanup.
29. It shall be the contractors responsibility to provide proper barricading, waning devices, and the safe management of traffic within the area of construction. All such devices and their installation shall conform to the Illinois Manual of Uniform Traffic Control Devices for Street and Highways, latest edition.

BENCHMARKS:

REFERENCE: BRASS DISK ON CENTER OF HEADWALL, NORTH SIDE OF ROUTE 83 EAST. APPROXIMATELY 110' EAST FO CENTERLINE ROUTE 83 NORTH. ELEVATION: 632.94 (NAVD88)

LEGAL: PART OF SECTION 14-37-11 AND PART OF SECTION 23-37-11

TAX P.I.N. 22-14-402-003; 22-14-402-013; 22-23-203-003; 22-23-203-008; 22-14-402-004
ADDRESS: 11250 ARCHER AVENUE, LEMONT, IL 60439



VICINITY MAP

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2. EXISTING CONDITIONS
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24. DETAILS- 1
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CONTACT INFORMATION

MUNICIPALITY:
VILLAGE OF LEMONT
418 MAIN STREET
PHONE: 630-257-1580

OWNER/DEVELOPER:
ASCEND REAL ESTATE GROUP
CONTACT: WALTER REBENSON
912 WEST LAKE STREET, CHICAGO, IL 60607
PHONE: 312-252-9222
FAX: 312-284-4548
CELL: 630-373-7081

WARNING



CALL BEFORE YOU DIG

EXISTING	LEGEND	PROPOSED
— >>> —	STORM SEWER	— >>> —
—)>> —	SANITARY SEWER	—)>> —
— WM — WM —	WATER MAIN	— WM — WM —
⊗	FIRE HYDRANT	⊗
⊗	VALVE VAULT	⊗
⊗	VALVE BOX	⊗
⊗	STORM SEWER MANHOLE	⊗
○	CATCH BASIN	●
□	INLET	■
△	FLARED END SECTION	▲
⊗	SANITARY SEWER MANHOLE	⊗
⊗	STREET LIGHT	⊗

DRAINAGE & ENGINEER CERTIFICATE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE IMPROVEMENTS OR ANY PART THEREOF, OR; THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DISCHARGE OF SURFACE WATERS INTO PUBLIC OR PRIVATE AREAS AND/OR DRAINS WHICH THE DEVELOPER HAS THE RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

FURTHERMORE, I, THOMAS CARROLL, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY AFFIRM THAT THESE DOCUMENTS HAVE BEEN PREPARED BY OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DOCUMENTS HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING STANDARDS AND PRACTICES AND COMPLY WITH APPLICABLE LAWS, CODES AND ORDINANCES.

DATED THIS _____ DAY OF _____, 20__.

ILLINOIS P.E. #062-052783
LICENSE EXPIRES 11-30-2015

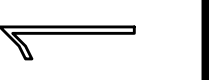
7/01/15 VILLAGE P & Z REVIEW DATE

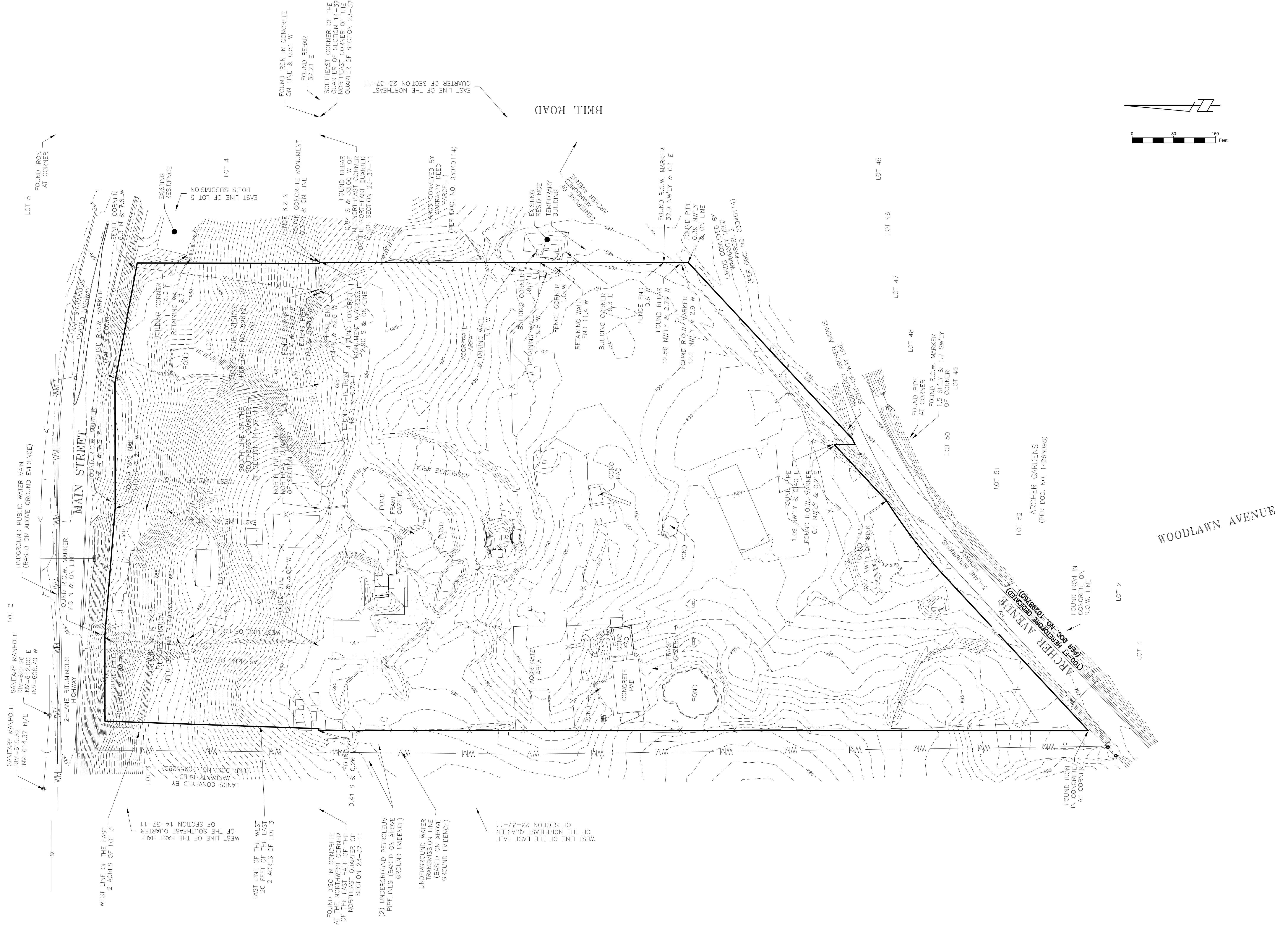
TITLE SHEET
DRAWN BY: MC
CHECKED BY: IC
JOB: 19203
DATE: 5/08/15

ESTATES OF MONTEFIORI
LEMONT, ILLINOIS

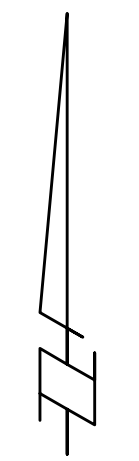
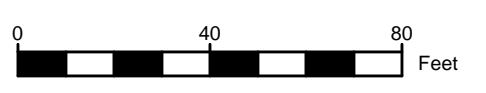
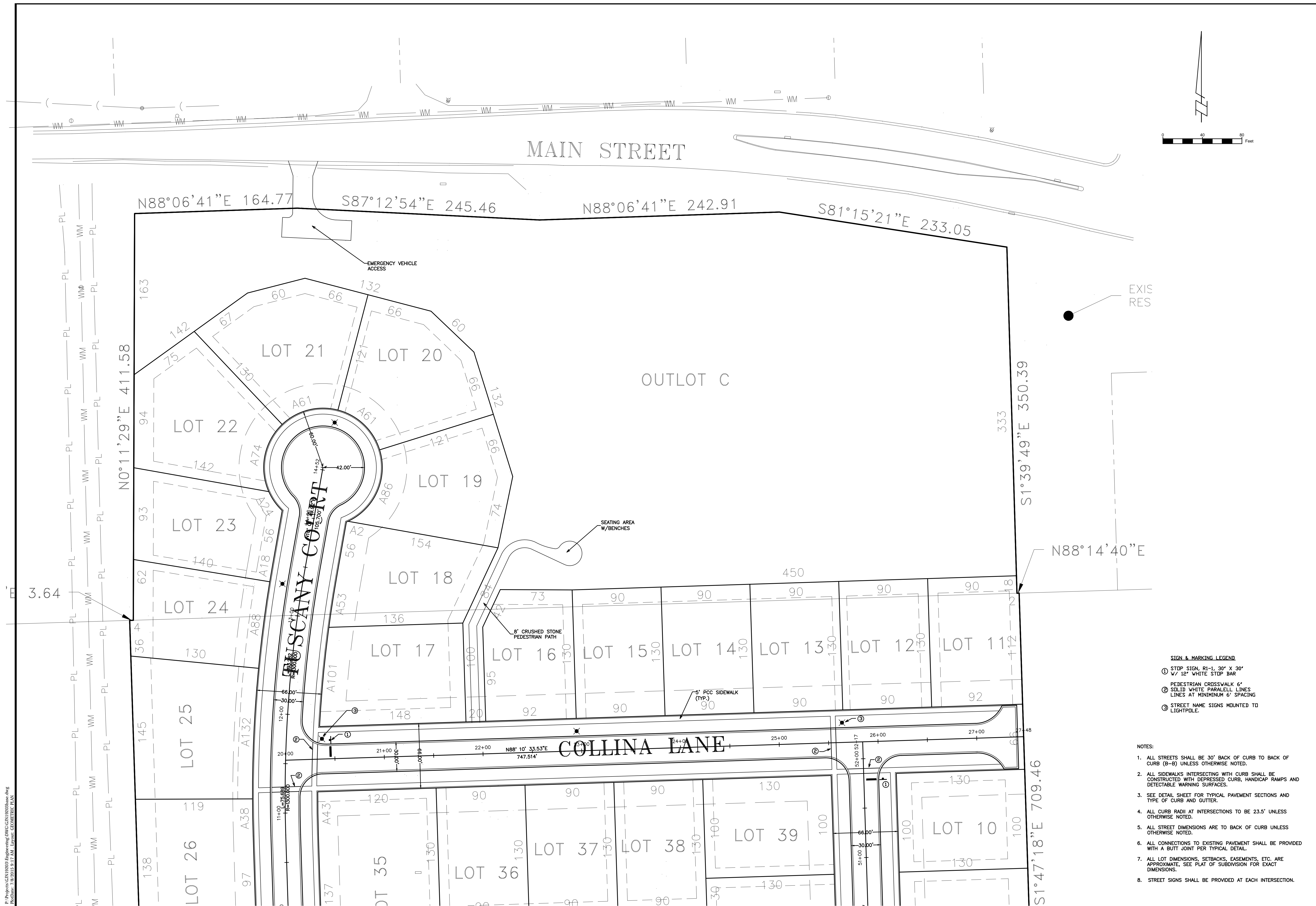
GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203





P:\Projects\2015\20150717\20150717 - Layout - GEOMETRIC PLAN
7/28/2015 9:17 AM - Layout - GEOMETRIC PLAN



SIGN & MARKING LEGEND

- ① STD P SIGN, R1-1, 30" X 30" W/ 12" WHITE STD P BAR
- ② PEDESTRIAN CROSSWALK 6" SOLID WHITE PARALLEL LINES AT MINIMUM 6' SPACING
- ③ STREET NAME SIGNS MOUNTED TO LIGHTPOLE.

NOTES:

1. ALL STREETS SHALL BE 30' BACK OF CURB TO BACK OF CURB (B-B) UNLESS OTHERWISE NOTED.
2. ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH DEPRESSED CURB, HANDICAP RAMPS AND DETECTABLE WARNING SURFACES.
3. SEE DETAIL SHEET FOR TYPICAL PAVEMENT SECTIONS AND TYPE OF CURB AND GUTTER.
4. ALL CURB RADI AT INTERSECTIONS TO BE 23.5' UNLESS OTHERWISE NOTED.
5. ALL STREET DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
6. ALL CONNECTIONS TO EXISTING PAVEMENT SHALL BE PROVIDED WITH A BUTT JOINT PER TYPICAL DETAIL.
7. ALL LOT DIMENSIONS, SETBACKS, EASEMENTS, ETC. ARE APPROXIMATE, SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.
8. STREET SIGNS SHALL BE PROVIDED AT EACH INTERSECTION.

7/01/15 VILLAGE P & Z REVIEW
DATE REVISION

GEOMETRIC PLAN 1
DRAWN BY: MC
CHECKED BY: TC
JOB#: 19203
DATE: 5/08/15

ESTATES OF MONTEFIORI
LEMONT, ILLINOIS

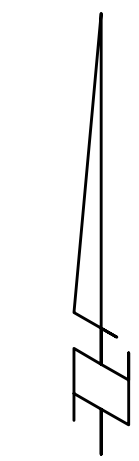
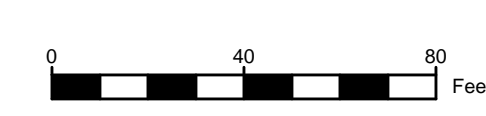
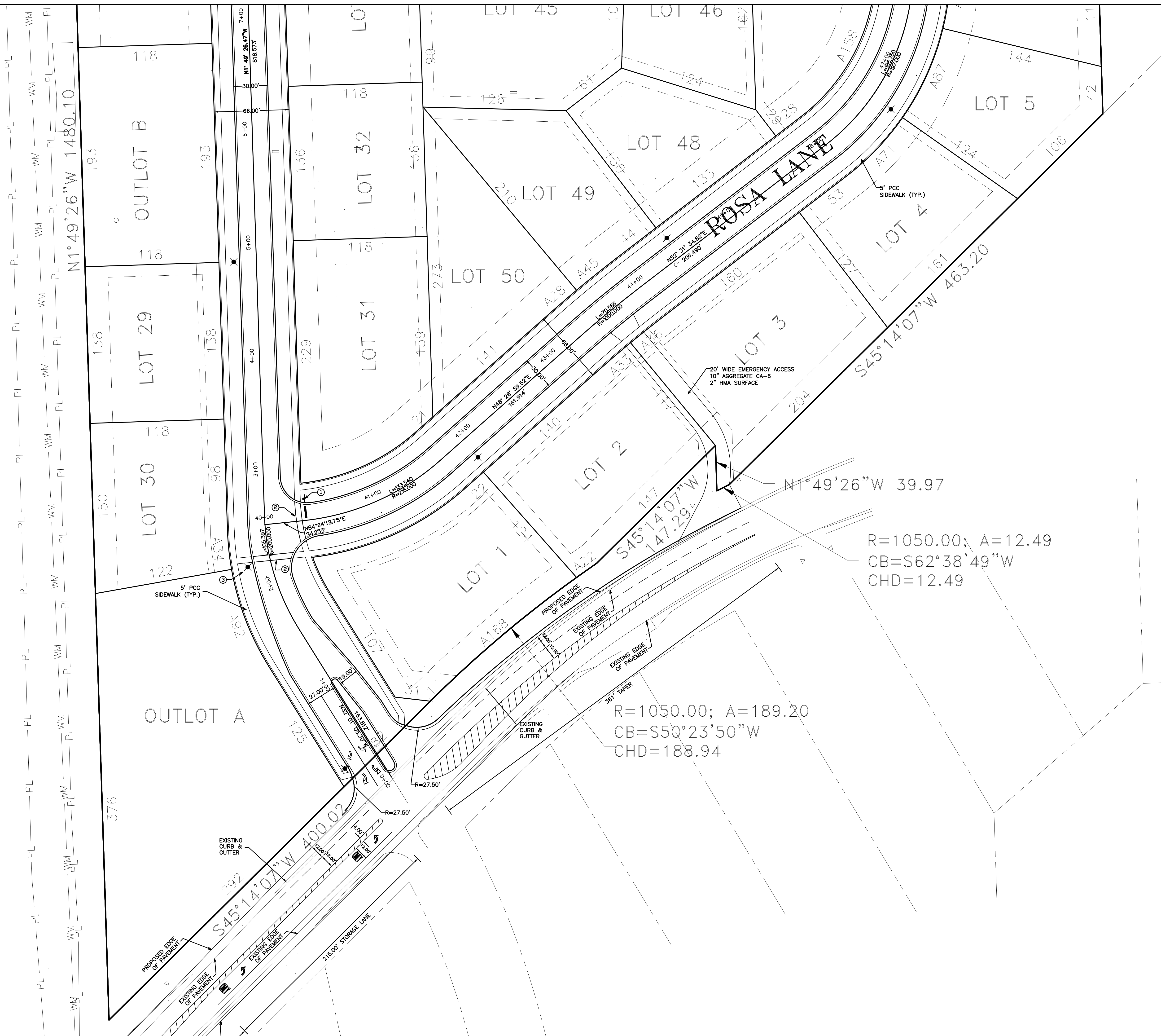
GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203
3



- SIGN & MARKING LEGEND:**
- ① STOP SIGN, R1-1, 30" X 30" W/ 12" WHITE STOP BAR
 - ② PEDESTRIAN CROSSWALK 6' SOLID WHITE PARALLEL LINES LINES AT MINIMUM 6' SPACING
 - ③ STREET NAME SIGNS MOUNTED TO LIGHTPOLE.

- NOTES:**
1. ALL STREETS SHALL BE 30' BACK OF CURB TO BACK OF CURB (B-B) UNLESS OTHERWISE NOTED.
 2. ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH DEPRESSED CURB, HANDICAP RAMPS AND DETECTABLE WARNING SURFACES.
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 7. ALL LOT DIMENSIONS, SETBACKS, EASEMENTS, ETC. ARE APPROXIMATE, SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.
 8. STREET SIGNS SHALL BE PROVIDED AT EACH INTERSECTION.



R=1050.00; A=12.49
 CB=S62°38'49"W
 CHD=12.49

R=1050.00; A=189.20
 CB=S50°23'50"W
 CHD=188.94

SIGN LEGEND

- ① STOP SIGN, R1-1, 30" X 30"
 W/ 12" WHITE STOP BAR
- ② PEDESTRIAN CROSSWALK 6"
 SOLID WHITE PARALLEL LINES
 LINES AT MINIMUM 6' SPACING
- ③ STREET NAME SIGNS MOUNTED TO
 LIGHTPOLE.

NOTES:

1. ALL STREETS SHALL BE 30' BACK OF CURB TO BACK OF CURB (B-B) UNLESS OTHERWISE NOTED.
2. ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH DEPRESSED CURB, HANDICAP RAMPS AND DETECTABLE WARNING SURFACES.
3. SEE DETAIL SHEET FOR TYPICAL PAVEMENT SECTIONS AND TYPE OF CURB AND GUTTER.
4. ALL CURB RADII AT INTERSECTIONS TO BE 23.5' UNLESS OTHERWISE NOTED.
5. ALL STREET DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
6. ALL CONNECTIONS TO EXISTING PAVEMENT SHALL BE PROVIDED WITH A BUTT JOINT PER TYPICAL DETAIL.
7. ALL LOT DIMENSIONS, SETBACKS, EASEMENTS, ETC. ARE APPROXIMATE. SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.
8. STREET SIGNS SHALL BE PROVIDED AT EACH INTERSECTION.
9. IDOT PERMIT REQUIRED FOR ACHER AVENUE ENTRANCE.

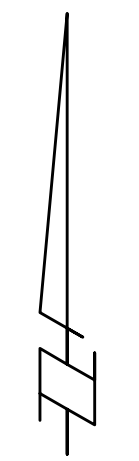
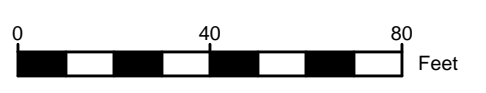
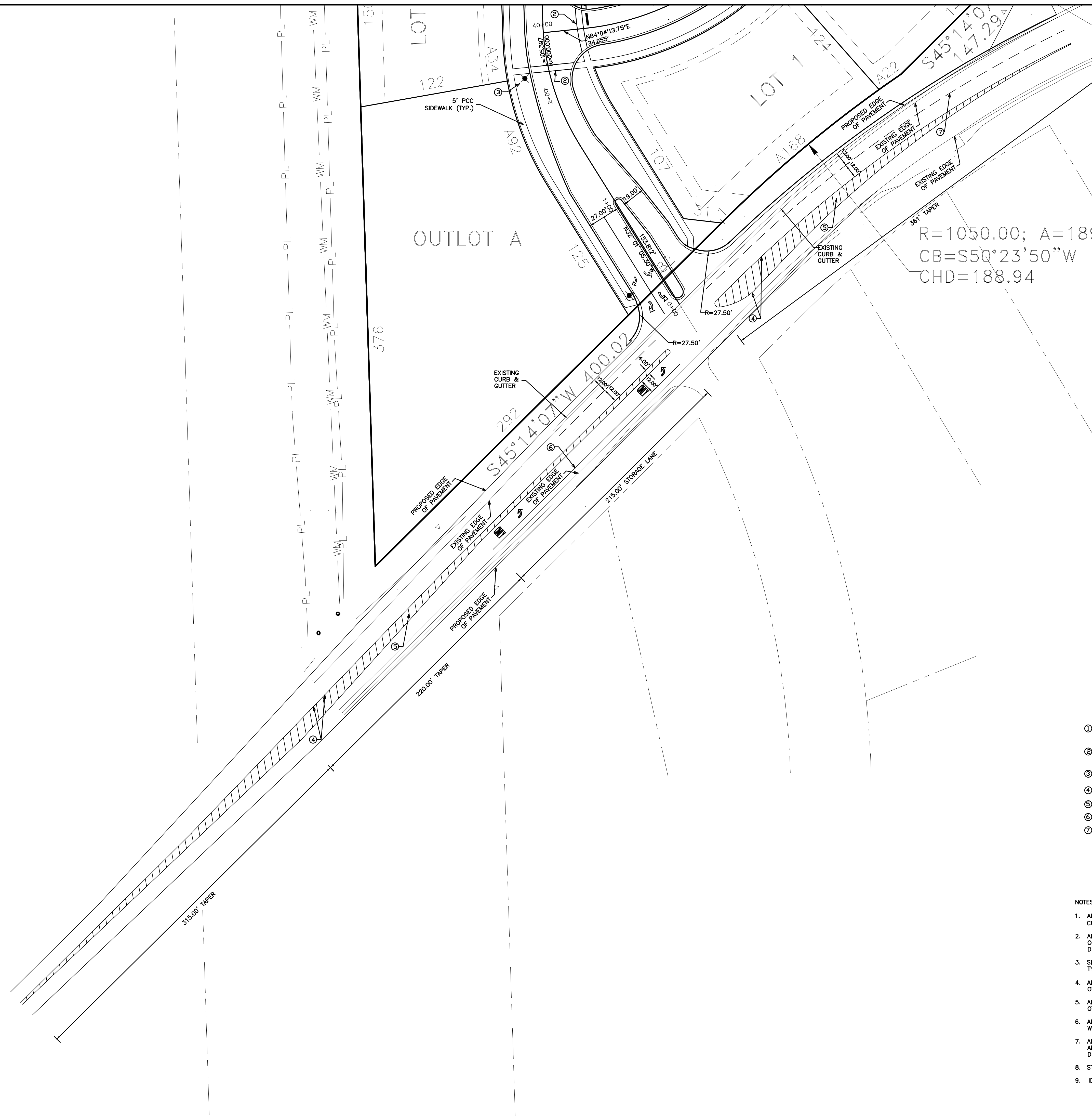
7/01/15 VILLAGE P & Z REVIEW
 DATE REVISION

GEOMETRIC PLAN 3
 DRAWN BY: MC JOB: 19203
 CHECKED BY: IC DATE: 5/08/15

ESTATES OF MONTEFIORI
 LEMONT, ILLINOIS

GEOTECH INC.
 CONSULTING ENGINEERS - LAND SURVEYORS
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203
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$R=1050.00; A=189.$
 $CB=S50^{\circ}23'50''W$
 $CHD=188.94$

SIGN/PAVEMENT MARKING LEGEND

- ① STOP SIGN, R1-1, 30" X 30" W/ 12" WHITE STOP BAR
- ② PEDESTRIAN CROSSWALK 6' SOLID WHITE PARALLEL LINES LINES AT MINIMUM 6' SPACING
- ③ STREET NAME SIGNS MOUNTED TO LIGHTPOLE.
- ④ 4' DOUBLE YELLOW CENTERLINE
- ⑤ 12" YELLOW DIAGONALS @ 45° AND 30' C-C
- ⑥ 6' WHITE CHANNELIZING LINE
- ⑦ 6' WHITE SKIP DASH LAND LINES

NOTES:

1. ALL STREETS SHALL BE 30' BACK OF CURB TO BACK OF CURB (B-B) UNLESS OTHERWISE NOTED.
2. ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH DEPRESSED CURB, HANDICAP RAMPS AND DETECTABLE WARNING SURFACES.
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9. IDOT PERMIT REQUIRED FOR ACHER AVENUE ENTRANCE.

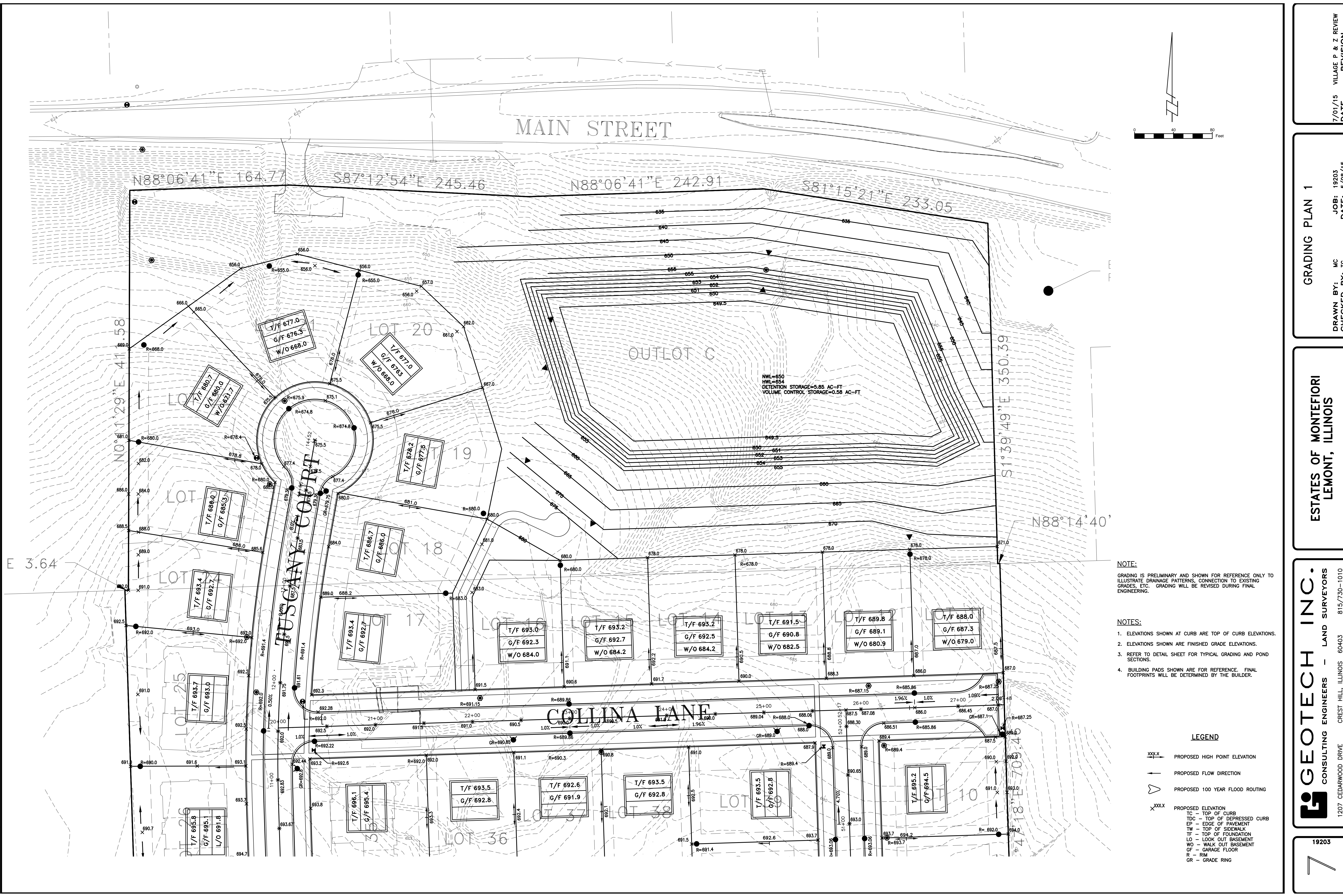
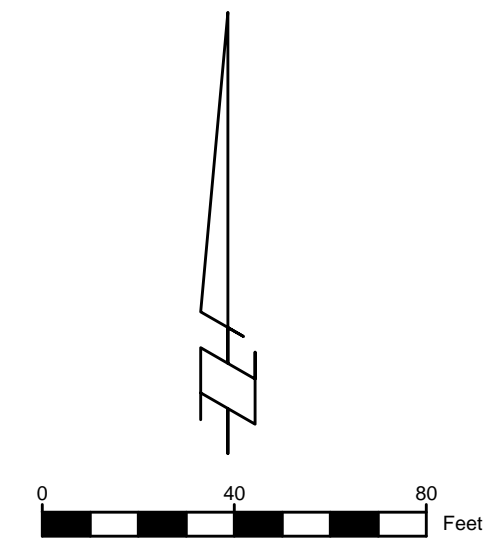
7/01/15 VILLAGE P & Z REVIEW
 DATE REVISION

GEOMETRIC PLAN 4
 DRAWN BY: MC JOB#: 19203
 CHECKED BY: TC DATE: 5/08/15

ESTATES OF MONTEFIORI
 LEMONT, ILLINOIS

GEOTECH INC.
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 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203
 6



NOTE:
GRADING IS PRELIMINARY AND SHOWN FOR REFERENCE ONLY TO ILLUSTRATE DRAINAGE PATTERNS, CONNECTION TO EXISTING GRADES, ETC. GRADING WILL BE REVISED DURING FINAL ENGINEERING.

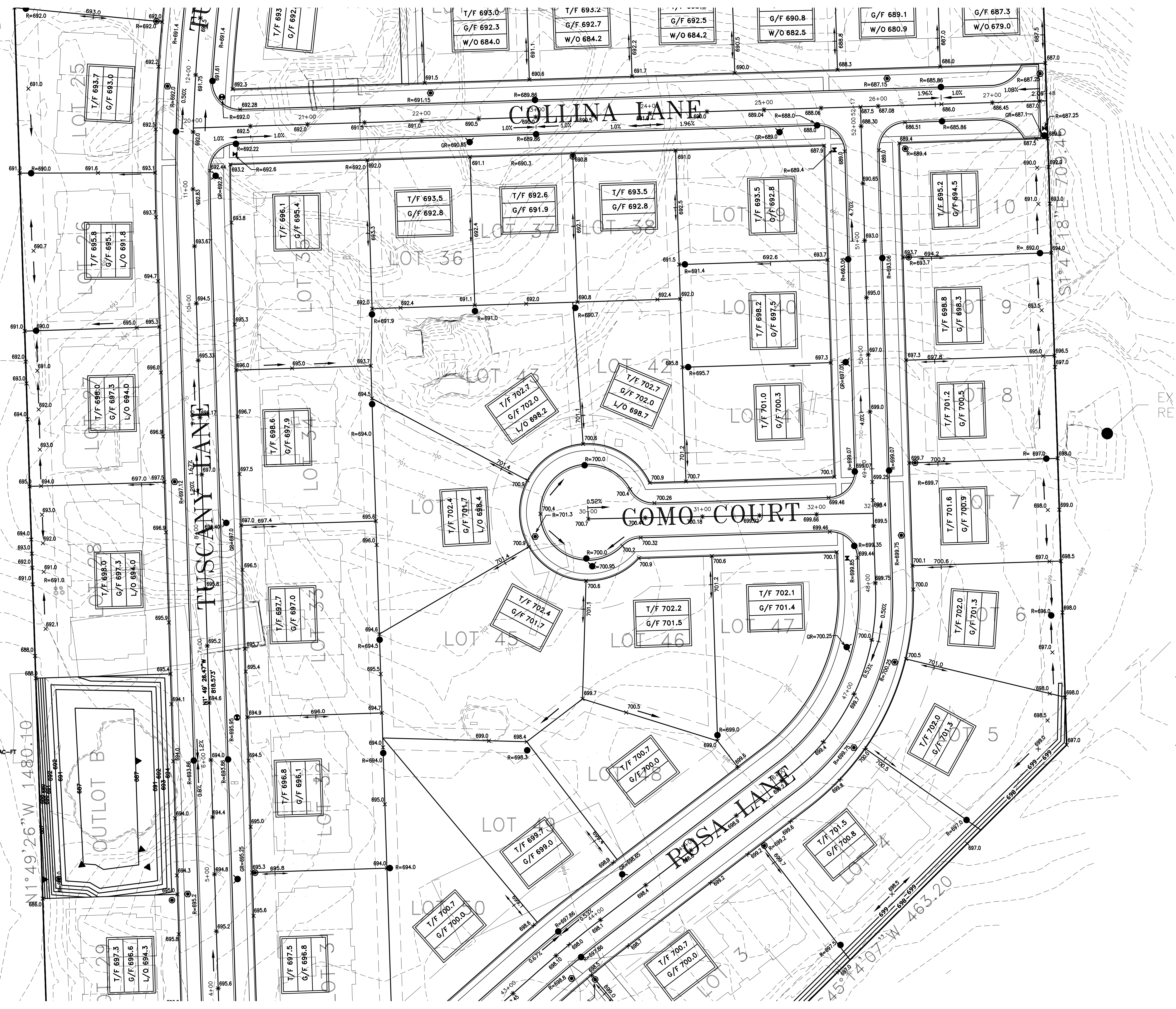
- NOTES:
- ELEVATIONS SHOWN AT CURB ARE TOP OF CURB ELEVATIONS.
 - ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
 - REFER TO DETAIL SHEET FOR TYPICAL GRADING AND POND SECTIONS.
 - BUILDING PADS SHOWN ARE FOR REFERENCE. FINAL FOOTPRINTS WILL BE DETERMINED BY THE BUILDER.

LEGEND

XXX	PROPOSED HIGH POINT ELEVATION
→	PROPOSED FLOW DIRECTION
∇	PROPOSED 100 YEAR FLOOD ROUTING
XXXX	PROPOSED ELEVATION
TC	TOP OF CURB
TDC	TOP OF DEPRESSED CURB
EP	EDGE OF PAVEMENT
TW	TOP OF SIDEWALK
TF	TOP OF FOUNDATION
LO	LOOK OUT BASEMENT
WO	WALK OUT BASEMENT
GF	GARAGE FLOOR
R	RIM
GR	GRADE RING

P:\Projects\GINT\19203\Engineering\DWG\GAN\19203base.dwg
Plot Date: 7/8/2015 9:19 AM Layout: GRADING PLAN

NWL=687
 HWL=691
 DETENTION STORAGE=0.86 AC-FT
 VOLUME CONTROL STORAGE=0.14 AC-FT



NOTE:
 GRADING IS PRELIMINARY AND SHOWN FOR REFERENCE ONLY TO ILLUSTRATE DRAINAGE PATTERNS, CONNECTION TO EXISTING GRADES, ETC. GRADING WILL BE REVISED DURING FINAL ENGINEERING.

- NOTES:**
- ELEVATIONS SHOWN AT CURB ARE TOP OF CURB ELEVATIONS.
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LEGEND

xxx.x	PROPOSED HIGH POINT ELEVATION
→	PROPOSED FLOW DIRECTION
∇	PROPOSED 100 YEAR FLOOD ROUTING
xxxx	PROPOSED ELEVATION
TC	TOP OF CURB
TDC	TOP OF DEPRESSED CURB
EP	EDGE OF PAVEMENT
TW	TOP OF SIDEWALK
TF	TOP OF FOUNDATION
LO	LOOK OUT BASEMENT
WO	WALK OUT BASEMENT
GF	GARAGE FLOOR
R	RIM
GR	GRADE RING

7/01/15 VILLAGE P & Z REVIEW
 DATE

GRADING PLAN 2
 DRAWN BY: MC
 CHECKED BY: IC
 JOB#: 19203
 DATE: 5/08/15

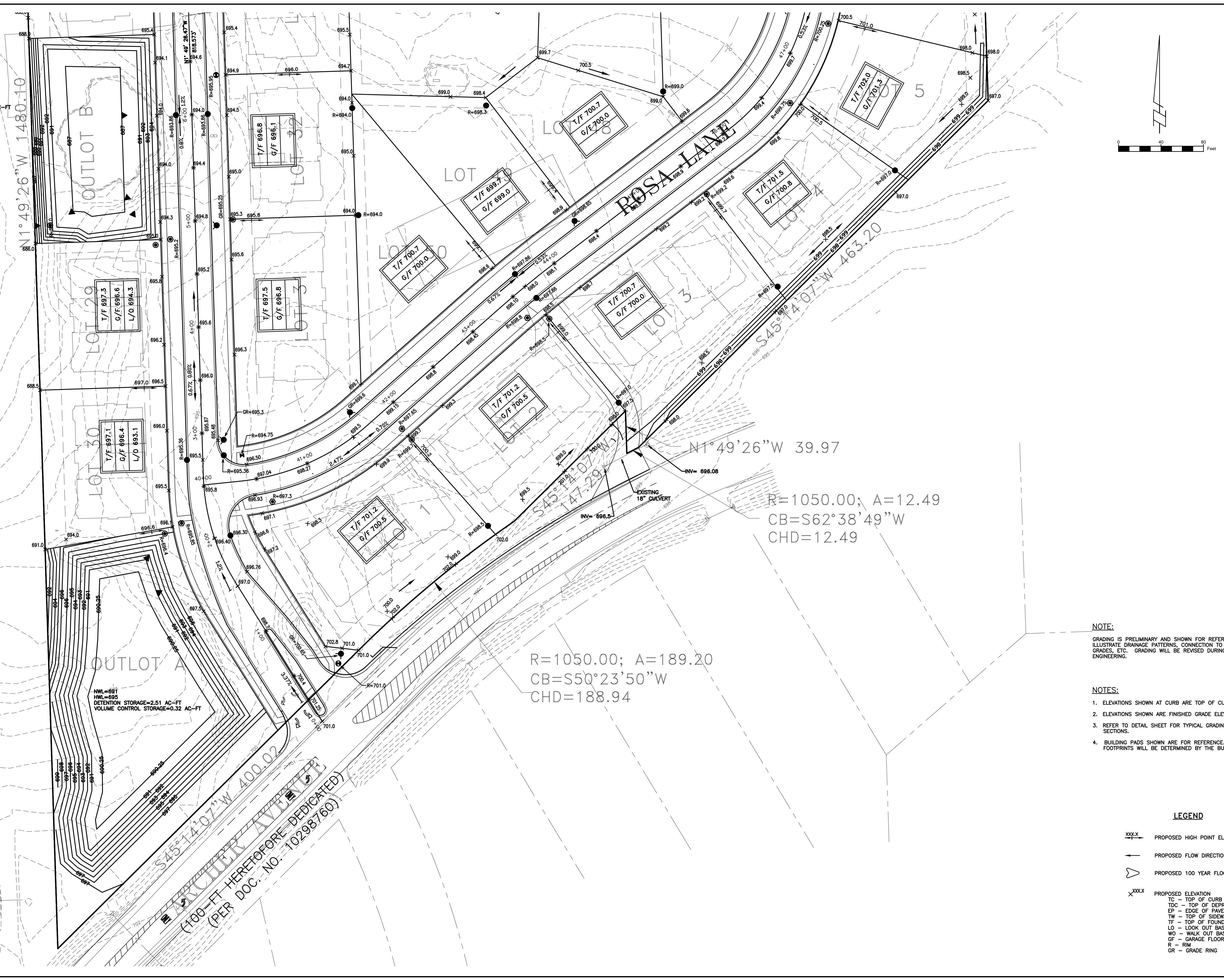
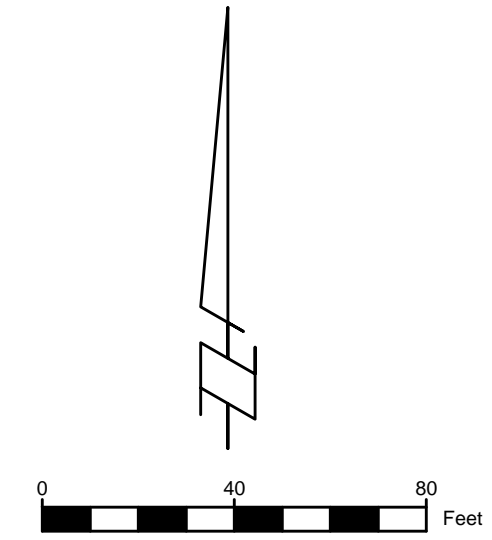
ESTATES OF MONTEFIORI
 LEMONT, ILLINOIS

GEOTECH INC.
 CONSULTING ENGINEERS - LAND SURVEYORS
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203
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NWL=687
HWL=691
DETENTION STORAGE=0.96 AC-FT
VOLUME CONTROL STORAGE=0.14 AC-FT

NWL=691
HWL=695
DETENTION STORAGE=2.51 AC-FT
VOLUME CONTROL STORAGE=0.32 AC-FT



R=1050.00; A=189.20
CB=S50°23'50"W
CHD=188.94

R=1050.00; A=12.49
CB=S62°38'49"W
CHD=12.49

NOTE:
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LEGEND

- xxx-x PROPOSED HIGH POINT ELEVATION
- PROPOSED FLOW DIRECTION
- ▽ PROPOSED 100 YEAR FLOOD ROUTING
- xxx PROPOSED ELEVATION
 - TC - TOP OF CURB
 - TDC - TOP OF DEPRESSED CURB
 - EP - EDGE OF PAVEMENT
 - TW - TOP OF SIDEWALK
 - TF - TOP OF FOUNDATION
 - LO - LOOK OUT BASEMENT
 - WO - WALK OUT BASEMENT
 - GF - GARAGE FLOOR
 - R - RIM
 - GR - GRADE RING

7/01/15 VILLAGE P & Z REVIEW
DATE

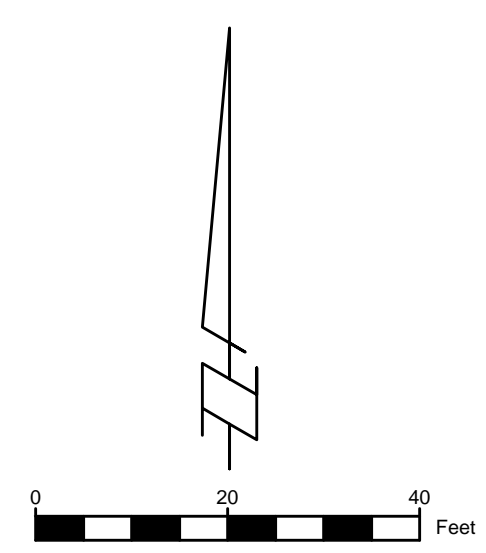
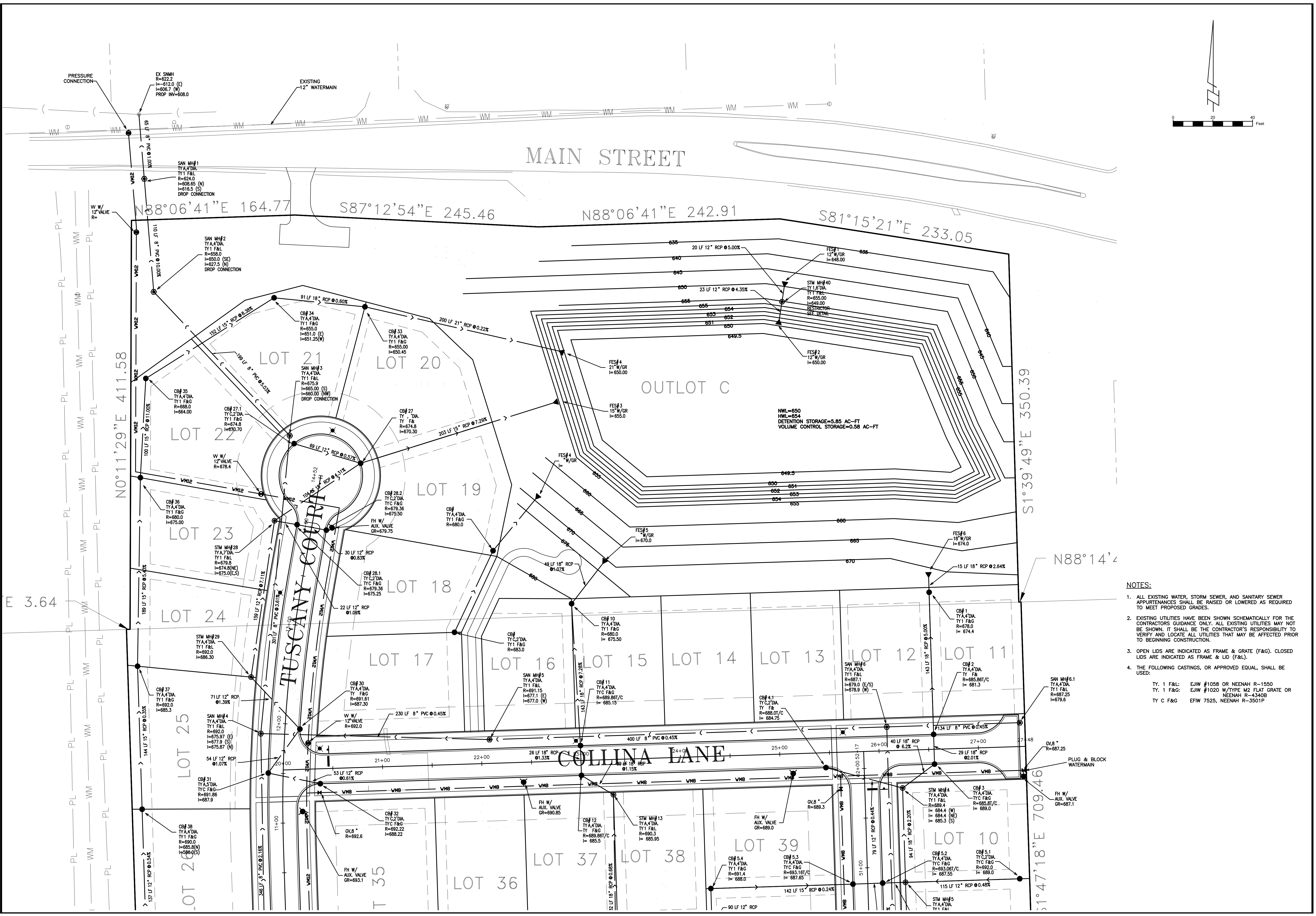
GRADING PLAN 3
DRAWN BY: MC
CHECKED BY: IC
JOB: 19203
DATE: 5/08/15

ESTATES OF MONTEFIORI
LEMONT, ILLINOIS

GEOTECH INC.
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1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

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 P:\Projects\GINT\2025\Engineering\DWG\GAN\19203base.dwg
 Plot Date: 7/8/2025 12:21 AM - Layout: UTILITY PLAN 1



- NOTES:**
- ALL EXISTING WATER, STORM SEWER, AND SANITARY SEWER APPURTENANCES SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET PROPOSED GRADES.
 - EXISTING UTILITIES HAVE BEEN SHOWN SCHEMATICALLY FOR THE CONTRACTOR'S GUIDANCE ONLY. ALL EXISTING UTILITIES MAY NOT BE SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND LOCATE ALL UTILITIES THAT MAY BE AFFECTED PRIOR TO BEGINNING CONSTRUCTION.
 - OPEN LIDS ARE INDICATED AS FRAME & GRATE (F&G). CLOSED LIDS ARE INDICATED AS FRAME & LID (F&L).
 - THE FOLLOWING CASTINGS, OR APPROVED EQUAL, SHALL BE USED:

TY, 1 F&L:	EJW #1058 OR NEENAH R-1550
TY, 1 F&G:	EJW #1020 W/TYFE M2 FLAT GRATE OR NEENAH R-4340B
TY C F&G:	EFW 7525, NEENAH R-3501P

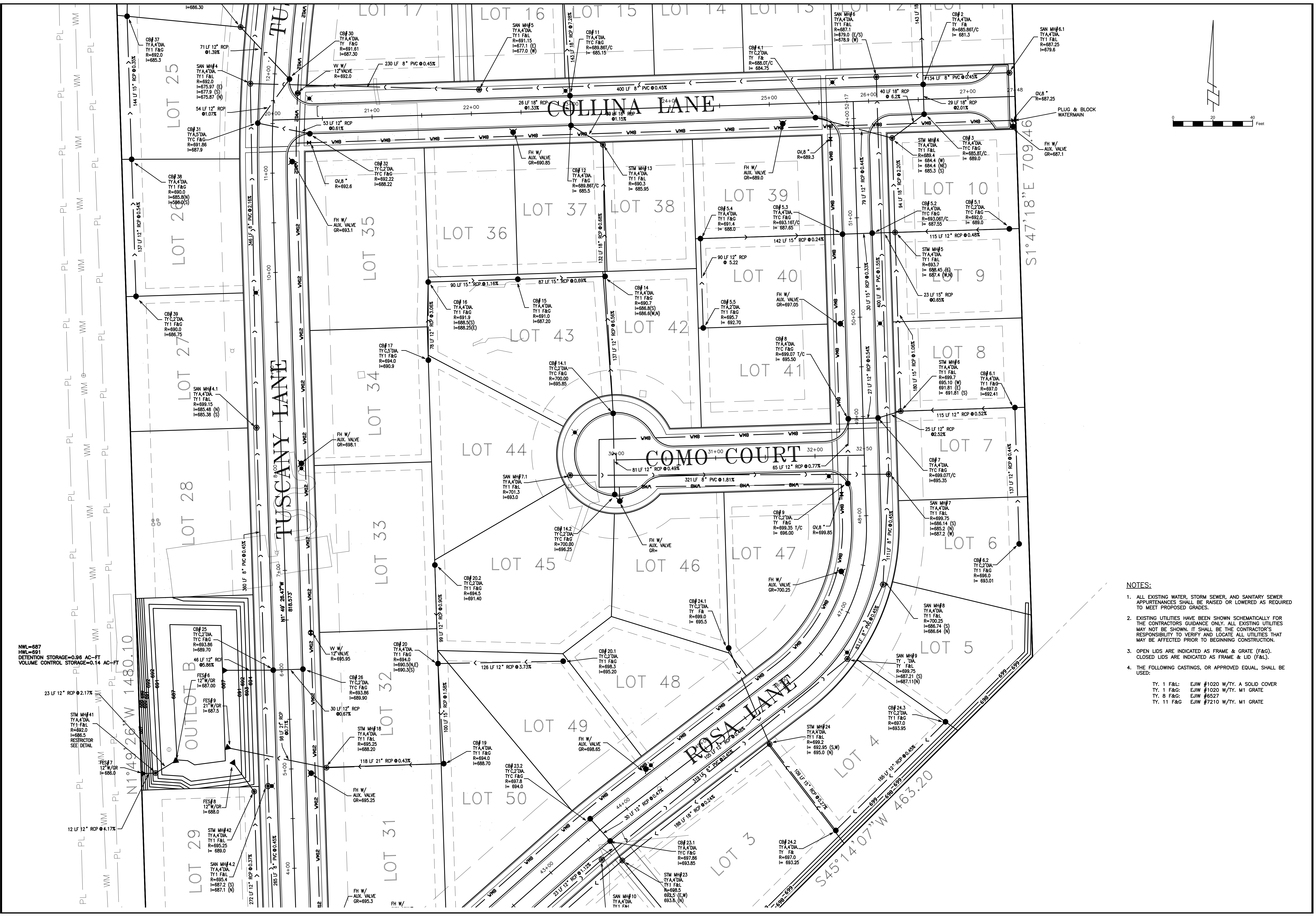
7/01/15 VILLAGE P & Z REVIEW
 DATE REVISION

UTILITY PLAN 1
 DRAWN BY: MC
 CHECKED BY: IC
 JOB: 19203
 DATE: 5/08/15

ESTATES OF MONTEFIORI
 LEMONT, ILLINOIS

GEOTECH INC.
 CONSULTING ENGINEERS - LAND SURVEYORS
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203
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- NOTES:**
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 - OPEN LIDS ARE INDICATED AS FRAME & GRATE (F&G). CLOSED LIDS ARE INDICATED AS FRAME & LID (F&L).
 - THE FOLLOWING CASTINGS, OR APPROVED EQUAL, SHALL BE USED:
 TY. 1 F&L: EJM #1020 W/TY. A SOLID COVER
 TY. 1 F&G: EJM #1020 W/TY. M1 GRATE
 TY. 8 F&G: EJM #6527
 TY. 11 F&G: EJM #7210 W/TY. M1 GRATE

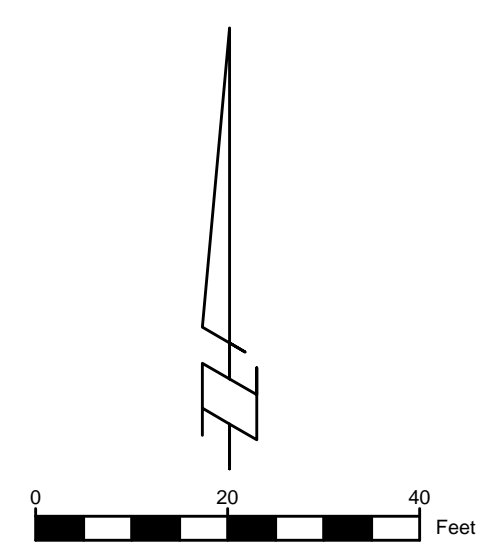
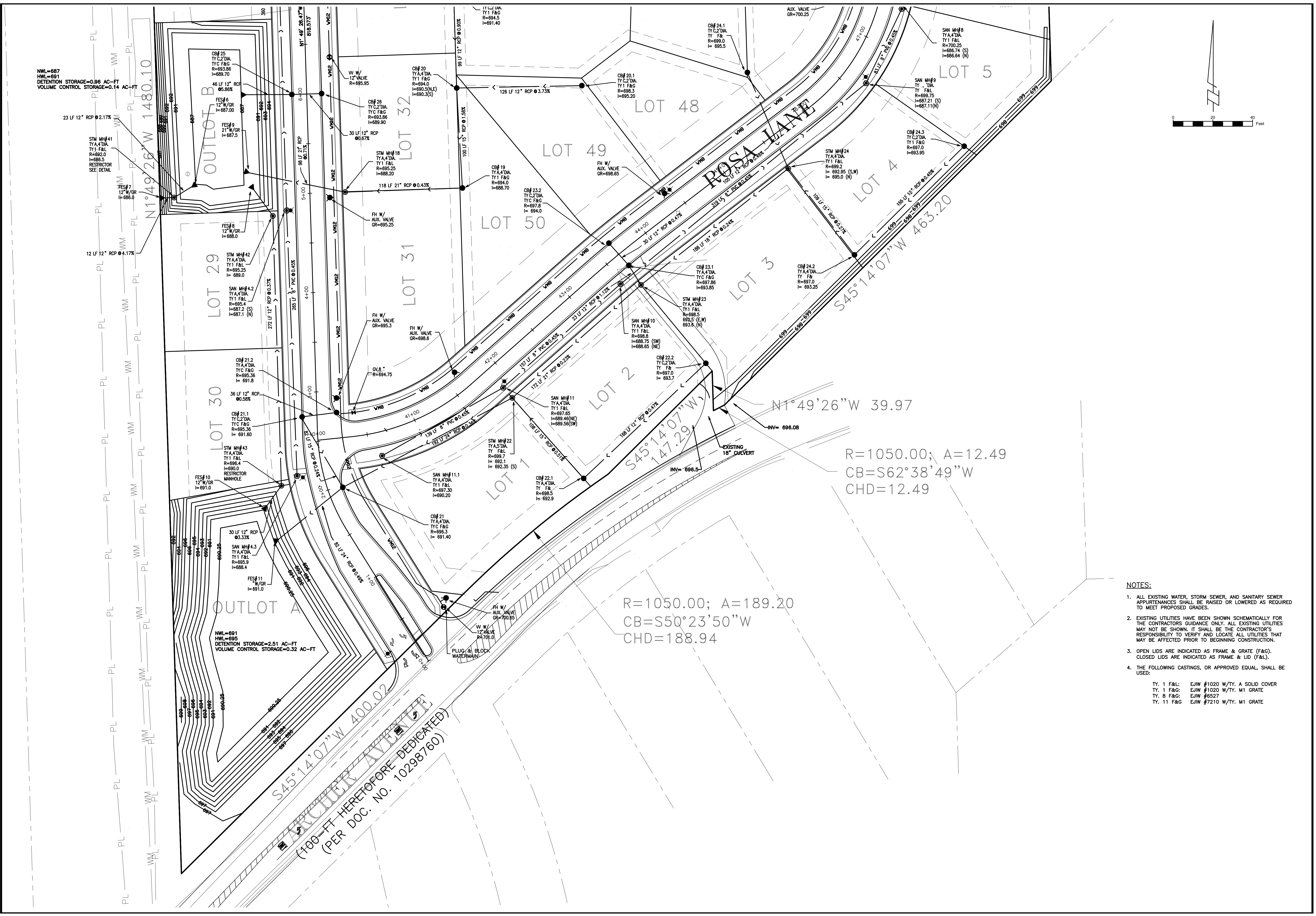
7/01/15 VILLAGE P & Z REVIEW
DATE

UTILITY PLAN 2
DRAWN BY: MC
CHECKED BY: IC

ESTATES OF MONTEFIORI
LEMONT, ILLINOIS

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203



NWL=697
HWL=691
DETENTION STORAGE=0.66 AC-FT
VOLUME CONTROL STORAGE=0.14 AC-FT

NWL=691
HWL=685
DETENTION STORAGE=2.51 AC-FT
VOLUME CONTROL STORAGE=0.32 AC-FT

R=1050.00; A=189.20
CB=S50°23'50"W
CHD=188.94

R=1050.00; A=12.49
CB=S62°38'49"W
CHD=12.49

- NOTES:**
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TY. 1 F&L:	EJW #1020 W/TY. A SOLID COVER
TY. 1 F&G:	EJW #1020 W/TY. M1 GRATE
TY. 8 F&G:	EJW #6527
TY. 11 F&G:	EJW #7210 W/TY. M1 GRATE

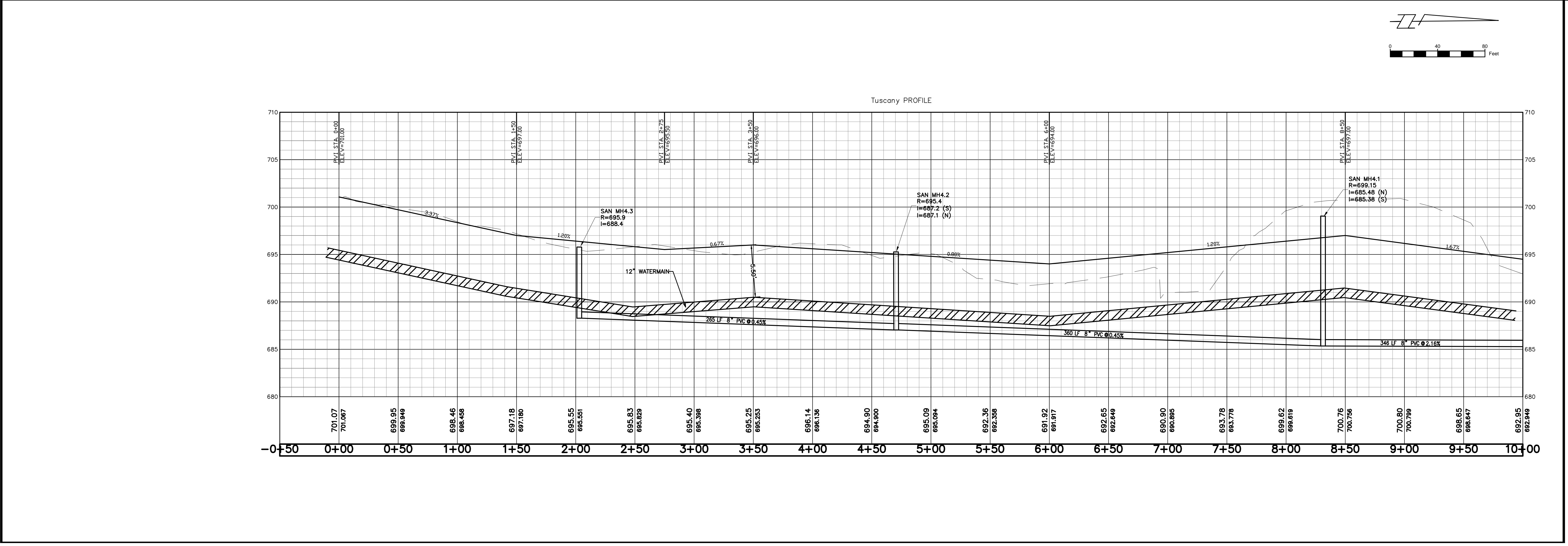
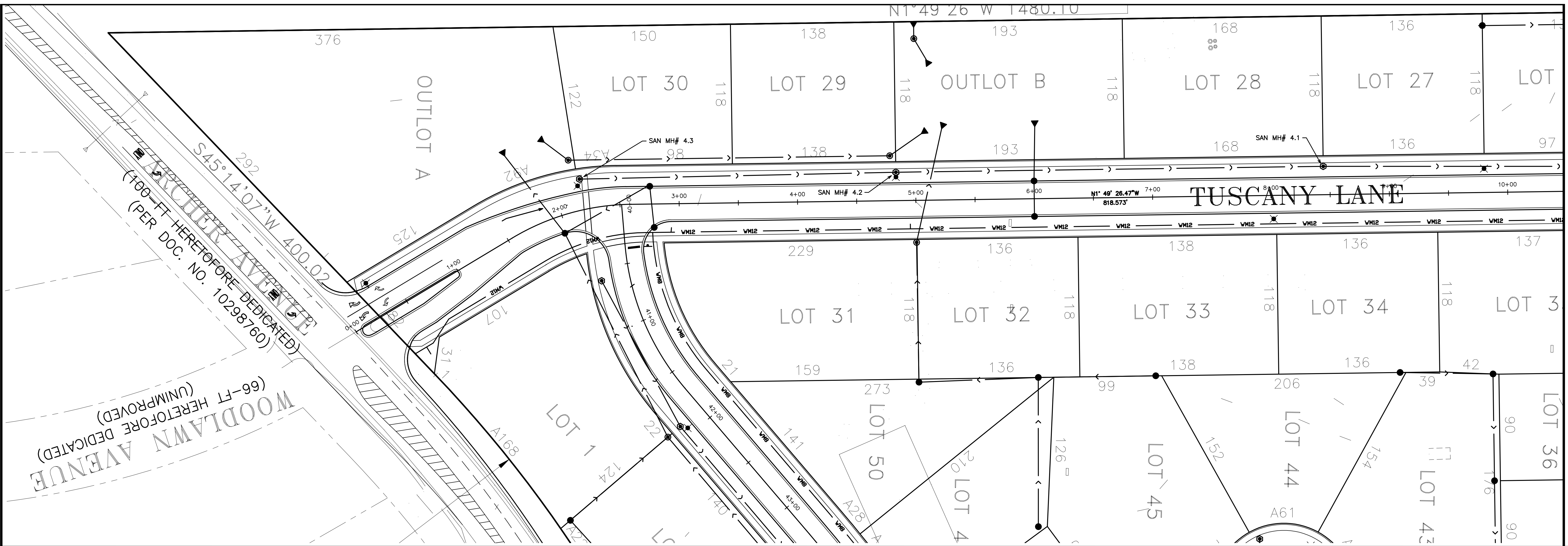
7/01/15 VILLAGE P & Z REVIEW
DATE REVISION

UTILITY PLAN 3
DRAWN BY: MC
CHECKED BY: IC
JOB: 19203
DATE: 5/09/15

ESTATES OF MONTEFIORI
LEMONT, ILLINOIS

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

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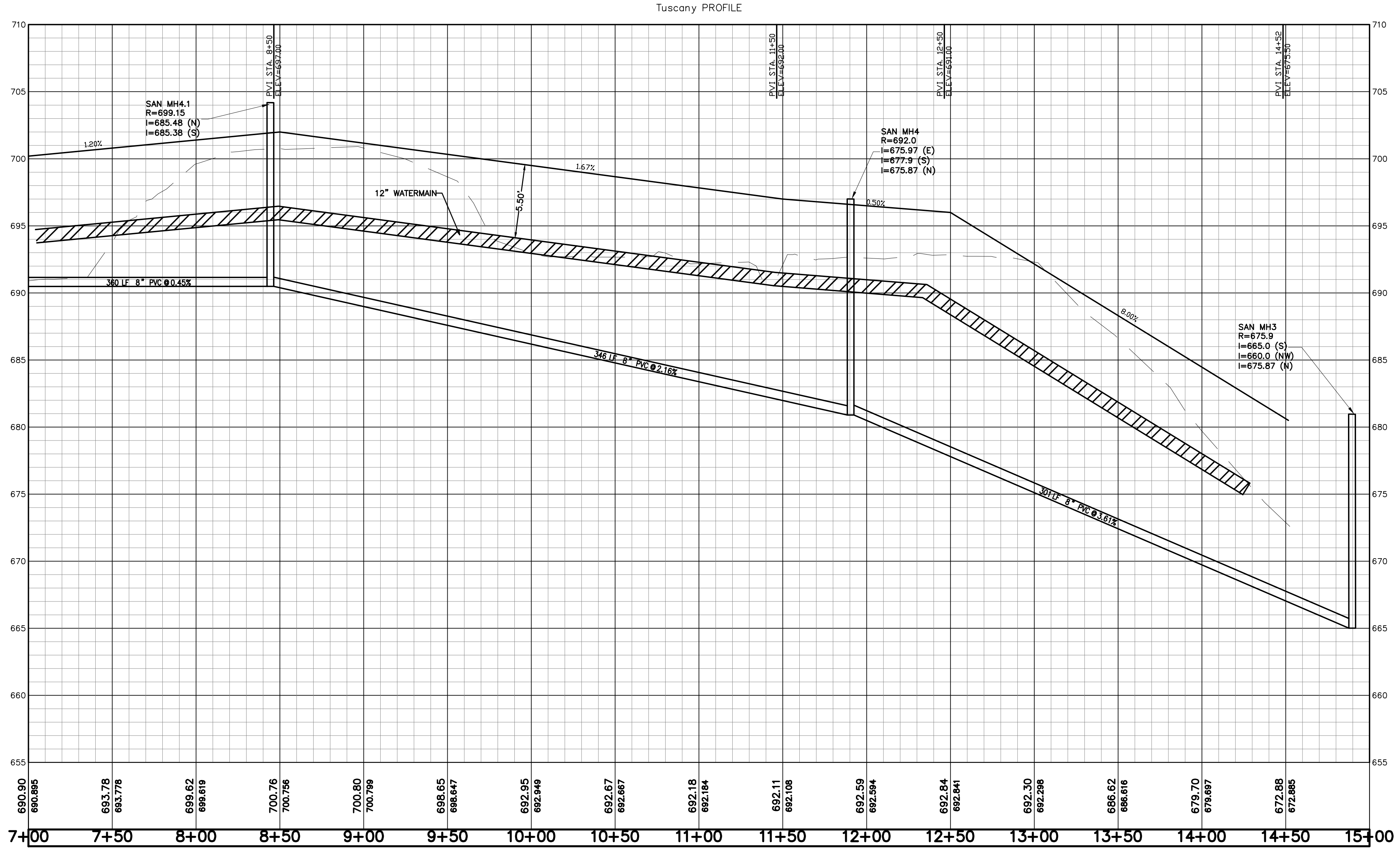
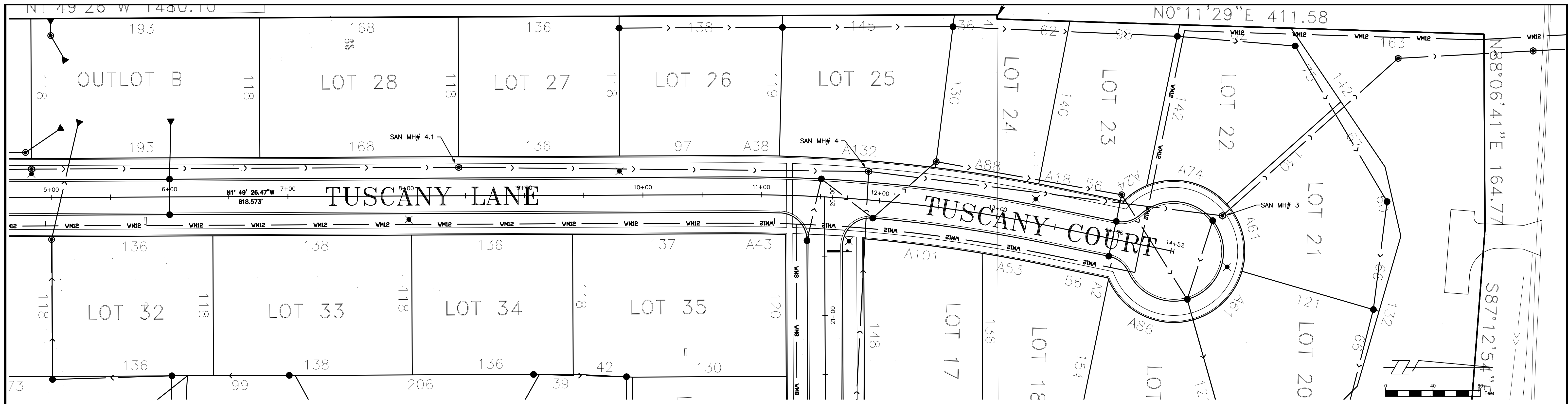
7/01/15 VILLAGE P & Z REVIEW
DATE REVISION

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DRAWN BY: MC JOB: 19203
CHECKED BY: IC DATE: 5/08/15

ESTATES OF MONTEFIORI
LEMONT, ILLINOIS

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203
13



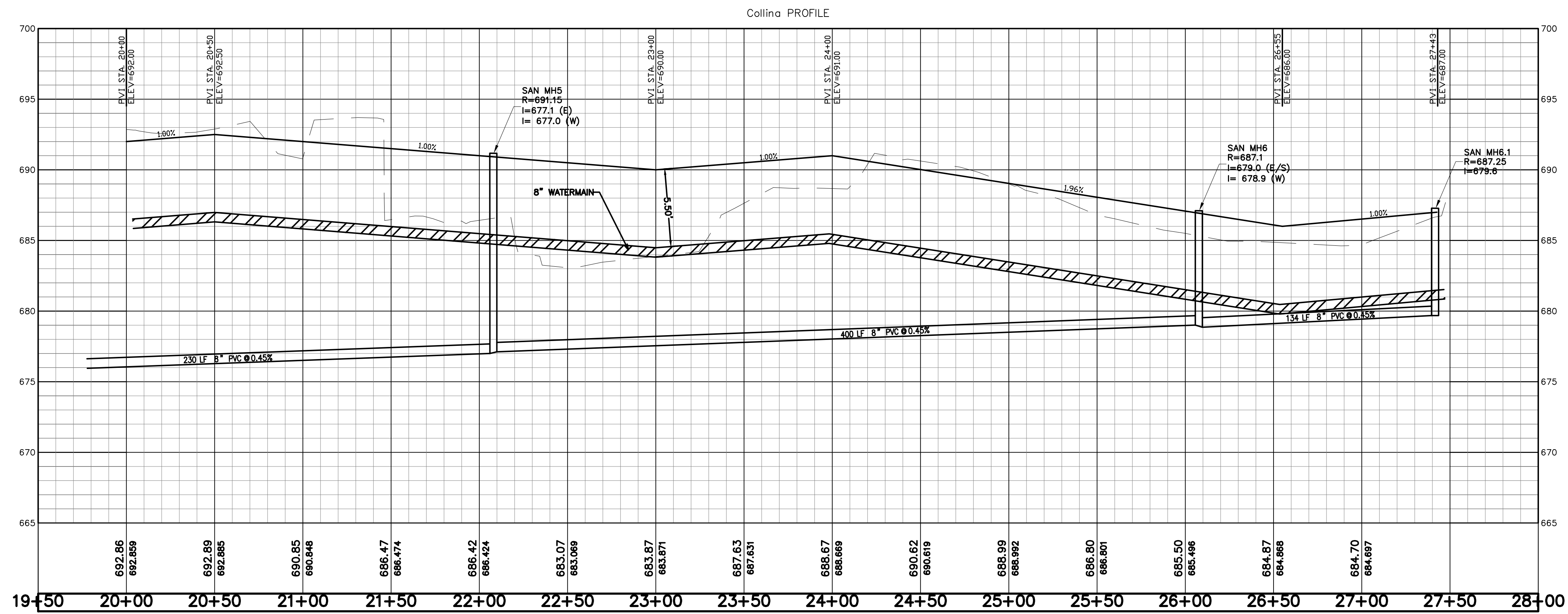
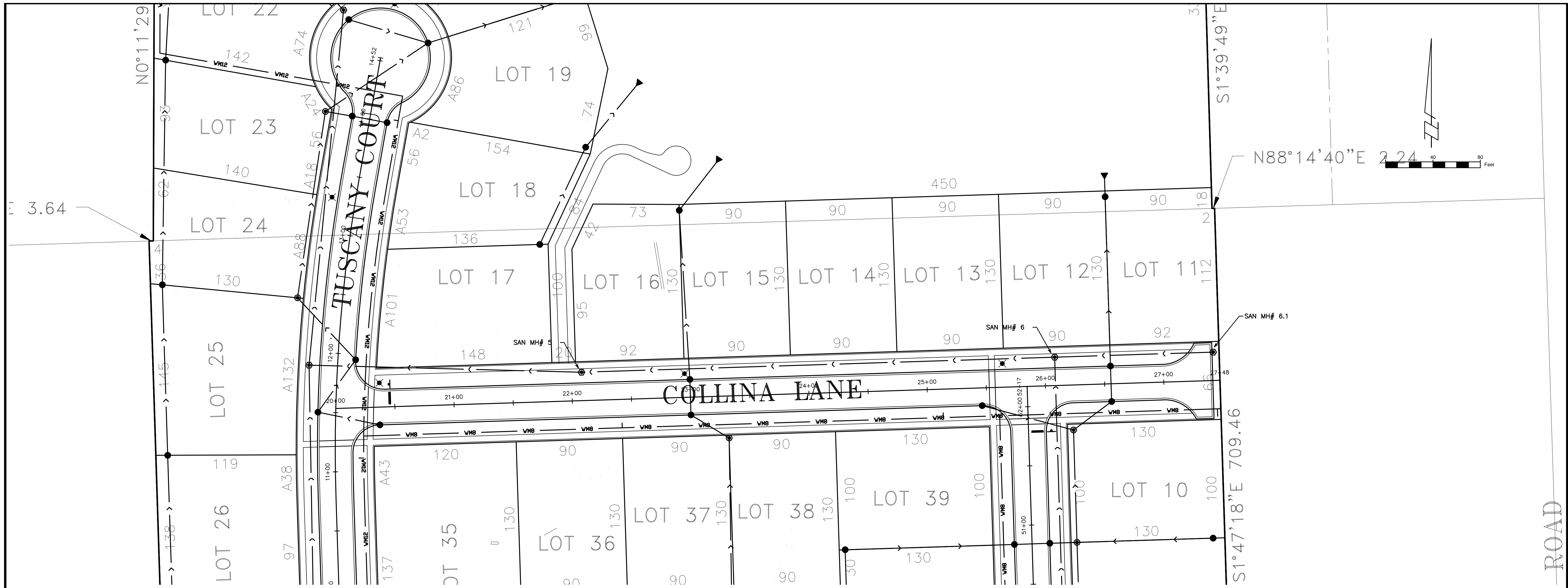
7/01/15 VILLAGE P & Z REVIEW
DATE REVISION

P & P TUSCANY - 2
DRAWN BY: MC JOB: 19203
CHECKED BY: IC DATE: 5/08/15

ESTATES OF MONTEFIORI
LEMONT, ILLINOIS

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203
4



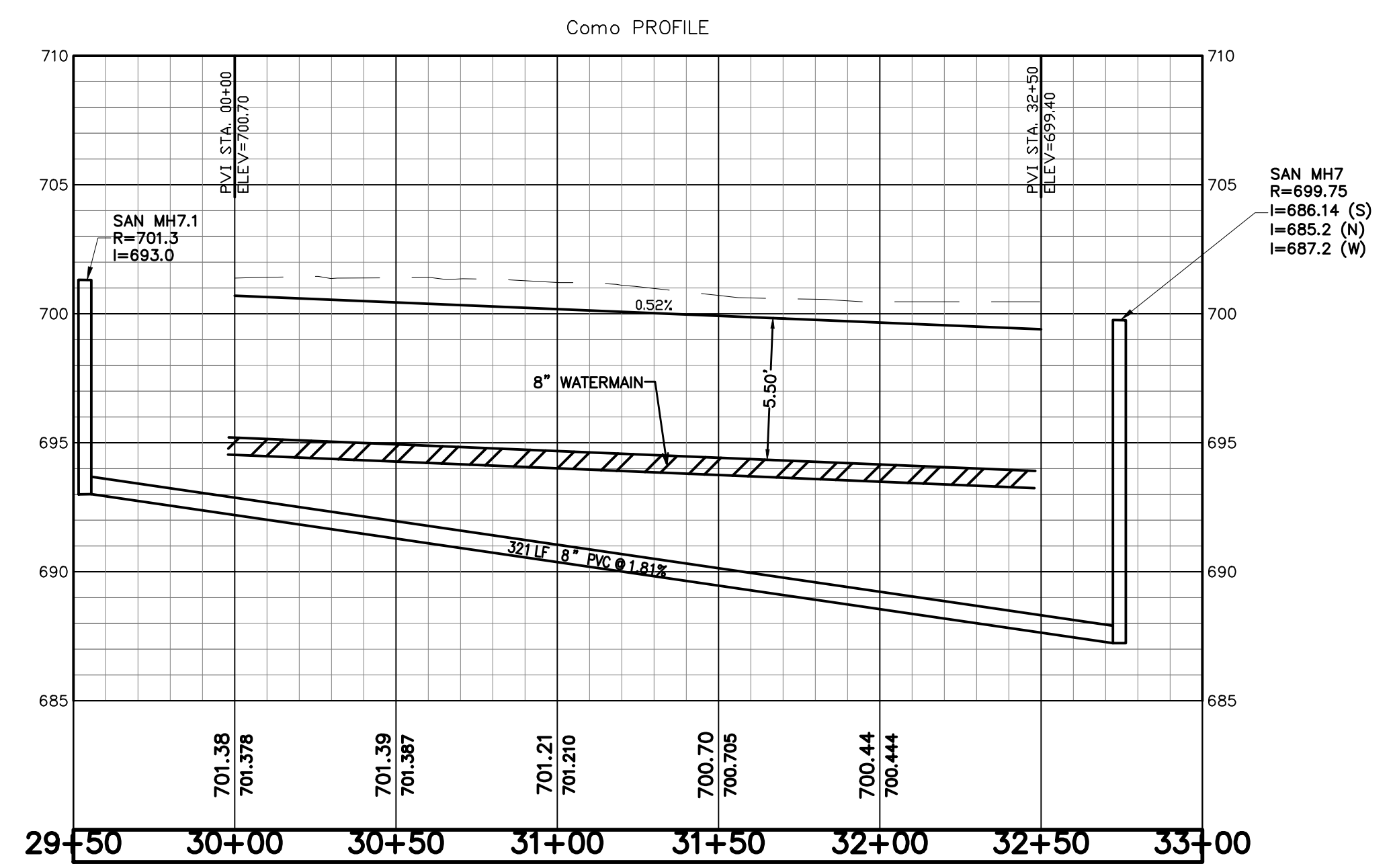
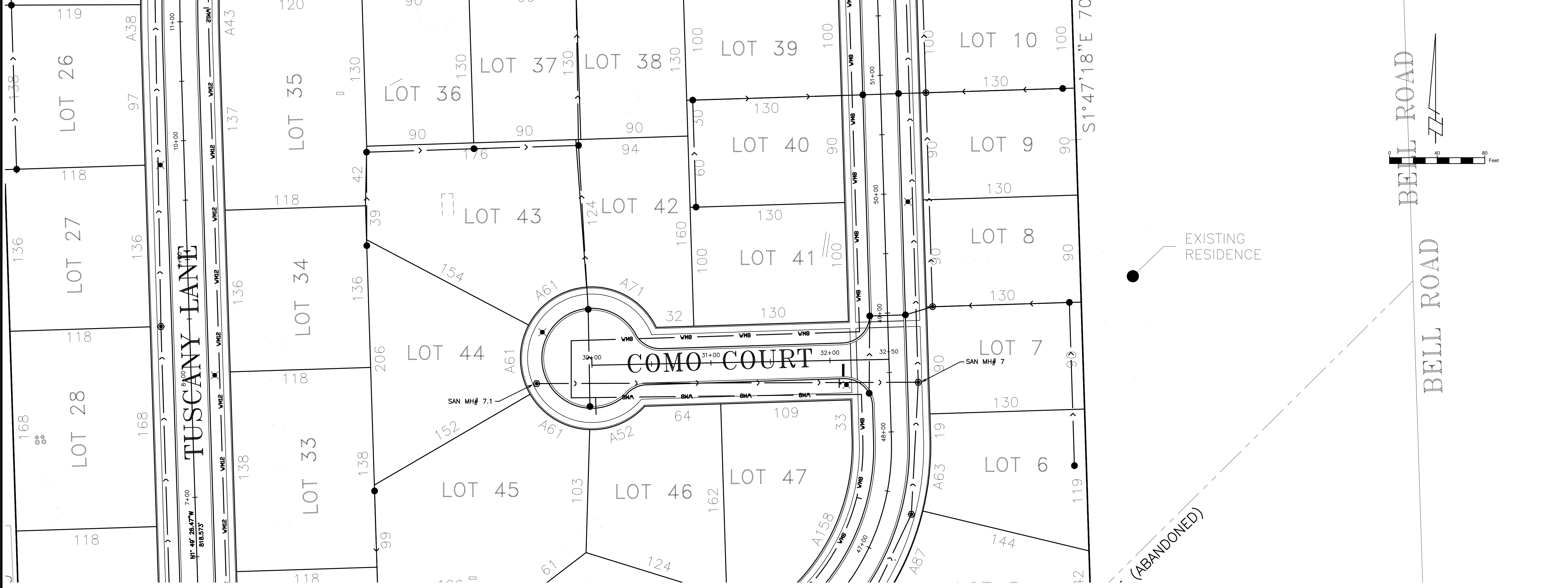
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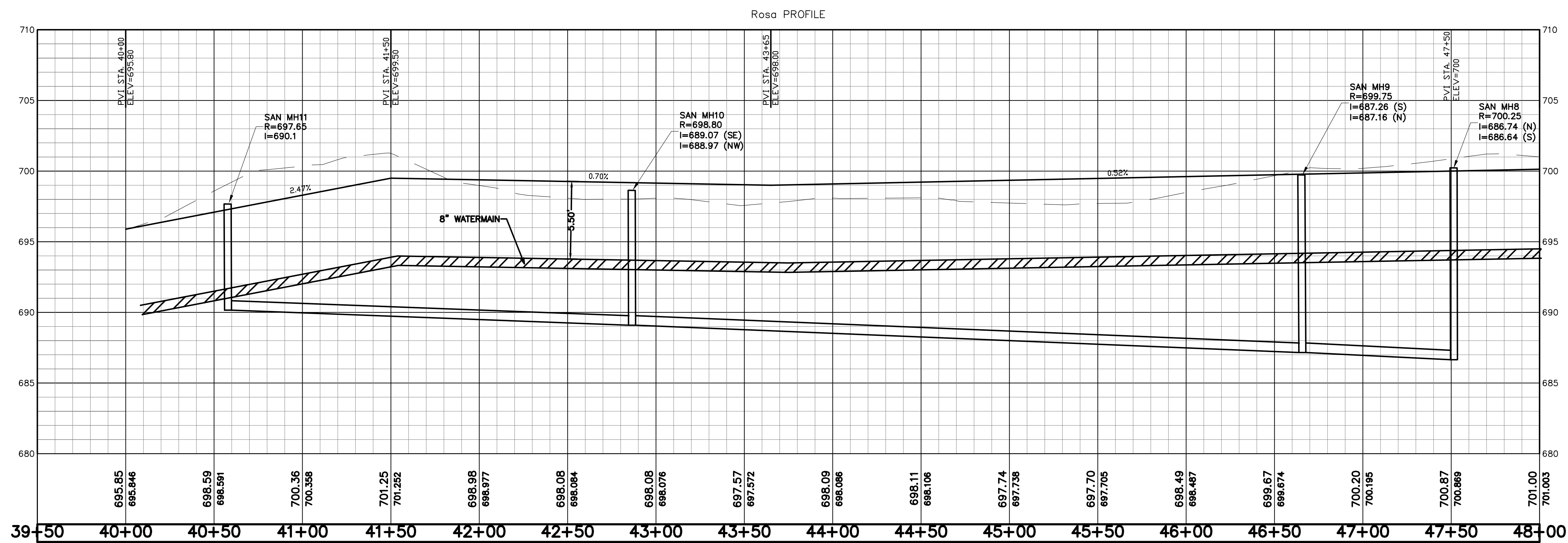
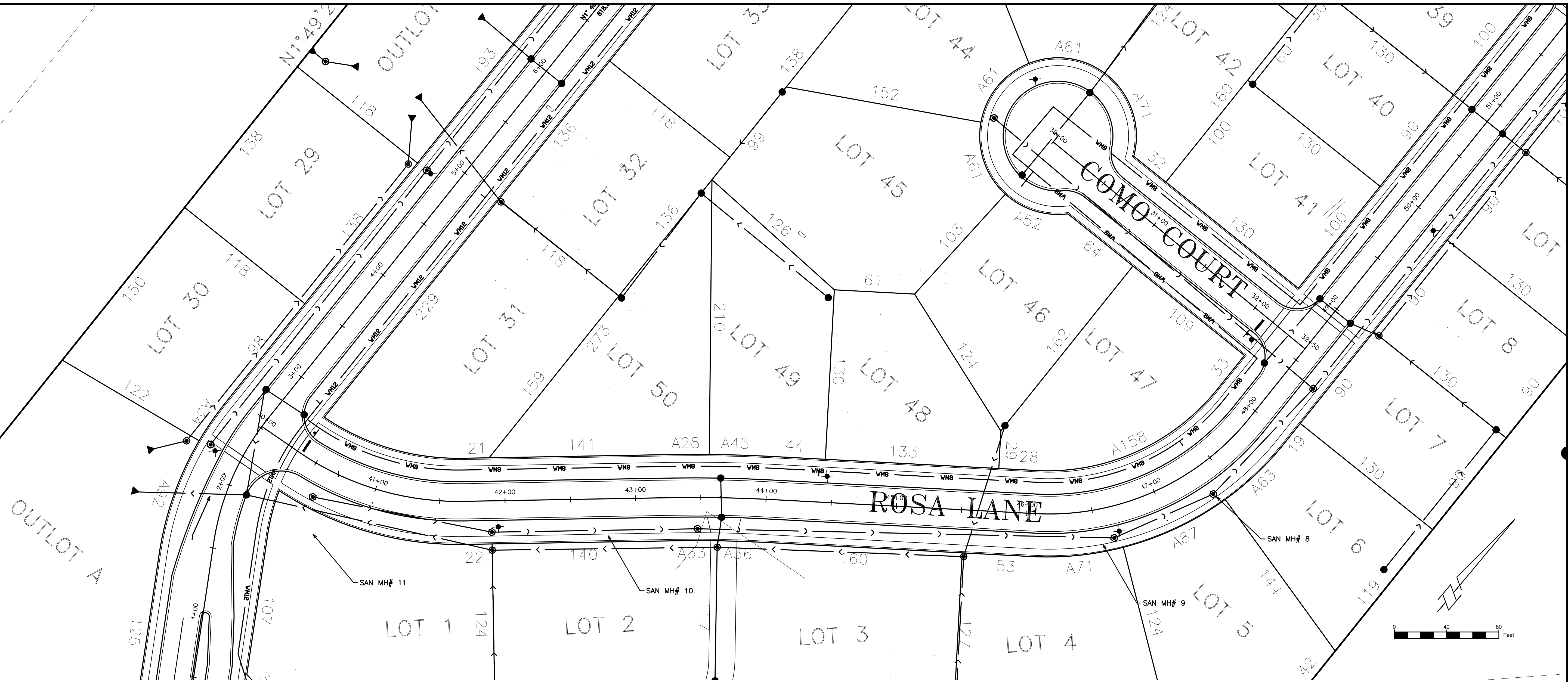
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DRAWN BY: MC JOB: 19203
CHECKED BY: TC DATE: 5/08/15

ESTATES OF MONTEFIORI
LEMONT, ILLINOIS

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

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19203





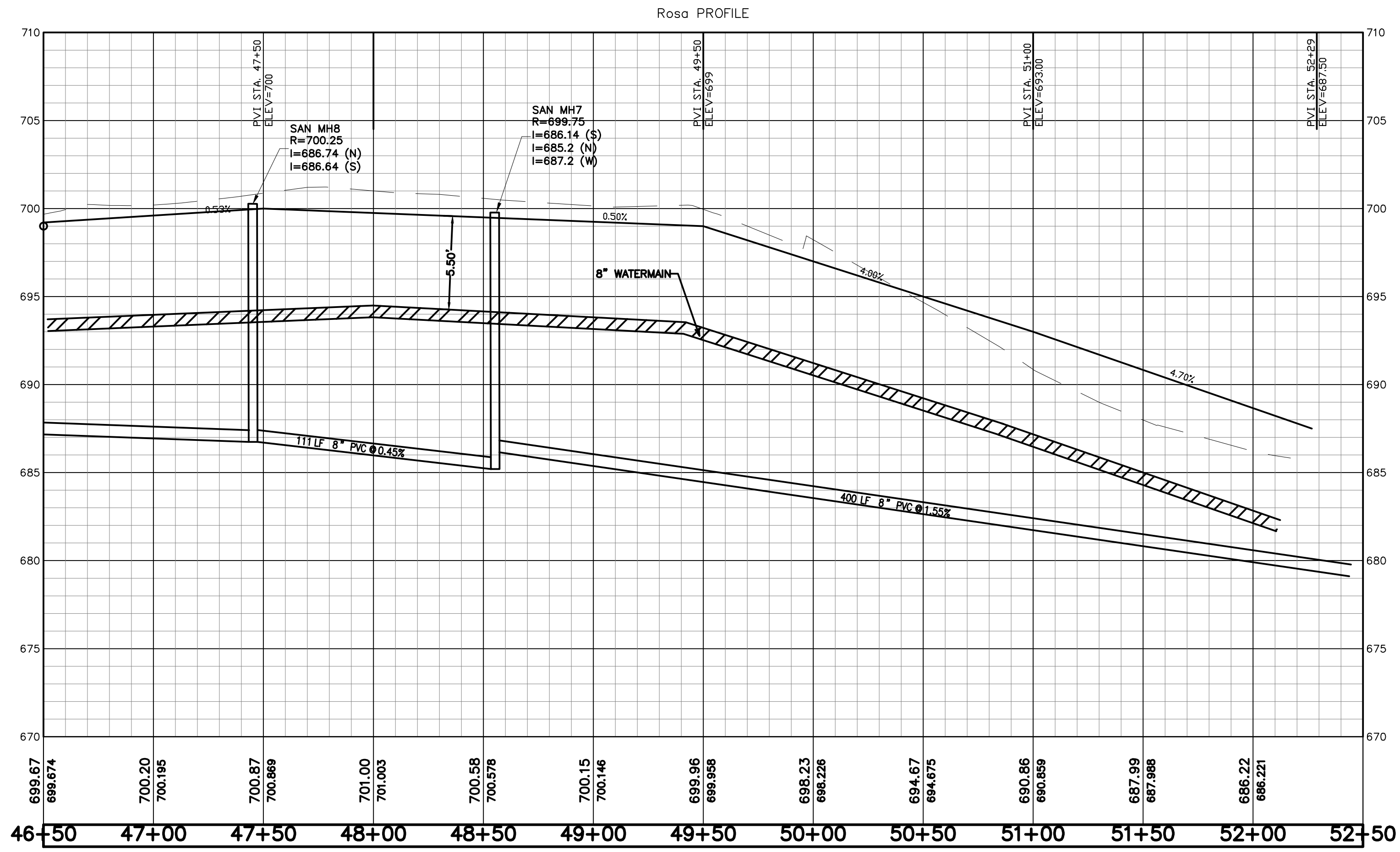
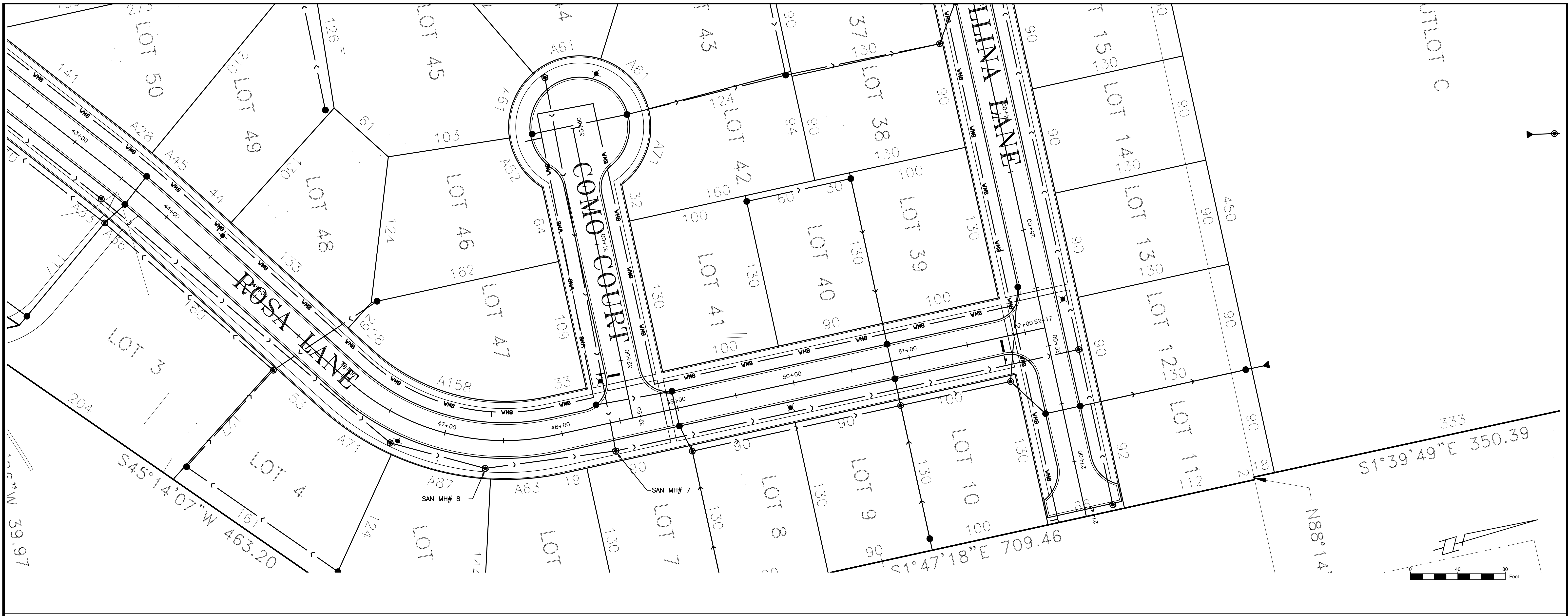
7/01/15 VILLAGE P & Z REVIEW
DATE

P & P ROSA - 1
DRAWN BY: MC JOB#: 19203
CHECKED BY: TC DATE: 5/08/15

ESTATES OF MONTEFIORI
LEMONT, ILLINOIS

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CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

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19203



7/01/15 VILLAGE P & Z REVIEW
DATE REVISION

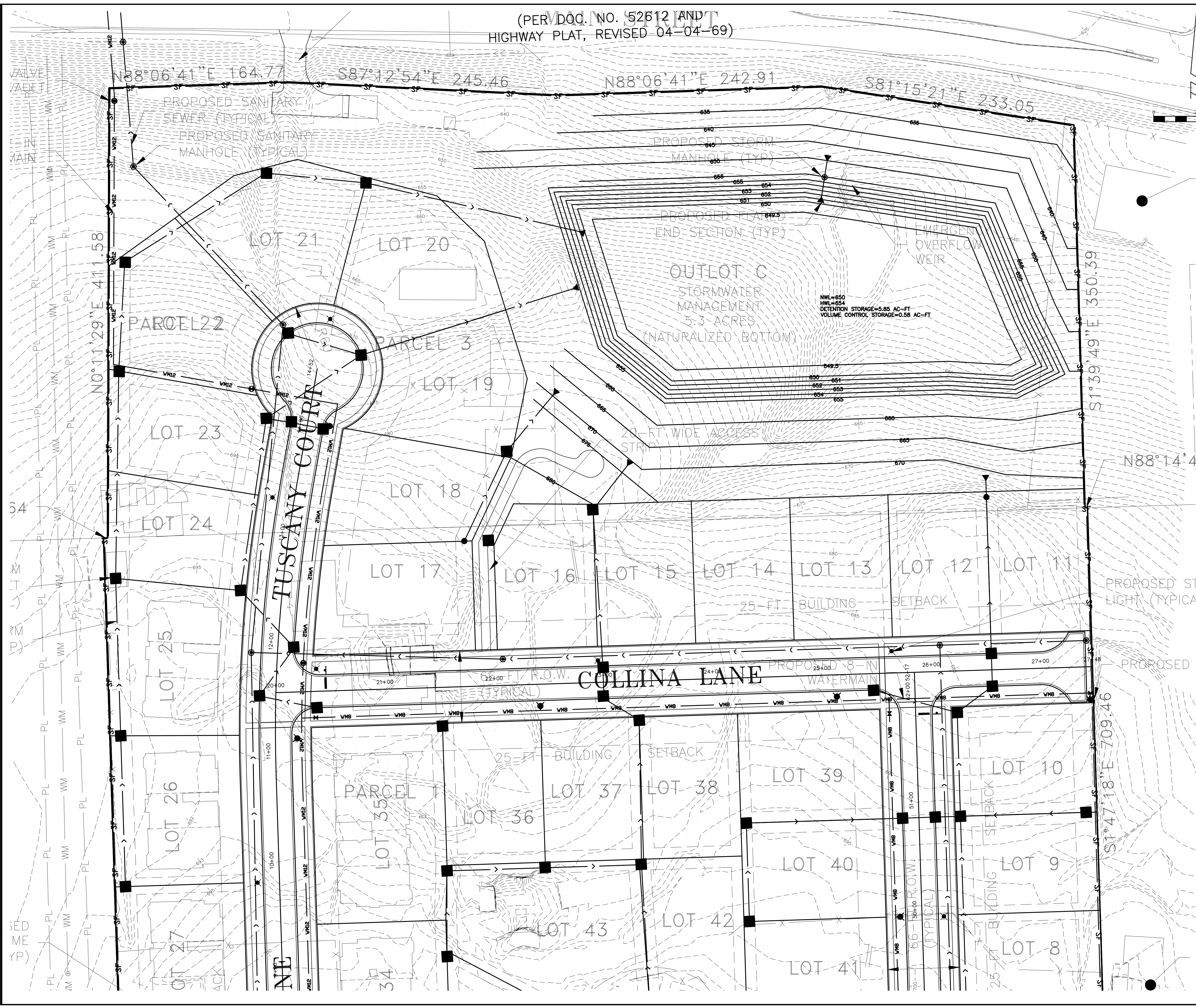
P & P ROSA - 2
DRAWN BY: MC JOB: 19203
CHECKED BY: TC DATE: 5/08/15

ESTATES OF MONTEFIORI
LEMONT, ILLINOIS

GEOTECH INC.
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1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

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19203

(PER DOC. NO. 52612 AND
HIGHWAY PLAT, REVISED 04-04-69)



- LEGEND**
- INLET PROTECTION
 - STABILIZED CONSTRUCTION ENTRANCE
 - SILT FENCING
 - CULVERT INLET PROTECTION - SILT FENCE
 - PIPE OUTLET TO FLAT AREA
 - ROCK CHECK DAM - RIPRAP
 - STRAW BALE BARRIER

- NOTES:**
- REFER TO THE STORMWATER POLLUTION PREVENTION PLAN FOR DETAILS AND ADDITIONAL INFORMATION.
 - LOCATION OF TEMPORARY CONCRETE WASHOUT FACILITY, IF NECESSARY, TO BE DETERMINED BY CONTRACTOR PER DETAIL ON STORMWATER POLLUTION PREVENTION PLAN.
 - LOCATION OF TEMPORARY TOPSOIL OR MATERIAL STOCKPILE, IF NECESSARY, TO BE DETERMINED BY CONTRACTOR. SILT FENCING TO BE PROVIDED AROUND PERIMETER OF ANY STOCKPILES.

NPDES PERMIT INSPECTOR CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR THIS SITE WHICH AUTHORIZES STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES. I FURTHER ACCEPT LEGAL RESPONSIBILITY FOR INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES AS PERTAINS TO SAID NPDES PERMIT BEGINNING WITH INITIAL SITE DISTURBANCES AND ENDING WHEN THOSE MEASURES ARE NO LONGER NECESSARY AS PROVIDED IN THE NPDES PERMIT AND VERIFIED BY THE VILLAGE OF CHANANON. NO OTHER NOTE OR PROVISION IN THE ASSOCIATED STORMWATER POLLUTION PREVENTION PLAN ELIMINATES THIS RESPONSIBILITY.

INSPECTOR'S NAME _____
 INSPECTOR'S SIGNATURE _____
 INSPECTOR'S ADDRESS & 24-HR TELEPHONE CONTACT _____
 DATE _____

CONTRACTOR CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

COMPANY NAME _____
 CONTRACTOR'S SIGNATURE _____
 TITLE _____
 DATE _____

OWNER CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

OWNER'S NAME _____
 OWNER'S SIGNATURE _____
 TITLE _____
 DATE _____

EROSION CERTIFICATE

THIS EROSION CONTROL PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND COMPLIES WITH THE URBAN SOIL EROSION CONTROL AND STANDARDS IN ILLINOIS MANUAL (LATEST EDITION) AND THE GENERALLY RECOGNIZED METHODS IN USE IN THE AREA.

THOMAS CARROLL, P.E.
 ILLINOIS PE #062-052783
 EXPIRES 11-30-2015
 DATE _____

VILLAGE P & Z REVIEW
REVISION
DATE: 7/01/15

EROSION CONTROL PLAN - 1

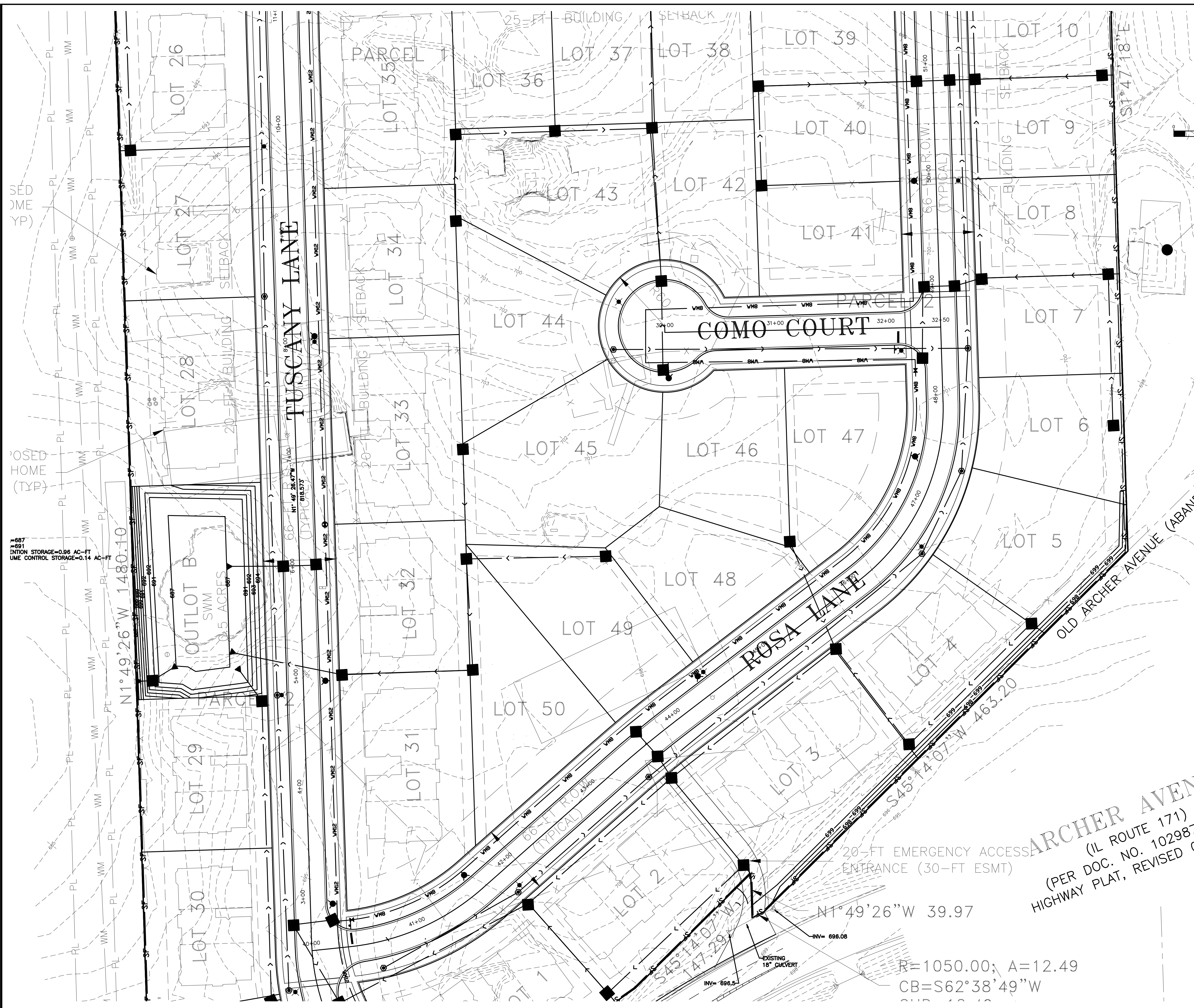
DRAWN BY: MC
JOB: 19203
CHECKED BY: IC
DATE: 5/08/15

**ESTATES OF MONTEFIORI
LEMONT, ILLINOIS**

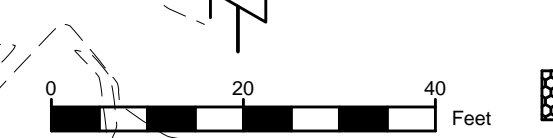
GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203

20



#687
#691
ENTRANCE STORAGE=0.36 AC-FT
SILT CONTROL STORAGE=0.14 AC-FT



LEGEND

- INLET PROTECTION
- ▨ STABILIZED CONSTRUCTION ENTRANCE
- SF- SILT FENCING
- CIP CULVERT INLET PROTECTION - SILT FENCE
- ▤ PIPE OUTLET TO FLAT AREA
- RCD ROCK CHECK DAM - RIPRAP
- SBB STRAW BALE BARRIER

- NOTES:**
1. REFER TO THE STORMWATER POLLUTION PREVENTION PLAN FOR DETAILS AND ADDITIONAL INFORMATION.
 2. LOCATION OF TEMPORARY CONCRETE WASHOUT FACILITY, IF NECESSARY, TO BE DETERMINED BY CONTRACTOR PER DETAIL ON STORMWATER POLLUTION PREVENTION PLAN.
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NPDES PERMIT INSPECTOR CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR THIS SITE WHICH AUTHORIZES STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES. I FURTHER ACCEPT LEGAL RESPONSIBILITY FOR INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES AS PERTAINS TO SAID NPDES PERMIT BEGINNING WITH INITIAL SITE DISTURBANCES AND ENDING WHEN THOSE MEASURES ARE NO LONGER NECESSARY AS PROVIDED IN THE NPDES PERMIT AND VERIFIED BY THE VILLAGE OF CHannahon. NO OTHER NOTE OR PROVISION IN THE ASSOCIATED STORMWATER POLLUTION PREVENTION PLAN ELIMINATES THIS RESPONSIBILITY.

INSPECTOR'S NAME _____
 INSPECTOR'S SIGNATURE _____
 INSPECTOR'S ADDRESS & 24-HR TELEPHONE CONTACT _____
 DATE _____

CONTRACTOR CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (LR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

COMPANY NAME _____
 CONTRACTOR'S SIGNATURE _____
 TITLE _____
 DATE _____

OWNER CERTIFICATION

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OWNER'S NAME _____
 OWNER'S SIGNATURE _____
 TITLE _____
 DATE _____

EROSION CERTIFICATE

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THOMAS CARROLL, P.E.
 ILLINOIS PE #062-052783
 EXPIRES 11-30-2015
 DATE _____

20-FT EMERGENCY ACCESS
 ENTRANCE (30-FT ESMT)



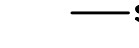




ARCHER AVENUE
 (IL ROUTE 171)
 (PER DOC. NO. 1029870
 HIGHWAY PLAT, REVISED 03-

$R=1050.00; A=12.49$
 $CB=S62^{\circ}38'49"W$

NWL=687
 WL=691
 DETENTION STORAGE=0.96 AC-FT
 VOLUME CONTROL STORAGE=0.14 AC-FT

NWL=691
 HWL=695
 DETENTION STORAGE=2.51 AC-FT
 VOLUME CONTROL STORAGE=0.32 AC-FT
 MANAGEMENT
 1-2 ACRES
 NATURALIZED
 BOTTOM

LEGEND

-  INLET PROTECTION
-  STABILIZED CONSTRUCTION ENTRANCE
-  SF SILT FENCING
-  CIP CULVERT INLET PROTECTION - SILT FENCE
-  PIPE OUTLET TO FLAT AREA
-  RCD ROCK CHECK DAM - RIPRAP
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COMPANY NAME _____
 CONTRACTOR'S SIGNATURE _____
 TITLE _____
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OWNER'S NAME _____
 OWNER'S SIGNATURE _____
 TITLE _____
 DATE _____

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THOMAS CARROLL, P.E.
 ILLINOIS PE #062-052783
 EXPIRES 11-30-2015
 DATE _____

7/01/15 VILLAGE P & Z REVIEW
 DATE REVISION

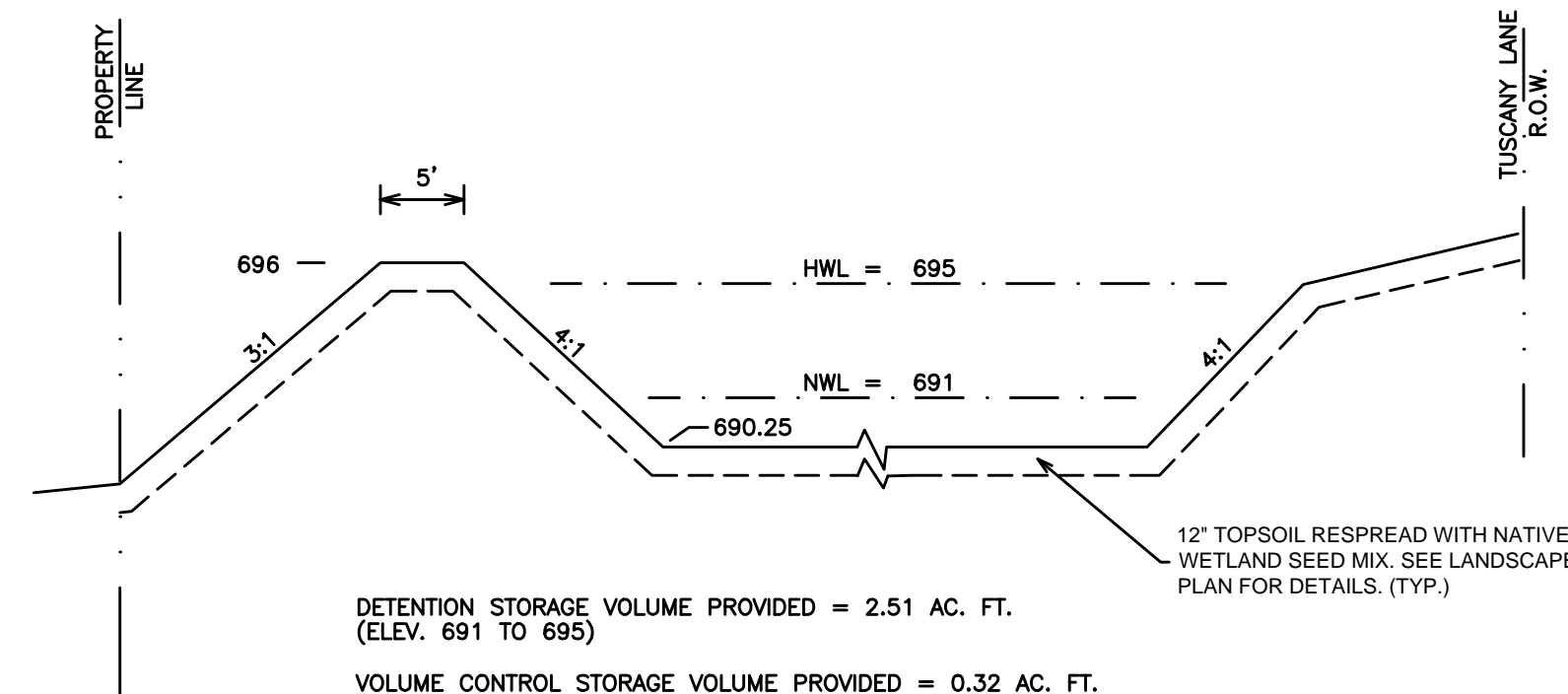
EROSION CONTROL PLAN - 3
 DRAWN BY: MC JOB: 19203
 CHECKED BY: IC DATE: 5/08/15

ESTATES OF MONTEFIORI
 LEMONT, ILLINOIS

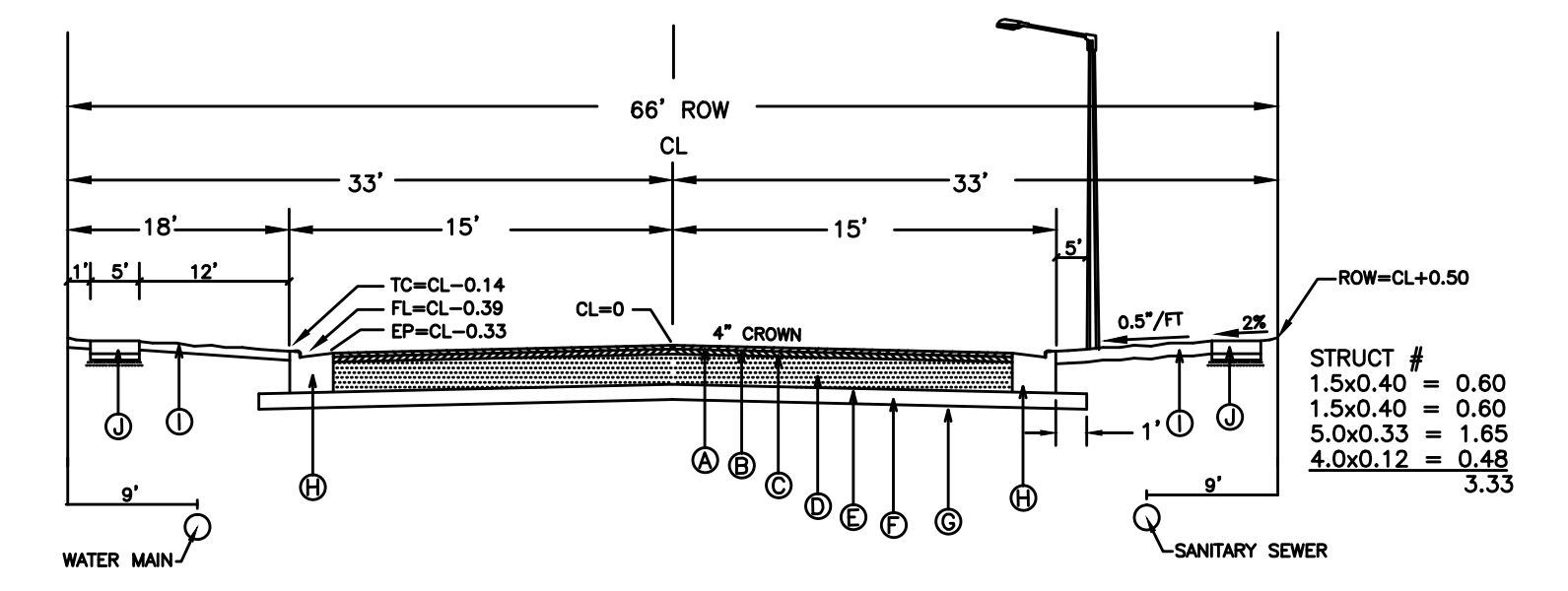
GEOTECH INC.
 CONSULTING ENGINEERS - LAND SURVEYORS
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203
 22

P:\Projects\GINTECH\Engineering\DWG\GAN 19203base.dwg
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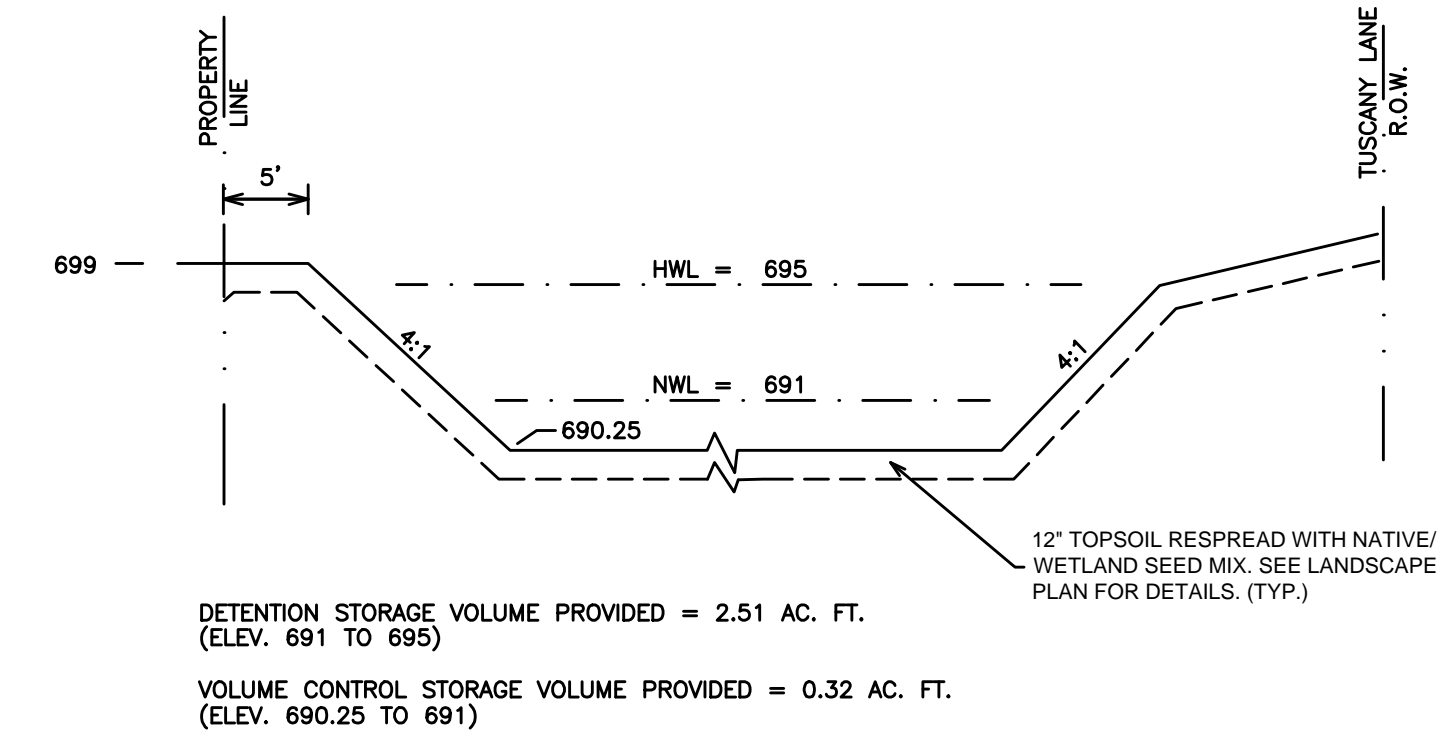


**TYPICAL SECTION DETENTION BASIN
 OUTLOT A- NORTH END**
 N.T.S.

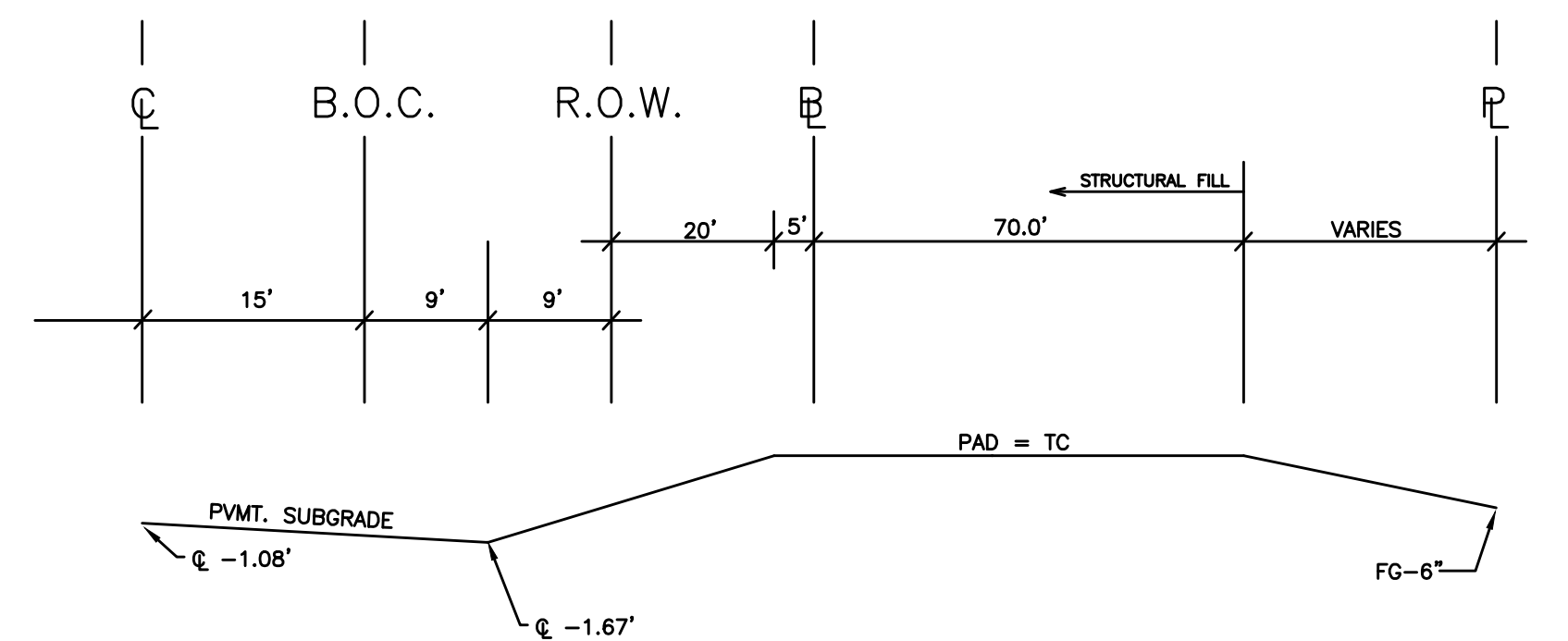


TYPICAL PAVEMENT SECTION (66' ROW)
 N.T.S.

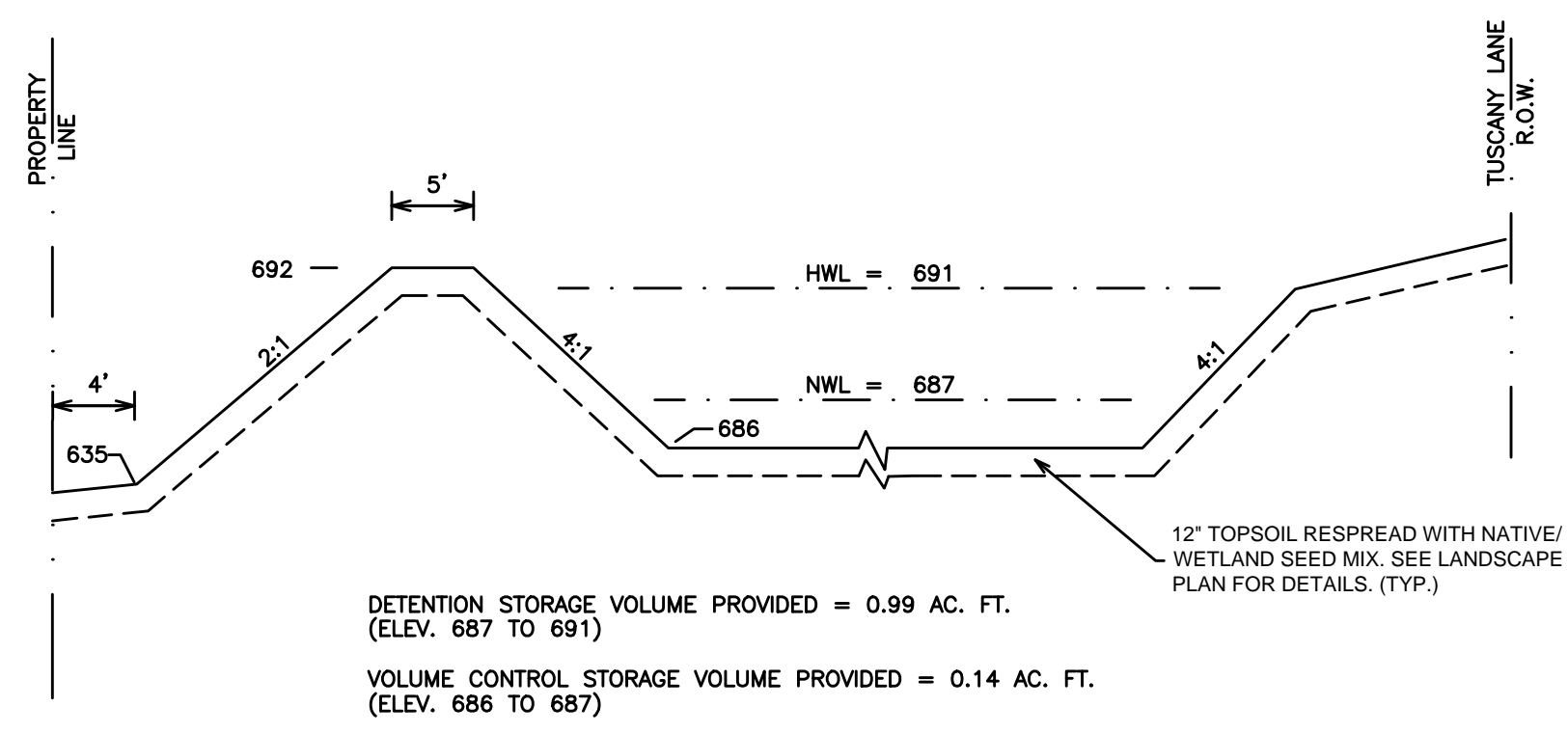
- (A) HOT MIX ASPHALT SURFACE COURSE, MIX C, NS0, 1.5"
 - (B) 0.1 GAL/S.Y. BITUMINOUS MATERIALS (PRIME COAT)
 - (C) HOT MIX ASPHALT BINDER COURSE, NS0, 1.5"
 - (D) HOT MIX ASPHALT BASE COURSE, NS0, 6"
 - (E) 0.15 GAL/S.Y. BITUMINOUS MATERIALS (PRIME COAT)
 - (F) AGGREGATE SUB-BASE, TY. B, CA-6, 4"
 - (G) GEOTECHNIC FABRIC FOR SOIL STABILIZATION (SEE NOTE)
 - (H) ROLLED CURB & GUTTER (SEE DETAIL)
 - (I) TOPSOIL (4" MINIMUM)
 - (J) 5" PCC SIDEWALK W/ 2" AGGREGATE SUB-BASE, CA-6
- NOTE: GEOTECHNIC FABRIC SHALL BE MINIMUM 4 OZ PER SQUARE YARD, WOVEN OR NON-WOVEN ENGINEERING FABRIC MEETING STATE STANDARDS.



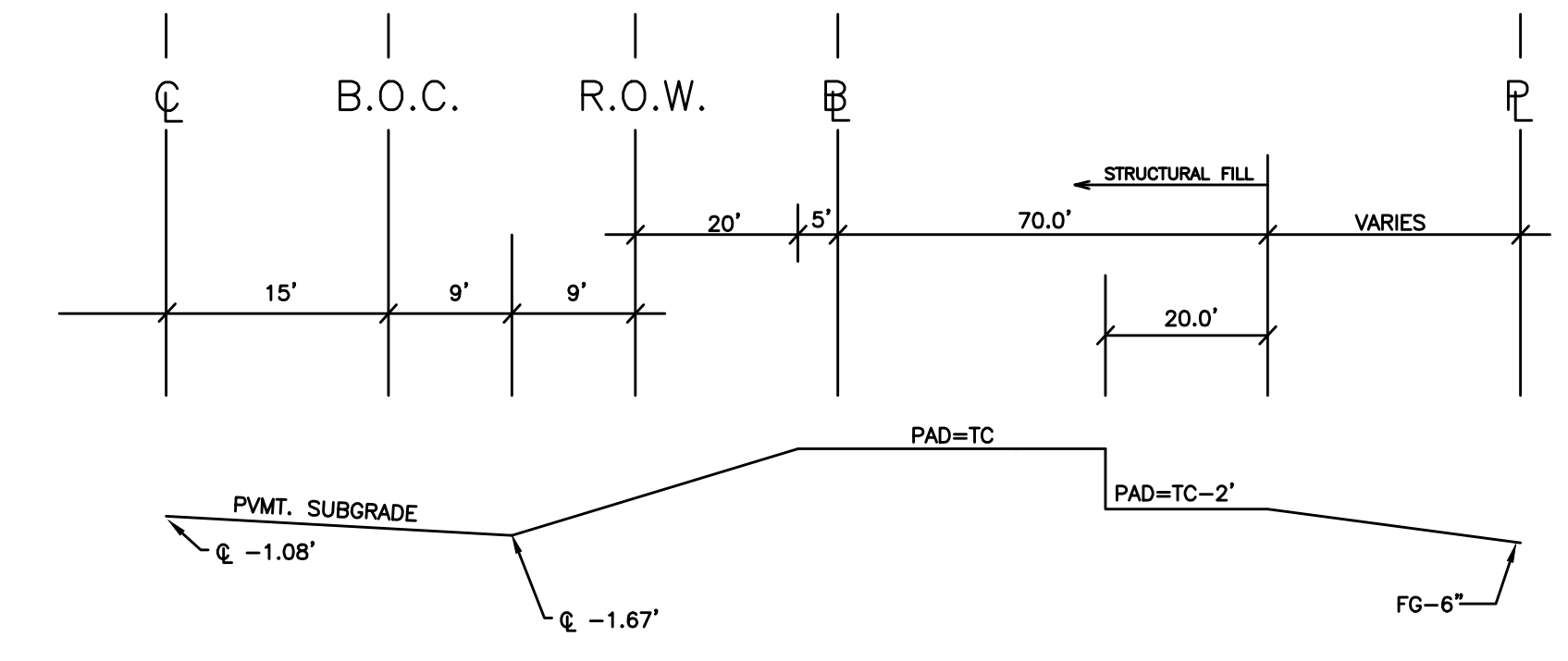
**TYPICAL SECTION DETENTION BASIN
 OUTLOT A- SOUTH END**
 N.T.S.



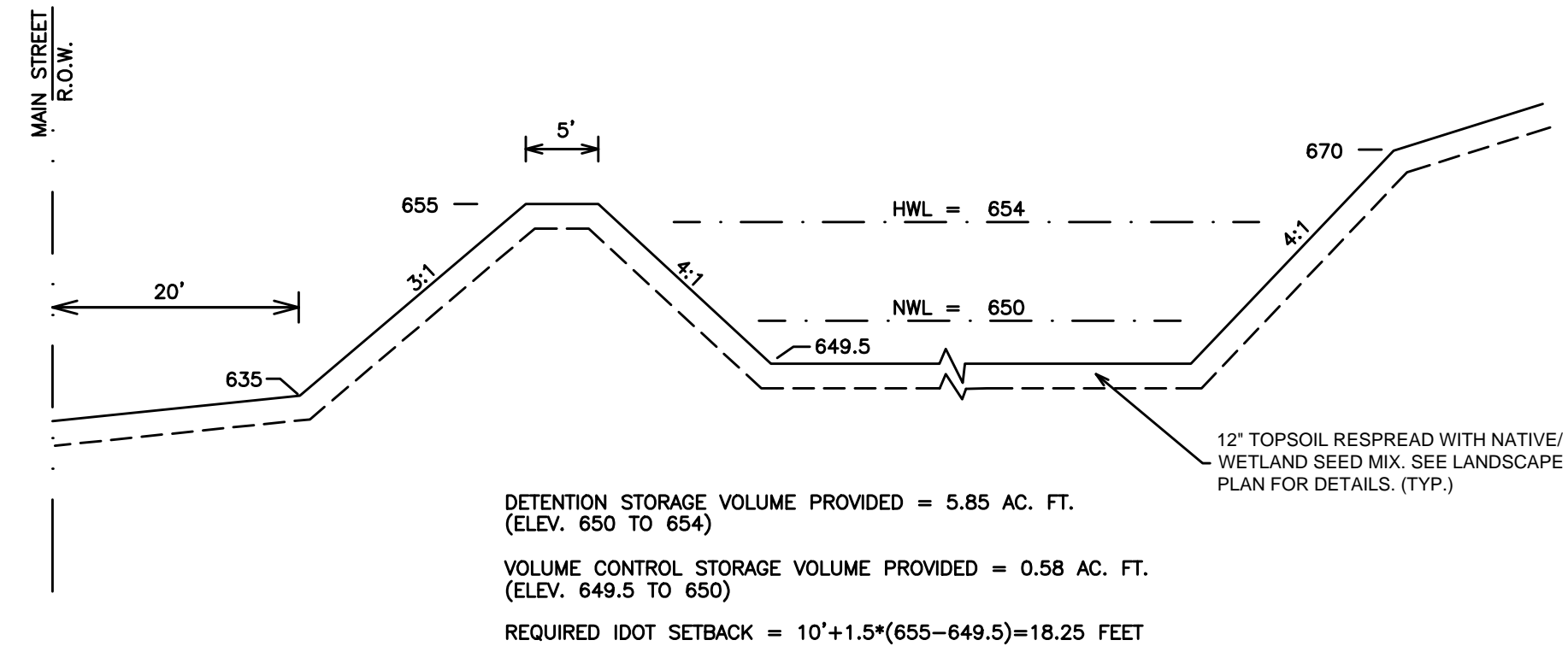
**TYPICAL MASS GRADE SECTION
 STANDARD BASEMENT**
 N.T.S.



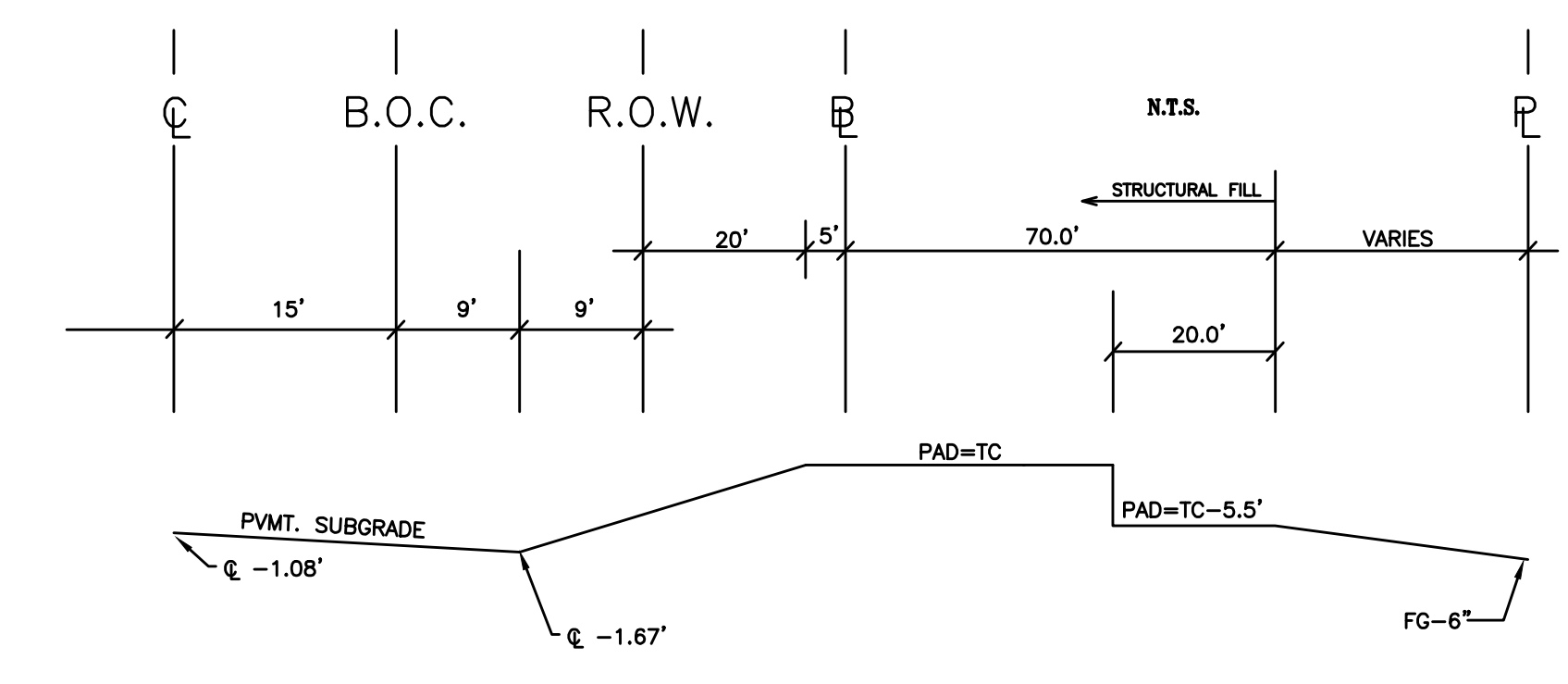
**TYPICAL SECTION DETENTION BASIN
 OUTLOT B**
 N.T.S.



**TYPICAL MASS GRADE SECTION
 LOOKOUT BASEMENT**
 N.T.S.



**TYPICAL SECTION DETENTION BASIN
 OUTLOT C**
 N.T.S.



**TYPICAL MASS GRADE SECTION
 WALKOUT BASEMENT**
 N.T.S.

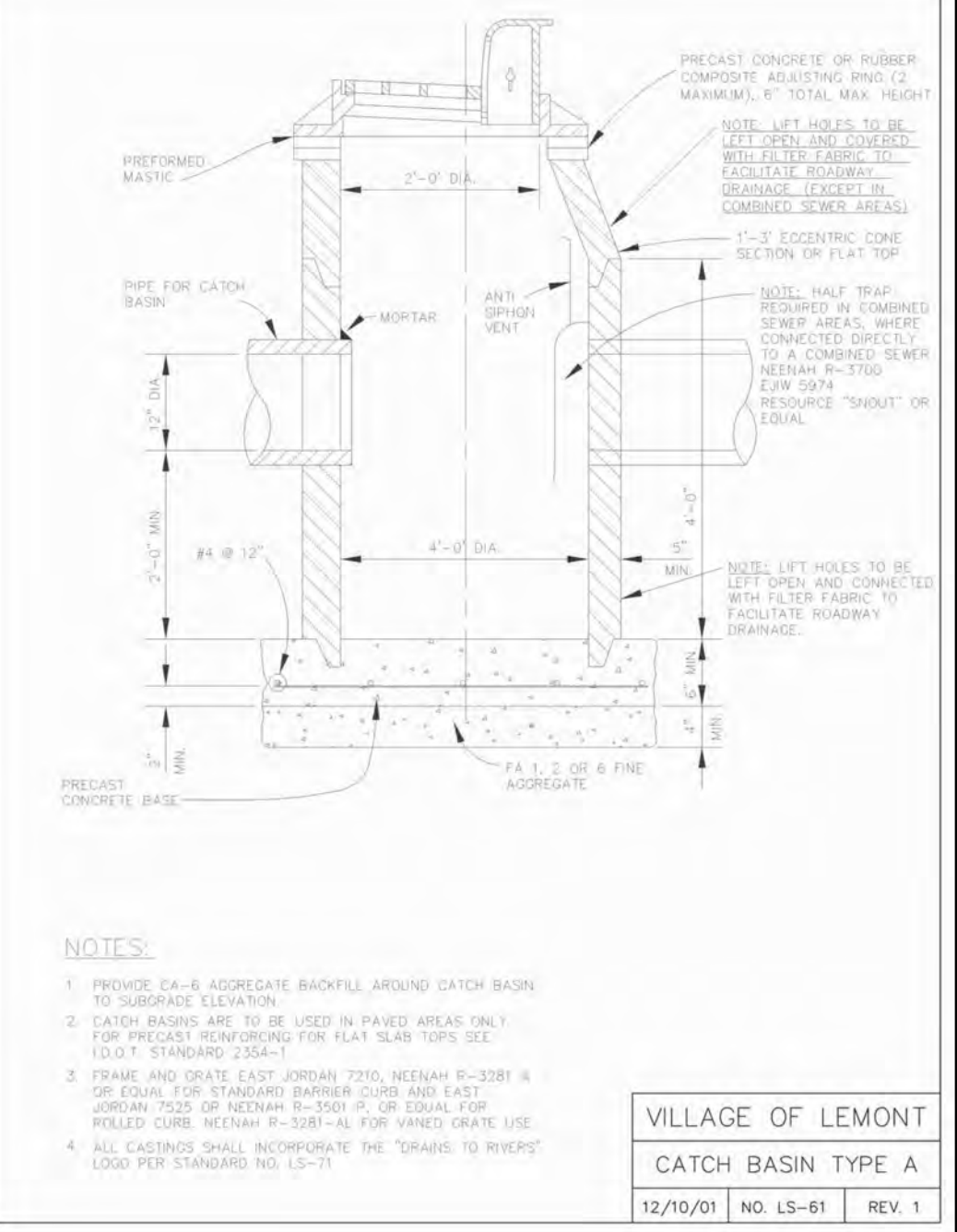
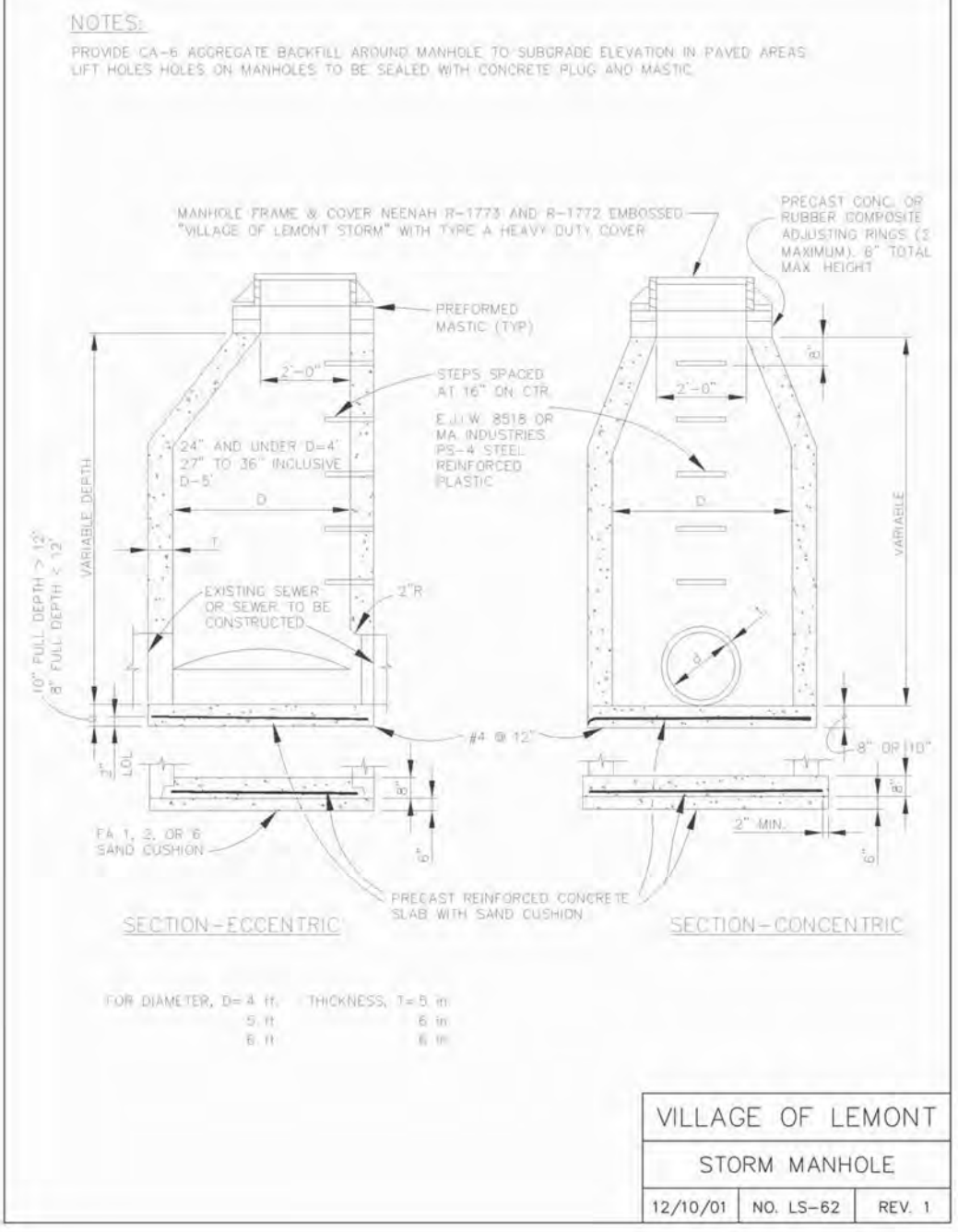
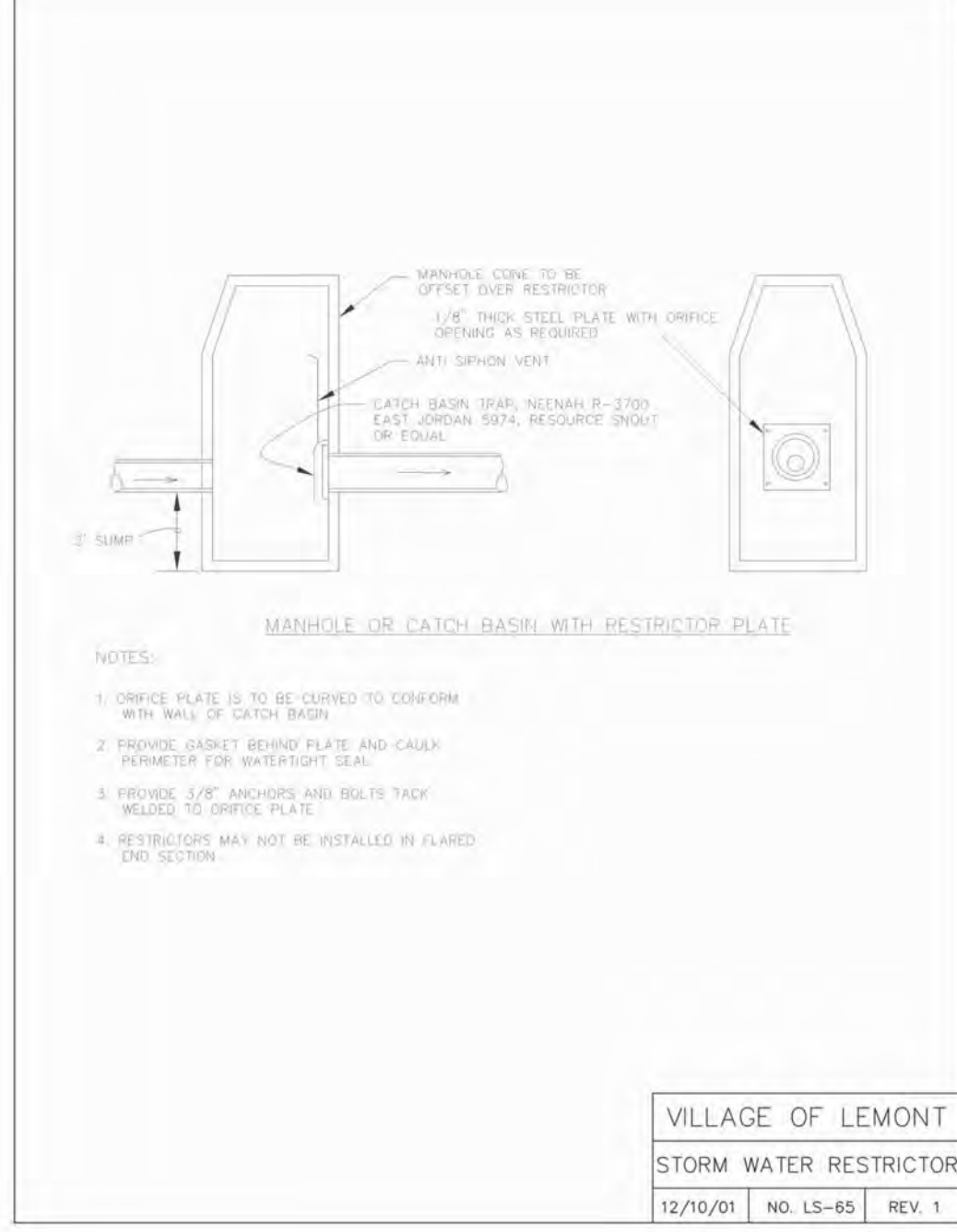
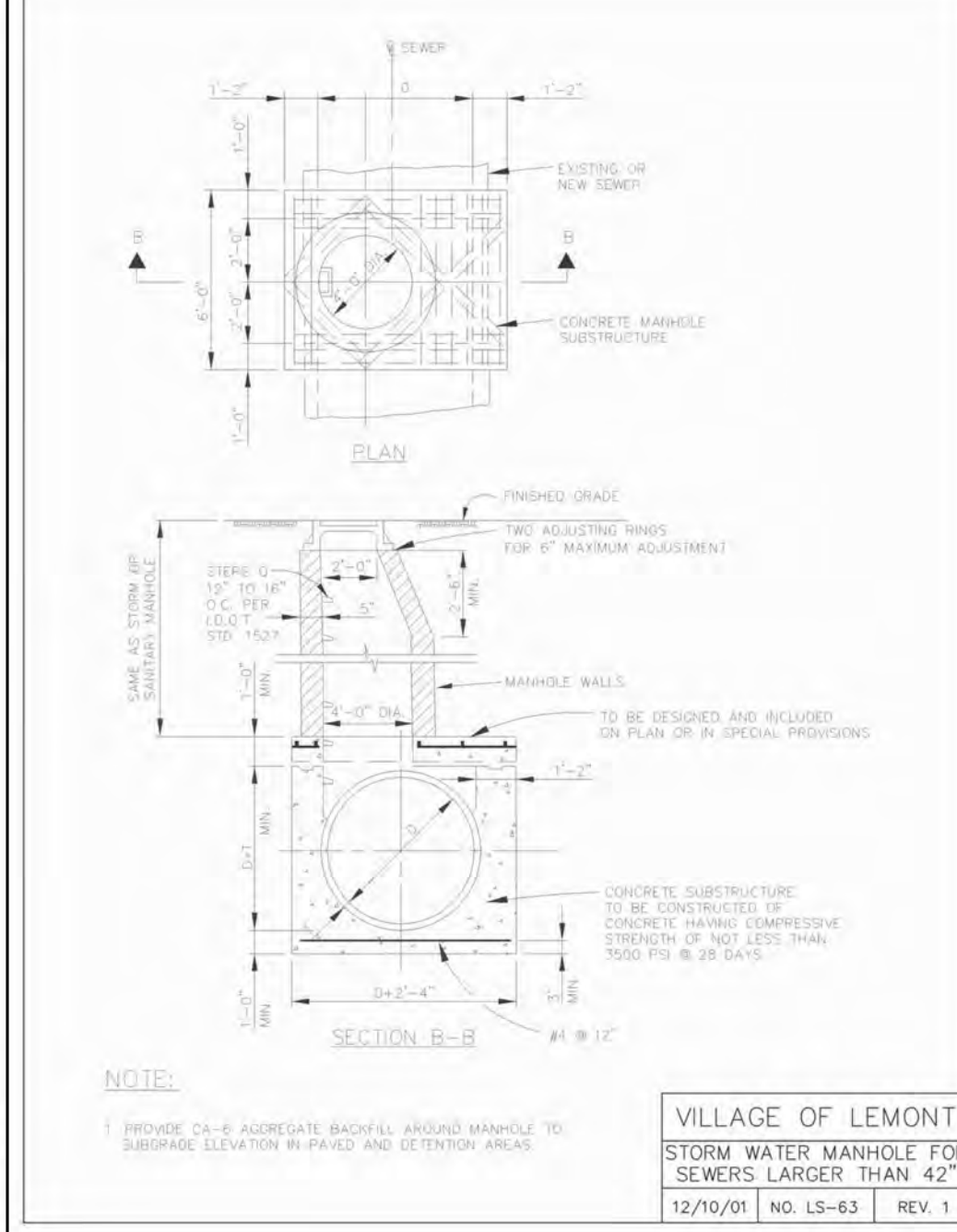
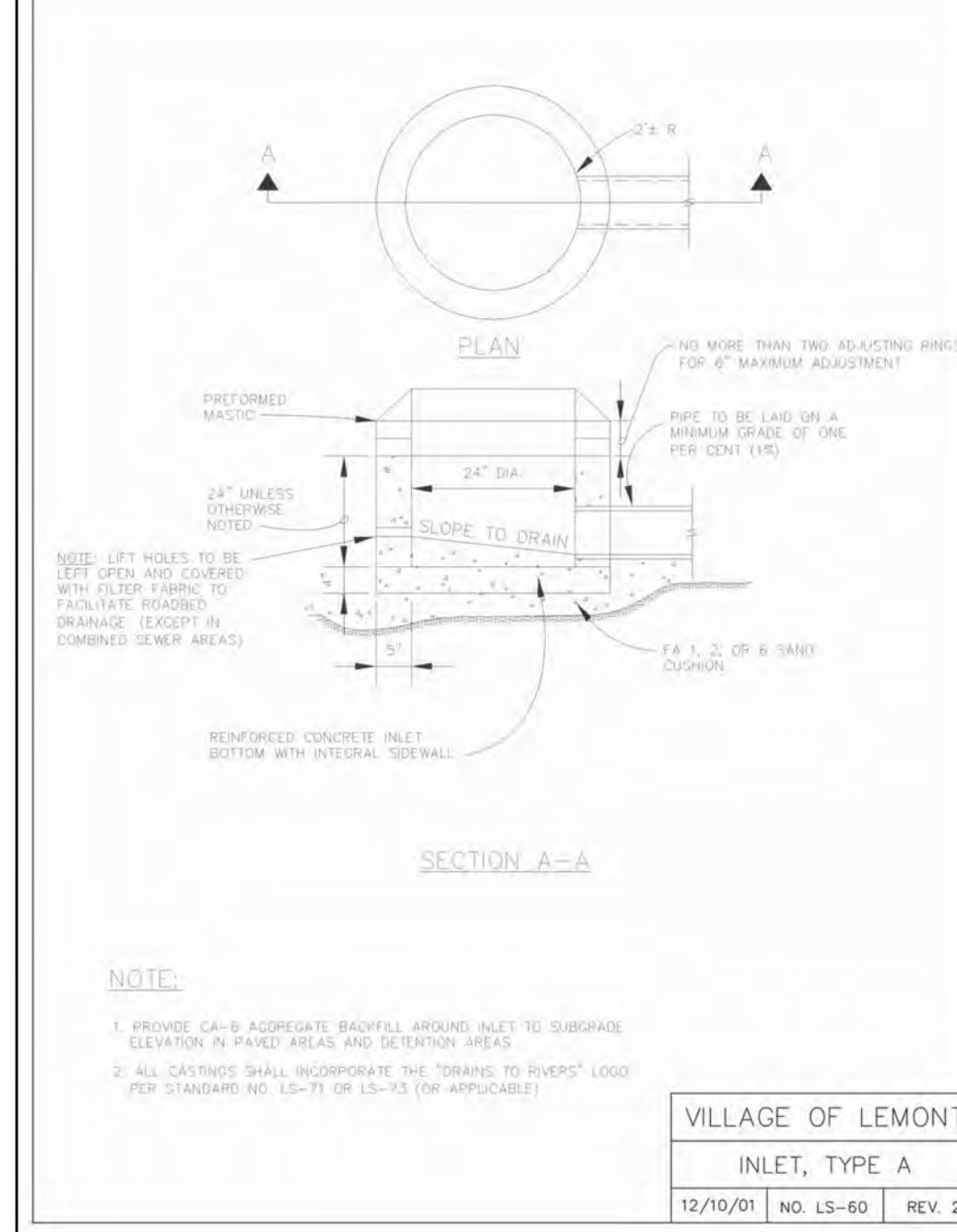
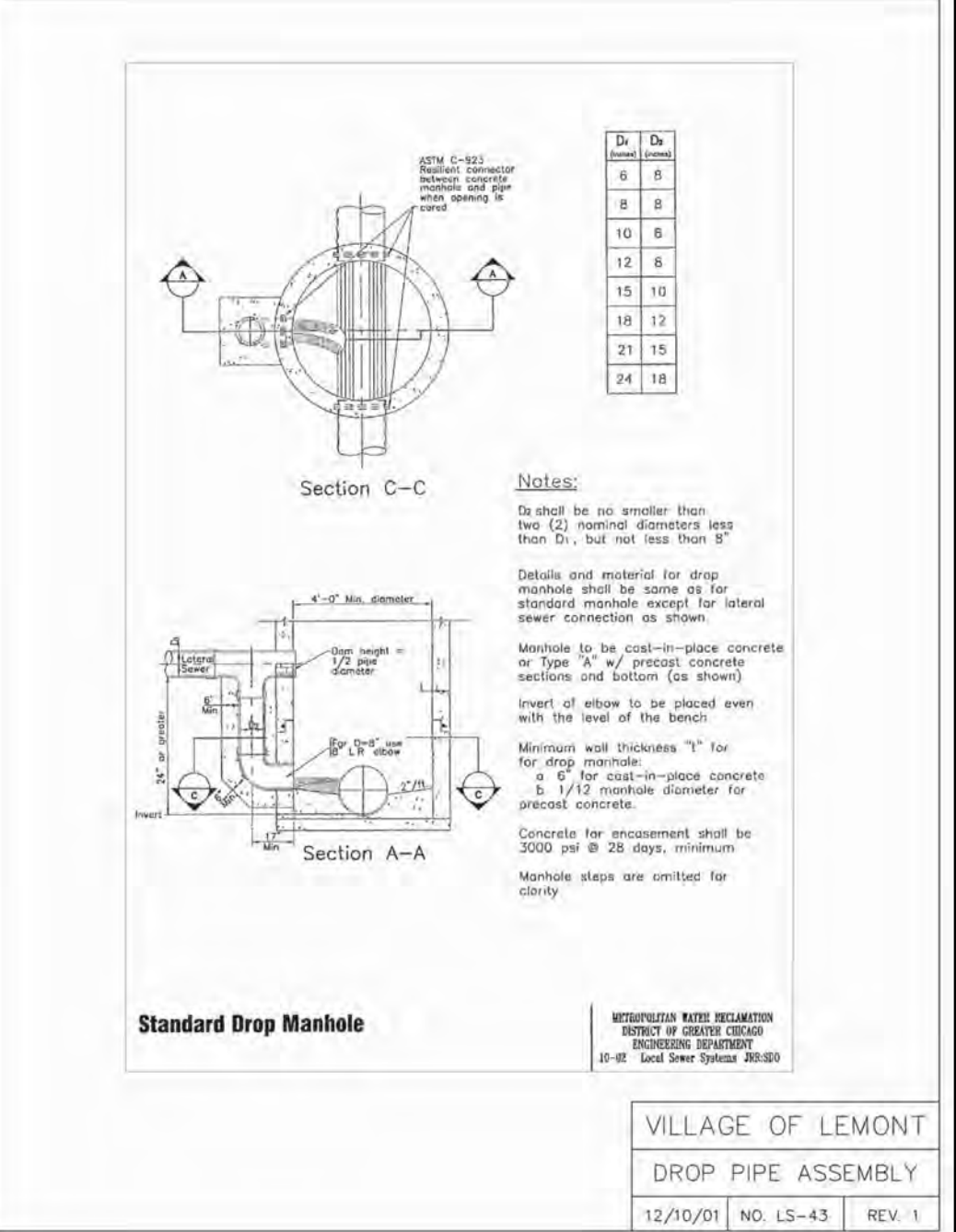
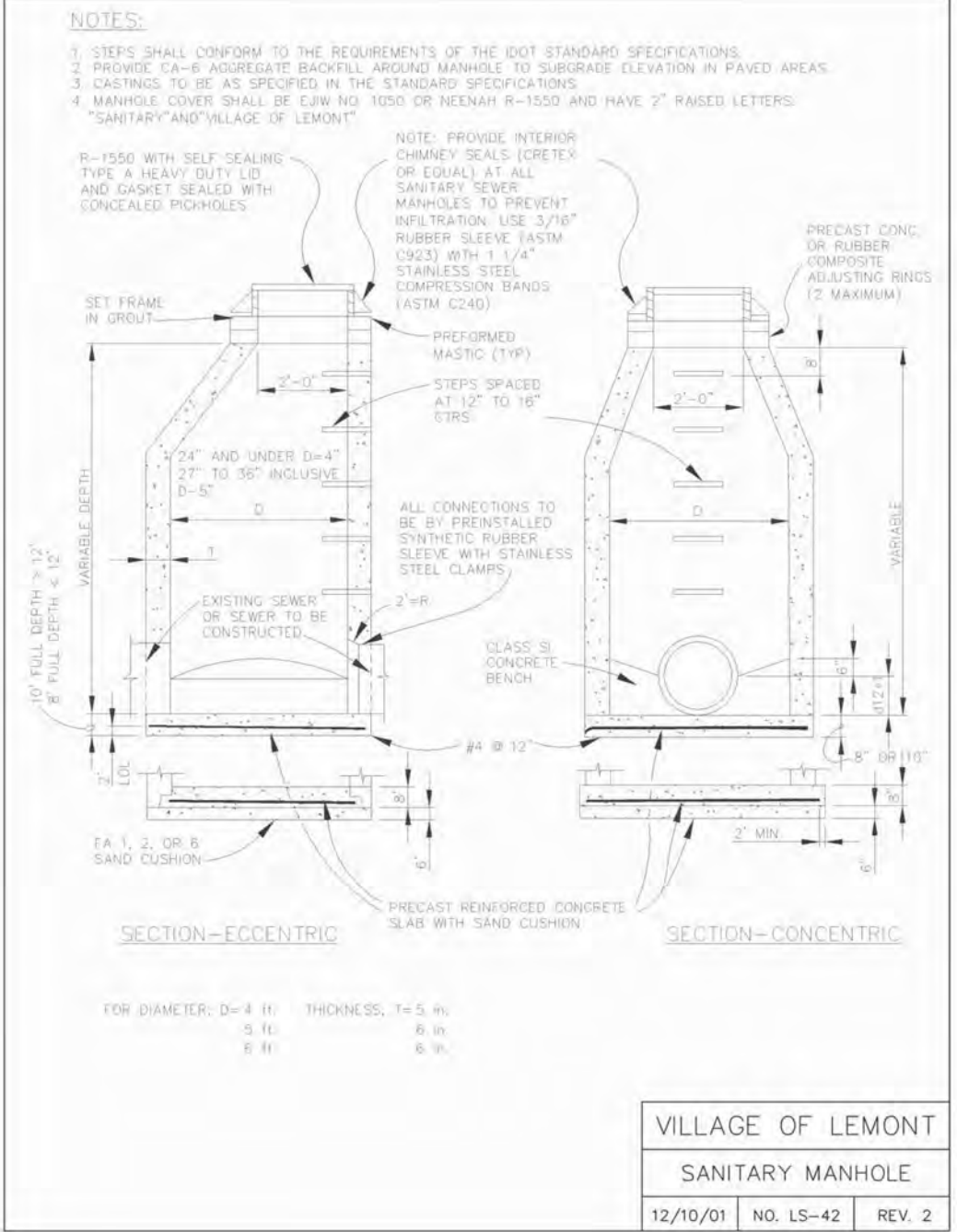
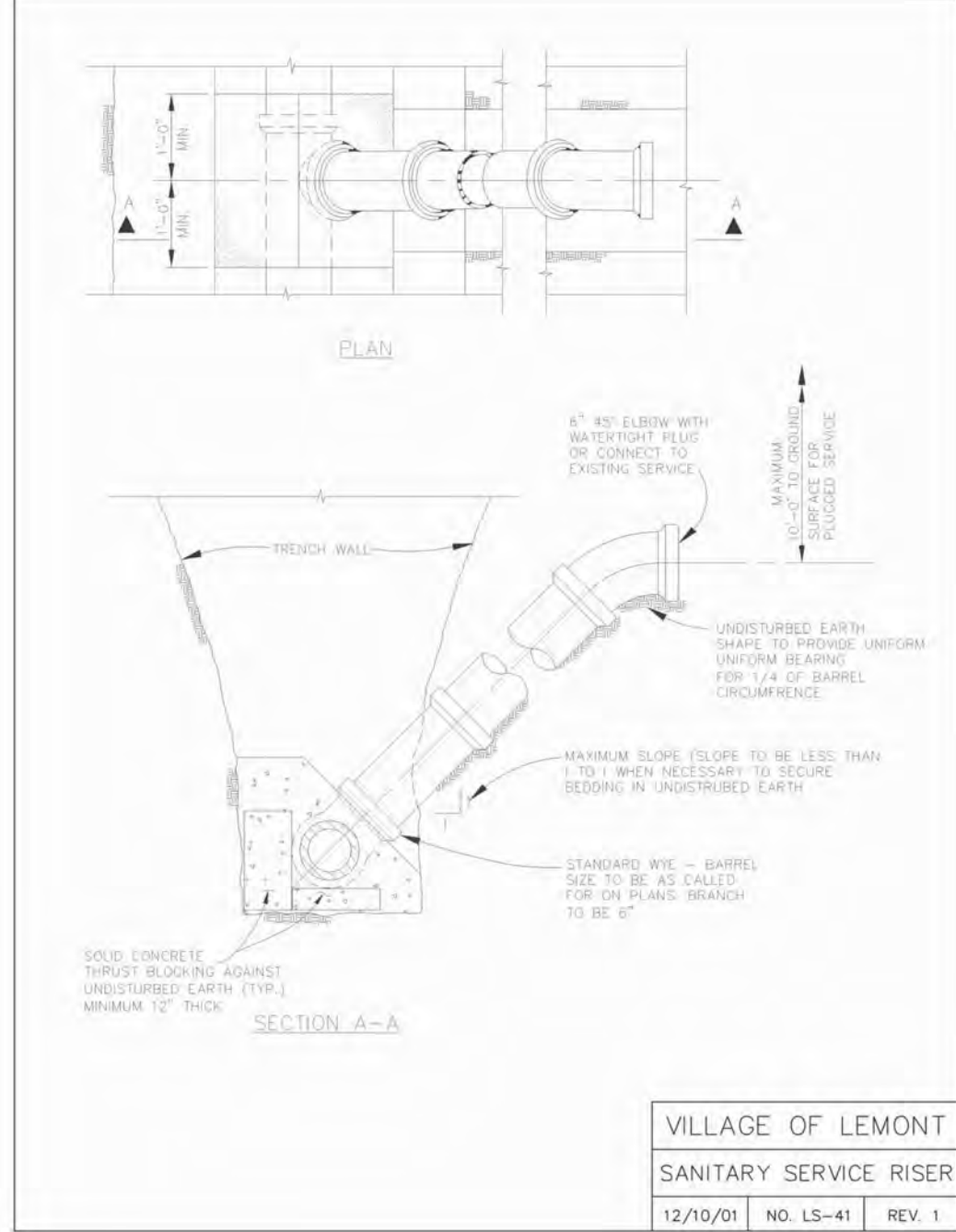
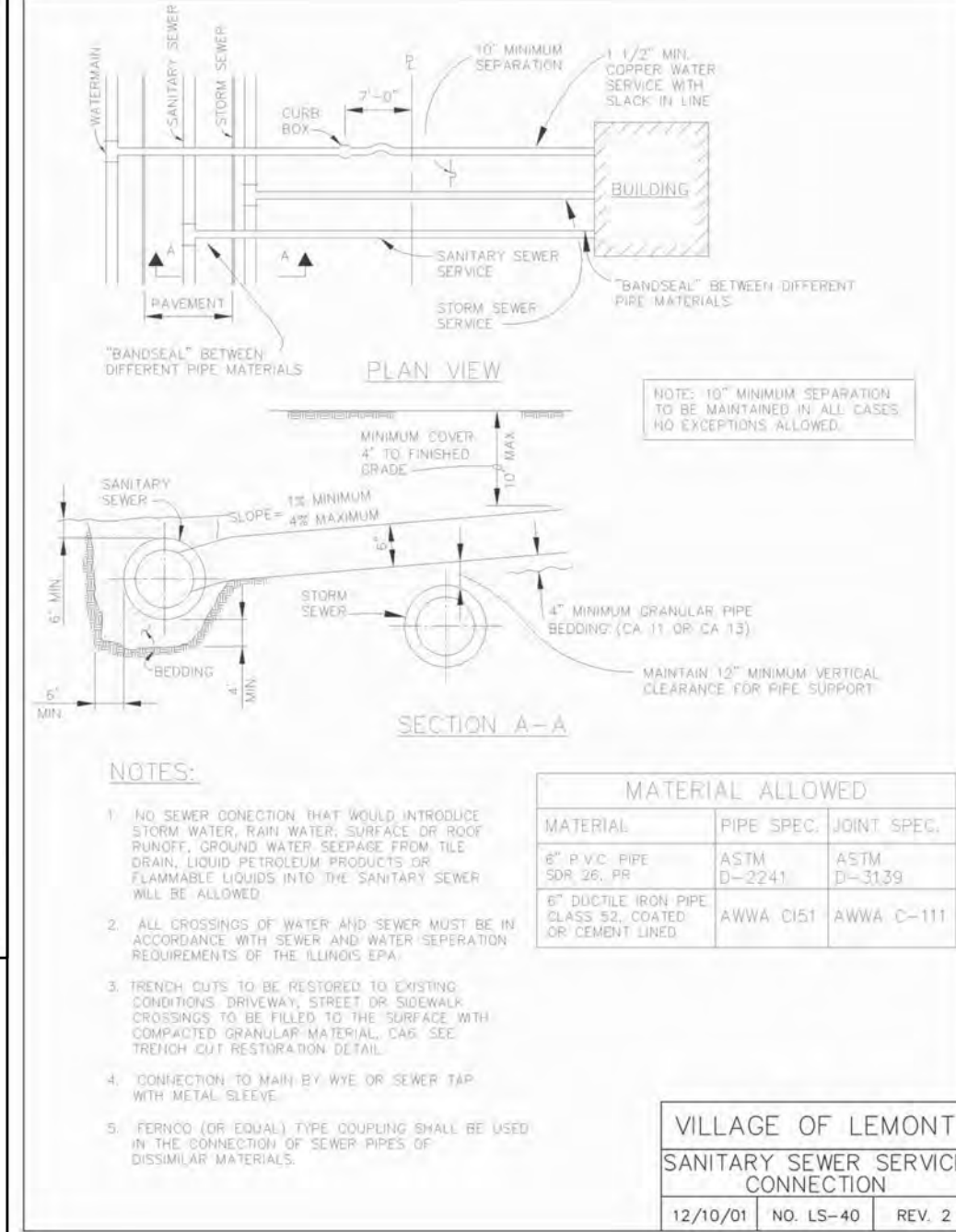
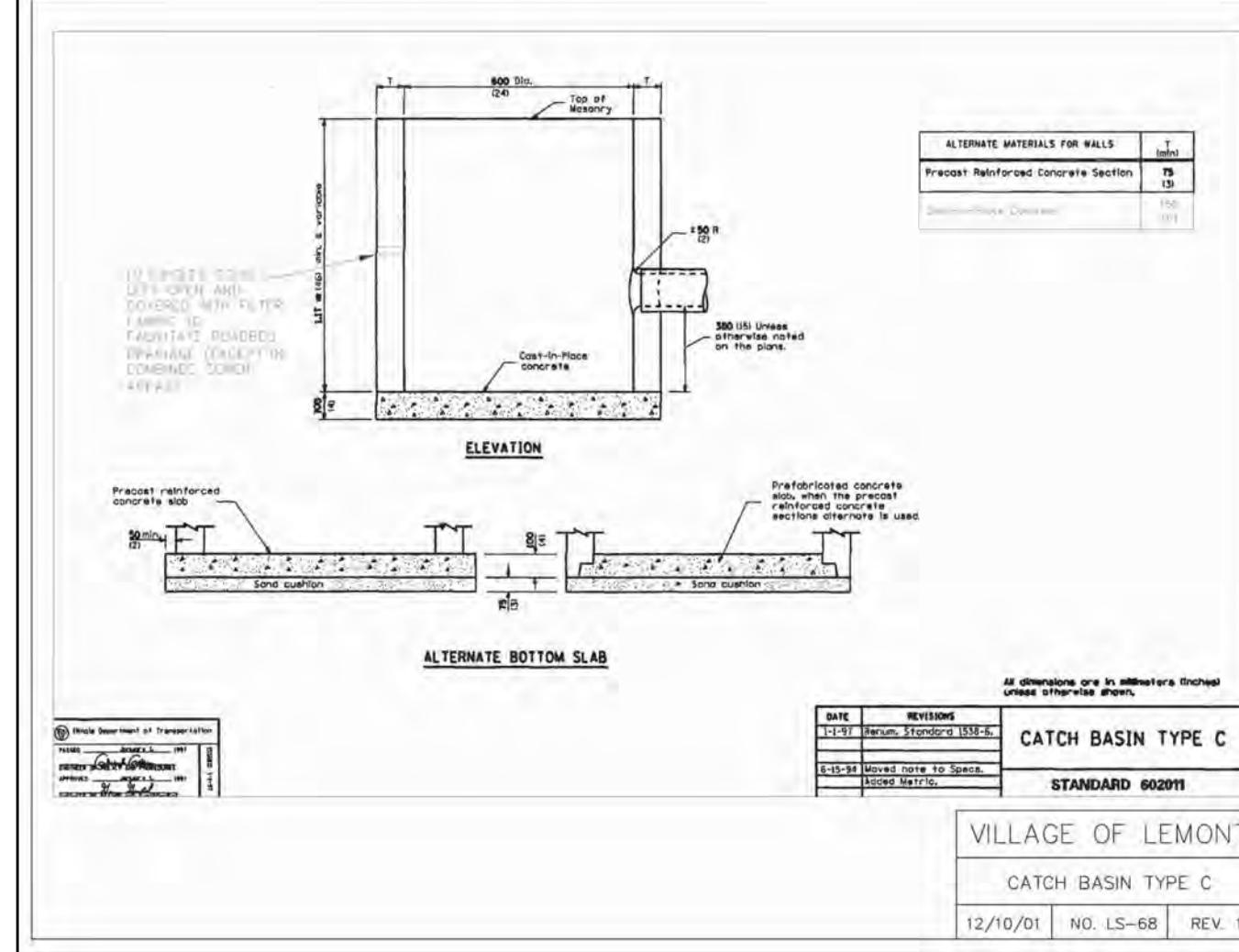
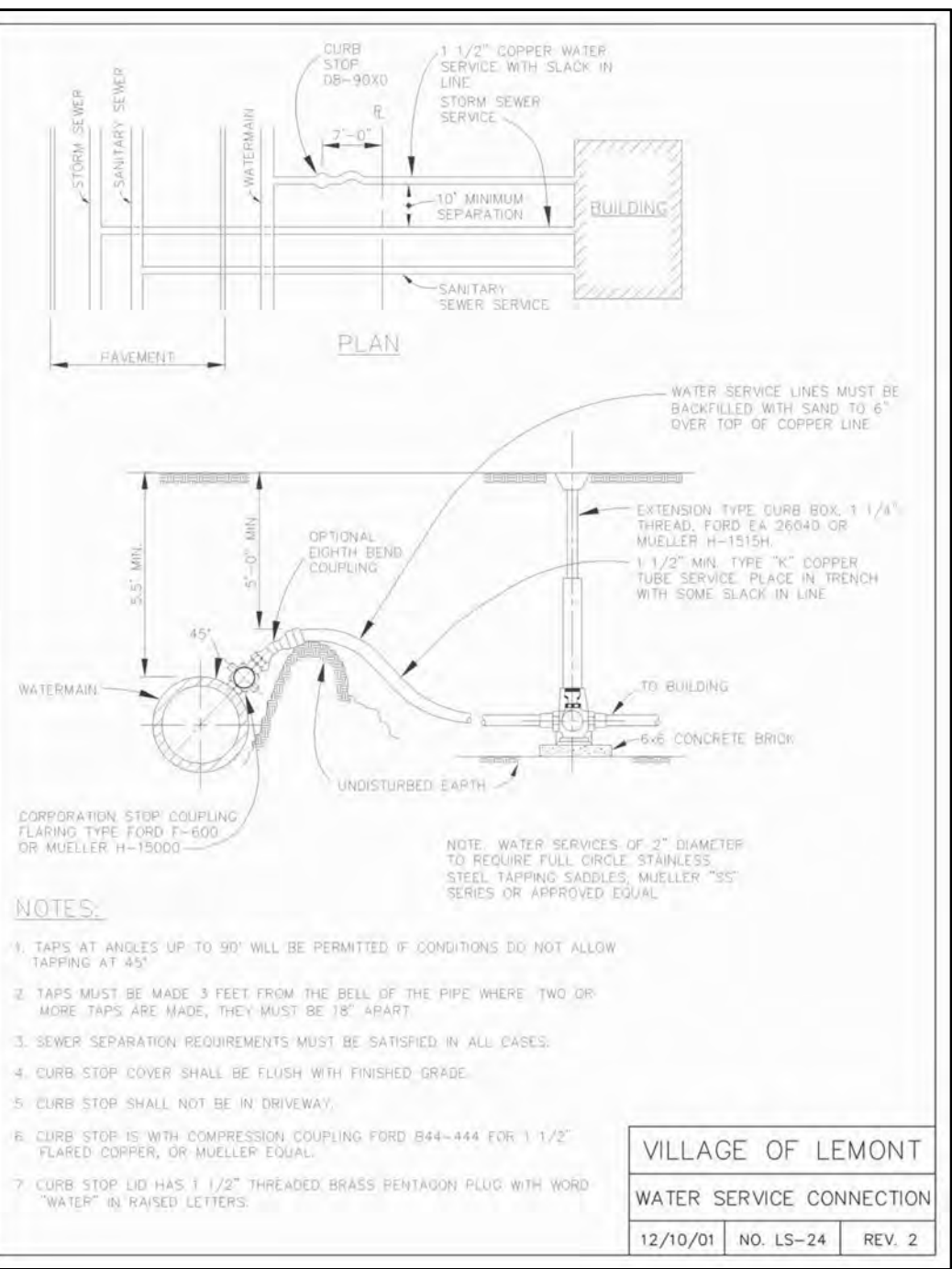
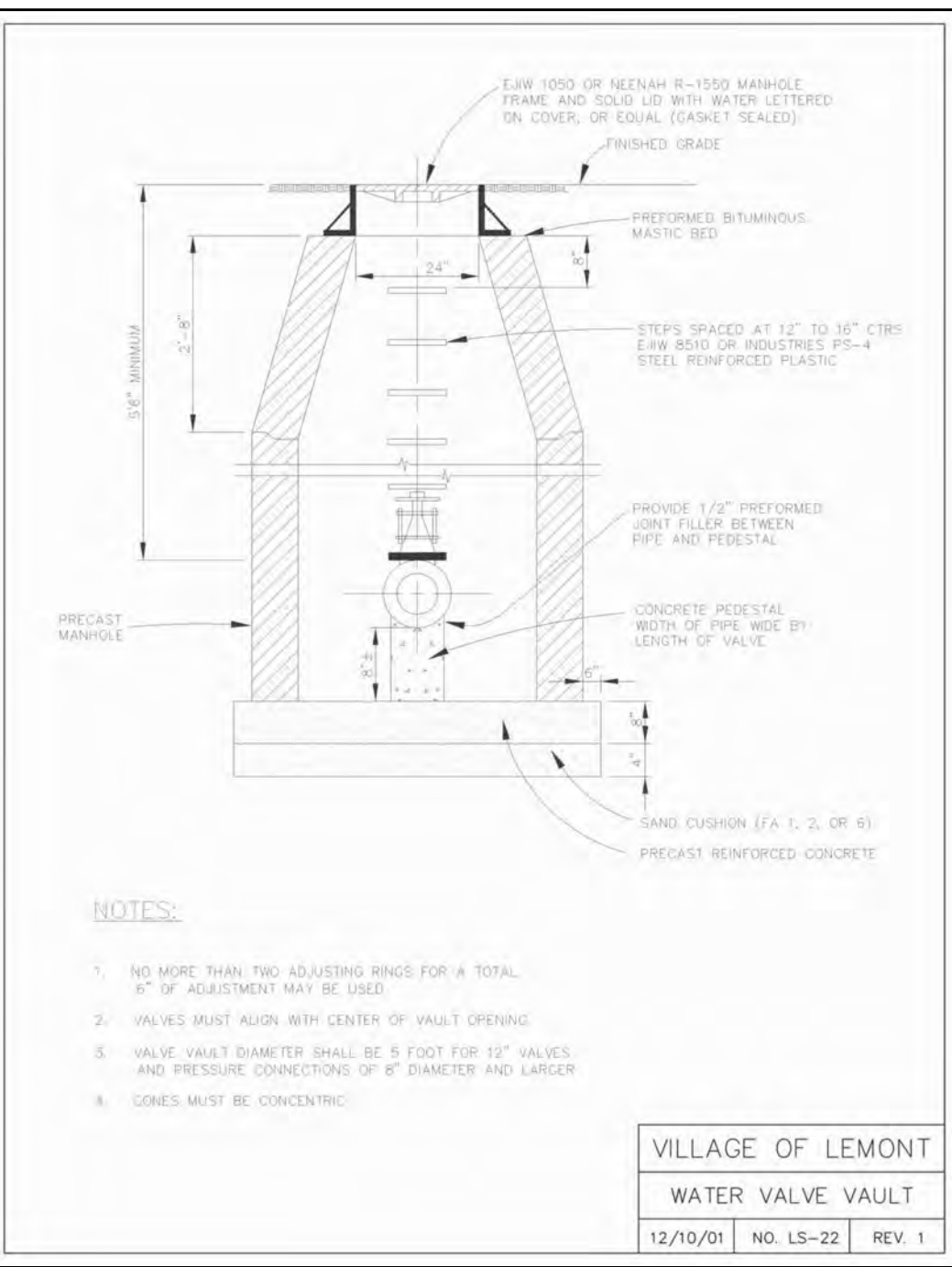
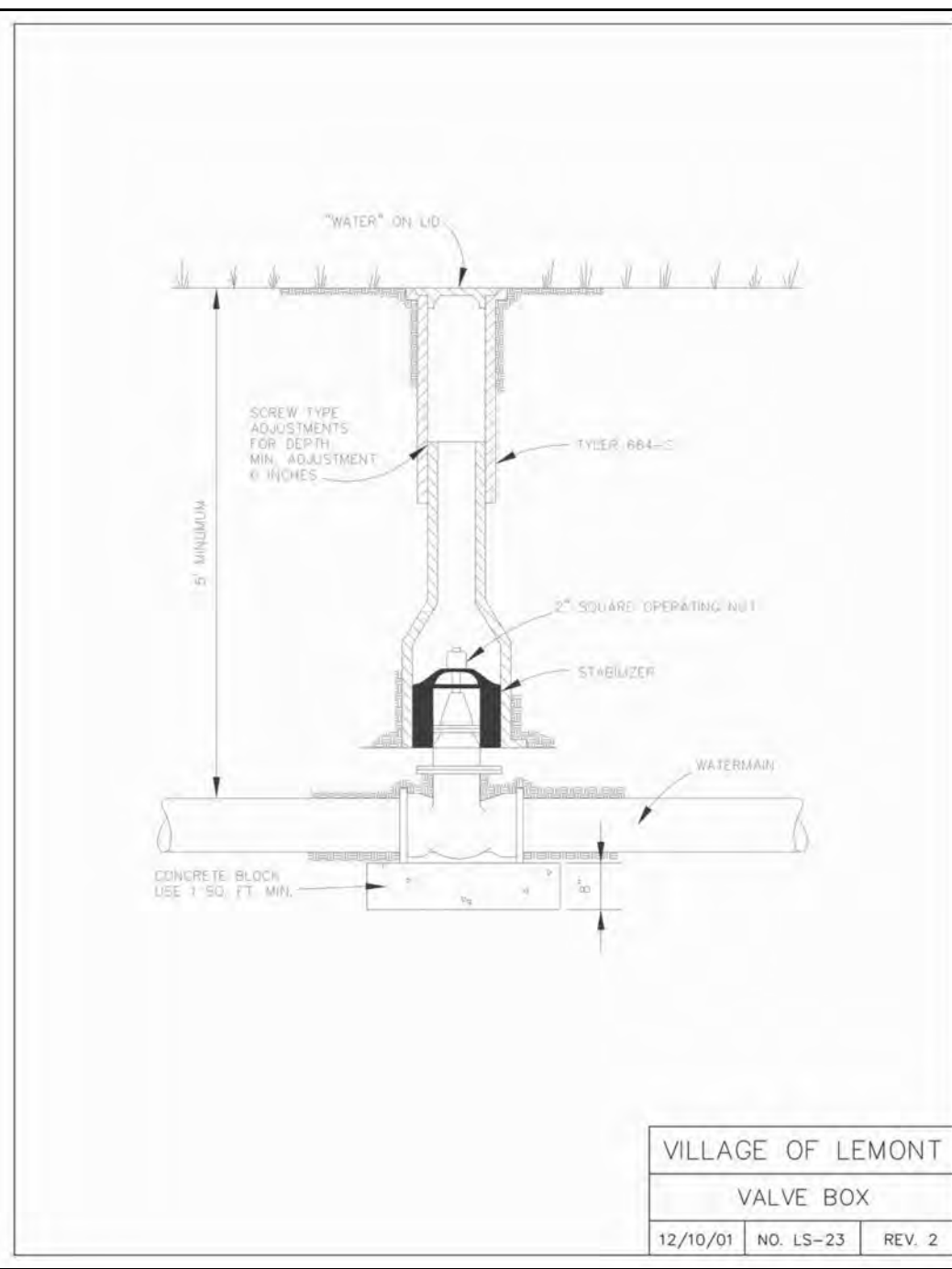
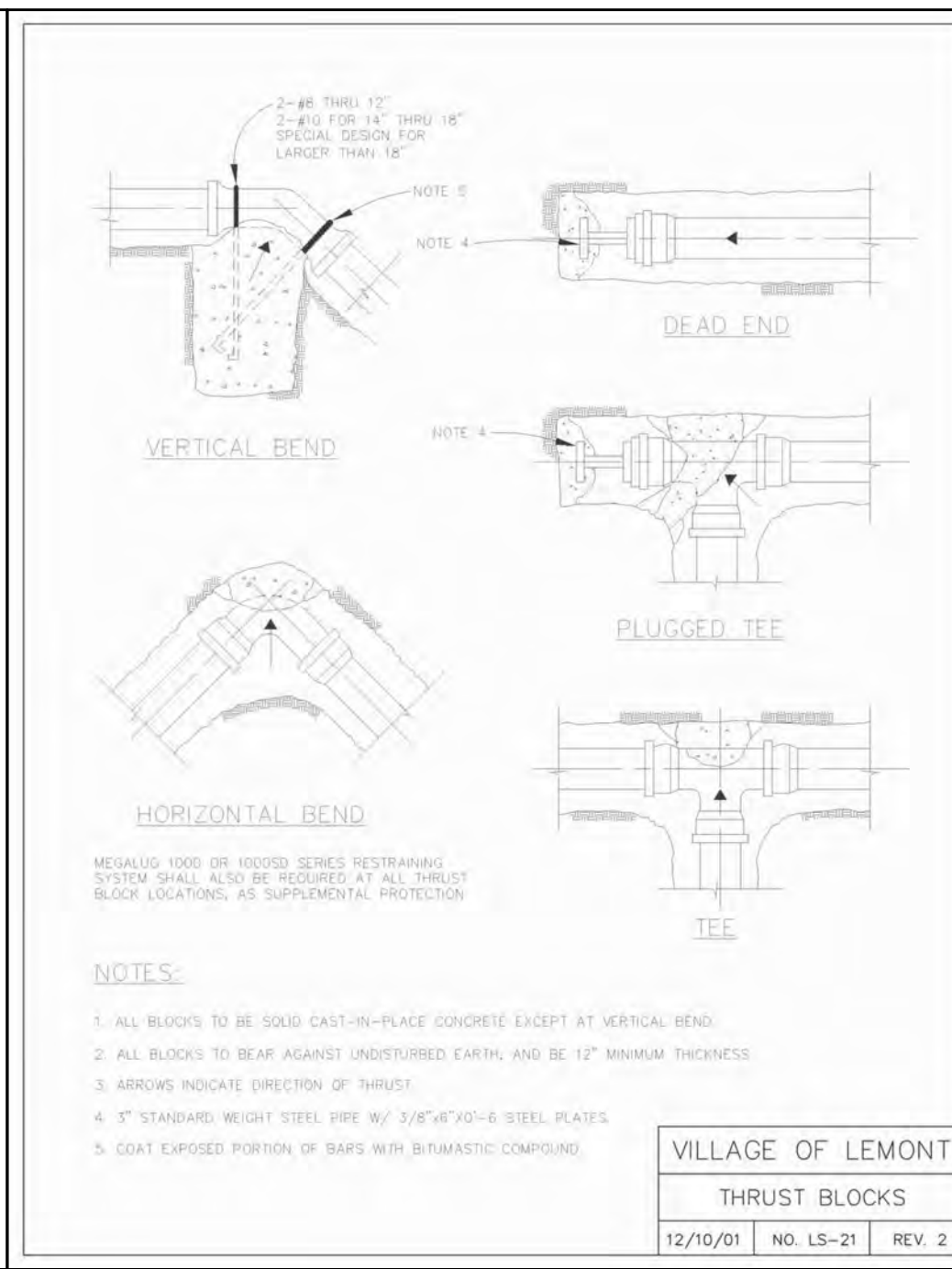
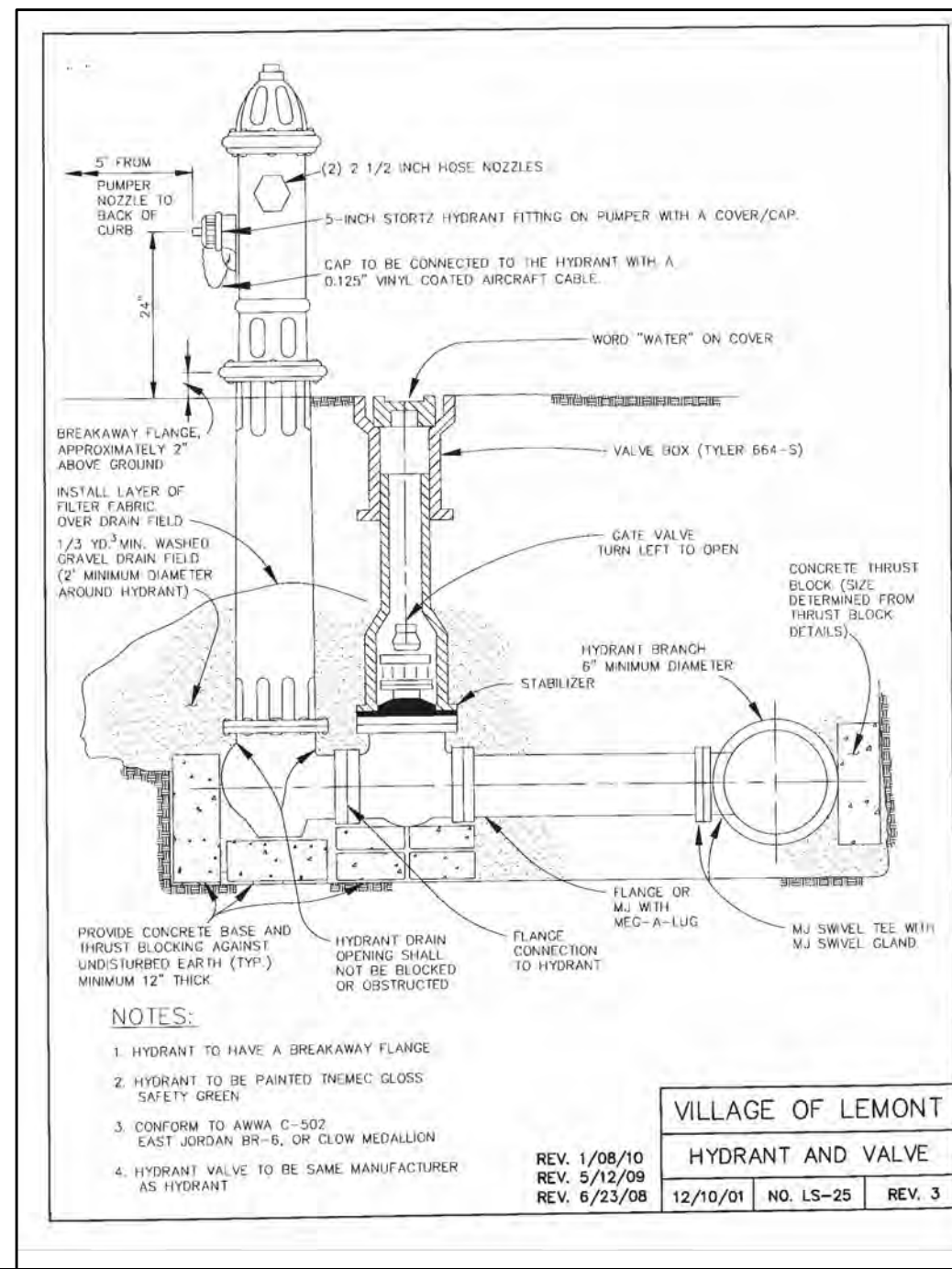
7/01/15 VILLAGE P & Z REVIEW
 DATE REVISION

TYPICAL SECTIONS
 DRAWN BY: MC
 CHECKED BY: TC
 JOB: 19203
 DATE: 5/08/15

ESTATES OF MONTEFIORI
 LEMONT, ILLINOIS

GEOTECH INC.
 CONSULTING ENGINEERS - LAND SURVEYORS
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

19203
 23



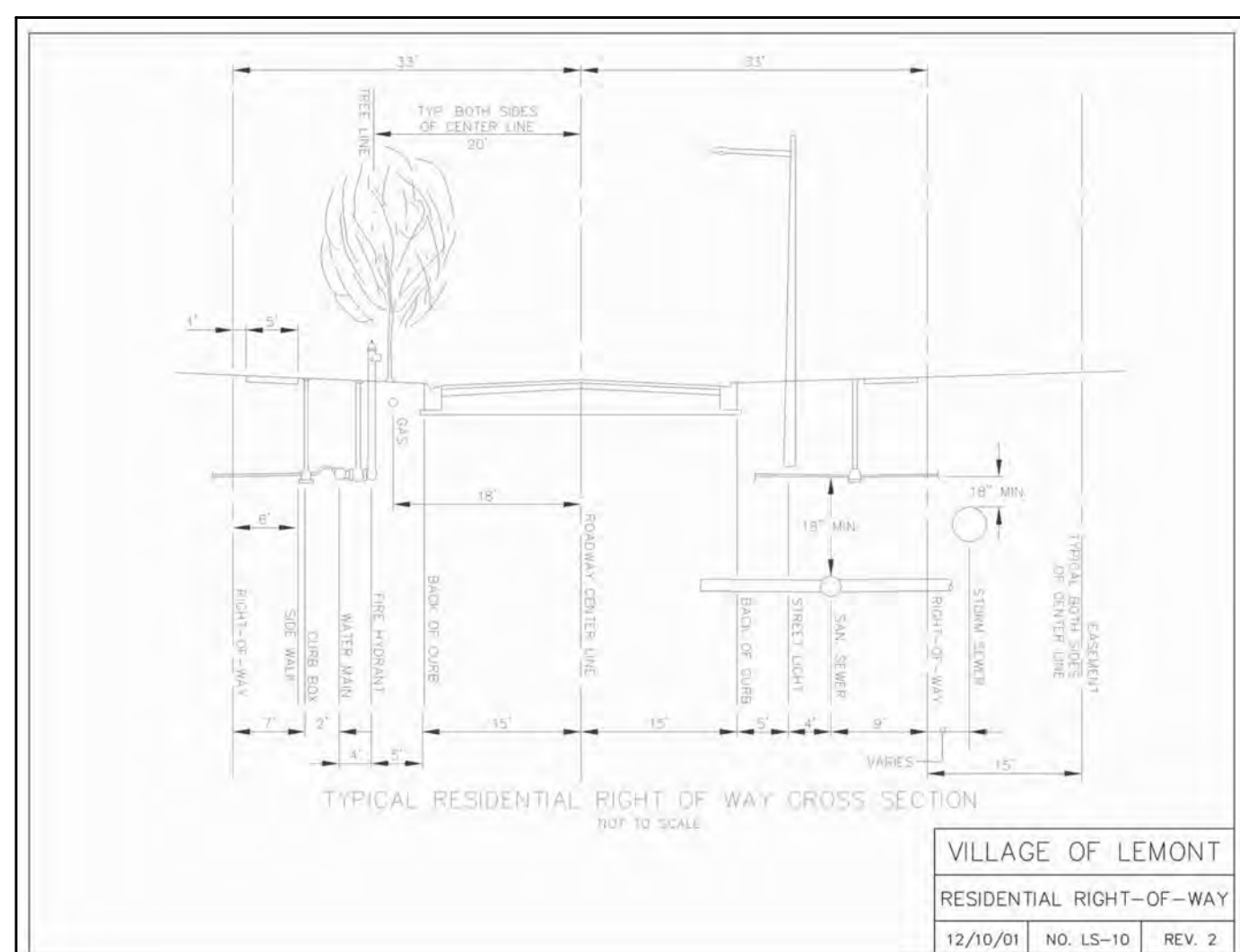
VILLAGE P & Z REVIEW
7/01/15 DATE

DETAILS 1
JOB: 19203
DATE: 5/08/15
DRAWN BY: MC
CHECKED BY: IC

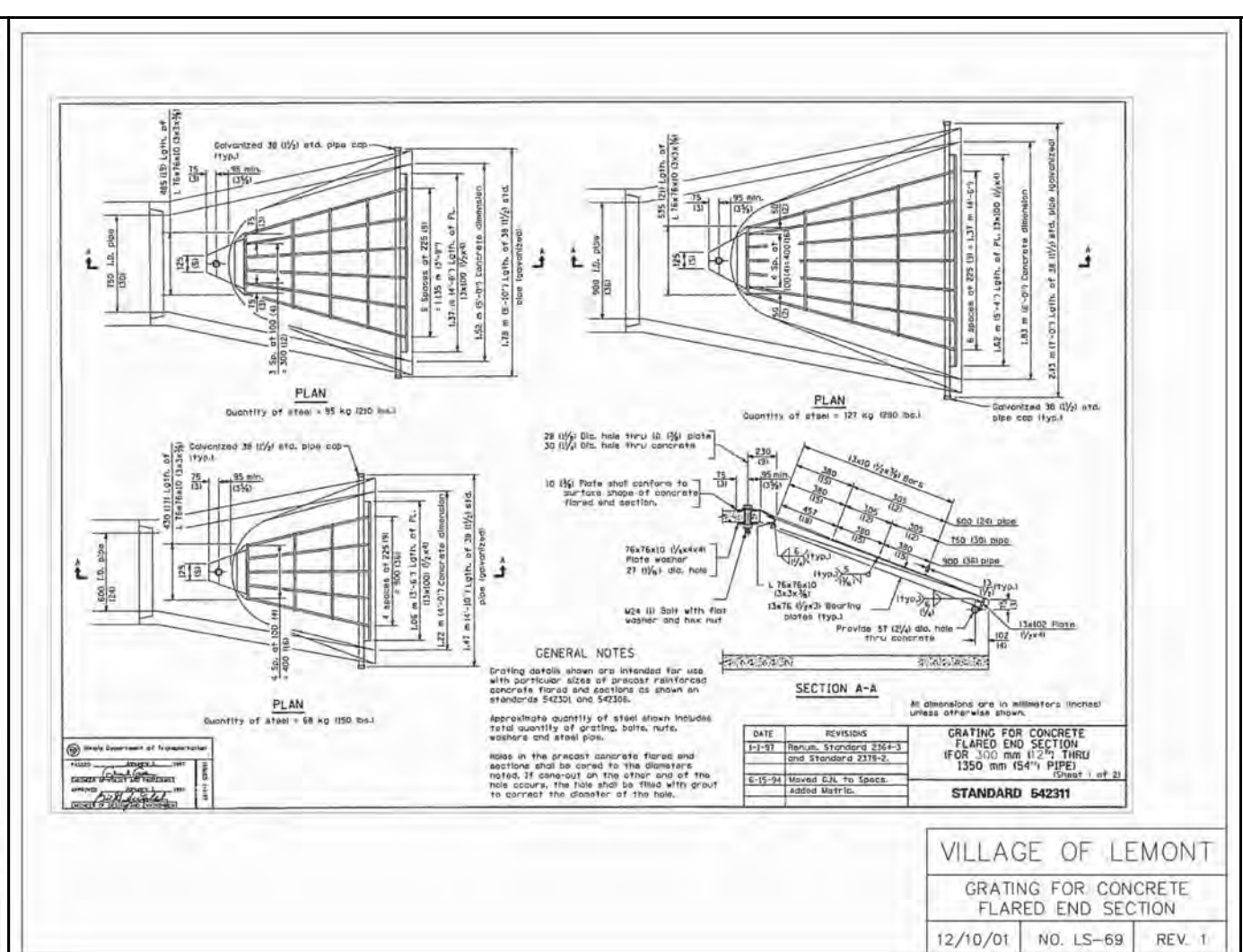
ESTATES OF MONTEFIORI
LEMONT, ILLINOIS

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE
CREST HILL, ILLINOIS 60403
815/730-1010

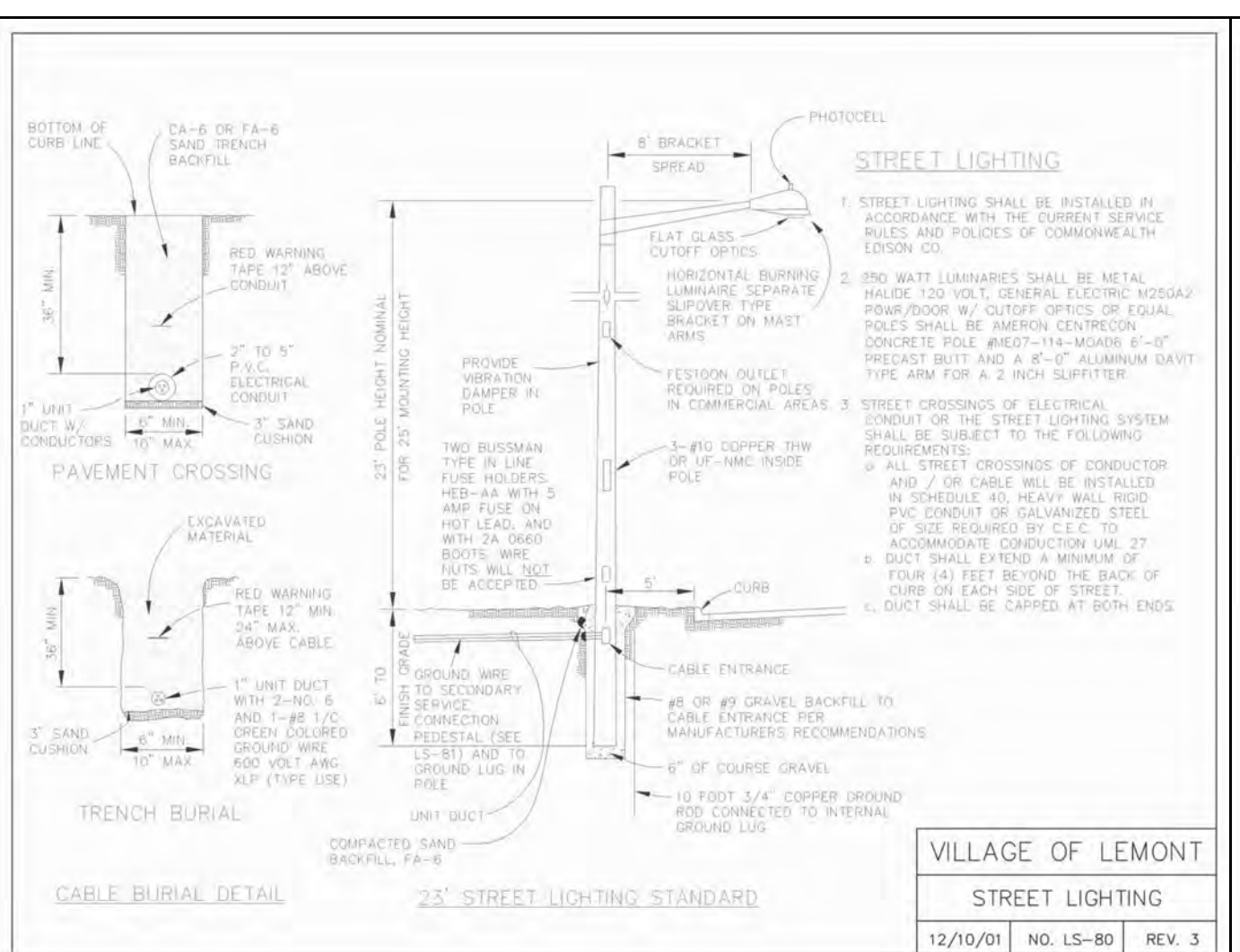
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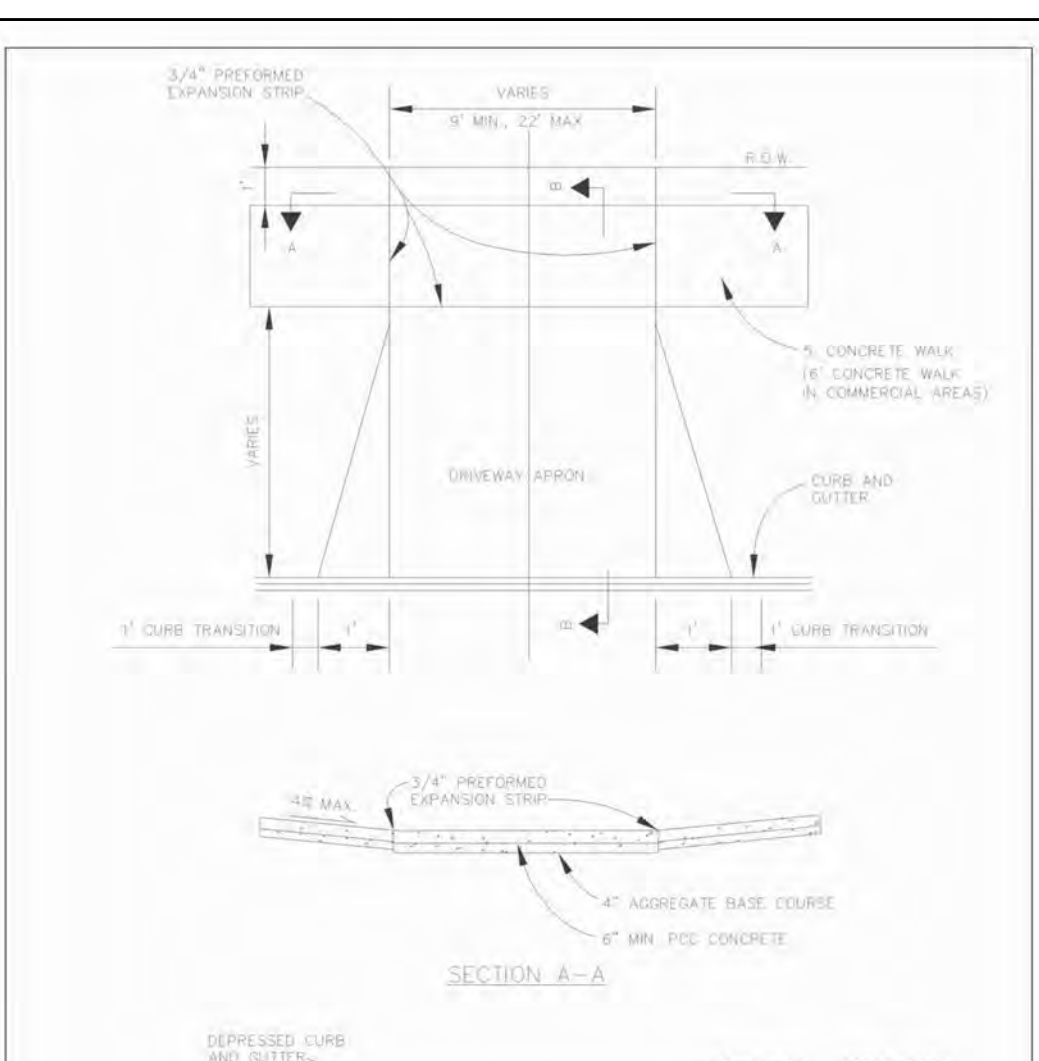
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RESIDENTIAL RIGHT-OF-WAY
12/10/01 NO. LS-10 REV. 2



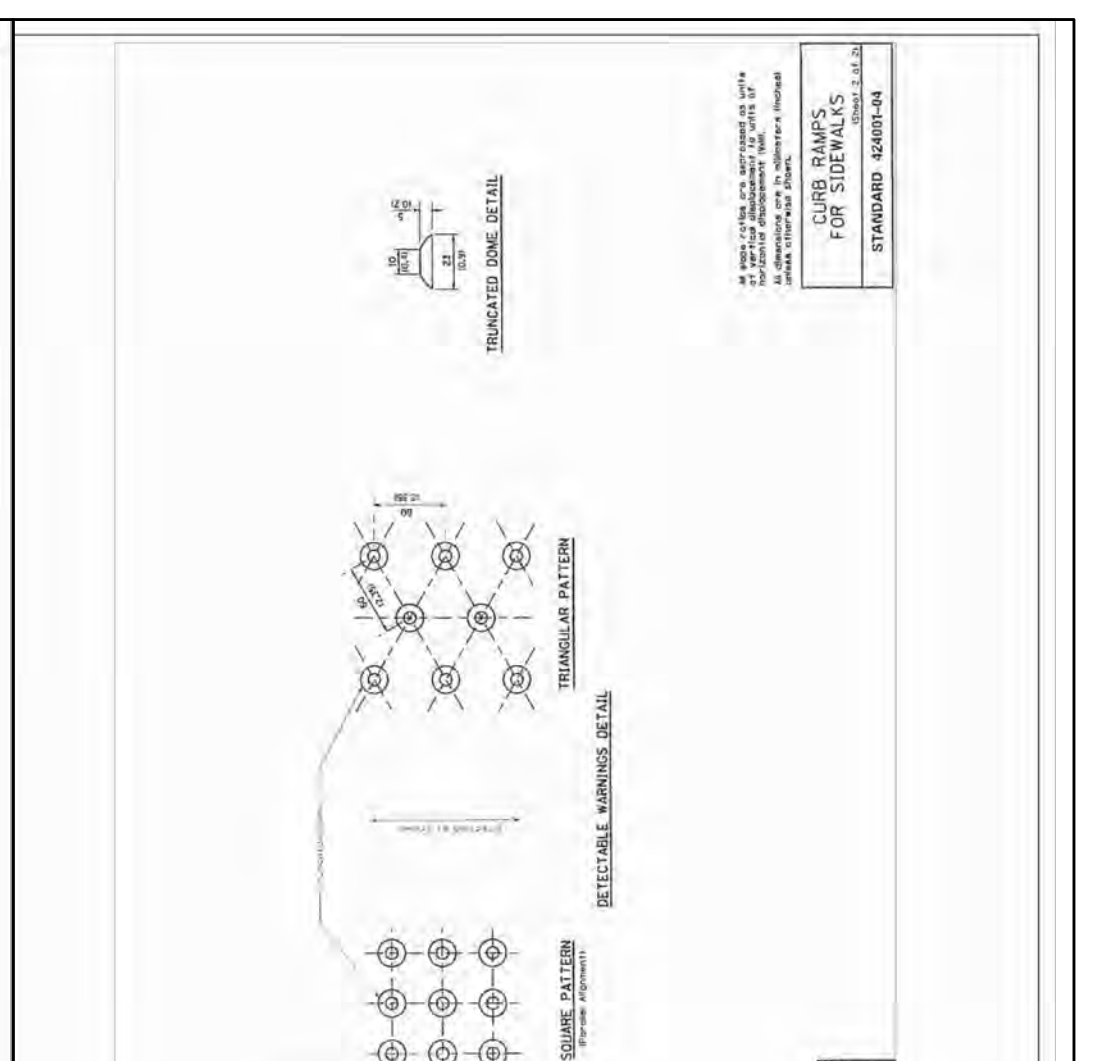
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GRATING FOR CONCRETE
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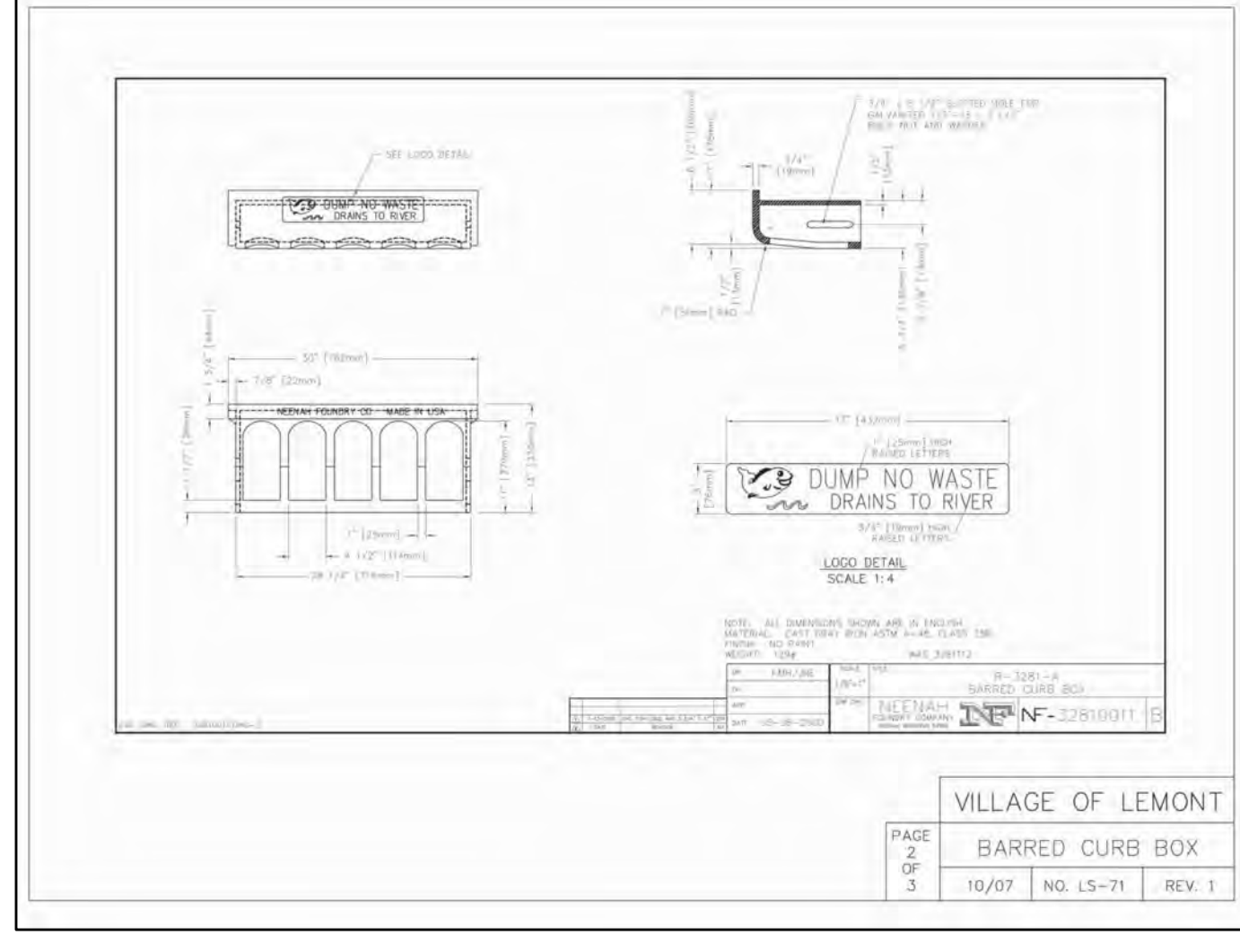
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STREET LIGHTING
12/10/01 NO. LS-80 REV. 3



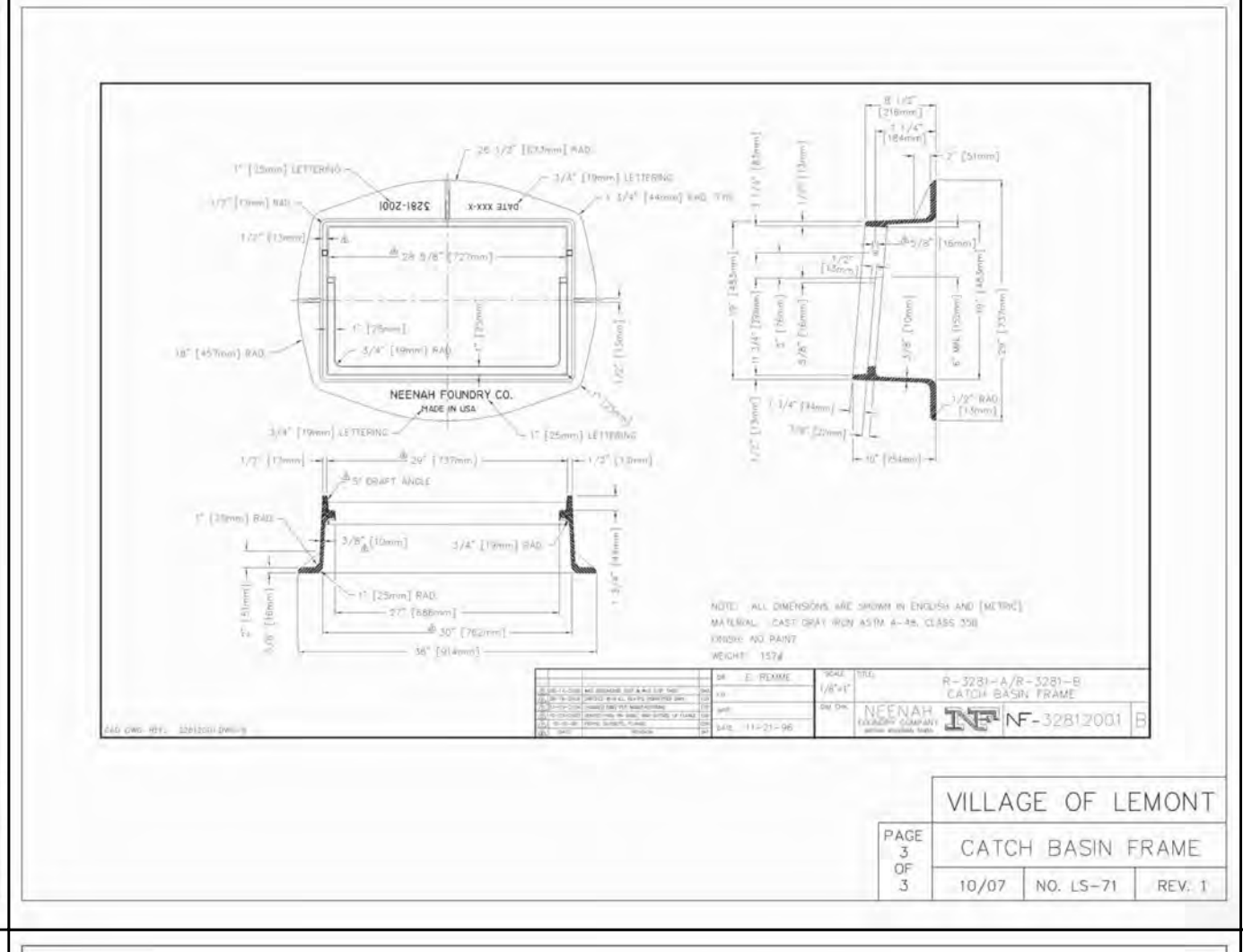
VILLAGE OF LEMONT
RESIDENTIAL DRIVEWAY
12/10/01 NO. LS-6 REV. 2



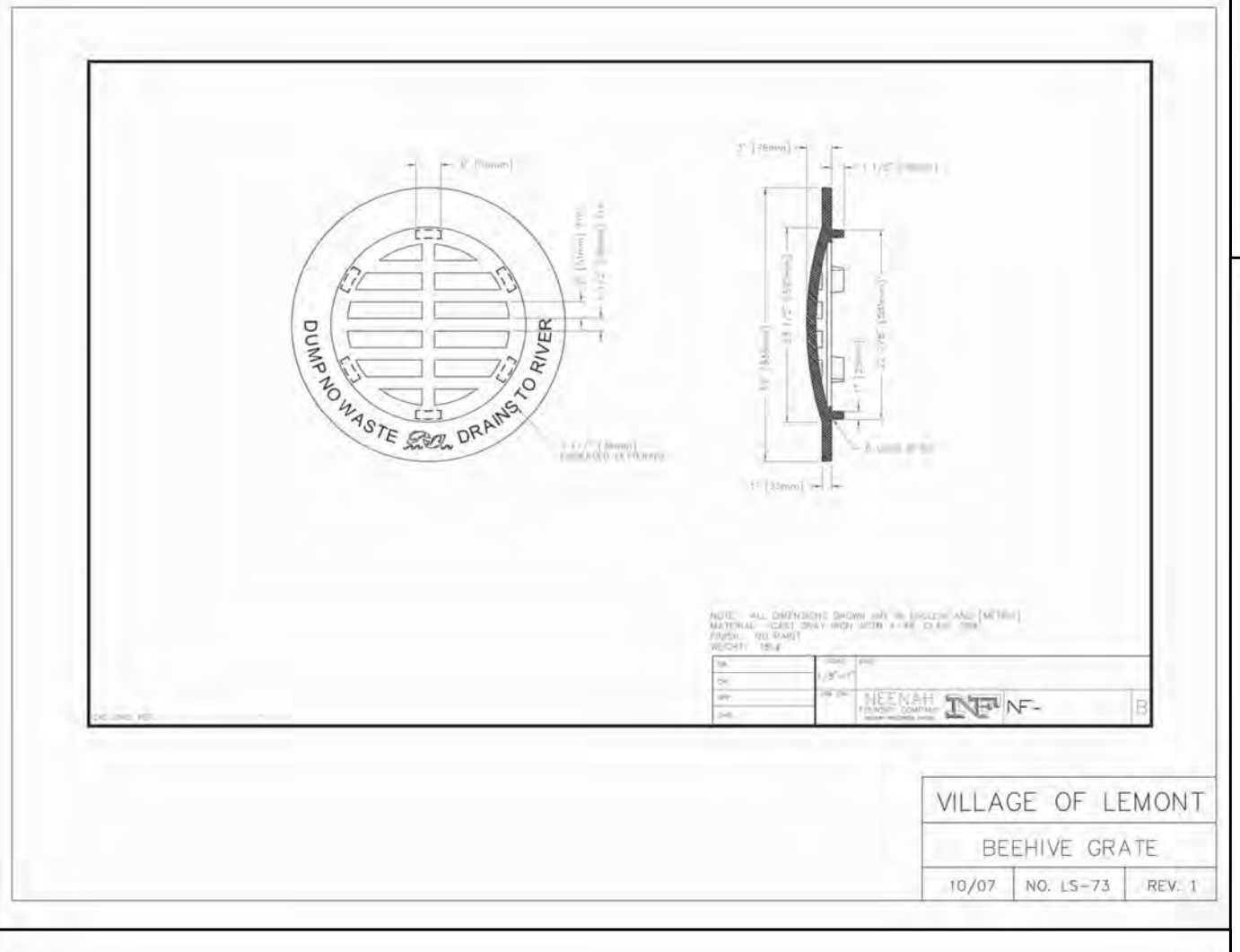
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CURB RAMPS
12/10/01 NO. LS-40 REV. 2



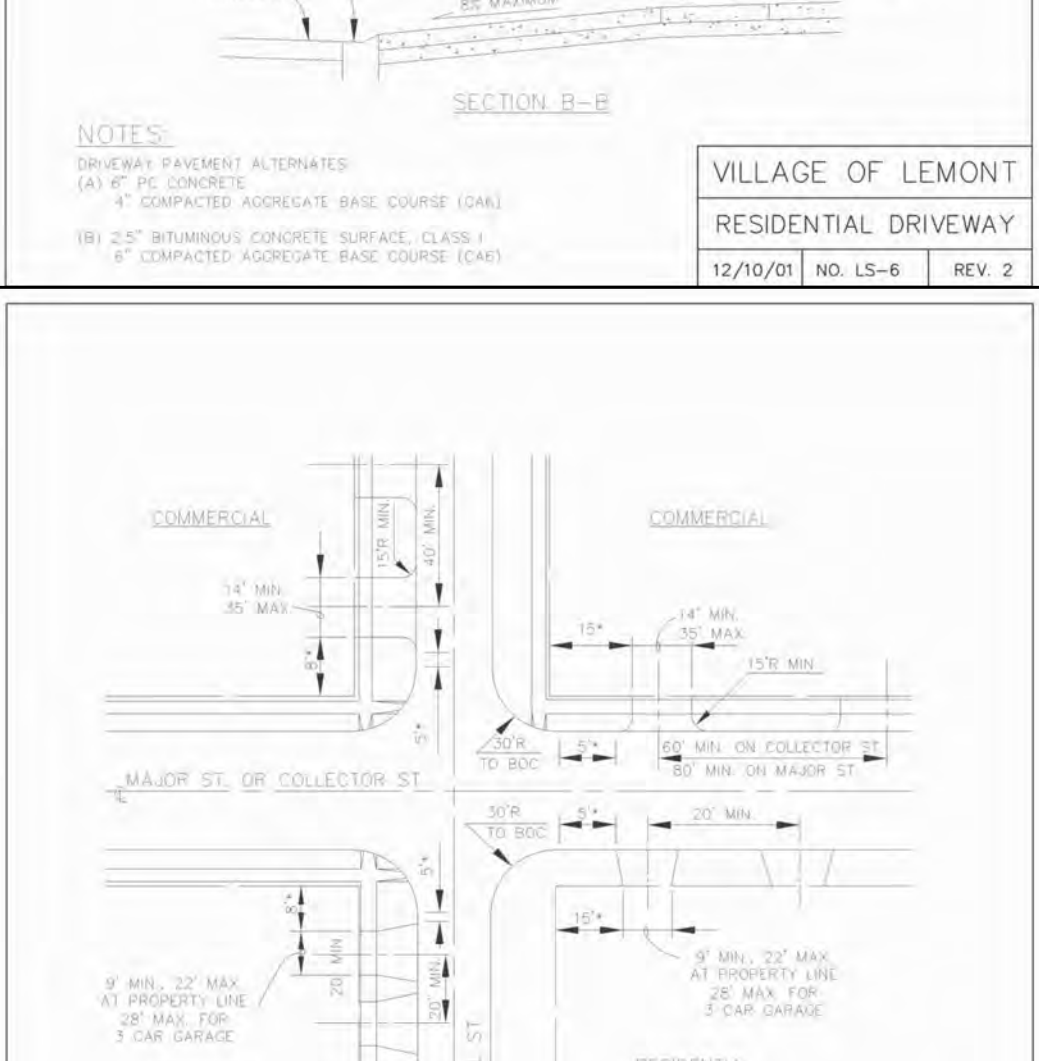
VILLAGE OF LEMONT
BARRED CURB BOX
10/07 NO. LS-71 REV. 1



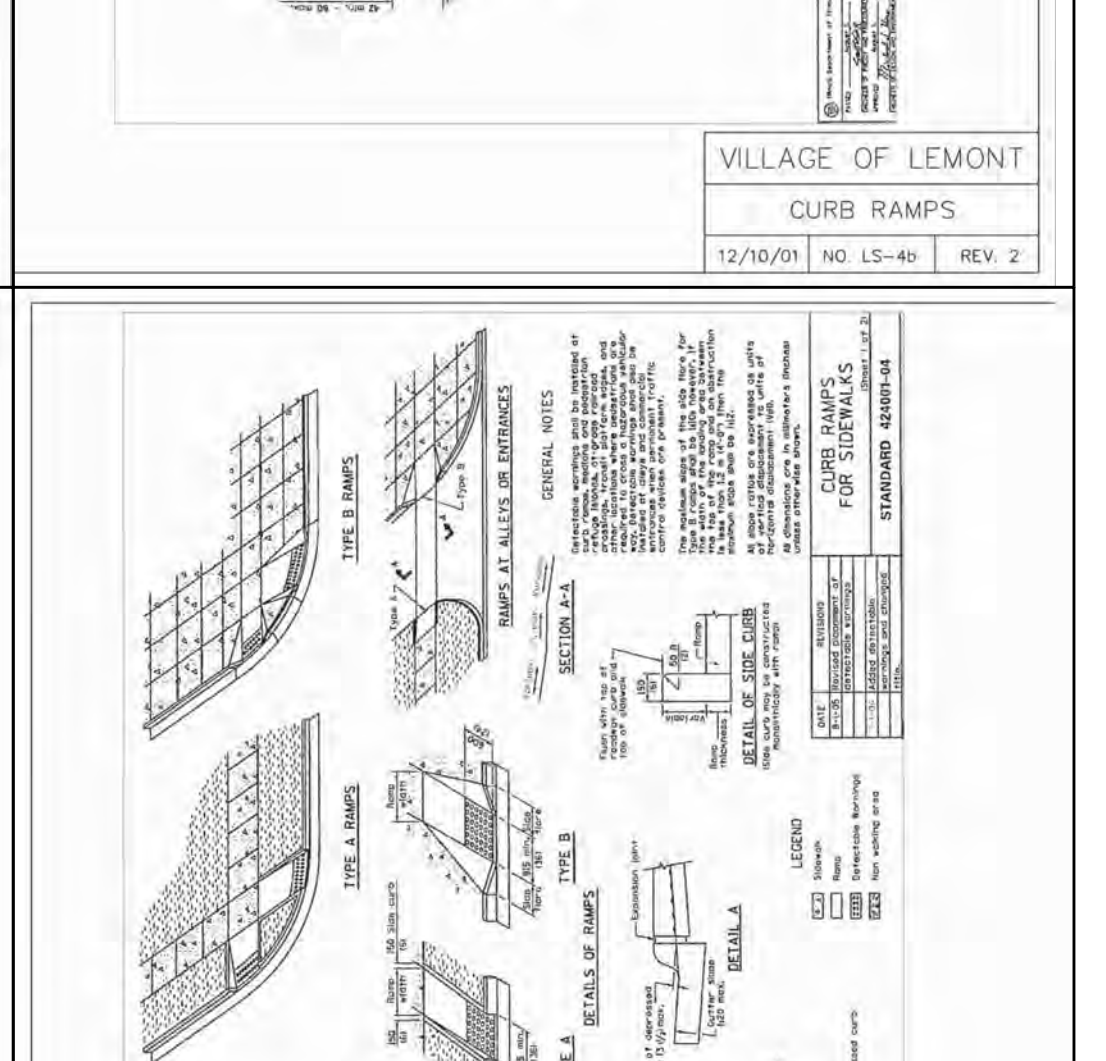
VILLAGE OF LEMONT
CATCH BASIN FRAME
10/07 NO. LS-71 REV. 1



VILLAGE OF LEMONT
BEEHIVE GRATE
10/07 NO. LS-73 REV. 1



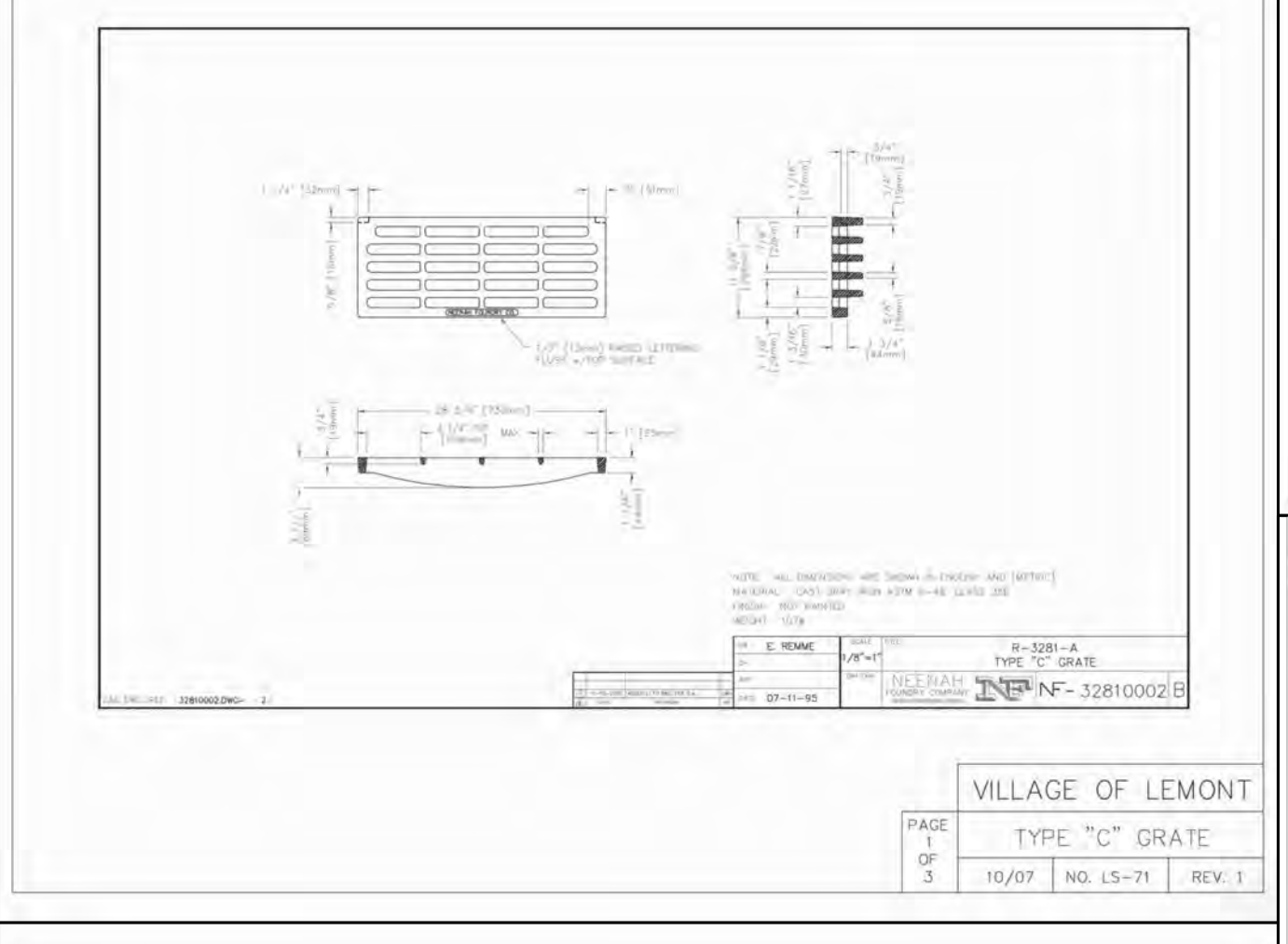
VILLAGE OF LEMONT
DRIVEWAY APPROACH
12/10/01 NO. LS-3 REV. 2



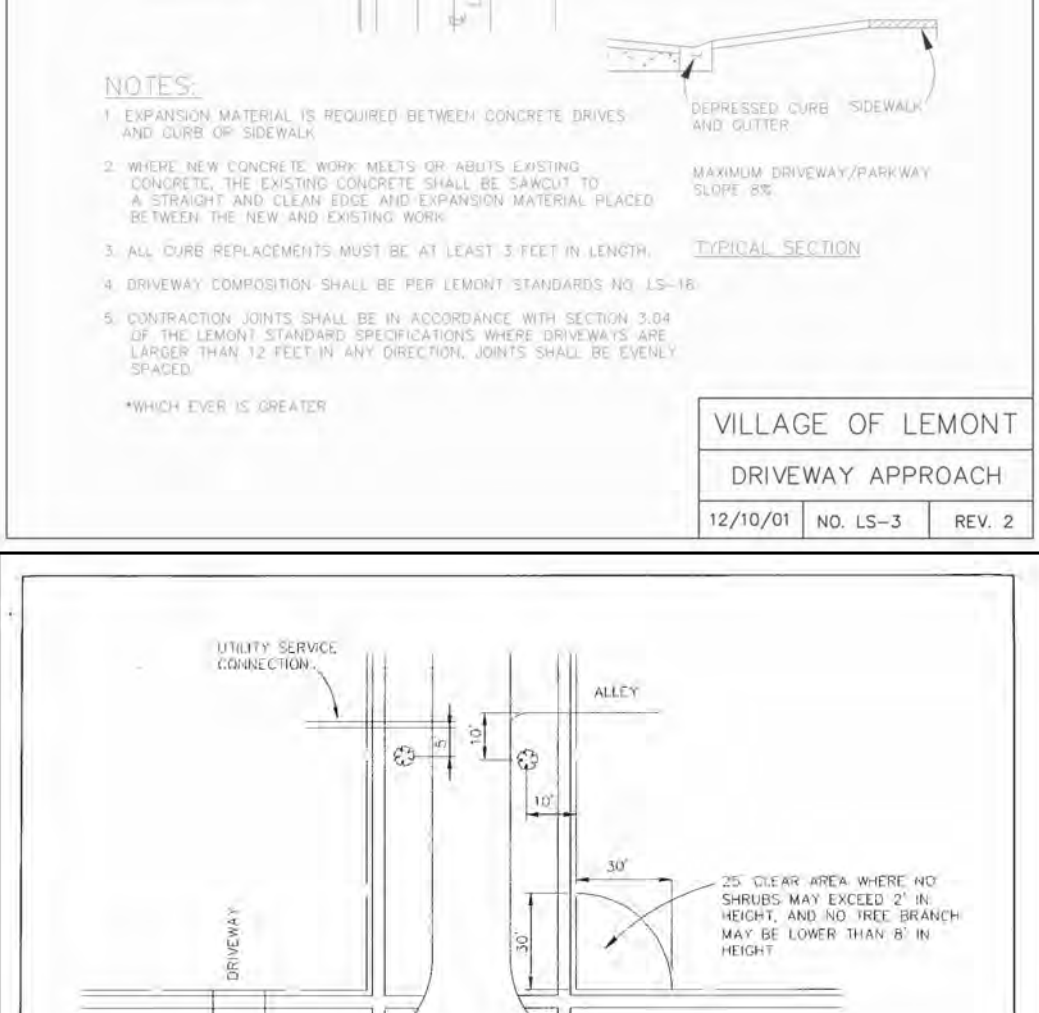
VILLAGE OF LEMONT
CURB RAMPS
12/10/01 NO. LS-60 REV. 2



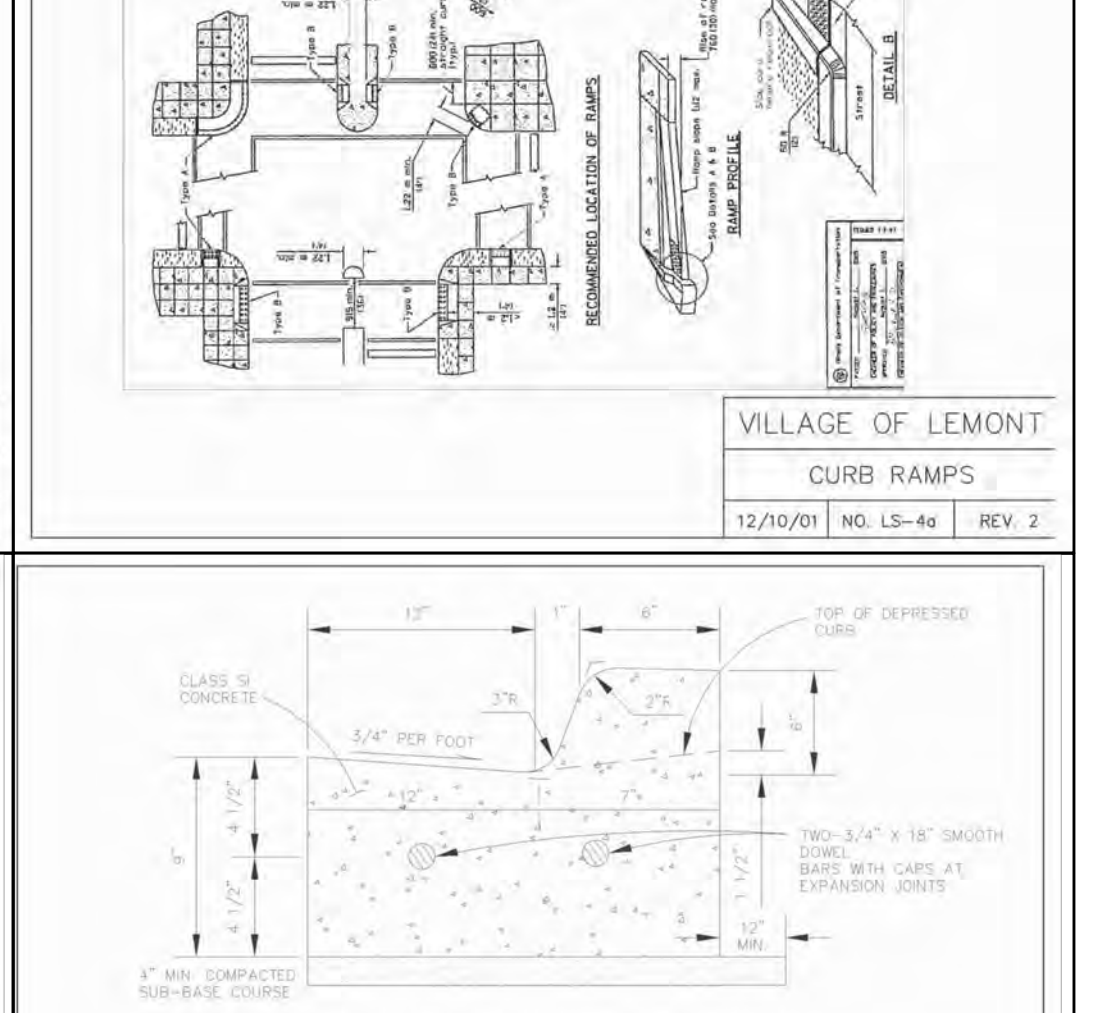
VILLAGE OF LEMONT
UTILITY STREET CUTS
12/10/01 NO. LS-70 REV. 1



VILLAGE OF LEMONT
TYPE "C" GRATE
10/07 NO. LS-71 REV. 1



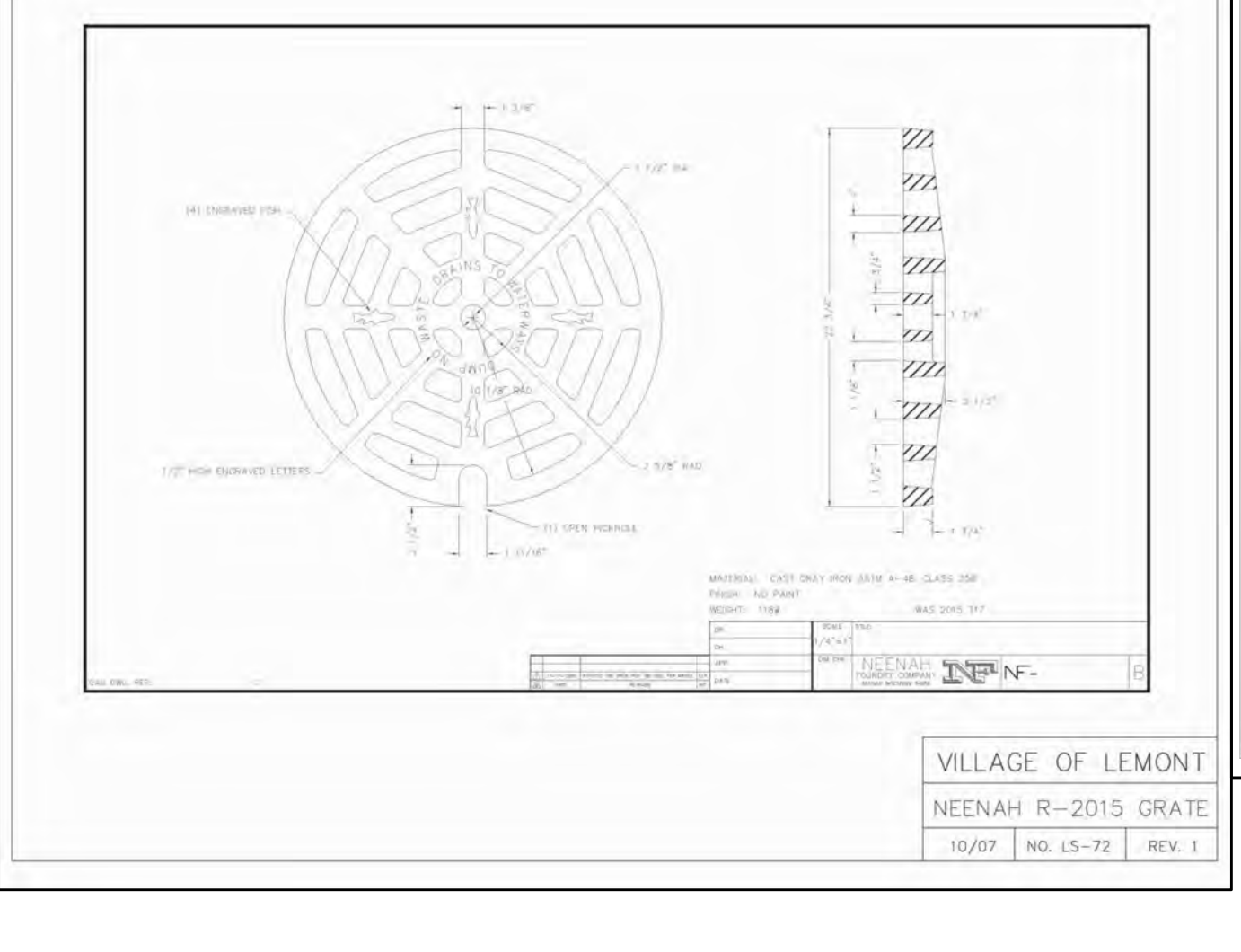
VILLAGE OF LEMONT
TREE PLANTING
12/10/01 NO. LS-80 REV. 3



VILLAGE OF LEMONT
CURB AND GUTTER
12/10/01 NO. LS-2 REV. 3



VILLAGE OF LEMONT
BEDDING AND BACKFILL
12/10/01 NO. LS-20 REV. 2



VILLAGE OF LEMONT
NEENAH R-2015 GRATE
10/07 NO. LS-72 REV. 1



L2

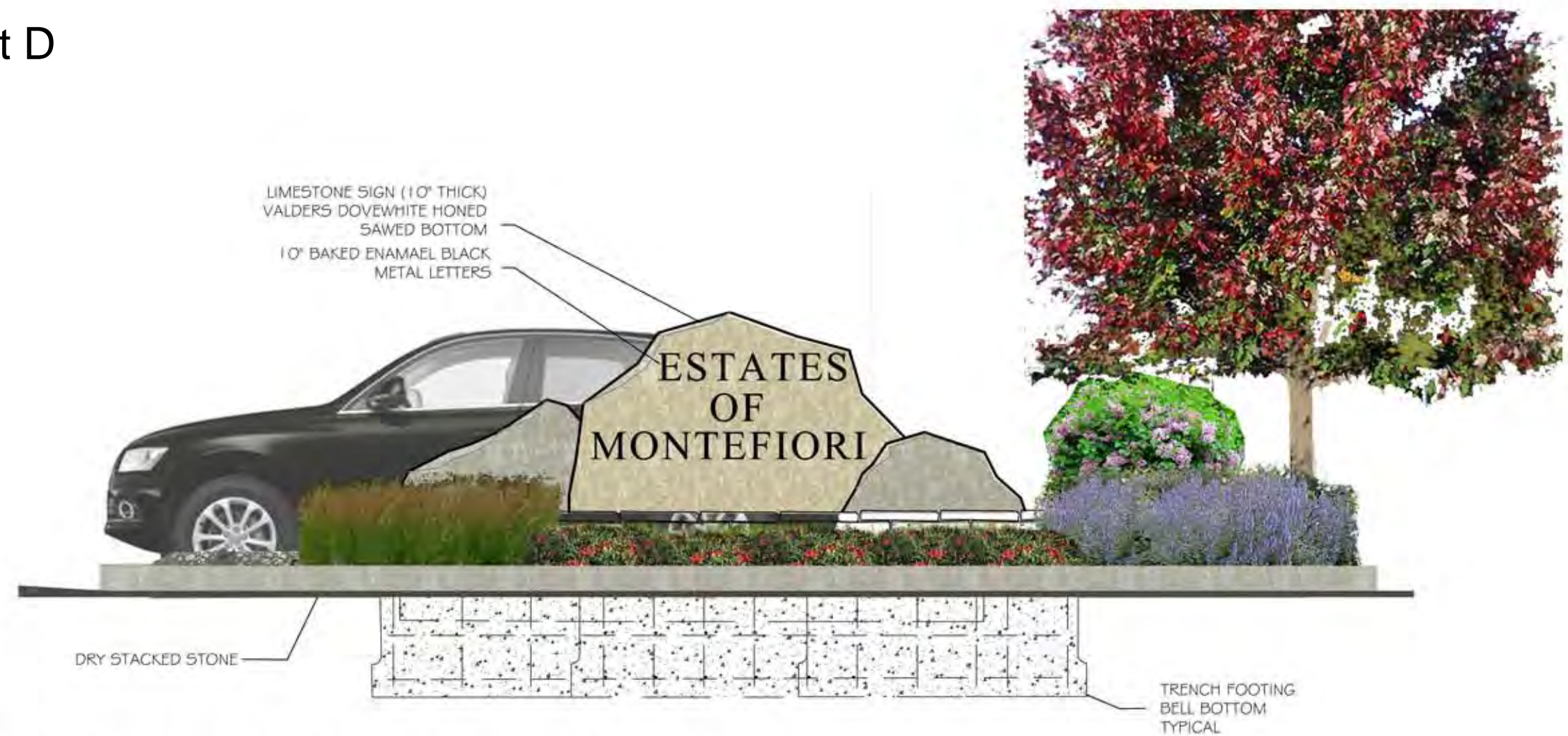
L3

L4

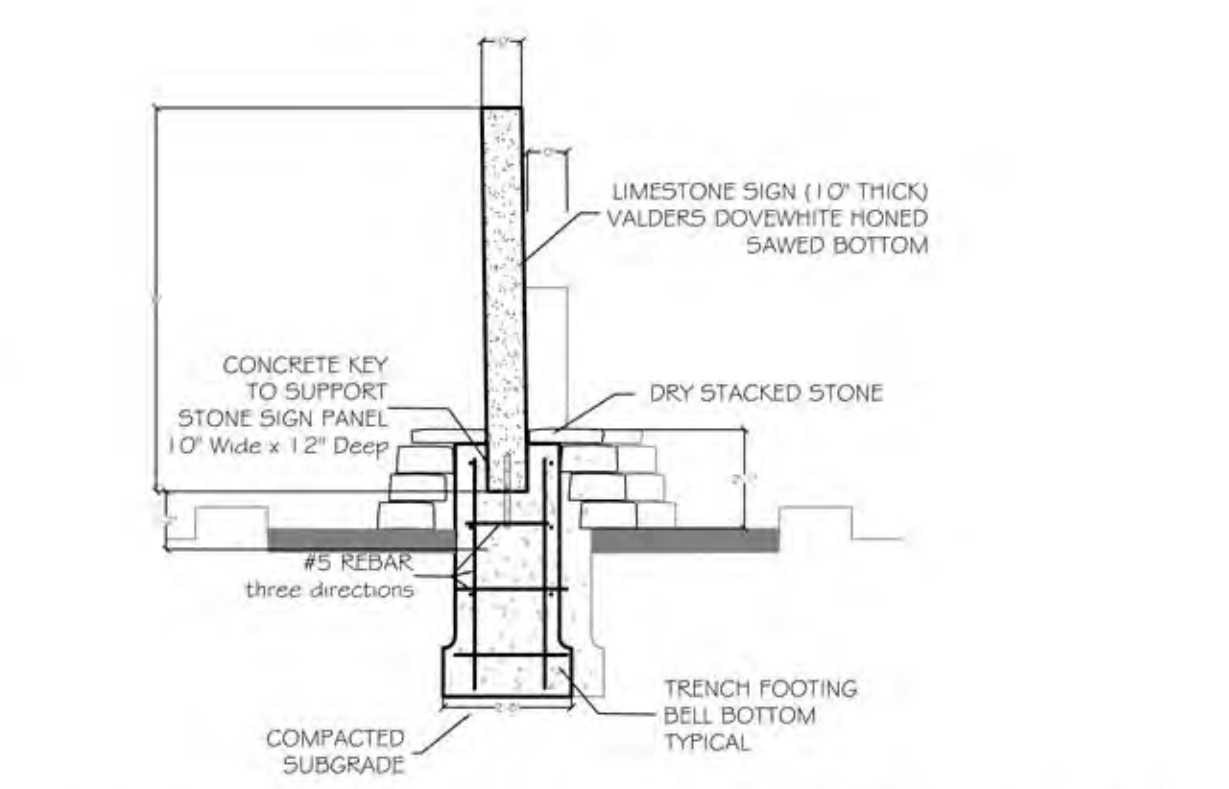
SEE L1-F FOR BERM DETAIL

SEE L1-B FOR ENTRY ISLAND PLANTINGS

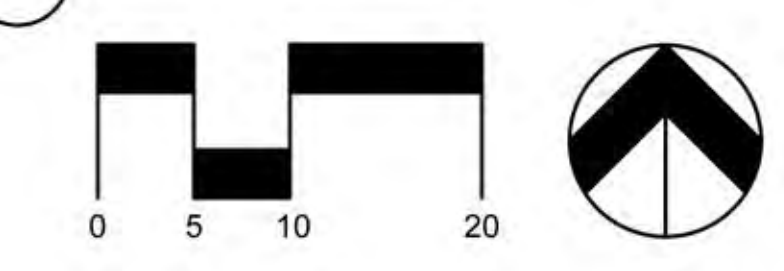
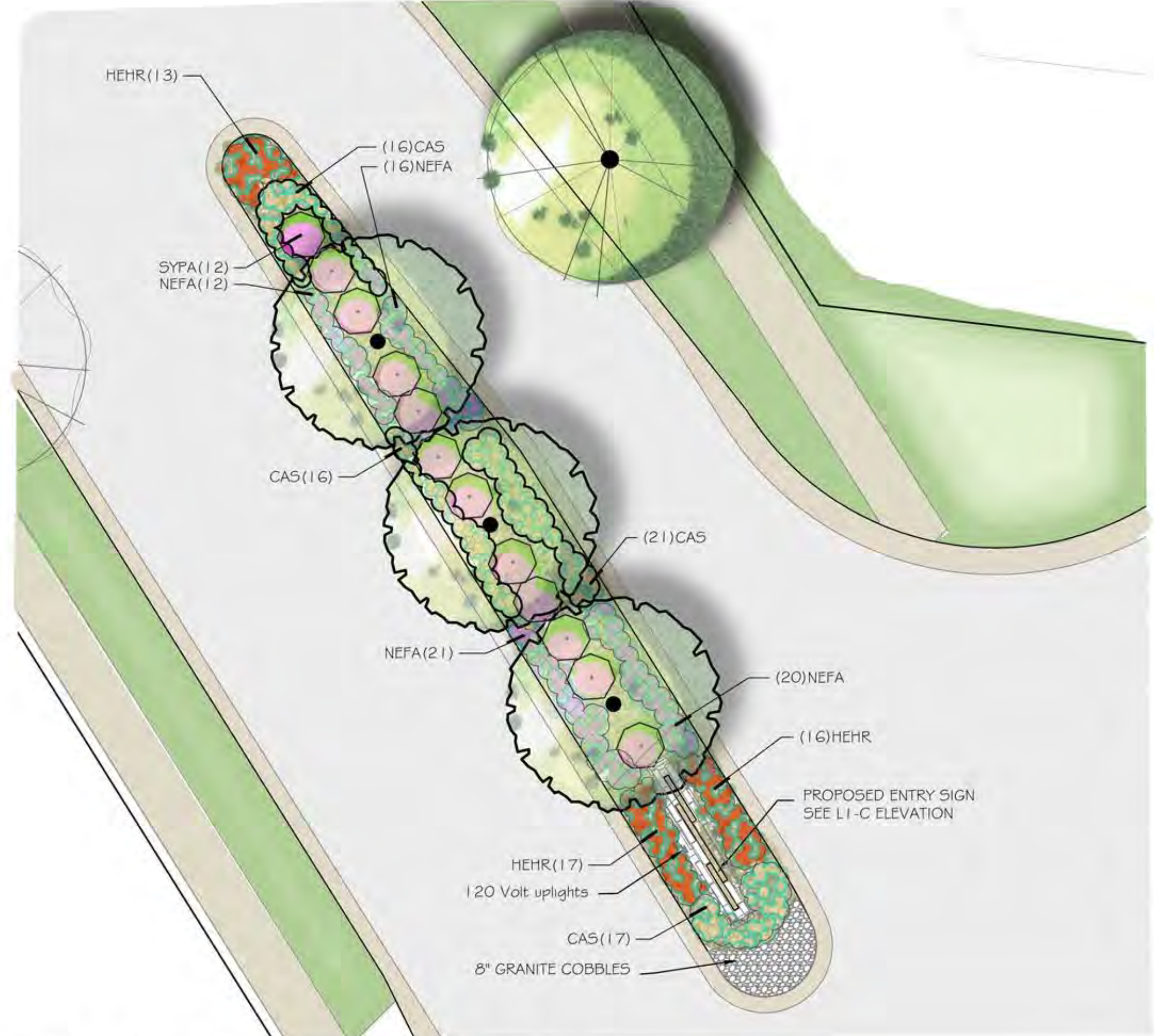
L1-C PROPOSED ENTRY SIGN ELEVATION



L1-D PROPOSED ENTRY SIGN SECTION

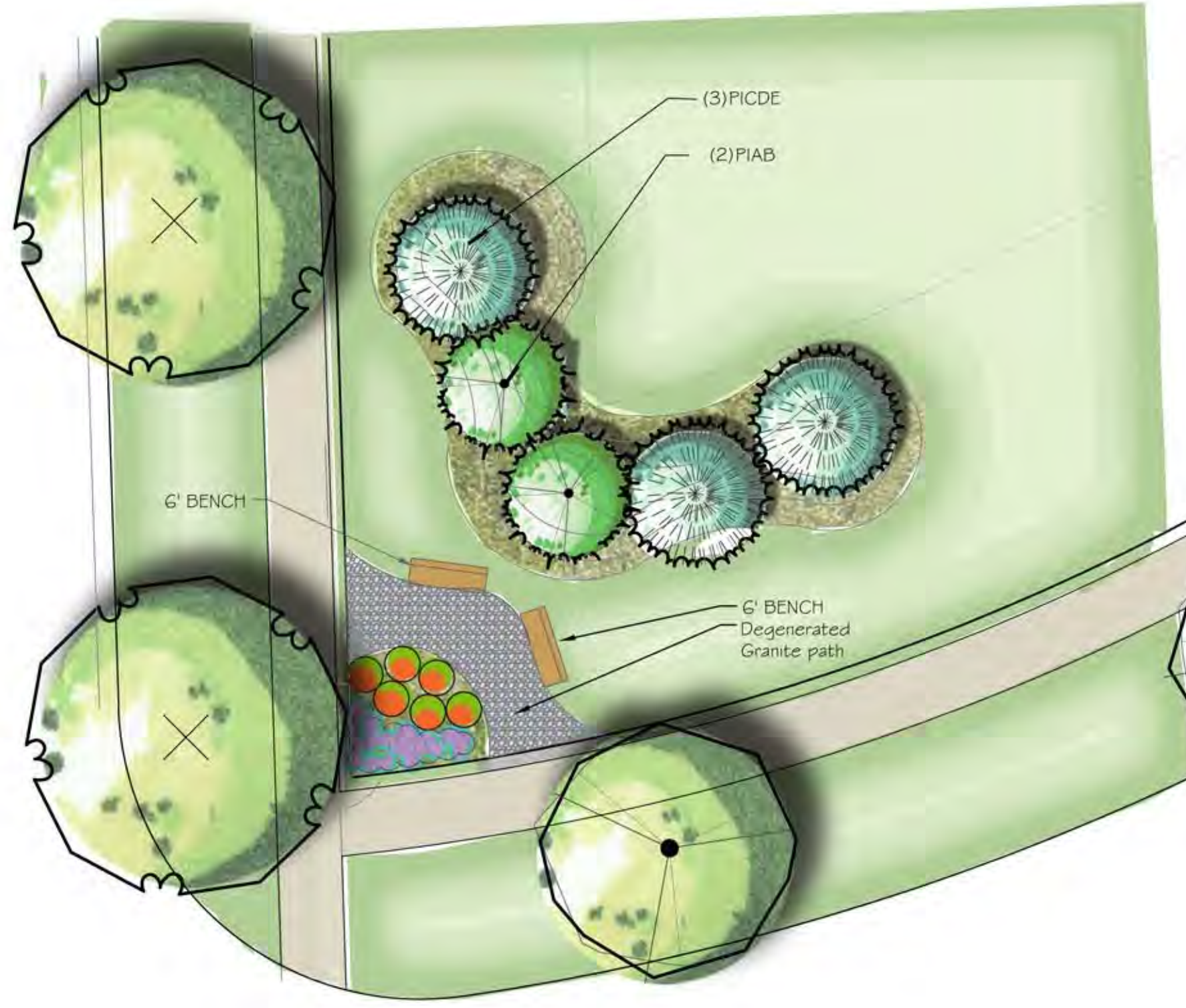
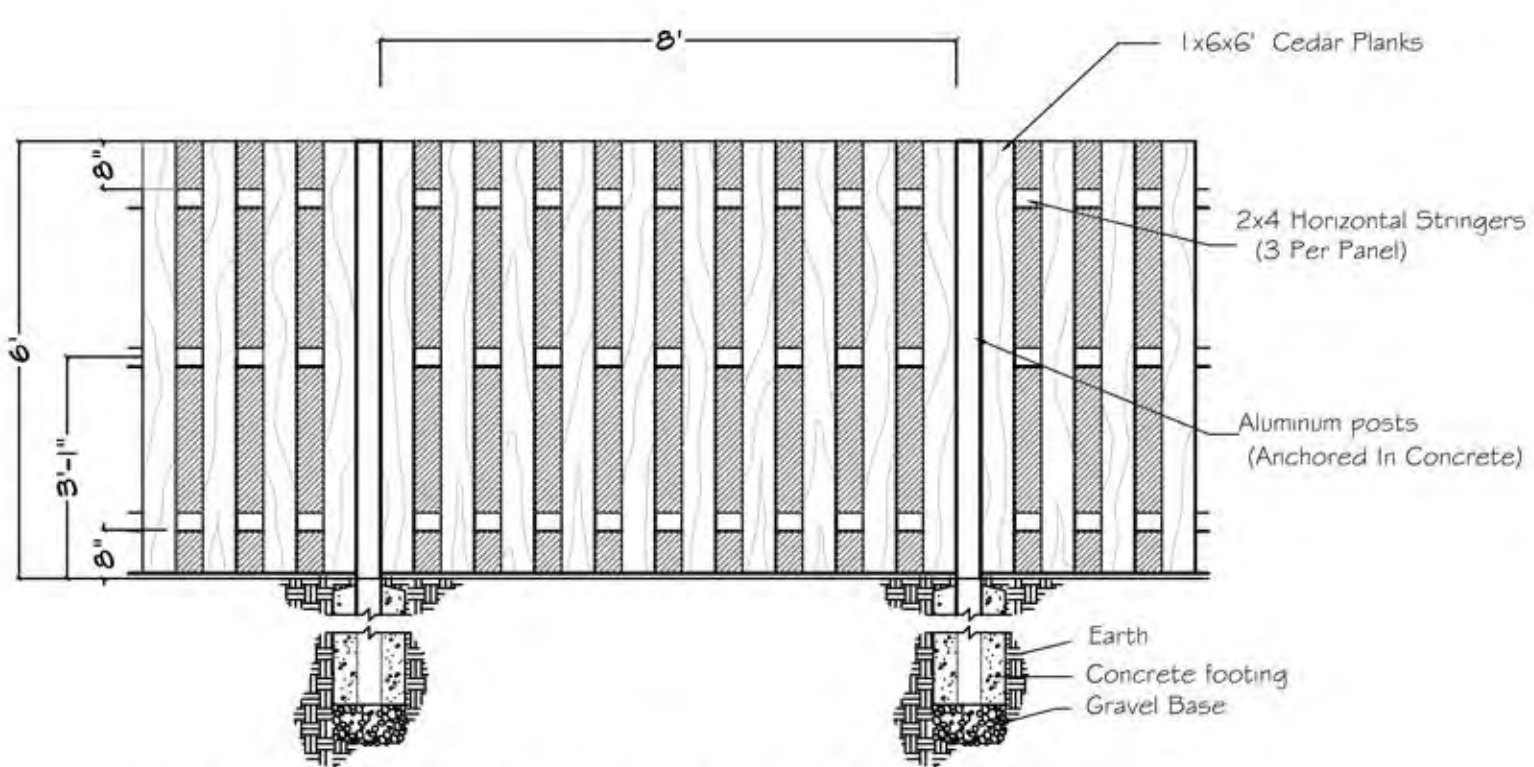


L1-B ENTRY ISLAND PLANTING DETAIL



All base information & dimensions are approximate only. All layout to be verified in the field.
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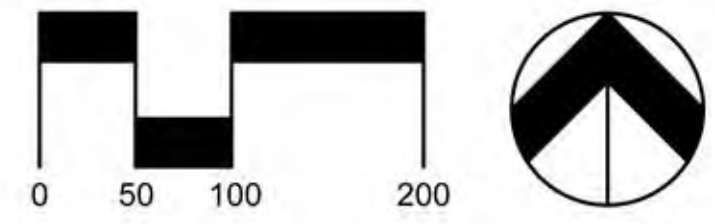
L1-E CEDAR SHADOW BOX FENCE DETAIL



L1-F BERM DETAIL

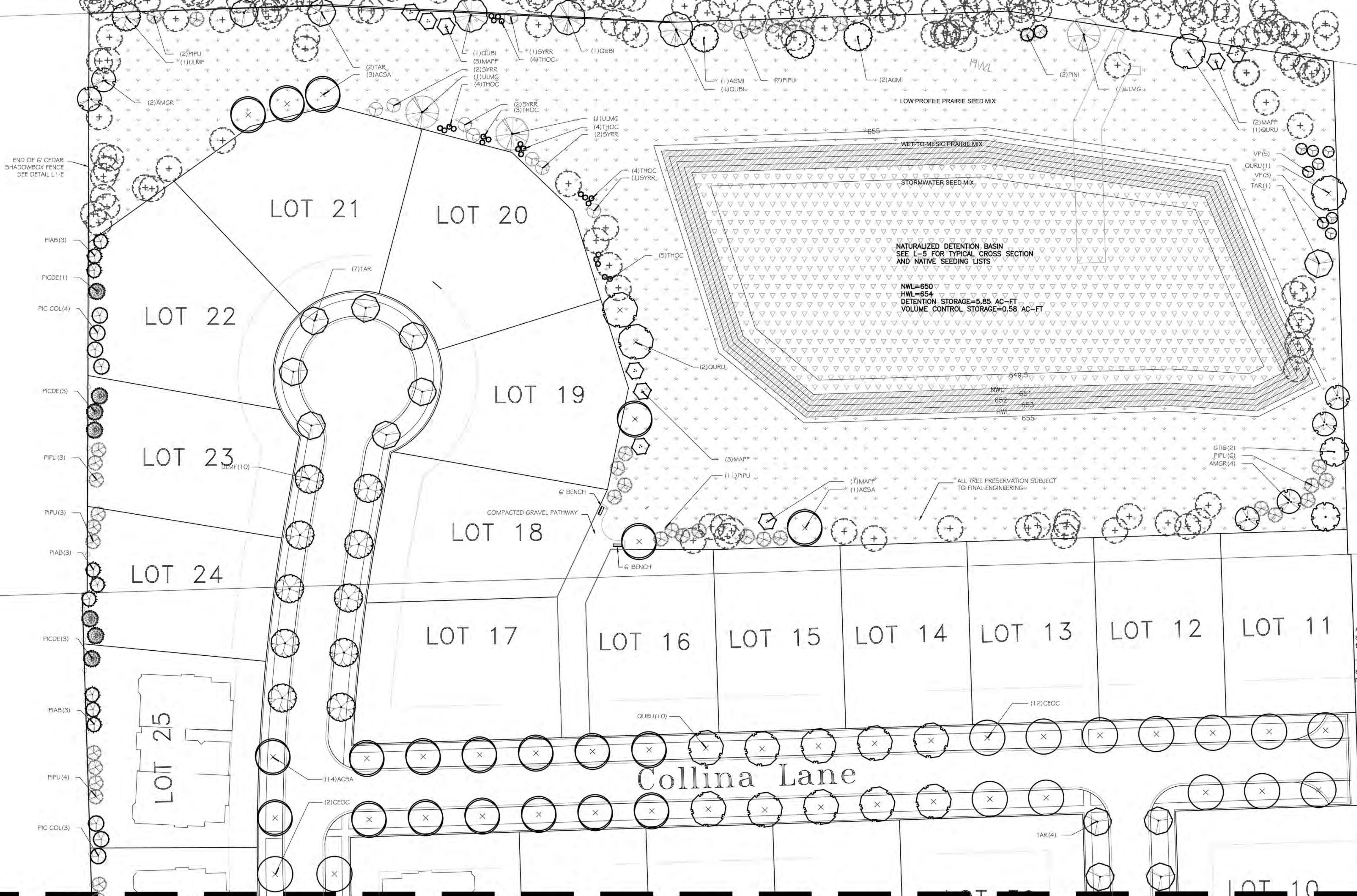
L1-A OVERALL LANDSCAPE PLAN

SCALE: 1" = 100'-0"



LEGEND
EXISTING TREES

NOTE: Final decision of existing trees to remain will be based on the health, species, and condition of the tree as well as the final engineering.



All tree preservation subject to final engineering.

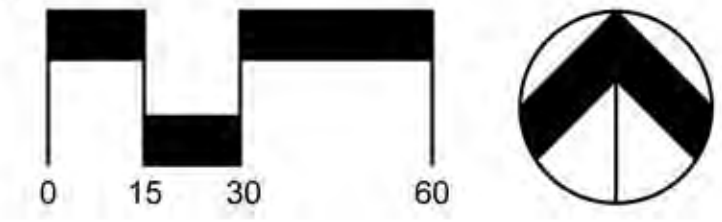
All base information & dimensions are approximate only. All layout to be verified in the field.

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- LEGEND**
- EXISTING TREES
 - LOW PROFILE PRAIRIE MIX
 - WET-TO-MESIC PRAIRIE MIX
 - STORMWATER MIX

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 30'-0"



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 ALL THINGS OUTDOOR

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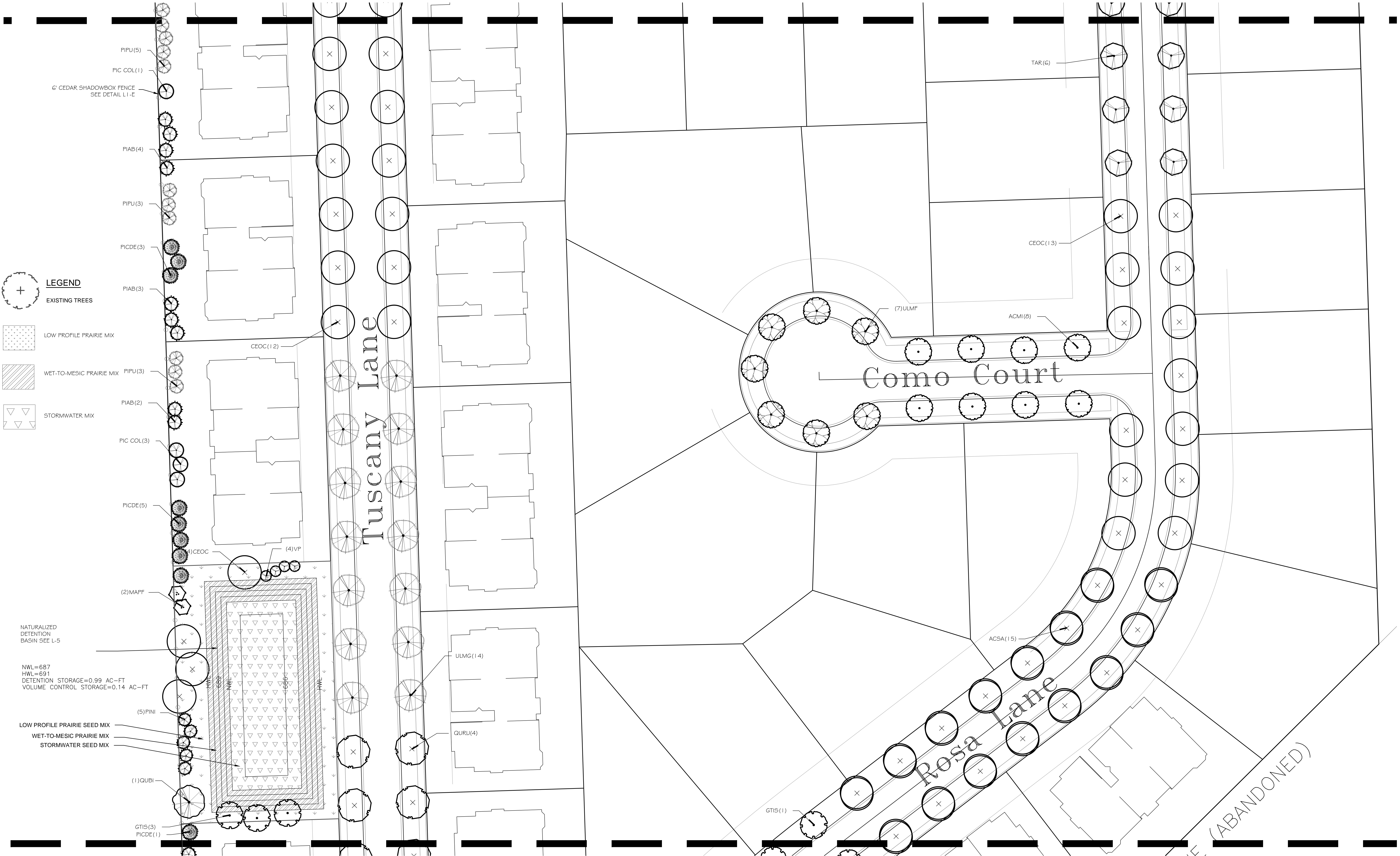
Estates of Montefiori
 Lemont, IL

REVISIONS:

REVISED PER URBAN FOREST MANAGEMENT COMMENTS 8.30.15

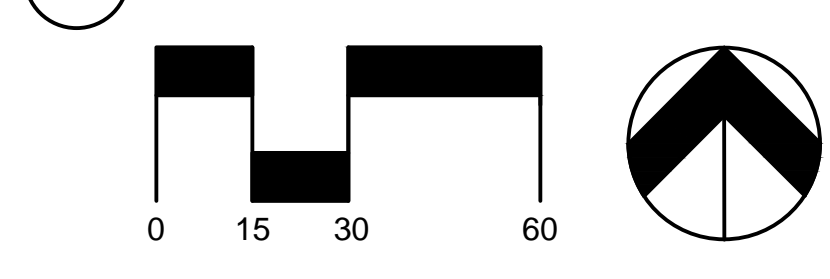
SHEET TITLE:
PRELIMINARY LANDSCAPE PLAN

DATE: 7.6.15
 JOB: P-
 SCALE: 1"=30"
 BY: JZ
 SHEET L2 OF 9



- LEGEND**
- EXISTING TREES
 - LOW PROFILE PRAIRIE MIX
 - WET-TO-MESIC PRAIRIE MIX
 - STORMWATER MIX

PRELIMINARY LANDSCAPE PLAN



All base information & dimensions are approximate only. All layout to be verified in the field.

SCALE: 1" = 30'-0"

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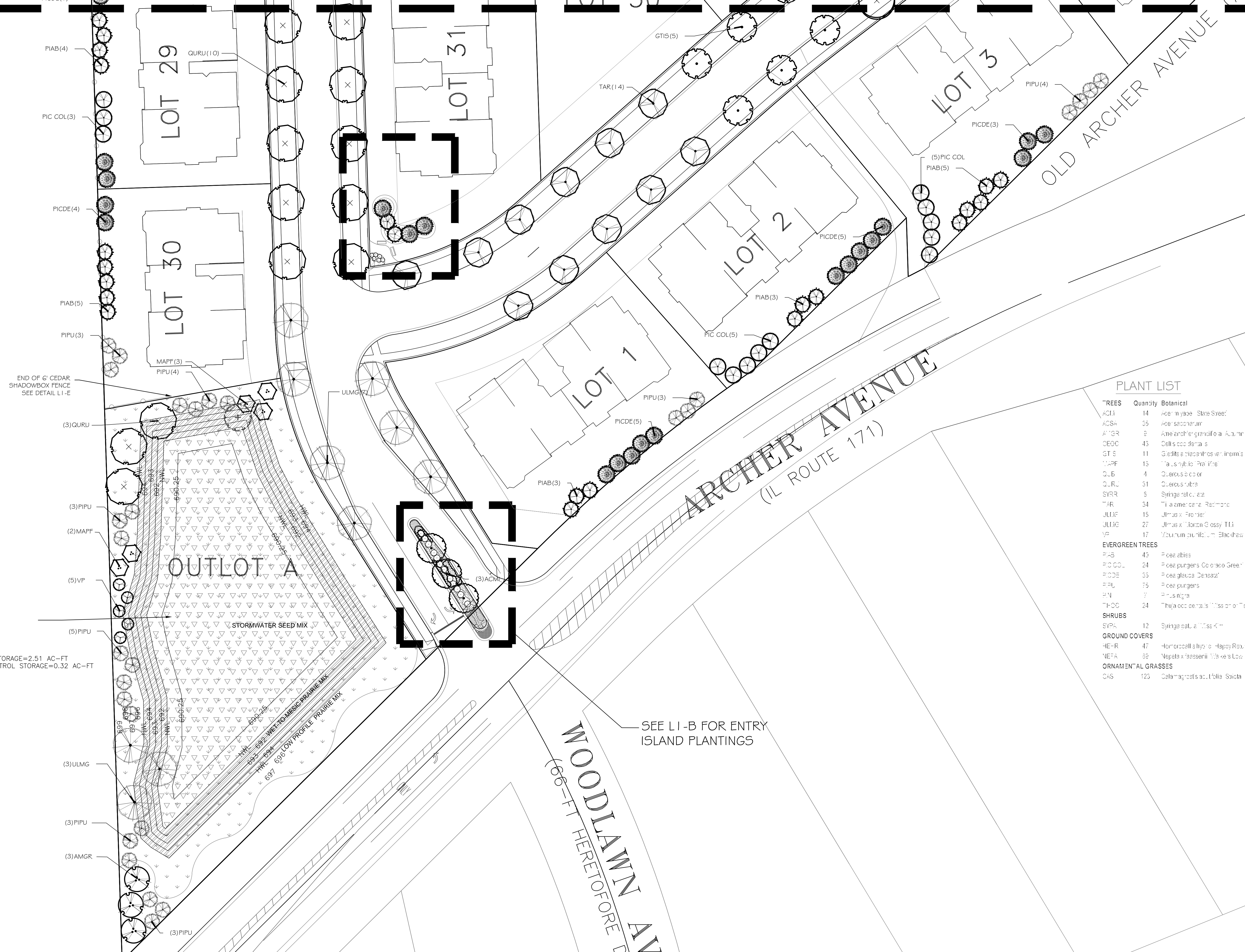
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Estates of Montefiori
Lemont, IL

REVISIONS:
REVISION PER URBAN FOREST MANAGEMENT COMMENTS 6-30-15

SHEET TITLE:
PRELIMINARY LANDSCAPE PLAN

DATE: 7.6.15
JOB: P-
SCALE: 1"=30'
BY: JZ
SHEET L3 OF 9

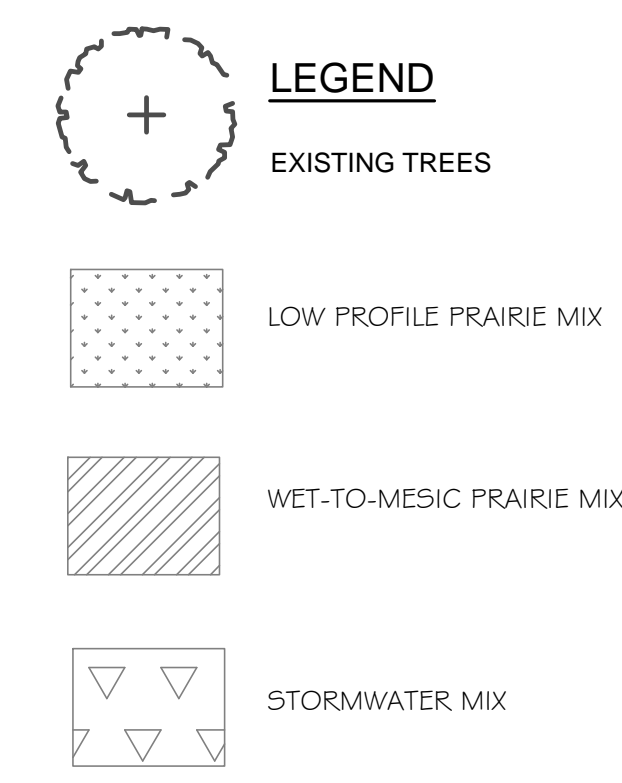


PLANT LIST

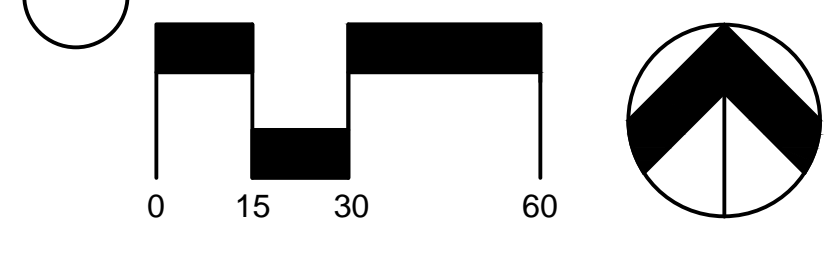
TREES	Quantity	Botanical	Common	Size
ACLI	14	Acer 'nycote' 'Slate Street'	Tribe Maple	3' 83
ACSA	35	Acer saccharum	Sugar Maple	3' 83
AMGR	8	American Elm grandifolia Autumn Brilliance	American Elm grandifolia Serviceberry	6' 66
CEOC	43	Quercus coccinea	Common Hackberry	3' 83
GTIS	11	Gleditsia triacanthos var. inermis Skycode™	Skyline Treeless-Honey Locust	3' 83
MAPP	13	Malva sylvestris Prairie	Prairie Clover	6' 66
QUB	4	Quercus bicolor	Savanna White Oak	3' 83
QURU	51	Quercus rubra	Red Oak	3' 83
SYRR	5	Springer Juniper	Japanese Tree Lilac	6' 66
TAR	34	Tilia americana Richmond	Richmond American Linden	3' 83
JULIF	15	Juniperus 'Proserpine'	American Elm	6' 66
JULIG	27	Juniperus 'Korona Gossy Tili'	Triumph Elm	3' 83
VP	17	Viburnum plicatum Blackshaw	Blackhaw Viburnum	6' 66
EVERGREEN TREES				
PIAB	40	Picea abies	Norway Spruce	8' 83
POCOL	24	Picea pungens Colorado Green	Colorado Green Spruce	8' 83
PODE	35	Picea glauca 'Densata'	Black Hills Spruce	8' 83
PIU	75	Picea pungens	Colorado Spruce	8' 83
PN	7	Pinus nigra	Australian Pine	8' 83
THCO	24	Thuja occidentalis 'Mission of Technology'	Mission of Technology Arborvitae	8' 83
SHRUBS				
SYPA	12	Springer Juniper	Mission of Technology	30' 66
GROUND COVERS				
HE-R	47	Hemerocallis hybrid 'Happy Returns'	Happy Returns Day Lily	1' gal
NEFA	85	Nepeta x 'Passerini' Walker's Low	Walker's Low Catmint	1' gal
ORNAMENTAL GRASSES				
OAS	123	Calamagrostis acutifolia Souda	Feather Reed Grass	1' gal

All base information & dimensions are approximate only. All layout to be verified in the field.

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PRELIMINARY LANDSCAPE PLAN



SCALE: 1" = 30'-0"

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Estates of Montefiori
Lemont, IL

REVISIONS:

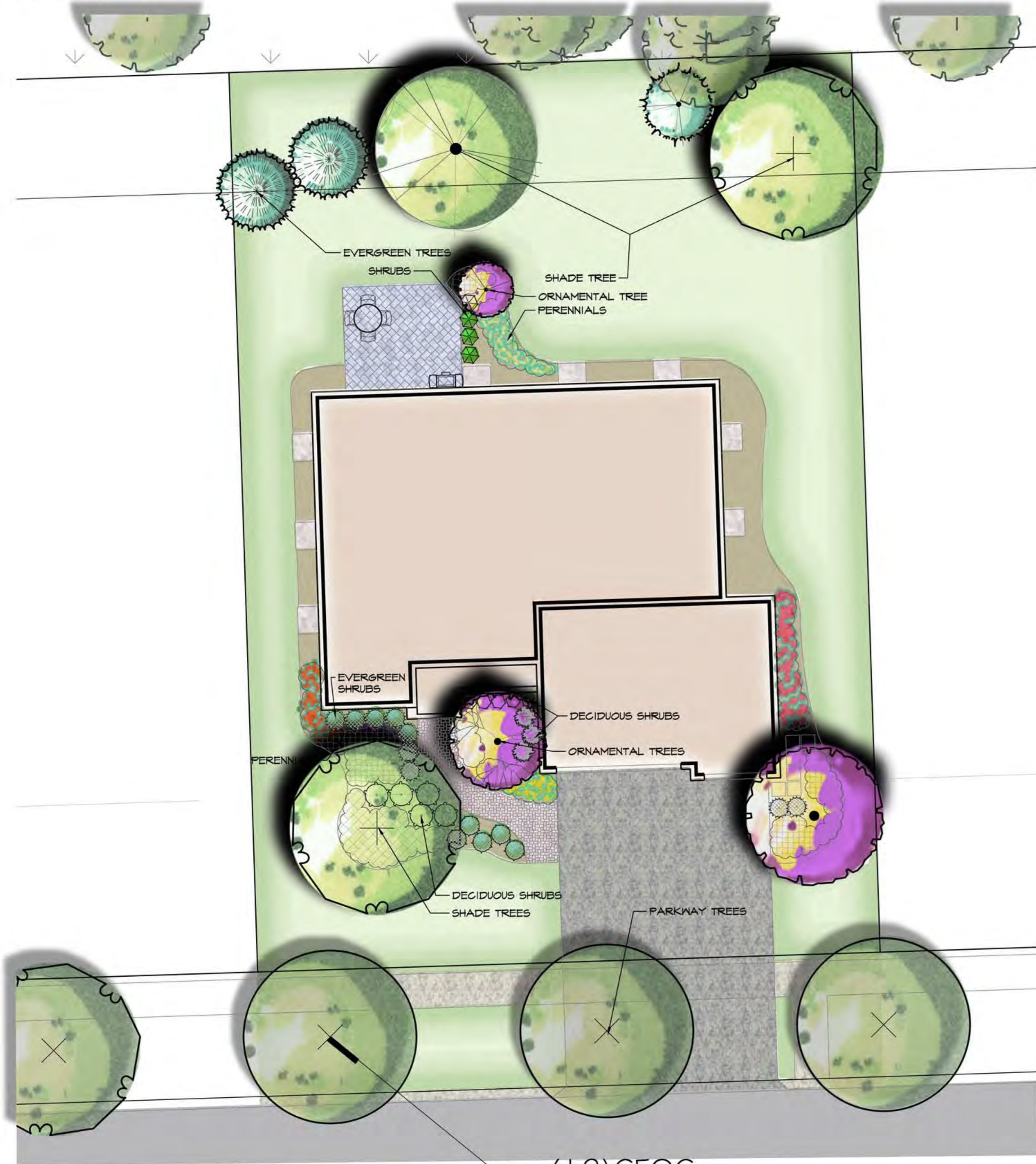
REVISIONS	DATE
REVISED PER URBAN FOREST MANAGEMENT COMMENTS 8.30.15	

SHEET TITLE:
PRELIMINARY
LANDSCAPE
PLAN

DATE: 7.6.15
JOB: P-
SCALE: 1"=30'
BY: JZ
SHEET L4 OF 9

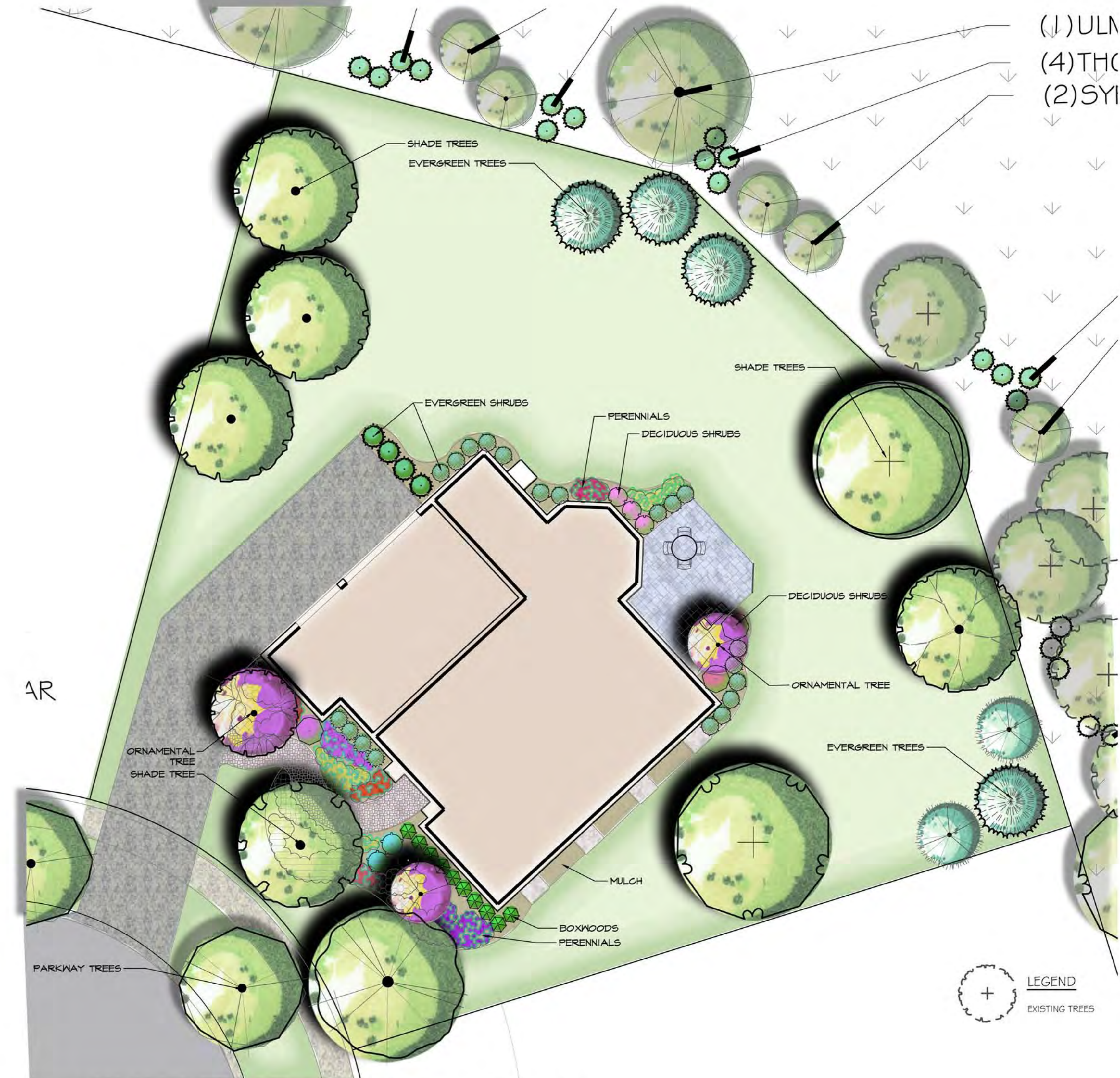
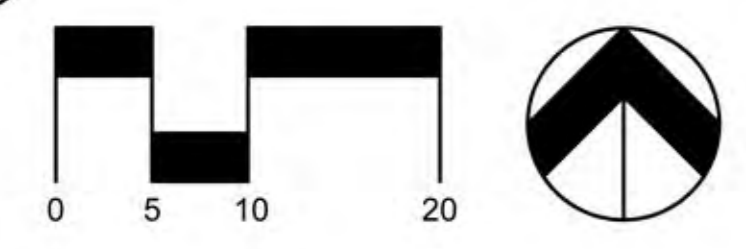
All base information & dimensions are approximate only. All layout to be verified in the field.

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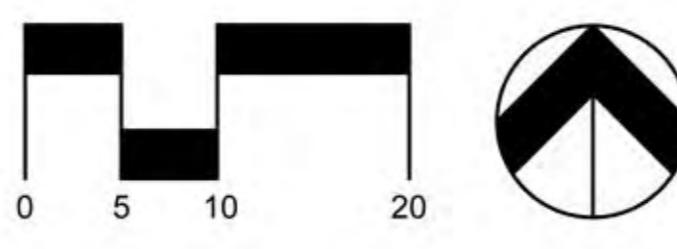
SINGLE FAMILY HOUSE TYPE 1 CONCEPTUAL LANDSCAPE PLAN

SCALE: 1" = 10'-0"



SINGLE FAMILY HOUSE TYPE 2 CONCEPTUAL LANDSCAPE PLAN

SCALE: 1" = 10'-0"



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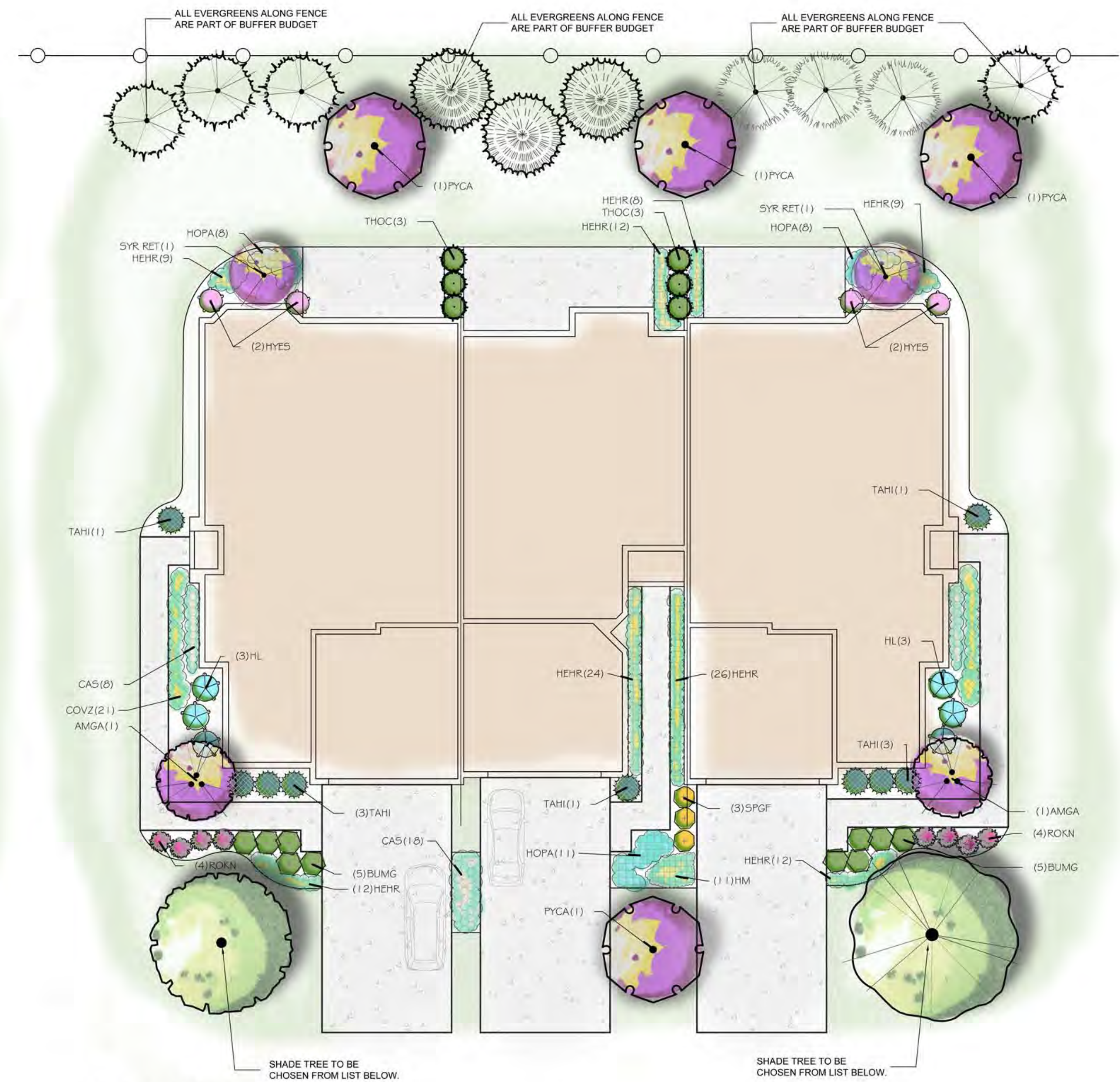
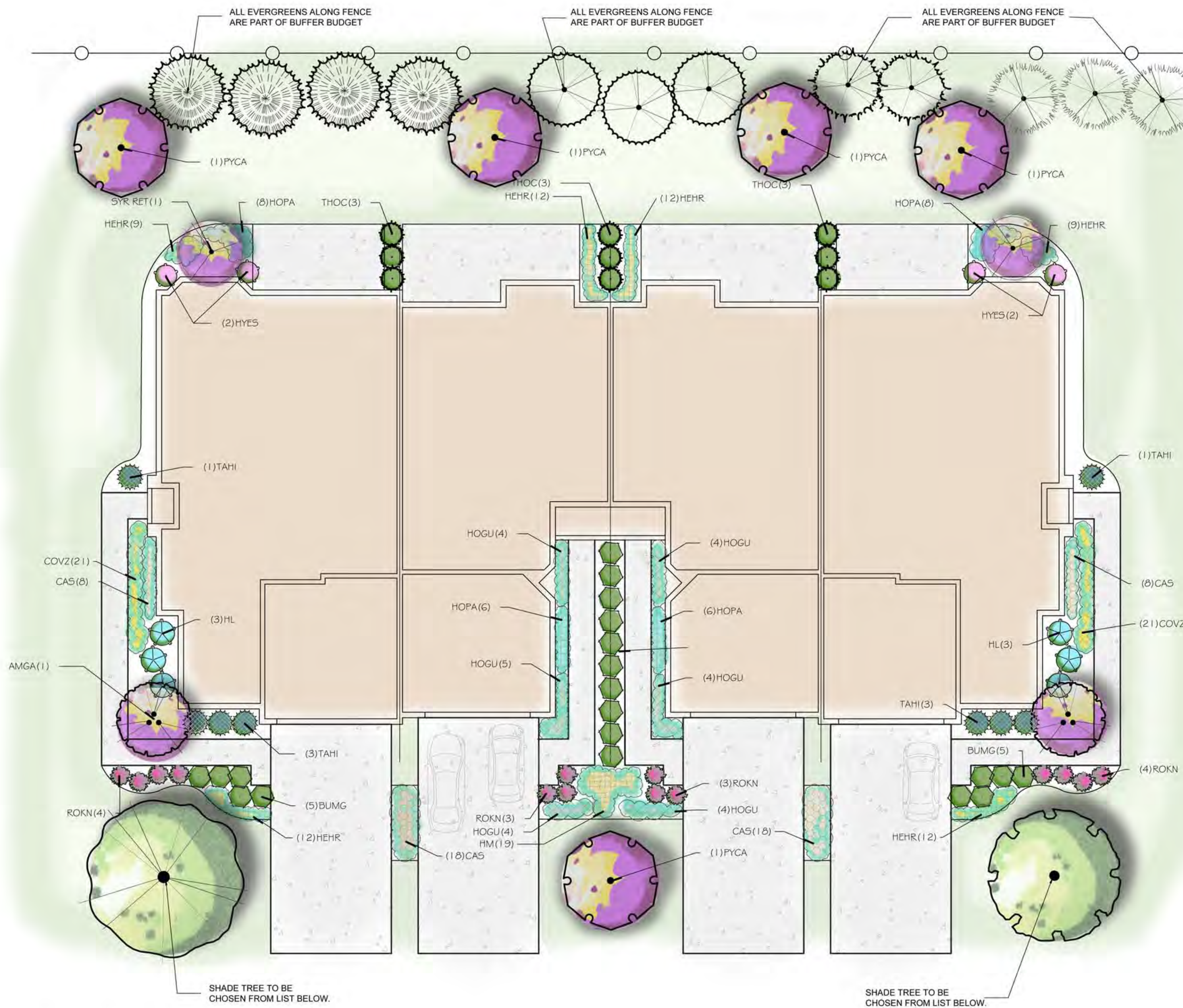
○ WEST PROPERTY LINE ELEVATION NTS



○ SINGLE FAMILY HOUSE TYPE 1 ELEVATION NTS



○ SINGLE FAMILY HOUSE TYPE 2 ELEVATION NTS



#4 UNIT TOWN HOME PLAN

SCALE: 1" = 10'-0"

SHADE TREES	Quantity	Botanical	Common	Size
Shade Tree	2	Choose From List	Shade Tree	2.5'
ORNAMENTAL TREES				
AMGA	2	Amelanchier grandiflora 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	8' HT.
PYCA	5	Pyrus calleryana 'Aristocrat' TM	Aristocrat Flowering Pear	8' HT.
SYR RET	2	Syringa reticulata	Japanese Tree Lilac	8' HT.
EVERGREEN TREES				
PIAB	2	Picea abies	Norway Spruce	8' HT.
THOC	9	Thuja occidentalis 'Mission or Tectny'	Mission or Tectny Arborvitae	8' HT.
SHRUBS				
HYES	4	Hydrangea macrophylla 'Endless Summer' TM	Balmer Hydrangea	5 gal
HL	6	Hydrangea paniculata 'Limelight' TM	Limelight Hydrangea	5 gal
ROKN	14	Rosa hybrids 'Knockout' TM	Rosa 'RADrazz'	3 gal
EVERGREEN				
BUMG	20	Buxus microphylla koreana 'Glencoe'	Chicagoland Green	5 gal
TAHI	8	Taxus media 'Hicksii'	Hicks Yew	5 gal
GROUND COVERS				Spacing
COVZ	42	Coreopsis verticillata 'Zagreb'	Zagreb Thread Leaf Coreopsis	1 gal 18" o.c.
HEHR	66	Hemerocallis hybrid 'Happy Returns'	Happy Returns Daylily	1 gal 18" o.c.
HM	19	Hemerocallis hybrid 'Mary Todd'	Mary Todd Daylily	1 gal 20" o.c.
HOGU	25	Hosta hybrid 'Guacamole'	Hosta Guacamole	1 gal 30" o.c.
HOPA	28	Hosta hybrid 'Patriot'	Patriot Hosta	1 gal 24" o.c.
ORNAMENTAL GRASSES				
CAS	52	Calamagrostis acutifolia 'Stricta'	Feather Reed Grass	1 gal 20" o.c.

SHADE TREE LIST

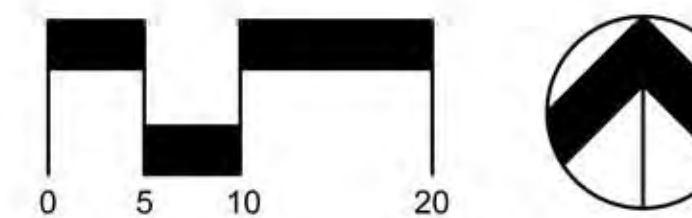
TREES	Botanical	Common	Size
ACMI	Acer miyabei 'State Street'	Miyabei Maple	2.5' Cal
CEOC	Celtis occidentalis	Common Hackberry	2.5' Cal
GTIS	Gleditsia triacanthos var. inermis 'Skycole' TM	Skyline Thornless Honey Locust	2.5' Cal
QURU	Quercus bicolor	Swamp White Oak	2.5' Cal
ULMG	Ulmus x 'Morton Glossy' TM	Triumph Elm	2.5' Cal

NOTE: To promote a variety of species all shade trees are to be chosen from the shade tree list above

#3 UNIT TOWN HOME PLAN

SCALE: 1" = 10'-0"

SHADE TREES	Quantity	Botanical	Common	Size
Shade Tree	2	Choose From List	Shade Tree	2.5'
ORNAMENTAL TREES				
AMGA	2	Amelanchier grandiflora 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	8' HT.
PYCA	5	Pyrus calleryana 'Aristocrat' TM	Aristocrat Flowering Pear	8' HT.
SYR RET	2	Syringa reticulata	Japanese Tree Lilac	8' HT.
EVERGREEN TREES				
PIAB	2	Picea abies	Norway Spruce	8' HT.
THOC	6	Thuja occidentalis 'Mission or Tectny'	Mission or Tectny Arborvitae	8' HT.
SHRUBS				
HYES	4	Hydrangea macrophylla 'Endless Summer' TM	Balmer Hydrangea	5 gal
HL	6	Hydrangea paniculata 'Limelight' TM	Limelight Hydrangea	5 gal
ROKN	8	Rosa hybrids 'Knockout' TM	Rosa 'RADrazz'	3 gal
SPGF	3	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	5 gal
EVERGREEN				
BUMG	10	Buxus microphylla koreana 'Glencoe'	Chicagoland Green	5 gal
TAHI	9	Taxus media 'Hicksii'	Hicks Yew	5 gal
GROUND COVERS				Spacing
COVZ	42	Coreopsis verticillata 'Zagreb'	Zagreb Thread Leaf Coreopsis	1 gal 18" o.c.
HEHR	112	Hemerocallis hybrid 'Happy Returns'	Happy Returns Daylily	1 gal 18" o.c.
HM	11	Hemerocallis hybrid 'Mary Todd'	Mary Todd Daylily	1 gal 20" o.c.
HOPA	27	Hosta hybrid 'Patriot'	Patriot Hosta	1 gal 24" o.c.
ORNAMENTAL GRASSES				
CAS	34	Calamagrostis acutifolia 'Stricta'	Feather Reed Grass	1 gal 20" o.c.




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Estates of Montefiori
 Lemont, IL

REVISIONS:
 Per Urban Forest
 Management Comments
 6/30/15

SHEET TITLE:
**TOWNHOMES
 LANDSCAPE
 PLAN**

DATE: 7.6.15
 JOB: P-
 SCALE: 1"=10'
 BY: AC
 SHEET L7 OF 9



TOWN HOME 3 UNIT FRONT ELEVATION

NTS



TOWN HOME 4 UNIT FRONT ELEVATION

NTS



TOWN HOME 3 UNIT REAR ELEVATION

NTS



TOWN HOME 4 UNIT REAR ELEVATION

NTS

REQUIRED NATIVE MIX MAINTENANCE STORMWATER MIX, WET-TO-MESIC MIX, LOW-PROFILE PRAIRIE MIX

The installing Contractor shall provide a three (3) year maintenance program as part of the installation contract for all native prairie pond banks & native pond bottoms. The installing contractor may subcontract the required maintenance program to a native plant community specialist contractor approved by the Landscape Architect and Owner.

This program shall include:

- The Contractor shall be responsible for volunteer habitat control by mowing with Roundup (Rodeo if in water) herbicide and/or burning for a period of three (3) years.
- All areas specified for native 'stormwater mix', 'wet-to-mesic', and 'low profile' prairie mix shall be subject to a three (3) year maintenance contract by the installing Contractor. This work may be subcontracted but the subcontractor must be approved by the Landscape Architect and Owner. The Contractor will be responsible for maintenance until Final Acceptance. The maintenance program shall consist of mowing, burning and selective herbicide control of invasive perennial weeds according to the schedule below.

Selective herbicide treatment of certain aggressive perennial weeds may be necessary during the 2nd & 3rd growing seasons if mowing and burning fail to control them. Such needs include Canada Thistle, Horsenettle and Spotted Knopweed. (use careful) contact application shall be performed. NO SPRAYING WILL BE ALLOWED. Control methods shall include:

- Direct hand application via 'herbicide glove' to the individual plant consisting of a rubber herbicide glove with large absorbent cotton gloves over the rubber glove. A strong solution of Round-up or other appropriate herbicide shall be mixed in a small non spill squirt or spray bottle. As needed use the bottle to carefully saturate the cotton gloves(s) and then grab the leaves and stem of the unwanted perennial weed to apply the herbicide to that plant only. Take care not to touch or drip the herbicide on other adjacent plantings. Perform only on cool, non-windy days.
- Cut unwanted perennial weeds (esp. Canada Thistle) to the ground when they are one foot (1') or taller, but prior to flowering. The cut stems should then be treated with undiluted Round-up using a small plastic spray bottle set on 'stream' rather than 'spray' or 'mist'. The herbicide should be applied sparingly so that it just soaks the cut stem of the unwanted weed.

1st Growing Season

Mow up to three times (3X) to keep annual seed from going to seed and to avoid too much shade for young perennials. Target biennial weeds by mowing to six inches (6") when in bloom. Sweet Clover in particular must be mowed if present. Mowing in full bloom (mid-summer) will kill it. Native species shall be allowed to seed. Selective herbicide application of perennial weeds shall be performed in accordance with the provisions of Item No. 3 above.

2nd Growing Season

Mow in Spring to the ground and remove cuttings. Repeat mowing in late spring or early summer if weeds remain a problem. Target perennial weeds by mowing to six inches (6") when in bloom. Sweet Clover in particular must be mowed if present. Mowing in full bloom (mid-summer) will kill it. Native species shall be allowed to seed. Selective herbicide application of perennial weeds shall be performed in accordance with the provisions of Item No. 3 above.

NOTE: Burning should always be utilized in lieu of mowing when enough plant matter fuel is available to conduct a burn.

3rd Growing Season

Burn between October 15 and May 1, with a mid spring burning being preferred, and continue other need management practices as needed during the 3rd growing season. (NOTE: The Contractor shall be responsible for all required permits for all burning.)

NATIVE MIX ACCEPTANCE & GUARANTEE

LOW PROFILE PRAIRIE, WET-TO-MESIC MIX & STORMWATER MIX

The Contractor shall be responsible for the satisfactory growth of permanent species of grasses, forbs, rushes, reeds and sedges on all areas seeded and/or planted under the contract until final acceptance of the work. The Contractor shall provide an expert inspector (e.g. seed source vendor) to conduct an inspection of the native planting areas during the 1st and 2nd growing seasons and provide the Village and/or Owner with a written assessment by January 31st of the following year of the establishment progress and any remedial action taken or proposed. A more detailed inspection shall be conducted at the end of the 3rd growing season for purposes of Final Acceptance. A written report of this inspection shall also be provided to the Village and/or Owner by Jan. 31st of the following year. Acceptance of the work will be determined using a time meander search. The time meander search shall be conducted at the end of each of the first three (3) growing seasons after seeding and/or planting (not to exceed thirty-six (36) months). The search will inspect 100 % of each plant community that has seeded and/or planted. If 15% of the permanent species seeded and/or planted are alive and apparent and the sample area has 80% ground cover of those permanent species, the work will be approved. If not accepted, the Contractor will re-plant, to fulfill contract responsibility, at no cost to the Owner.

None of the three (3) most dominant species may be non-native or weedy species, including but not limited to, Reed Canarygrass, Teasel, Canada Thistle, Horsenettle, Spotted Knopweed, Purple Loosestrife, Sandbar Willow, Sweet Clover or Cattails, unless otherwise indicated on the approved planting plans.

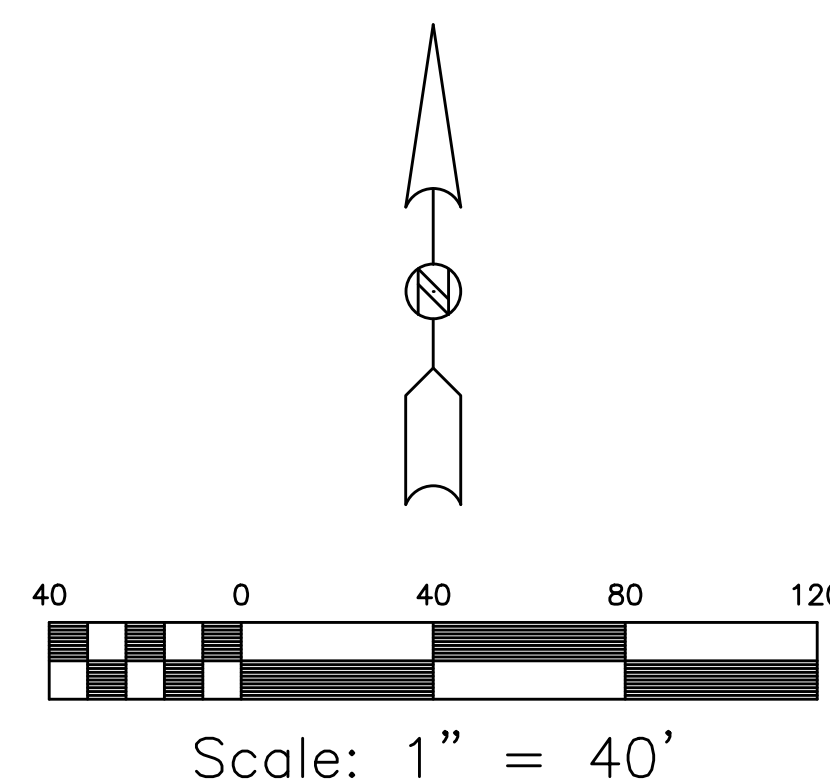
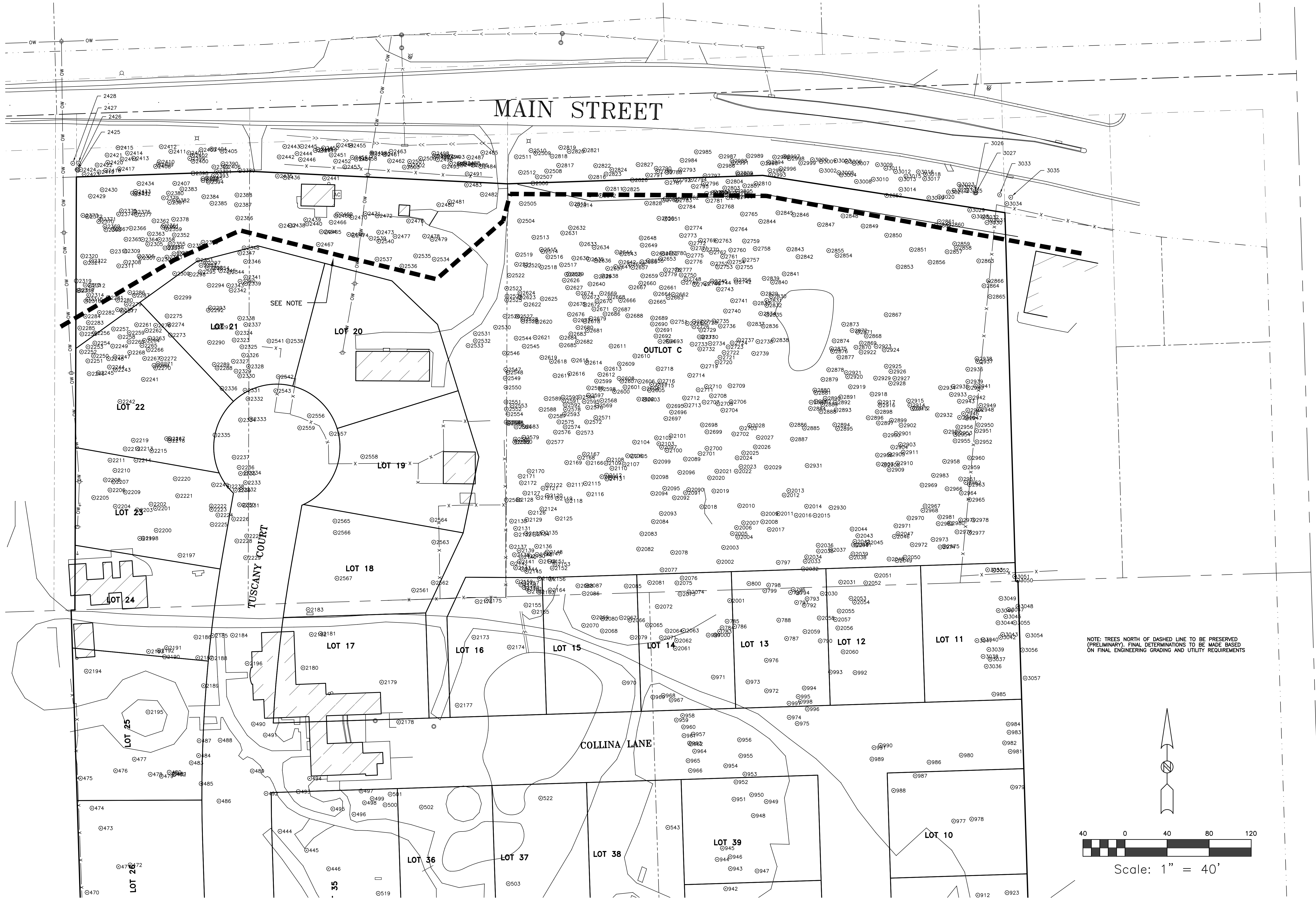
NATIVE SEEDING MIX

Wet-To-Mesic Prairie			Prairie Seed Mixes			Low-Profile Prairie			Prairie Seed Mixes		
BOTANICAL NAME	COMMON NAME	PLS QZ./ACRE	BOTANICAL NAME	COMMON NAME	PLS QZ./ACRE	BOTANICAL NAME	COMMON NAME	PLS QZ./ACRE	BOTANICAL NAME	COMMON NAME	PLS QZ./ACRE
PERMANENT GRASSES			PERMANENT GRASSES			PERMANENT GRASSES			PERMANENT GRASSES		
<i>Andropogon gerardi</i>	Big Bluestem	20.00	<i>Bouteloua curtipendula</i>	Side Oats Grama	18.00	<i>Bouteloua curtipendula</i>	Side Oats Grama	18.00	<i>Andropogon gerardi</i>	Big Bluestem	20.00
<i>Andropogon scoparius</i>	Scupper Grass	1.00	<i>Chloris cymosa</i>	Prairie Cord Grass	4.00	<i>Chloris cymosa</i>	Prairie Cord Grass	4.00	<i>Chloris cymosa</i>	Prairie Cord Grass	4.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
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<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
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<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
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<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
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<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
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<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
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<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00
<i>Carex lasiocarpa</i>	Prairie Sedge	4.00	<i>Diarrhena spicata</i>	Canada Wild Rice	32.00	<i>Diarrhena spicata</i>					

EXISTING TREE SURVEY (NORTHERN)

P.I.N. 22-14-402-003
22-14-402-004
22-14-402-013
22-23-203-003
22-23-203-004
22-23-203-008

Exhibit E



07/07/2015 C.J.T. ADD MISSING TAG DATA
DATE BY REVISION

TREE SURVEY
(NORTHERN)
DRAWN BY: C.J.T. JOB # GJN19203
CHECKED BY: CMP DATE: 05/21/2015

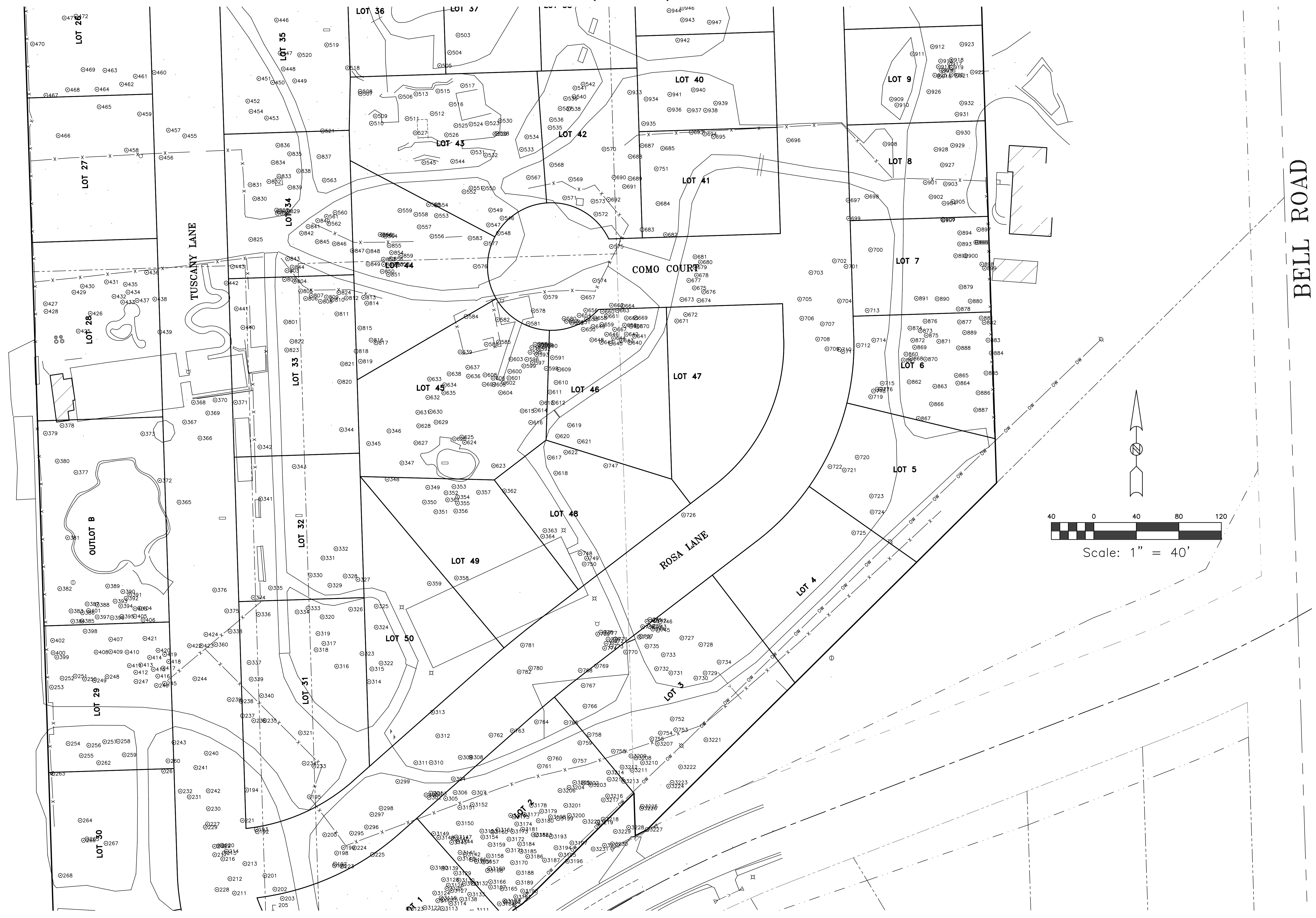
ESTATES OF
MONTEFIORI

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

1
GJN19203

EXISTING TREE SURVEY (CENTRAL)

P.I.N. 22-14-402-003
 22-14-402-004
 22-14-402-013
 22-23-203-003
 22-23-203-004
 22-23-203-008



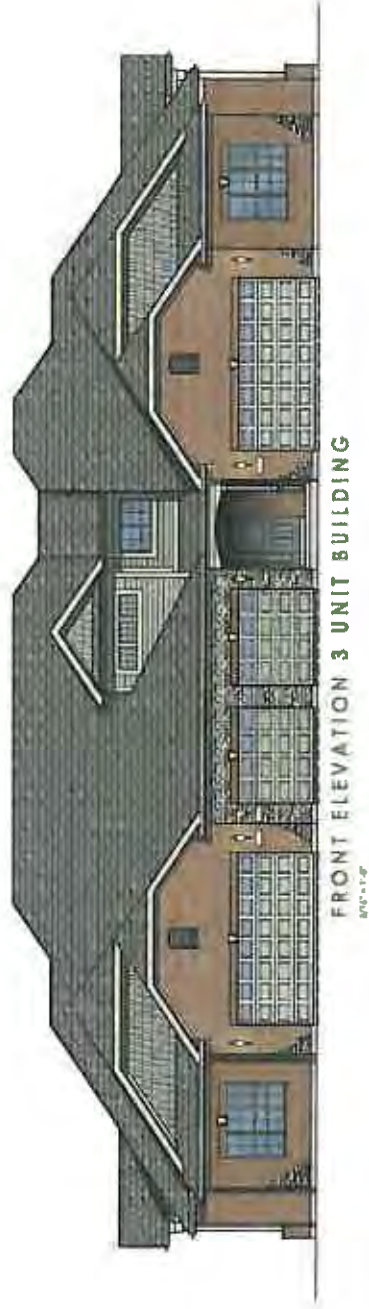
07/07/2015 CJT ADD MISSING TAG DATA
 DATE BY REVISION

TREE SURVEY
 (CENTRAL)
 DRAWN BY: CJT JOB # GJN19203
 CHECKED BY: CMP DATE: 05/21/2015

ESTATES OF
 MONTEFIORI

GEOTECH INC.
 CONSULTING ENGINEERS - LAND SURVEYORS
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

2
 GJN19203



FRONT ELEVATION 3 UNIT BUILDING
3/16" = 1'-0"



REAR ELEVATION 3 UNIT BUILDING
3/16" = 1'-0"

EXTERIOR COLOR/FINISHES
 ROOF: PENNYROYAL FROM CEDAR SHAKE PALMER
 SIDING: CROWN BRICK
 DOOR: FORD OAK
 WINDOW: FORD OAK
 TRIM: FORD OAK
 PORCH: FORD OAK
 STAIRS: FORD OAK
 FLOORING: FORD OAK

INTERIOR COLOR/FINISHES
 WALLS: FORD OAK
 FLOORS: FORD OAK
 CEILING: FORD OAK
 TRIM: FORD OAK
 LIGHTING: FORD OAK

P-1

DATE: 07-06-2015
 JOB #: 2014-0191





RIGHT SIDE ELEVATION 3 UNIT BUILDING
5/17/11



LEFT SIDE ELEVATION 3 UNIT BUILDING
5/17/11

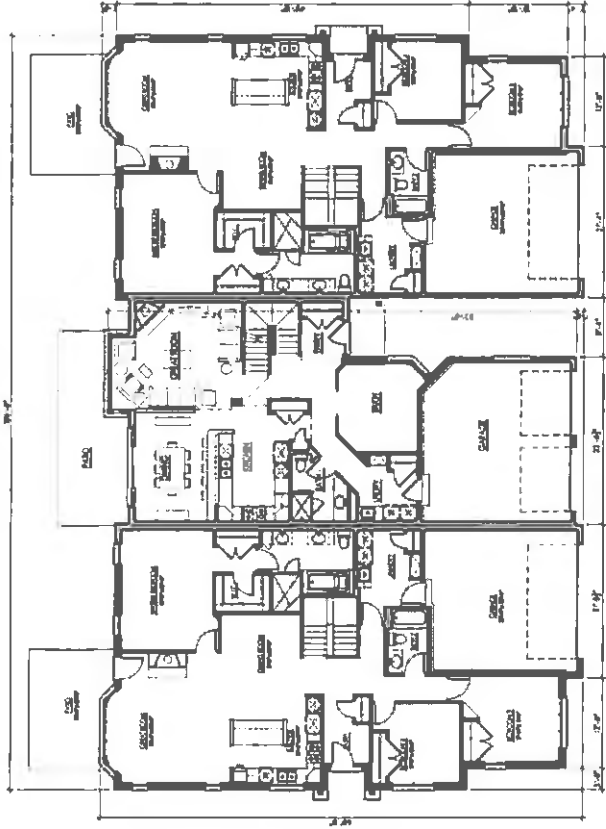
EXTERIOR COLOR/FINISHES
 BRICK - GLENVIEW TOWN COLORBLENDS PATTER
 ROOF - CERAMIC ASPHALT SHINGLES
 CEILING - CEILING
 FLOOR - POLYURETHANE
 Siding - FICOMB - HONEYCREEK
 TRIM - HONEYCREEK

WINDOW COLOR - HONEYCREEK WINDOW - HONEYCREEK
 ENTRY DOOR - HONEYCREEK WINDOW - HONEYCREEK BROWN

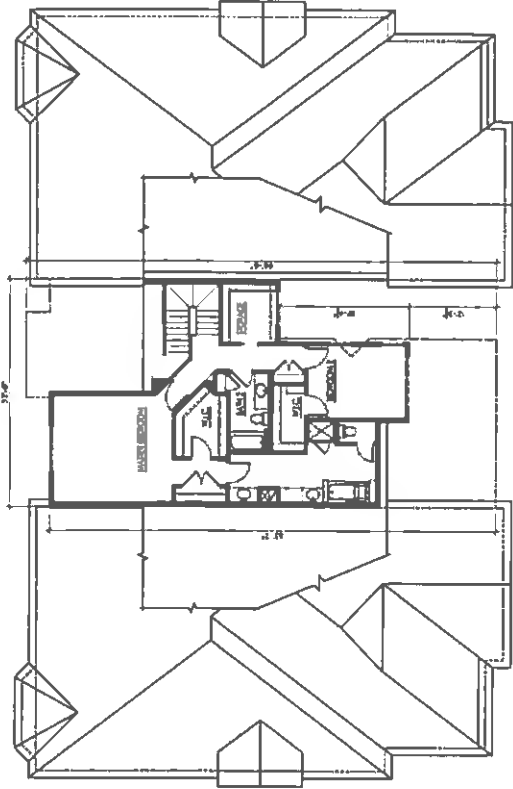
P-2
 Date: 07/06/2015
 Job #: 2014-0191



FIRST FLOOR PLAN 3 UNIT BUILDING



SECOND FLOOR PLAN 3 UNIT BUILDING





FRONT ELEVATION 4 UNIT BUILDING
3/16" = 1' 0"



REAR ELEVATION 4 UNIT BUILDING
3/16" = 1' 0"

EXTERIOR COLORS/FINISHES
 PAINT: _____
 ROOF: _____
 SIDING: _____
 STAIRS: _____
 TRIM: _____

INTERIOR COLORS/FINISHES
 ENTRY DOOR: _____
 INTERIOR WALLS: _____
 INTERIOR FLOORS: _____



RIGHT SIDE ELEVATION 4 UNIT BUILDING
1/4" = 1' 0"



LEFT SIDE ELEVATION 4 UNIT BUILDING
1/4" = 1' 0"

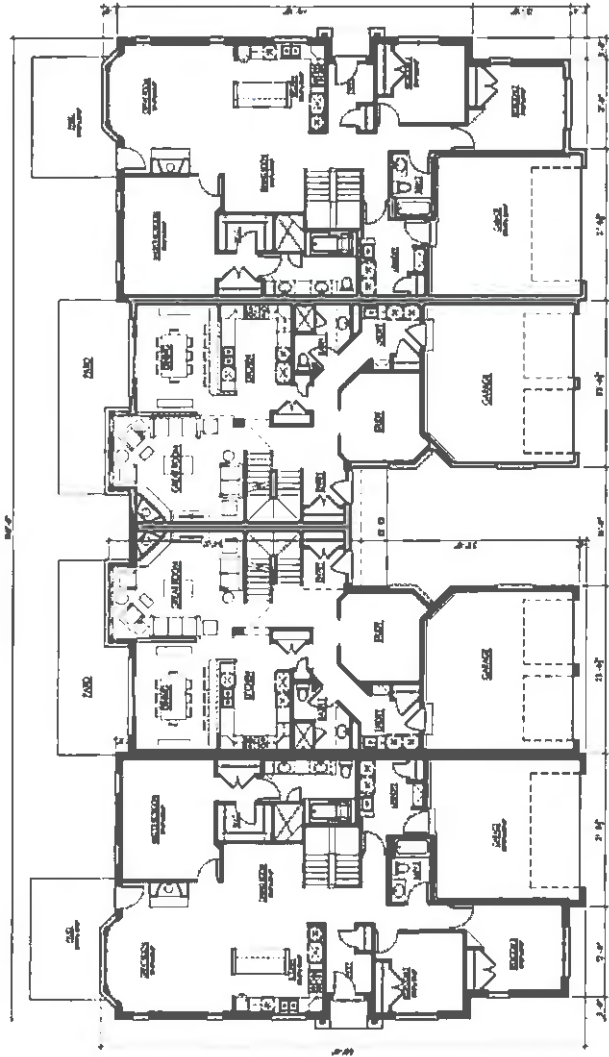
EXTERIOR COLOR/PFINISHES
 SILL: _____
 GLAZING: _____
 ROOF: _____
 DOOR: _____
 STONE: _____

WINDOW COLOR: _____
 ENTRY DOOR: _____

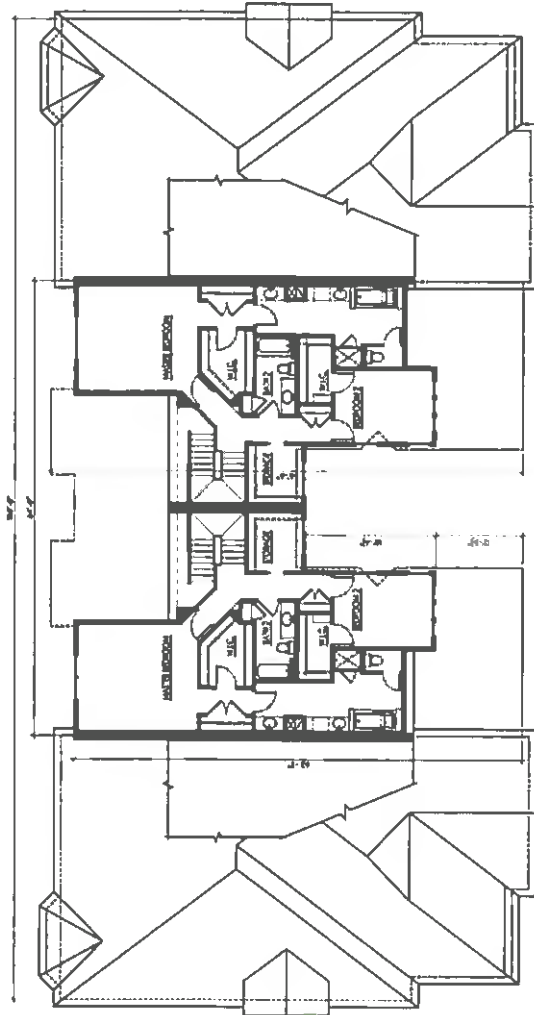
P-5
 Date: 07-04-2015
 Job #: 2014-0191

LINDEN GROUP
 ARCHITECTS

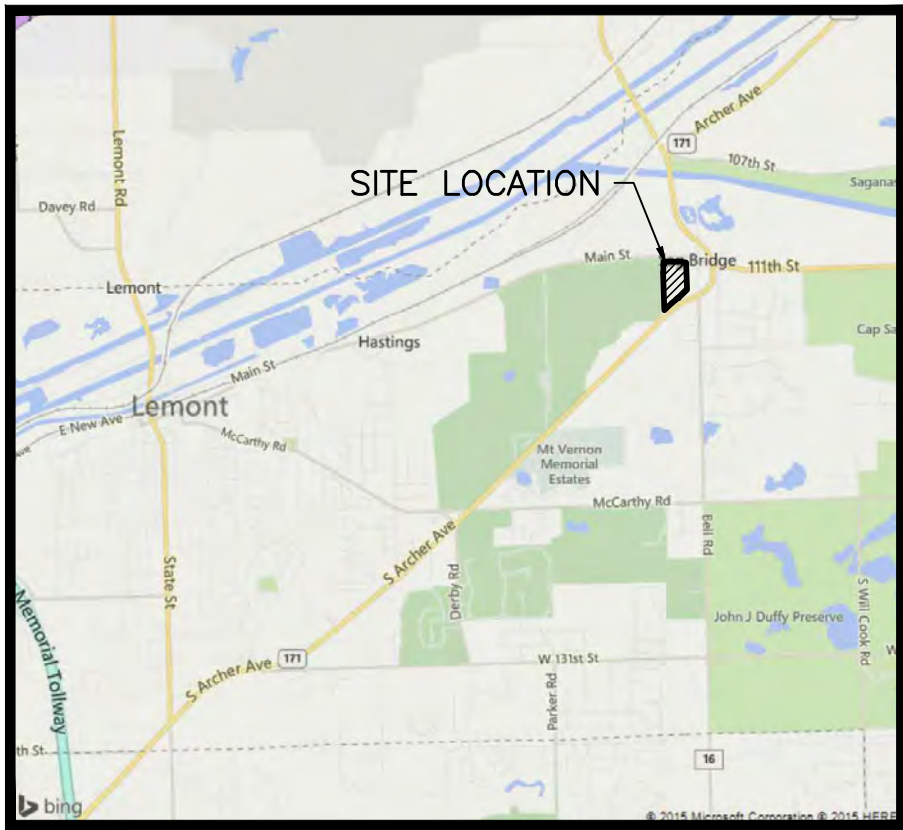
FIRST FLOOR PLAN 4 UNIT BUILDING



SECOND FLOOR PLAN 4 UNIT BUILDING

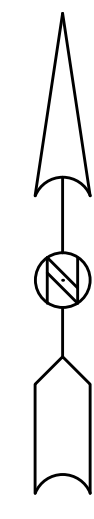


VICINITY MAP



PROPOSED ZONING FOR THE ESTATES OF MONTEFIORI SUBDIVISION

BEING PART OF THE SOUTHEAST QUARTER OF SECTION 14 AND PART OF THE
NORTHEAST QUARTER OF SECTION 23 IN TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE
THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



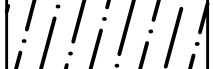
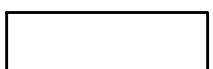
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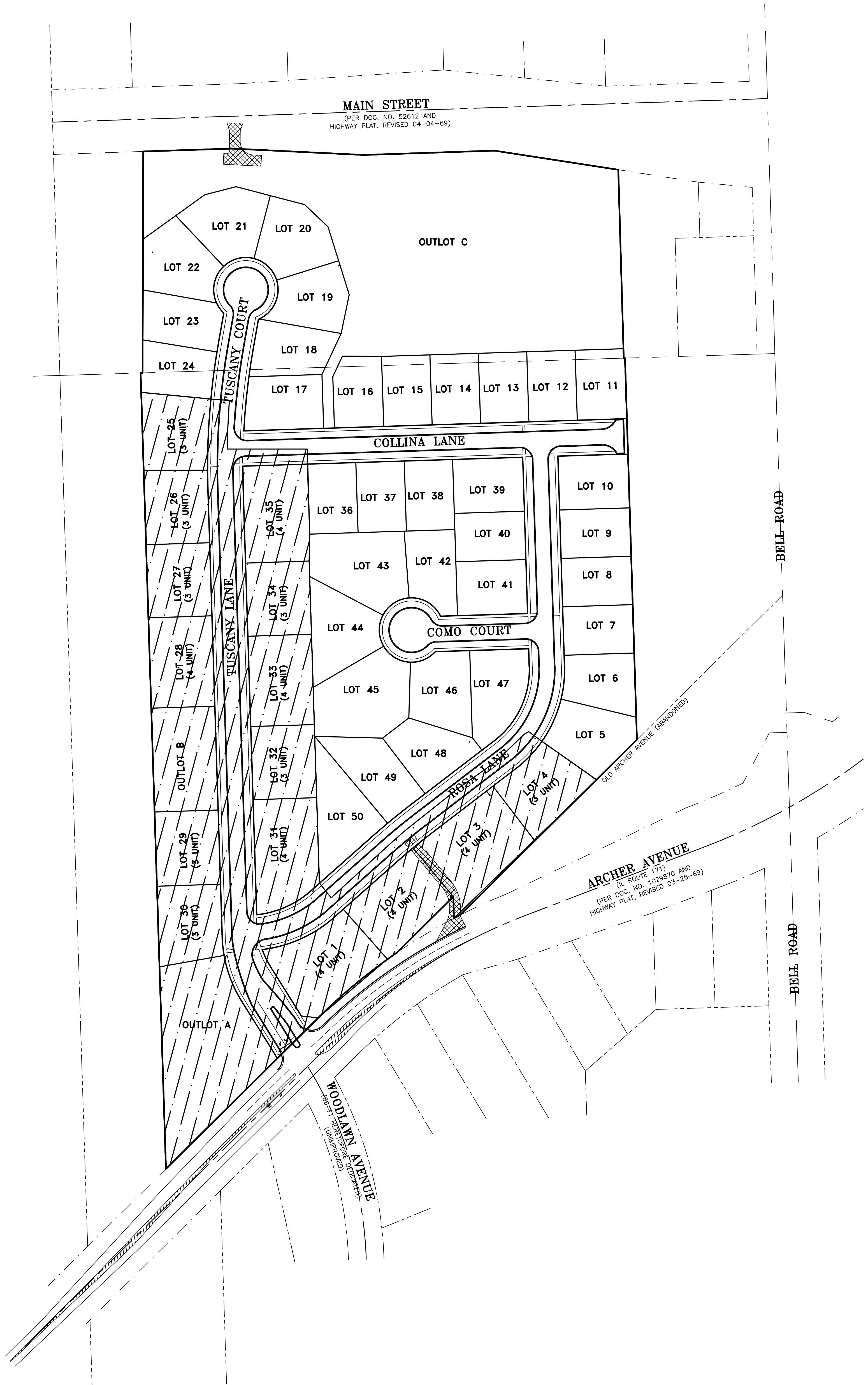
Scale 1" = 100'

SCOPE OF DEVELOPMENT

TOTAL AREA	= 30.58 ACRES (100%)
ROADWAY AREA	= 5.73 ACRES (18.7%)
DETENTION AREA	= 6.98 ACRES (22.9%)
DETENTION LOTS	= OUTLOTS A, B & C
TOTAL RESIDENTIAL AREA	= 17.87 ACRES (58.4%)
SINGLE-FAMILY AREA	= 11.29 ACRES (36.9%)
SINGLE-FAMILY LOTS	= 35 LOTS
MINIMUM LOT SIZE	= 11,700 SF (90-FT X 130-FT)
MINIMUM LOT WIDTH	= 90-FT AT 25-FT BUILDING SETBACK LINE
AVERAGE LOT SIZE	= 14,100 SF (11.29 AC/35 LOTS)
TOWNHOUSE AREA	= 6.58 ACRES (21.5%)
TOWNHOUSE LOTS	= 15 LOTS
3-UNIT LOTS	= 8 LOTS
4-UNIT LOTS	= 7 LOTS
TOWNHOUSE UNITS	= 52 DWELLING UNITS
TOTAL DWELLING UNITS	= 87 UNITS
DENSITY	= 2.8 UNITS/ACRE (87 DU/30.58 AC)

PROPOSED ZONING

	HATCHED AREA - PROPOSED R5 ZONING
	UNHATCHED AREA - PROPOSED R4 ZONING



GJN19203

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

**ESTATES OF MONTEFIORI
SUBDIVISION**

**PROPOSED ZONING
EXHIBIT**
DRAWN BY: CJT JOB # GJN19203
CHECKED BY: CMP DATE: 8/3/2015

DATE	BY	REVISION
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EXHIBIT H

FINDINGS. Based upon the evidence and testimony presented in the public hearing, the Lemont Village Board of Trustees finds the following:

1. The Lemont 2030 Comprehensive Plan's future land use map designates the subject site as Community Retail (CR); however, the appropriateness of the CR land use is not feasible given current market conditions which are not expected to change for the next several years, and limited site visibility on Archer Avenue.
2. The requested R-4 and R-5 zoning is consistent with the existing land use of surrounding properties.
3. The PUD request achieves the UDO 17.08.010C objectives of providing a more desirable living environment by preserving the natural and environmental landscape features of the property in to land development, and encouraging and stimulating economic development within the Village.
4. The PUD will not unreasonably increase the traffic on Bell or Archer Roads.

VILLAGE OF LEMONT

ORDINANCE NO. _____

**AN ORDINANCE GRANTING A ZONING MAP AMENDMENT FOR THE
PROPERTY LOCATED AT 13011 GRANT ROAD IN LEMONT, ILLINOIS**

(Junkyards)

**Adopted by the
President and Board of Trustees
of the Village of Lemont**

This 10th day of August, 2015

**Published in pamphlet form by
authority of the President and
Board of Trustees of the Village
of Lemont, Cook, DuPage, and Will
Counties, Illinois this 10th day of
August, 2015.**

ORDINANCE NO. _____

**AN ORDINANCE GRANTING A ZONING MAP AMENDMENT FOR THE PROPERTY
LOCATED AT 13011 GRANT ROAD IN LEMONT, ILLINOIS**

(Junkyards)

WHEREAS, Simon Bradley as the contract purchaser and lessee of the property (hereinafter referred to as the “Petitioner”) covering approximately 20.91 acres located at 13011 Grant Road, legally described and depicted in Exhibit A (hereinafter referred to as the “Subject Property”), attached hereto and incorporated herein; applied for certain zoning relief, including a map amendment for the Subject Property; and

WHEREAS, the Subject Property is currently owned by three owners, each individually owning separate parcels of the Subject Property and not by Petitioner or any company owned, controlled or managed by Petitioner; and

WHEREAS, the Robert Bily Revocable Trust, Chicago Title Land Trust Company Under Trust Dated 6/3/2009 and Known as Trust No. 80023553226, and Grant Road, LLC are the owners of the Subject Property (hereinafter referred to as the “Owners”); and

WHEREAS, the Owners are desirous to have the Subject Property rezoned from Lemont R-1 Single-Family Detached Residential District to Lemont M-3 Heavy Manufacturing District and have consented to the Petitioner’s application to the Village of Lemont for the same.

WHEREAS, the Petitioner made application under the provisions of the Lemont Unified Development Ordinance (“UDO”) for special use for a planned unit development, preliminary PUD approval, preliminary plat of subdivision, and rezoning to the M-3 Heavy Manufacturing District for the Subject Property; and

WHEREAS, the Planning and Zoning Commission of the Village of Lemont, Illinois, in accordance with the UDO, conducted a public hearing on the petition on December 17, 2014 and voted to recommend approval of the Petitioner’s requests; and

WHEREAS, a notice of the aforesaid Public Hearing was made in the manner provided by law and was published in the *Southtown Star*, a newspaper of general circulation within the Village; and

WHEREAS, the President and Board of Trustees of the Village have reviewed the matter herein and have determined that it is in the best interest of the public health, safety and welfare of the residents of the Village of Lemont to rezone the Subject Property as applied for, and hereby adopt the finding of facts as set forth in Exhibit B as they pertain to the rezoning of the Subject Property only; and

WHEREAS, the President and Board of Trustees of the Village are only approving the rezoning of the Subject Property, which is a portion of the zoning relief sought, and are making

no determination as to the special use for a planned unit development, preliminary PUD approval, and preliminary plat of subdivision sought by the Petitioner, at this time.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE, AND WILL, ILLINOIS:

SECTION 1: Incorporation of Recitals. The foregoing findings and recitals are hereby adopted as Section 1 of this Ordinance and are incorporated by reference as if set forth verbatim herein.

SECTION 2: Zoning Map Amendment. A zoning map amendment from Lemont R-1 Single-Family Detached Residential District to Lemont M-3 Heavy Manufacturing District is granted for the Subject Property.

SECTION 3: General Conditions. Unless otherwise approved by the Village Board the Subject Property shall be subject to and maintained in accordance with Lemont, Illinois Municipal Code.

SECTION 4: The map amendment shall be predicated upon the execution and continued effectiveness of a settlement agreement and entry of an order dismissing the lawsuit with prejudice filed under 2012 CH 39557 in the Circuit Court of Cook County. If the dismissal with prejudice of 2012 CH 39557 is ever to be vacated or the lawsuit is ever reinstated, then at no point shall any of the rights and obligations found in this ordinance be further permitted and the property shall automatically revert back to R1 zoning and any use not permitted in a R1 zoning district in operation at the Subject Property must cease.

SECTION 5: The Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

SECTION 6: This Ordinance shall be in full force and effect from and after its passage, approval and publication provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DuPAGE, ILLINOIS, ON THIS 10th DAY OF AUGUST, 2015.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

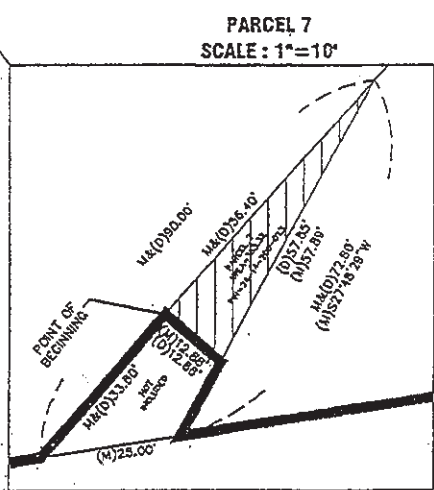
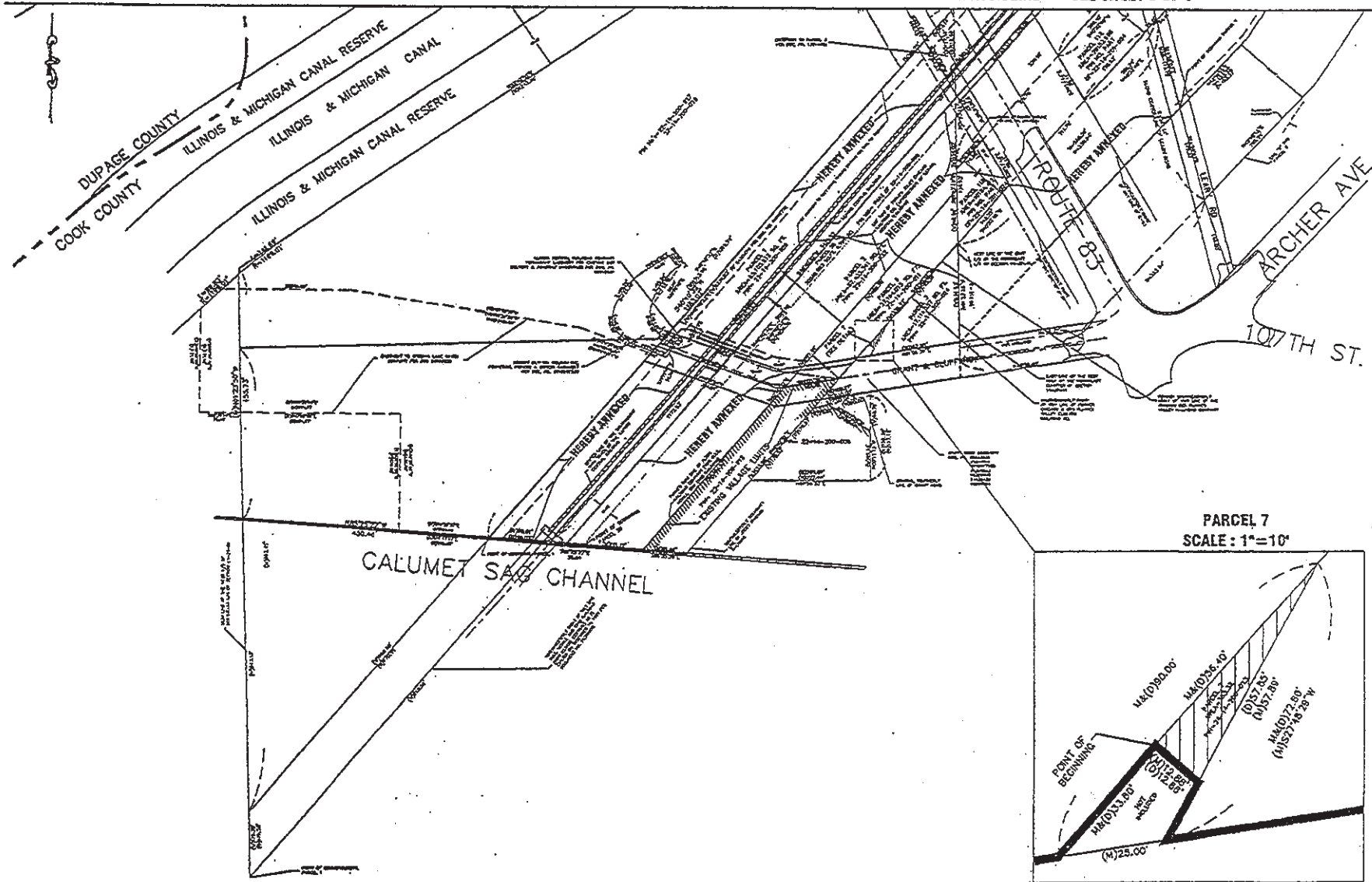
BRIAN K. REAVES, President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

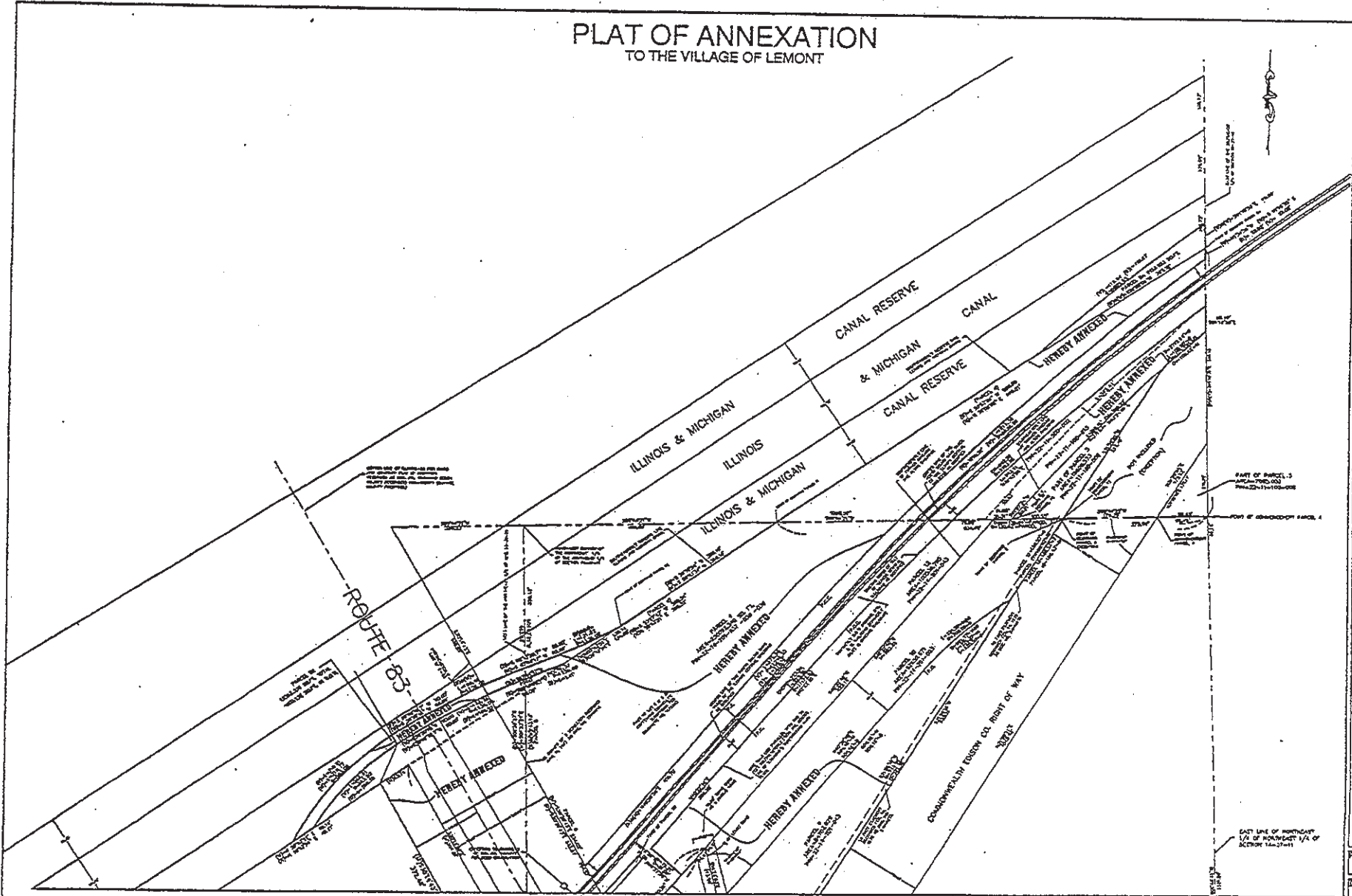
PLAT OF ANNEXATION
TO THE VILLAGE OF LEMONT

MATCH LINE SEE SHEET 3 OF 3



PROJECT NO. 08-94		PREPARED FOR THE VILLAGE OF LEMONT
DRAWING TITLE ANNEX PLAT, DVG		
PREPARED BY (tbe) Hoefler-Butler Engineering, Inc. Consulting Civil Engineers - Land Surveyors 611 S. WASHINGTON ST., SUITE 100, CHICAGO, ILL. 60607 PHONE: 312-467-3700 FAX: 312-467-3701		
DATE: 12.01.88 SCALE: 1"=80' DRAWN BY: JWC CHECKED BY: JWC APPROVED BY: JWC DATE: 12.01.88	REVISIONS NO. DESCRIPTION BY DATE	

PLAT OF ANNEXATION TO THE VILLAGE OF LEMONT



MATCH LINE SEE SHEET 2 OF 3

<p>PREPARED BY the Hoeferle-Butler Engineering, Inc. Consulting Civil Engineers - Land Surveyors PROFESSIONAL REGISTERED IN ILLINOIS P.O. BOX 10715 CHICAGO, ILL. 60610 4407 CHICAGO OFFICE 312-541-2200 ILLINOIS 312-541-2200</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">DATE 12.01.08</td> <td style="width: 50%;">BY [Signature]</td> </tr> <tr> <td>SCALE 1"=50'</td> <td>REVISIONS</td> </tr> <tr> <td colspan="2" style="text-align: center;"> PROJECT NO. 08-94 </td> </tr> <tr> <td colspan="2" style="text-align: center;"> DRAWING TITLE ANNEXPLAT.DWG </td> </tr> <tr> <td colspan="2" style="text-align: center;"> SHEET NO. 3 OF 3 </td> </tr> </table>	DATE 12.01.08	BY [Signature]	SCALE 1"=50'	REVISIONS	PROJECT NO. 08-94		DRAWING TITLE ANNEXPLAT.DWG		SHEET NO. 3 OF 3	
DATE 12.01.08	BY [Signature]										
SCALE 1"=50'	REVISIONS										
PROJECT NO. 08-94											
DRAWING TITLE ANNEXPLAT.DWG											
SHEET NO. 3 OF 3											

Village Board

Agenda Memorandum

To: Mayor Brian Reaves
Village Board of Trustees

From: Ralph Pukula, Public Works Director

Subject: Purchase of a wheel loader thru NJPA

Date: August 10th 2015

BACKGROUND / HISTORY

The Village Board has approved the purchase of a rubber tire wheel loader for the 2015 budget year. National Joint Powers Alliance (NJPA) is a Nationally bid contract that is only offered to Municipalities as well as Non for Profit organizations. This Nationally bid contract enables the member to purchase directly from the manufacturer and eliminate the dealers -bid process. By utilizing its membership, the Village Of Lemont will take advantage of ;

1. \$105,678.72 in manufacturers discounts
 2. Obtain a quality product and avoid paying marked up prices thru dealers.
- The Village is a member of NJPA; member #37147

RECOMMENDATION

1. Purchase the John Deere model 544K thru the NJPA CO-OP for \$145,822.83

ATTACHMENTS (IF APPLICABLE)

1. Quote # 150977
2. NJPA Membership Certificate

Resolution No. _____

A Resolution Approving the Purchase of a John Deere Model 544K Wheel Loader

WHEREAS, it is necessary for the Village of Lemont (“Village”) to purchase a wheel loader; and

WHEREAS, the Village has participated in a national bid from the National Joint Powers Alliance (“NJPA”); and

WHEREAS, the NJPA is a public agency authorized to participate in the Illinois Intergovernmental Cooperation Act, 5 ILCS 220/1 *et. seq.*); as is the Village; and

WHEREAS, the NJPA bids on materials nationwide on behalf of municipalities which provides lower costs for goods to municipal purchasers by allowing the leverage of volume pricing and purchase of materials directly from the manufacturers of certain products; and

WHEREAS, the Village will save over \$100,000.00 by utilizing the bid offered by NJPA for the purchase of a John Deere Model 544K Wheel Loader; and

WHEREAS, the Village Board has determined that it is advisable, necessary and in the best interests of the Village to accept the NJPA’s competitive bidding process and authorize the purchase of the John Deere Model 544 Wheel Loader directly from the manufacturer at a price not to exceed \$145,822.83.

NOW THEREFORE, BE IT RESOLVED BY THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COOK, WILL & DU PAGE COUNTIES, ILLINOIS that:

SECTION ONE: Incorporation of Recitals. The foregoing findings and recitals are hereby adopted as Section One of this Resolution and are incorporated by reference as if set forth verbatim herein.

SECTION TWO: Acceptance of Public Bid Requirements and Authority to Purchase. The Village Board hereby accepts the competitive bidding provided by NJPA to

purchase the John Deere Model 544 Wheel Loader directly from the manufacturer at a price not to exceed \$145,822.83.

SECTION THREE: The Village Administrator or his designee is hereby authorized to execute any documents and take any other steps necessary to purchase the John Deere Model 544 Wheel Loader directly from the manufacturer at a price not to exceed \$145,822.83, and to otherwise carry out this Resolution.

SECTION FOUR: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL AND DUPAGE, ILLINOIS on this 10th day of August, 2015.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk



Randy Earnest
 Village of Lemont
 16680 New Avenue
 Lemont IL 60439
 Phone: 630-257-6421

July 24, 2015

Quote Number 150977 : Wheel Loader 544K, NJPA Cooperative
 Contract 032515-JDC.

All the prices in the detailed sections are Per machine basis.

Machine Configuration

Code	Description	Qty	Unit Price
7640T	544K 4WD LOADER	1	\$185,659.00
0810	STANDARD GATHERING GROUP	1	In Base
0924	FT4 ENGINE	1	\$18,119.00
1010	STD 544K LOADER	1	In Base
1110	TRANSMISSION WO AX DISC	1	-\$3,900.00
1215	130AMP ALTERNATOR	1	\$585.00
1330	MUFFLER WITH CHROME EXHAUST	1	\$344.00
1430	AIR INTAKE W PRECLEANER	1	\$617.00
1520	REVERSE FAN DRIVE	1	\$1,550.00
1610	FUEL TANK W STD FILTER	1	In Base
1700	JD LINK ULTIMATE NA 3YR	1	In Base
1910	STEERING CYLINDER GREASED	1	In Base
2010	STD ZB BOOM W STD LINKAGE	1	In Base
2120	CONVENTIONAL STEERING	1	In Base
2230	SEAT, DELUXE W/O LH STEERING	1	\$829.00
2432	3FN/JYSTK/1AUX/FNR	1	\$2,929.00
2510	RIDE CONTROL SYSTEM	1	\$4,015.00
2605	ENGLISH DECALS	1	\$0.01
2715	15 AMP CONVERTER	1	\$115.00
2890	NO PAYLOAD SCALE	1	In Base
3049	AXLE,W/ HYD FRONT & REAR	1	\$1,953.00
3110	AXLE AUTO DIFF LOCK	1	\$1,429.00
4421	20.5R25 1 STAR L3 MI-3PC RIM	1	\$19,030.00
5530	STD FRT FNDRS/R PLATFORM	1	In Base
5610	LEFT SIDE STEPS	1	In Base
7120	HD LED MARKER/TURN LIGHTS	1	\$257.00

8220	CAST HITCH	1	\$688.00
8310	OUTSIDE MIRRORS	1	In Base
8422	CAB WITH AIR	1	\$12,100.00
8450	AC CHARGE	1	In Base
8550	BUCKET PINS	1	\$595.00
9015	ENGINE BLOCK HEATER	1	\$243.00
9065	AXLE COOLER	1	\$2,071.00
9106	STD RADIO AM/FM/WB	1	\$576.00
9420	TRANSMISSION GUARDS	1	\$450.00
9430	BOTTOM GUARDS	1	\$1,362.00
Total			\$251,616.01
Discount (42%)			\$105,678.72
Net Price			\$145,937.29

Custom Jobs

Code	Description	Qty	Price
	Dlr Provide Pre-Delivery Inspection	1	\$900.00
	Dlr Local Delivery	1	\$600.00
	Dlr Provide Paper Parts/Repair Manuals	1	\$350.00
	Dlr Provide JRB Hyd Coupler	1	\$3,030.00
	Dlr Provide JRB 3.0 CY Bkt	1	\$4,801.11
	Dlr Provide JRB Forks 96/60	1	\$4,802.22
	Dlr Provide JRB Items Install	1	\$346.67
Total			\$14,830.00

TradeIns

Make	Model	Year	Description	Qty	Trade-in Unit Price
JCB	214S	0	Backhoe	1	\$16,000.00
Total TradeIns Price					\$16,000.00

Quote Summary - Wheel Loader 544K (per unit)	
Item Description	Prices
Machine Net Price	\$145,937.29
Custom Jobs	\$14,830.00
Less Trade-ins	-\$16,000.00
Price per Machine	\$144,767.29

Destination	Freight Charge
Rockdale, IL	\$1,055.54

Total Net Price (Quantity = 1) \$145,822.83

Warranty Terms

544K includes Standard Warranty of 12 months.

Remarks:

Please note that this quote is valid for 30 days.

Contact Richard Murga - Phone: 309-765-0260, Fax: 309-765-3358, Email:
MurgaRichard@JohnDeere.com -- Purchase Order must be made out to: John Deere
Construction Retail Sales, 1515 Fifth Avenue, Moline, IL 61265. FED TAX ID: 36-3387700,
DUNS: 142124762.



Official

CERTIFICATE OF MEMBERSHIP

Village of Lemont

Member #37147

This certificate entitles the entity named above the opportunity to purchase off of nationally, competitively solicited contracts. The entity will save time by using NJPA contracts, save money by leveraged volume pricing and obtain quality products from nationally acclaimed vendors.

A handwritten signature in black ink, appearing to read "Chad Coquette", is written over a horizontal line.

Dr. Chad Coquette, PhD, Executive Director / CEO



Competitively Solicited National Cooperative Contract Solutions