

Village of Lemont

Mayor
Brian K. Reaves

Village Clerk
Charlene Smollen

Administrator
George J. Schafer



Trustees
Debby Blatzer
Paul Chialdikas
Clifford Miklos
Rick Sniegowski
Ronald Stapleton
Jeanette Virgilio

VILLAGE BOARD MEETING

September 14, 2015 – 7:00 PM

Village Hall – 418 Main Street

AGENDA

- I. PLEDGE OF ALLEGIANCE**
- II. ROLL CALL**
- III. CONSENT AGENDA**
 - A. APPROVAL OF MINUTES**
 - 1. AUGUST 24, 2015 VILLAGE BOARD MEETING MINUTES**
 - B. APPROVAL OF DISBURSEMENTS**
 - C. AN ORDINANCE AMENDING LEMONT MUNICIPAL CODE CHAPTER 5.04: LIQUOR LICENSES (DECREASING AND ISSUING CLASS A-3 LIQUOR LICENSE)**
- IV. MAYOR'S REPORT**
 - A. LEMONT POLICE OFFICERS RECOGNITION**
 - B. AUDIENCE PARTICIPATION**
- V. CLERK'S REPORT**
 - A. CORRESPONDENCE**
 - B. ORDINANCES**
 - 1. AN ORDINANCE AMENDING TITLE 17 OF THE LEMONT MUNICIPAL CODE, THE LEMONT UNIFIED DEVELOPMENT ORDINANCE OF 2008 (UDO AMENDMENTS) (PLANNING & ED)(STAPLETON)(JONES/MILWAY)**
 - 2. AN ORDINANCE GRANTING FINAL PLAN/PLAT APPROVAL, SPECIAL USE FOR A FINAL PLANNED UNIT DEVELOPMENT (PUD) AND ZONING MAP AMENDMENT FOR A DRIVE THROUGH DUNKIN DONUTS LOCATED AT 15629 127TH STREET IN LEMONT, ILLINOIS (DRIVE-THRU DUNKIN DONUTS) (PLANNING & ED)(STAPLETON)(JONES/MILWAY)**

RESOLUTION

- 1. A RESOLUTION OF OBJECTION TO THE IMPROPER ANNEXATION OF COOK COUNTY FOREST PRESERVE DISTRICT LAND TO PALOS PARK (ADMINISTRATION)(REAVES)(SCHAFER)**

- VI. VILLAGE ATTORNEY REPORT**
- VII. VILLAGE ADMINISTRATOR REPORT**
- VIII. BOARD REPORTS**
- IX. STAFF REPORTS**
- X. UNFINISHED BUSINESS**
- XI. NEW BUSINESS**
- XII. MOTION FOR EXECUTIVE SESSION**
- XIII. ACTION ON CLOSED SESSION ITEM(S)**
- XIV. MOTION TO ADJOURN**

Minutes
VILLAGE BOARD MEETING
Village Hall – 418 Main Street
August 24, 2015
7:00 p.m.

The regular meeting of the Lemont Village Board was held on Monday, August 24, 2015, at 7:00 p.m., with Mayor Reaves presiding.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL

Roll call: Virgilio, Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, present.

III. CONSENT AGENDA

Motion by Blatzer, seconded by Sniegowski, to approve the following items on the consent agenda by omnibus vote:

A. Approval of Minutes

1. July 27, 2015 Village Board Meeting Minutes
2. August 10, 2015 Village Board Meeting Minutes
3. August 17, 2015 Committee of the Whole Meeting Minutes

B. Approval of Disbursements.

C. Resolution R-43-15 Accepting a Plat of Easement for Sanitary Sewer & Water Main Purposes.

D. Resolution R-44-15 Accepting a Sanitary Sewer and Water Main Easement from ComEd (Lemont SR 4504150).

Roll Call: Virgilio, Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton; 6 ayes. Motion passed.

IV. MAYOR'S REPORT

A. Payroll Week Proclamation – Motion made by Blatzer, seconded by Miklos, to approve said proclamation. VV 6 ayes. Motion passed.

B. Vic Splitt was honored for his 26 years of service on the Police Commission.

C. Palos Park Annexation – The Mayor spoke of the attempt by Palos Park to annex property in Lemont Township in unincorporated Cook County. All maps and Cook County Commissioner contact information will be located on our Village website so residents can call or write the Commissioners expressing why Palos Park should not annex the Forest Preserve District property.

D. Audience Participation – Various residents spoke at their places.

1. Palos tried to annex Equestrian Estates years ago. They don't want them. One resident asked about attending the Palos Board Meeting. There will be points on the website to use. They all can attend the September 14 Palos Meeting together.
2. A resident of 648 Woodglen brought paperwork to reduce train horns in the Village. The Mayor said we have looked into this. It is very sensitive and we continue to work on this.

V. **CLERK'S REPORT**

A. **ORDINANCE**

1. Ordinance O-27-15 Granting Preliminary Plan/Plat Approval and Special Use for a Planned Unit Development (PUD) for an Eight Unit Residential Development Located in the 500 Block of Porter and Illinois Streets, in Lemont, IL (508 Illinois Street). Motion by Miklos, seconded by Sniegowski, to adopt said Ordinance. Roll call: Virgilio, Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton; 6 ayes. Motion passed.

B. **RESOLUTIONS**

1. Resolution R-45-15 Authorizing Award of Contract 2015 Sanitary Sewer Cleaning & Televising. Motion by Blatzer, seconded by Chialdikas, to adopt said Resolution. Roll call: Virgilio, Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton; 6 ayes. Motion passed.
2. Resolution R-46-15 Authorizing Award of Contract – Lemont East Utility Extension – Phase One: Bell Road Utility Extension to McCarthy Rd. Motion by Chialdikas, seconded by Blatzer, to adopt said Resolution. Virgilio, Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton; 6 ayes. Motion passed.
3. Resolution R-47-15 Authorizing the Order and Purchase of Vehicles. Motion by Chialdikas, seconded by Blatzer, to adopt said Resolution. Virgilio, Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton; 6 ayes. Motion passed.

VI. **VILLAGE ATTORNEY REPORT**

VII. **VILLAGE ADMINISTRATOR REPORT**

VIII. **BOARD REPORTS**

IX. **STAFF REPORTS**

X. **UNFINISHED BUSINESS - NONE**

XI. **MOTION FOR EXECUTIVE SESSION**

Motion by Blatzer, seconded by Stapleton, to move into Executive Session(s) for the purpose of discussing Threatened Litigation and Personnel. Virgilio, Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton; 6 ayes. Motion passed.

XII. **ACTION ON CLOSED SESSION ITEM**

XIII. **MOTION TO ADJOURN**

There being no further business, a motion was made by Blatzer, seconded by Stapleton, to adjourn the meeting at 9:35 p.m. VV 6 ayes. Motion passed.

Payment Register

From Payment Date: 8/25/2015 - To Payment Date: 9/14/2015

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
FM-Clearing - Accounts Payable									
Check									
12611	08/27/2015	Voided	Incorrect Payee	08/31/2015	Licensing Refund	Spencer, Roy	\$100.00		
					Licensee Type	Licensee Number	Transaction Date	Transaction Type	
					Business	742	08/27/2015	Refund	
12612	08/31/2015	Open			Utility Management Refund	JOE OREDNICK	\$10.75		
12613	08/31/2015	Open			Utility Management Refund	MENO, CHRISTOPHER	\$180.25		
					Account Type	Account Number	Description	Transaction Date	Transaction Type
					Single Family	101006-002	Refund final balance.	08/27/2015	Refund
12614	08/31/2015	Open			Utility Management Refund	KAATZ , RICK	\$10.23		
					Account Type	Account Number	Description	Transaction Date	Transaction Type
					Single Family	101040-002	Refund final balance	08/27/2015	Refund
12615	08/31/2015	Open			Utility Management Refund	REMEDI, PETER	\$174.90		
					Account Type	Account Number	Description	Transaction Date	Transaction Type
					Single Family	107654-002	Refund overpayment, three payments made online	08/27/2015	Refund
12616	08/31/2015	Open			Accounts Payable	Zimmermann, John, J	\$788.75		
					Invoice	Date	Description	Amount	
					15-08-20	08/20/2015	reimbursement of closing fees on Athen Knolls property	\$788.75	
12617	09/01/2015	Open			Accounts Payable	Commonwealth Edison Company	\$43,000.00		
					Invoice	Date	Description	Amount	
					15-09-01	09/01/2015	Easement - R-44-15	\$43,000.00	
12618	09/14/2015	Open			Accounts Payable	5th Avenue Construction	\$15,500.00		
					Invoice	Date	Description	Amount	
					2014-00000364	08/21/2015	refund clean up deposit - 13142 Ballycastle Ct	\$1,000.00	
					2014-00000364(L)	08/21/2015	refund Landscape Bond - 13142 Ballycastle Ct	\$5,000.00	
					2014-00000364(T)	08/21/2015	refund Temp CO Bond - 13142 Ballycastle Ct	\$500.00	
					2014-00000392	08/21/2015	refund Clean Up Deposit - 12828 Tullamore Ln	\$1,000.00	
					2014-00000392(L)	08/21/2015	refund landscape Bond - 12828 Tullamore Ln	\$7,500.00	
					2014-00000392(T)	08/21/2015	refund Temp CO Bond - 12828 Tullamor Ln	\$500.00	
12619	09/14/2015	Open			Accounts Payable	Amalgamated Bank of Chicago	\$1,425.00		
					Invoice	Date	Description	Amount	
					15-09-01-7002	09/01/2015	Series 2014A bond fees #7002	\$475.00	
					15-09-01-8001	09/01/2015	Series 2014B bond fees #8001	\$475.00	
					15-09-01-4009	09/01/2015	Series 2012C bond fees #4009	\$475.00	
12620	09/14/2015	Open			Accounts Payable	ASCAP	\$357.52		
					Invoice	Date	Description	Amount	
					15-08-20	08/20/2015	500579457 license fee	\$357.52	
12621	09/14/2015	Open			Accounts Payable	Ashbury Woods Development LLC	\$1,000.00		
					Invoice	Date	Description	Amount	
					2015-00000030	08/27/2015	refund clean up deposit - 760 Woodglen Ln	\$1,000.00	

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Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
12622	09/14/2015	Open			Accounts Payable	AT&T Illinois	\$1,885.29		
	Invoice		Date	Description		Amount			
	63024304480815		08/13/2015	630 243-0448 146 1 chestnut crossing l/s		\$91.92			
	63024304590815		08/13/2015	630 243-0459 681 3 oak tree l/s		\$100.43			
	63024373750815		08/13/2015	630 243-7375 749 4 art & culture commission		\$151.23			
	63024317390815		08/13/2015	630 243-1739 155 8 well #6		\$185.40			
	63024312300815		08/13/2015	630 243-1230 805 2 eagle ridge l/s		\$96.22			
	63024314680815		08/13/2015	630 243-1468 926 9 parking garage		\$187.50			
	63024316090815		08/13/2015	630 243-1609 403 9 kohls-target l/s		\$75.50			
	63025719820815		08/25/2015	630 257-1982 589 2 ruffled fthrs l/s		\$93.52			
	63025704360815		08/25/2015	630 257-0436 056 6 glens of connemara l/s		\$96.22			
	63025795390815		08/25/2015	630 257-9539 074 6 keepataw trails l/s		\$92.33			
	63025752720815		08/25/2015	630 257-5272 181 8 metra station		\$114.84			
	63025724740815		08/25/2015	630 257-2474 474 0 p.d. phone line		\$246.38			
	63025722900815		08/25/2015	630 257-2290 820 6 well #3		\$156.56			
	63025759360815		08/25/2015	630 257-5936 976 9 well #4		\$101.37			
	63025752710815		08/25/2015	630 257-5271 183 5 harpers grove l/s		\$95.87			
12623	09/14/2015	Open			Accounts Payable	Avalon Petroleum Company	\$15,106.36		
	Invoice		Date	Description		Amount			
	458656		07/31/2015	1472 gals unl fuel		\$3,356.16			
	458760		08/14/2015	1022 gals unl fuel		\$3,060.89			
	458709		08/07/2015	1100 gals unl fuel		\$2,530.00			
	016157		08/14/2015	1650 gals dsl fuel		\$3,564.00			
	458830		08/25/2015	1055 gals unl fuel		\$2,595.31			
12624	09/14/2015	Open			Accounts Payable	Award Emblem Mfg. Co., Inc.	\$105.60		
	Invoice		Date	Description		Amount			
	390928		08/19/2015	awards - car show		\$105.60			
12625	09/14/2015	Open			Accounts Payable	Azavar Audit Solutions	\$2,272.57		
	Invoice		Date	Description		Amount			
	11164		09/01/2015	Sep 2015 utility audit contingency pmt		\$2,272.57			
12626	09/14/2015	Open			Accounts Payable	Ballard, Thomas	\$103.16		
	Invoice		Date	Description		Amount			
	15-08-30		08/30/2015	Personnel Developmnt (dues, reimb for travel etc to meetings etc)		\$103.16			
12627	09/14/2015	Open			Accounts Payable	Bell Oak Development Corporation	\$6,426.85		
	Invoice		Date	Description		Amount			
	15-08-24		08/24/2015	East St recapture		\$6,426.85			
12628	09/14/2015	Open			Accounts Payable	Bode, Denise, G	\$250.00		
	Invoice		Date	Description		Amount			
	15-08-26		08/26/2015	8/24, 8/26 training classes		\$250.00			
12629	09/14/2015	Open			Accounts Payable	Call One	\$1,842.84		
	Invoice		Date	Description		Amount			
	15-08-15		08/15/2015	1010-7801-0000 v.h., p.d., p.w. phones		\$1,842.84			
12630	09/14/2015	Open			Accounts Payable	Carey C. Cosentino, PC	\$2,000.00		
	Invoice		Date	Description		Amount			
	15-09-01		09/01/2015	Aug 2015 legal		\$2,000.00			

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Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
12631	09/14/2015	Open			Accounts Payable	Castletown Homes, Inc.	\$1,000.00		
	Invoice		Date	Description		Amount			
	2014-00000686		08/24/2015	refund Clean Up Deposit - 12945 Klappa Dr		\$1,000.00			
12632	09/14/2015	Open			Accounts Payable	Comcast Cable	\$621.77		
	Invoice		Date	Description		Amount			
	15-08-1615		08/24/2015	8771 20 147 0001615 v.h. cable TV		\$29.50			
	15-08-8896		08/22/2015	8771 20 147 0138896 p.w. cable/internet		\$592.27			
12633	09/14/2015	Open			Accounts Payable	ComEd	\$5,414.36		
	Invoice		Date	Description		Amount			
	15-08-2027		08/18/2015	6235062027 - street lights - 0 WS Rolling Mdw Dr		\$3,813.08			
	15-08-0007		08/27/2015	1173160007 - street lights - talcott, e of stephen		\$124.96			
	15-08-4007		08/27/2015	2834014007 - street lights - Lite Rte 25 1080 Norwalk Rd		\$439.30			
	15-08-4052		08/27/2015	2163104052 - street lights - stephen st 1 S river		\$44.19			
	15-08-6007		08/27/2015	7710116007 - street lights - Stephen St, alley off canal		\$81.94			
	15-08-6066		08/28/2015	1763156066 - street lights - 0 Main St, Stephen St		\$267.39			
	15-08-7008		08/27/2015	1274527008 - street lights - Stephen, Sani Canal		\$5.06			
	15-08-8014		08/27/2015	3909078014 - street lights - illinois, e of stephen		\$14.56			
	15-08-8023		08/27/2015	2124138023 - street lights - 164 E Peiffer		\$33.12			
	15-08-9011		08/26/2015	6534089011 - street lights - 411 Singer Ave Rear		\$303.52			
	15-08-9011(2)		08/27/2015	6534089011 - street lights - 411 Singer Ave Rear		\$287.24			
12634	09/14/2015	Open			Accounts Payable	Compass Minerals America	\$10,825.81		
	Invoice		Date	Description		Amount			
	71367966		08/14/2015	softener salt		\$2,735.96			
	71367965		08/14/2015	softener salt		\$2,551.21			
	71372588		08/26/2015	softener salt		\$2,704.89			
	71371980		08/25/2015	softener salt		\$2,833.75			
12635	09/14/2015	Open			Accounts Payable	Conley Excavating, Inc.	\$23,868.77		
	Invoice		Date	Description		Amount			
	14490-3SF		09/04/2015	Crestview Water Main Replacement		\$23,868.77			
12636	09/14/2015	Open			Accounts Payable	Constellation Energy Services Inc	\$31,212.91		
	Invoice		Date	Description		Amount			
	57084385		09/01/2015	IL-EL-1132881-0 - Aug 2015 electricity		\$31,212.91			
12637	09/14/2015	Open			Accounts Payable	Cook County Recorder of Deeds	\$724.00		
	Invoice		Date	Description		Amount			
	2727312015		07/31/2015	recordings		\$724.00			
12638	09/14/2015	Open			Accounts Payable	Courtney's Safety Lane Inc	\$35.00		
	Invoice		Date	Description		Amount			
	5715		08/27/2015	safety inspection - 1893		\$35.00			
12639	09/14/2015	Open			Accounts Payable	Crawford, Murphy, Tilly, Inc.	\$725.00		
	Invoice		Date	Description		Amount			
	105877		08/14/2015	engineering		\$725.00			
12640	09/14/2015	Open			Accounts Payable	Dynegy Energy Services LLC	\$3,051.54		
	Invoice		Date	Description		Amount			
	153917615081		08/31/2015	GMCVLG1004		\$3,051.54			

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Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
12641	09/14/2015	Open			Accounts Payable	EJ USA, Inc.	\$930.00		
	Invoice		Date	Description		Amount			
	3874908		08/22/2015	Repair Parts		\$760.00			
	3877437		08/28/2015	Hydrant repair parts		\$170.00			
12642	09/14/2015	Open			Accounts Payable	ETP Labs Inc./EnviroTest/Perry Laboratories Inc.	\$240.00		
	Invoice		Date	Description		Amount			
	15-131191		08/13/2015	Sample testing		\$240.00			
12643	09/14/2015	Open			Accounts Payable	Fastenal Company	\$62.36		
	Invoice		Date	Description		Amount			
	ILROM84484		08/03/2015	Hardware		\$62.36			
12644	09/14/2015	Open			Accounts Payable	Frank Novotny & Associates, Inc.	\$60,501.85		
	Invoice		Date	Description		Amount			
	12158-17		08/31/2015	Art Logistics Building		\$378.00			
	14406-2		08/31/2015	2015 MFT Road Resurfacing Program		\$5,527.70			
	12158-18		08/31/2015	Art Logistics - 13065 Main St		\$594.00			
	14127-5		08/31/2015	127th St Garden Center		\$156.00			
	12387-13		08/31/2015	Kettering Subdivision		\$198.00			
	06172-10		08/31/2015	Bella Strada Condos - Case 2006-08		\$780.00			
	15101-2		08/31/2015	Fresenius Medical Center		\$156.00			
	15202-1		08/31/2015	Equestrian Meadows Subdivision		\$546.00			
	15203-1		08/31/2015	Dunkin Donuts		\$624.00			
	13286-8		08/31/2015	Blaze Rugby Complex		\$190.65			
	13237-11		08/31/2015	Birch Path P.U.D.		\$1,110.00			
	14397-5		08/31/2015	902 East St Townhomes		\$78.00			
	14403-3		08/31/2015	Ledochowski St Water Main Replacement		\$16,125.00			
	14490-3		08/31/2015	Crestview Dr Water Main Replacement		\$18,066.00			
	14505-3		08/31/2015	Hillview Dr Storm Sewer		\$5,230.00			
	15161-2		08/31/2015	508 Illinois St P.U.D.		\$390.00			
	15109-3		08/31/2015	Montefiori Property Redevelopment		\$624.00			
	15135-3		08/31/2015	Seven Oaks Townhomes		\$312.00			
	15228-1		08/31/2015	2015 Sewer Cleaning and Televising		\$2,794.00			
	15192-1		09/01/2015	2015 Pavement Striping Program		\$6,622.50			
12645	09/14/2015	Open			Accounts Payable	G & K Services, Inc.	\$62.08		
	Invoice		Date	Description		Amount			
	1028242379		08/20/2015	V.H. carpet mats		\$62.08			
12646	09/14/2015	Open			Accounts Payable	Gallagher Materials, Inc.	\$1,149.12		
	Invoice		Date	Description		Amount			
	117421MB		08/20/2015	Cold Patch		\$1,149.12			
12647	09/14/2015	Open			Accounts Payable	Guaranteed Technical Services And Consulting, Inc.	\$3,926.96		
	Invoice		Date	Description		Amount			
	2012809		08/26/2015	I.T. Support		\$1,932.32			
	2012837		09/04/2015	I.T. Support		\$1,994.64			
12648	09/14/2015	Open			Accounts Payable	Halper, Peggy	\$294.00		
	Invoice		Date	Description		Amount			
	0071		08/25/2015	Outside Services-all professional services		\$294.00			

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Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
12649	09/14/2015	Open			Accounts Payable	Illinois State Treasurer	\$2,693.70		
	Invoice		Date	Description		Amount			
	42796		07/06/2015	25528 - traffic signal maintenance		\$2,693.70			
12650	09/14/2015	Open			Accounts Payable	Imperial Service Systems Inc	\$1,009.00		
	Invoice		Date	Description		Amount			
	88134		09/01/2015	Sep 2015 janitorial service		\$1,009.00			
12651	09/14/2015	Open			Accounts Payable	Inkwell, Ltd.	\$280.76		
	Invoice		Date	Description		Amount			
	68783		08/24/2015	office supplies		\$280.76			
12652	09/14/2015	Open			Accounts Payable	John Deere Construction Retail Sales	\$145,822.83		
	Invoice		Date	Description		Amount			
	38190		08/24/2015	544K end loader		\$145,822.83			
12653	09/14/2015	Open			Accounts Payable	John Thomas, Inc	\$6,068.85		
	Invoice		Date	Description		Amount			
	10951		08/13/2015	Stealth pads		\$4,854.50			
	11002		09/03/2015	Stealth pads		\$1,214.35			
12654	09/14/2015	Open			Accounts Payable	Johnson, Depp & Quisenberry, PSC	\$1,530.00		
	Invoice		Date	Description		Amount			
	15-09-02		09/02/2015	Jul & Aug 2015 OAN consulting		\$1,530.00			
12655	09/14/2015	Open			Accounts Payable	Kustom Signals, Inc.	\$4,166.00		
	Invoice		Date	Description		Amount			
	320622		08/07/2015	Radars		\$4,166.00			
12656	09/14/2015	Open			Accounts Payable	LEAF	\$954.49		
	Invoice		Date	Description		Amount			
	5910229		08/21/2015	046-2580918-001 copier lease		\$277.98			
	5910230		08/21/2015	046-2580918-002		\$676.51			
12657	09/14/2015	Open			Accounts Payable	Lemont Ace Hardware	\$0.96		
	Invoice		Date	Description		Amount			
	15-09-01		09/01/2015	3962 - Aug hardware purchases		\$0.96			
12658	09/14/2015	Open			Accounts Payable	Lemont Area Chamber of Commerce	\$360.00		
	Invoice		Date	Description		Amount			
	113618		06/23/2015	McDonald's paid membership to Village in error		\$360.00			
12659	09/14/2015	Open			Accounts Payable	Lemont Fire Protection District	\$900.00		
	Invoice		Date	Description		Amount			
	15-08-31		08/31/2015	impact fees		\$900.00			
12660	09/14/2015	Open			Accounts Payable	Lemont High School Dist 210	\$10,848.00		
	Invoice		Date	Description		Amount			
	15-08-31		08/31/2015	impact fees		\$10,848.00			
12661	09/14/2015	Open			Accounts Payable	Lemont Park District	\$13,045.50		
	Invoice		Date	Description		Amount			
	15-08-01		08/31/2015	impact fees		\$13,045.50			
12662	09/14/2015	Open			Accounts Payable	Lemont Public Library District	\$1,426.74		
	Invoice		Date	Description		Amount			
	15-08-31		08/31/2015	impact fees		\$1,426.74			

Payment Register

From Payment Date: 8/25/2015 - To Payment Date: 9/14/2015

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
12663	09/14/2015	Open			Accounts Payable	Lemont-Bromberek Combined School District 113A	\$22,049.04		
	<u>Invoice</u>		<u>Date</u>		<u>Description</u>		<u>Amount</u>		
	15-08-31		08/31/2015		impact fees		\$22,049.04		
12664	09/14/2015	Open			Accounts Payable	Menards	\$24.97		
	<u>Invoice</u>		<u>Date</u>		<u>Description</u>		<u>Amount</u>		
	68918		08/13/2015		Maint. Supplies		\$24.97		
12665	09/14/2015	Open			Accounts Payable	Metropolitan Industries Inc	\$2,140.00		
	<u>Invoice</u>		<u>Date</u>		<u>Description</u>		<u>Amount</u>		
	0000300748		09/14/2015		Sewer Service		\$2,140.00		
12666	09/14/2015	Open			Accounts Payable	Muffins Ice Cream Shoppe	\$762.00		
	<u>Invoice</u>		<u>Date</u>		<u>Description</u>		<u>Amount</u>		
	1021		08/17/2015		508 ice creams		\$762.00		
12667	09/14/2015	Open			Accounts Payable	Municipal Clerk's Association	\$30.00		
	<u>Invoice</u>		<u>Date</u>		<u>Description</u>		<u>Amount</u>		
	15-08-28		08/28/2015		2015-16 membership renewal		\$30.00		
12668	09/14/2015	Open			Accounts Payable	Napa Auto Parts	\$149.00		
	<u>Invoice</u>		<u>Date</u>		<u>Description</u>		<u>Amount</u>		
	10000063162		08/24/2015		parts subscription service		\$149.00		
12669	09/14/2015	Open			Accounts Payable	NiCor Gas	\$159.02		
	<u>Invoice</u>		<u>Date</u>		<u>Description</u>		<u>Amount</u>		
	15/08-0043 0		08/17/2015		69-22-85-0043 0 ruffled fthrs l/s		\$82.58		
	15/08-9378 5		08/17/2015		25-59-90-9378 5 well #6		\$24.63		
	15/08-8700 1		08/19/2015		93-56-54-8700 1 smith farms l/s		\$26.56		
	15/08-9589 2		08/20/2015		37-62-87-9589 2 target-kohls l/s		\$25.25		
12670	09/14/2015	Open			Accounts Payable	North East Multi-Regional Training Inc	\$375.00		
	<u>Invoice</u>		<u>Date</u>		<u>Description</u>		<u>Amount</u>		
	199044		08/12/2015		Training - Menzione		\$375.00		
12671	09/14/2015	Open			Accounts Payable	OfficeMax Incorporated	\$155.99		
	<u>Invoice</u>		<u>Date</u>		<u>Description</u>		<u>Amount</u>		
	416060		08/14/2015		Office Supplies		\$155.99		
12672	09/14/2015	Open			Accounts Payable	Orange Crush, LLC	\$5,326.84		
	<u>Invoice</u>		<u>Date</u>		<u>Description</u>		<u>Amount</u>		
	490885		08/18/2015		Blacktop		\$423.47		
	490976		08/19/2015		Blacktop		\$1,230.13		
	490663		08/17/2015		Blacktop		\$424.53		
	491921		08/27/2015		blacktop		\$1,762.06		
	491765		08/26/2015		blacktop		\$1,486.65		
12673	09/14/2015	Open			Accounts Payable	Patriot Landscape & Maintenance Inc	\$881.50		
	<u>Invoice</u>		<u>Date</u>		<u>Description</u>		<u>Amount</u>		
	2063		07/23/2015		mowing vacant properties		\$130.00		
	2417		08/20/2015		mowing vacant properties		\$751.50		
12674	09/14/2015	Open			Accounts Payable	PDC Laboratories	\$1,487.50		
	<u>Invoice</u>		<u>Date</u>		<u>Description</u>		<u>Amount</u>		
	808479		08/15/2015		Sample testing		\$1,487.50		

Payment Register

From Payment Date: 8/25/2015 - To Payment Date: 9/14/2015

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
12675	09/14/2015	Open			Accounts Payable	Pelen, Laura	\$2,080.00		
	Invoice		Date	Description			Amount		
	VOL 2015-102		09/04/2015	marketing consulting services			\$2,080.00		
12676	09/14/2015	Open			Accounts Payable	Promos 911 Inc	\$140.32		
	Invoice		Date	Description			Amount		
	5318		08/03/2015	Kops N Kidz			\$140.32		
12677	09/14/2015	Open			Accounts Payable	Purchase Power	\$2,020.99		
	Invoice		Date	Description			Amount		
	15-08-21		08/20/2015	postage meter refill			\$2,020.99		
12678	09/14/2015	Open			Accounts Payable	Quantum Marketing, LLC	\$620.99		
	Invoice		Date	Description			Amount		
	18166		08/06/2015	500 imprinted rulers			\$620.99		
12679	09/14/2015	Open			Accounts Payable	Quill Corporation	\$287.67		
	Invoice		Date	Description			Amount		
	6757481		08/12/2015	office supplies			\$180.69		
	6880299		08/17/2015	breakroom supplies			\$47.99		
	6777774		08/12/2015	Breakroom Supplies			\$58.99		
12680	09/14/2015	Open			Accounts Payable	Rag's Electric	\$2,675.28		
	Invoice		Date	Description			Amount		
	20218		08/11/2015	Light repair			\$542.00		
	20223		08/20/2015	Light Repair			\$1,525.28		
	20188		08/05/2015	Light Re-inspection			\$393.00		
	20221		08/11/2015	Street Light Inspection			\$215.00		
12681	09/14/2015	Open			Accounts Payable	Rainbow Printing	\$309.90		
	Invoice		Date	Description			Amount		
	411363		08/13/2015	#10 utility bill window envelopes			\$179.95		
	411408		09/02/2015	Final Grading Survey forms			\$129.95		
12682	09/14/2015	Open			Accounts Payable	Ray O'Herron Co., Inc.	\$45.00		
	Invoice		Date	Description			Amount		
	1542983-IN		08/07/2015	Uniforms -Smith			\$45.00		
12683	09/14/2015	Open			Accounts Payable	Rod Baker Ford	\$100.95		
	Invoice		Date	Description			Amount		
	C80308		08/25/2015	Repair			\$100.95		
12684	09/14/2015	Open			Accounts Payable	Safety Kleen	\$220.44		
	Invoice		Date	Description			Amount		
	6736986		08/19/2015	Parts Washer Service			\$220.44		
12685	09/14/2015	Open			Accounts Payable	ServiceMaster By Bouck	\$2,684.00		
	Invoice		Date	Description			Amount		
	5718427		09/01/2015	janitorial supplies			\$134.00		
	5718426		09/01/2015	office cleaning			\$2,550.00		
12686	09/14/2015	Open			Accounts Payable	Shaw Media	\$547.92		
	Invoice		Date	Description			Amount		
	081510074590		08/31/2015	public notices			\$547.92		

Payment Register

From Payment Date: 8/25/2015 - To Payment Date: 9/14/2015

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
12687	09/14/2015	Open			Accounts Payable	Sosin & Arnold, Ltd.	\$1,000.00		
	Invoice		Date	Description		Amount			
	90169		08/31/2015	Aug 2015		\$1,000.00			
12688	09/14/2015	Open			Accounts Payable	Southwest Central Dispatch	\$26,067.80		
	Invoice		Date	Description		Amount			
	15-08-20		08/20/2015	Sep 2015 assessment		\$26,067.80			
12689	09/14/2015	Open			Accounts Payable	Southwest Digital Printing, Inc.	\$70.38		
	Invoice		Date	Description		Amount			
	8-1700mr		08/18/2015	6/30 - 8/17 plotter usage		\$20.38			
	9-11ma15		09/01/2015	Sep 2015 plotter maintenance		\$50.00			
12690	09/14/2015	Open			Accounts Payable	Suburban General Construction	\$142,958.05		
	Invoice		Date	Description		Amount			
	14403-3SF		09/04/2015	Ledochowski St Water Main Replacement		\$142,958.05			
12691	09/14/2015	Open			Accounts Payable	Target Outdoor Power	\$31.59		
	Invoice		Date	Description		Amount			
	0030608		08/26/2015	Parts		\$25.10			
	0030604		08/24/2015	Parts		\$6.49			
12692	09/14/2015	Open			Accounts Payable	The UPS Store	\$37.42		
	Invoice		Date	Description		Amount			
	1733		06/30/2015	Postage		\$37.42			
12693	09/14/2015	Open			Accounts Payable	TigerDirect, Inc.	\$754.37		
	Invoice		Date	Description		Amount			
	L26289110102		08/27/2015	computer equipment		\$225.32			
	L27221730101		08/31/2015	computer equipment		\$266.13			
	L27544620104		09/02/2015	computer equipment		\$262.92			
12694	09/14/2015	Open			Accounts Payable	Tressler, LLP	\$599.39		
	Invoice		Date	Description		Amount			
	361600		08/18/2015	IMET Project		\$599.39			
12695	09/14/2015	Open			Accounts Payable	Underground Pipe & Valve Co, Inc	\$316.00		
	Invoice		Date	Description		Amount			
	009518		08/27/2015	wrench		\$316.00			
12696	09/14/2015	Open			Accounts Payable	Village of Woodridge	\$196.12		
	Invoice		Date	Description		Amount			
	8058		09/02/2015	2325 - NWCWA contribution		\$196.12			
12697	09/14/2015	Open			Accounts Payable	Vision Service Plan	\$961.63		
	Invoice		Date	Description		Amount			
	15-08-18		08/18/2015	Sep 2015 vision ins prem		\$961.63			
12698	09/14/2015	Open			Accounts Payable	Vulcan Materials	\$364.90		
	Invoice		Date	Description		Amount			
	30981280		08/11/2015	Stone		\$364.90			
12699	09/14/2015	Open			Accounts Payable	Warehouse Direct Workplace Solutions	\$560.14		
	Invoice		Date	Description		Amount			
	2782704-0		08/10/2015	Supplies		\$107.78			
	2777922-0		08/05/2015	Office Supplies		\$128.88			

Payment Register

From Payment Date: 8/25/2015 - To Payment Date: 9/14/2015

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
	2777922-1		08/06/2015		Office Supplies		\$30.84		
	2783402-0		08/11/2015		Office Supplies		\$200.15		
	2748671-0		07/10/2015		Ink Cartridges		\$37.92		
	2748119-0		07/07/2015		Ink Cartridges		\$54.57		
12700	09/14/2015	Open			Accounts Payable	Water Resources Inc.	\$3,766.57		
	Invoice		Date		Description		Amount		
	29928		08/26/2015		supplies		\$2,149.92		
	29919		08/20/2015		6 water meters		\$1,616.65		
12701	09/14/2015	Open			Accounts Payable	WEX Fleet Universal	\$199.23		
	Invoice		Date		Description		Amount		
	42065585		08/31/2015		retail fuel purchases		\$199.23		
12702	09/14/2015	Open			Accounts Payable	Willowbrook Ford Inc.	\$100.00		
	Invoice		Date		Description		Amount		
	6189648/1		07/02/2015		Repair		\$100.00		
12703	09/14/2015	Open			Accounts Payable	Zee Medical Inc.	\$87.35		
	Invoice		Date		Description		Amount		
	0100146808		08/12/2015		Supplies		\$87.35		
12704	09/14/2015	Open			Accounts Payable	Garcia, Paulette	\$2,192.12		
	Invoice		Date		Description		Amount		
	15-08-20		08/20/2015		reimbursement - Sam's, Target		\$2,192.12		
12705	09/14/2015	Open			Accounts Payable	Erdman, William	\$96.00		
	Invoice		Date		Description		Amount		
	15-08-20		08/20/2015		refund amount paid for unused Vehicle Sticker #07641		\$96.00		
12706	09/14/2015	Open			Accounts Payable	Geniniauskaite, Rasma	\$1,000.00		
	Invoice		Date		Description		Amount		
	120039		08/26/2015		refund Clean Up Deposit		\$1,000.00		
12707	09/14/2015	Open			Accounts Payable	Kubowicz, Lorraine	\$96.00		
	Invoice		Date		Description		Amount		
	15-08-24		08/24/2015		refund amount overcharged for Senior Citizen vehicle stickers		\$96.00		
12708	09/14/2015	Open			Accounts Payable	Mikolaitis, Susan	\$73.00		
	Invoice		Date		Description		Amount		
	15-09-02		09/02/2015		refund for returned Metra permits 0450, 0630		\$73.00		
12709	09/14/2015	Open			Accounts Payable	Pierce, Kimberly	\$1,000.00		
	Invoice		Date		Description		Amount		
	2015-00000279		09/03/2015		refund clean up deposit		\$1,000.00		
12710	09/14/2015	Open			Accounts Payable	Pool & Spa Works Inc	\$1,000.00		
	Invoice		Date		Description		Amount		
	2014-00000680		08/20/2015		refund Clean Up Deposit - 12714 Waterford Dr		\$1,000.00		
12711	09/14/2015	Open			Accounts Payable	Shubert, Dale	\$71.00		
	Invoice		Date		Description		Amount		
	15-08-26		08/26/2015		refund for returned Metra permits 0453, 0633		\$71.00		

Payment Register

From Payment Date: 8/25/2015 - To Payment Date: 9/14/2015

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
12712	09/14/2015	Open			Accounts Payable	Stube, Curtis	\$96.00		
	Invoice		Date	Description		Amount			
	15-08-20		08/20/2015	refund for vehicle sticker 06209 purchased for sold vehicle		\$96.00			
12713	09/14/2015	Open			Accounts Payable	Ustupski, Jan	\$1,000.00		
	Invoice		Date	Description		Amount			
	2014-00000647		08/20/2015	refund Clean Up Deposit		\$1,000.00			
12714	09/14/2015	Open			Accounts Payable	Westbrook, Mary	\$96.00		
	Invoice		Date	Description		Amount			
	15-08-28		08/28/2015	refund for sticker #07493, purchased in error		\$96.00			
Type Check Totals:					104 Transactions		\$656,357.81		
<u>EFT</u>									
138	09/01/2015	Open			Accounts Payable	FM Bankcard Processing Center	\$22,909.34	\$22,909.34	\$0.00
	Invoice		Date	Description		Amount			
	2016-00000471		09/01/2015	June Credit card charges		\$22,909.34			
139	09/03/2015	Open			Accounts Payable	Illinois Municipal Retirement Fund	\$35,036.22		
	Invoice		Date	Description		Amount			
	2016-00000470		09/03/2015	IMRF 1 - IMRF Tier 1*		\$35,036.22			
Type EFT Totals:					2 Transactions		\$57,945.56	\$22,909.34	\$0.00
FM-Clearing - Accounts Payable Totals									

Checks	Status	Count	Transaction Amount	Reconciled Amount
	Open	103	\$656,257.81	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	1	\$100.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	104	\$656,357.81	\$0.00
EFTs	Status	Count	Transaction Amount	Reconciled Amount
	Open	2	\$57,945.56	\$22,909.34
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Total	2	\$57,945.56	\$22,909.34
All	Status	Count	Transaction Amount	Reconciled Amount
	Open	105	\$714,203.37	\$22,909.34
	Reconciled	0	\$0.00	\$0.00
	Voided	1	\$100.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	106	\$714,303.37	\$22,909.34

Payment Register

From Payment Date: 8/25/2015 - To Payment Date: 9/14/2015

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
FM-GMAT Grant - GMAT Grant									
Check 2230	09/02/2015	Open			Accounts Payable	DuPage Airport	\$1,263.88		
	Invoice		Date	Description		Amount			
	RC0065908		09/01/2015	A-DAT01 Rms #12 & #13		\$1,263.88			

Type Check Totals:
FM-GMAT Grant - GMAT Grant Totals

1 Transactions \$1,263.88

Checks	Status	Count	Transaction Amount	Reconciled Amount
	Open	1	\$1,263.88	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	1	\$1,263.88	\$0.00

EFTs	Status	Count	Transaction Amount	Reconciled Amount
	Open	0	\$0.00	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Total	0	\$0.00	\$0.00

All	Status	Count	Transaction Amount	Reconciled Amount
	Open	1	\$1,263.88	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	1	\$1,263.88	\$0.00

Payment Register

From Payment Date: 8/25/2015 - To Payment Date: 9/14/2015

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
FM-GMAT Project - GMAT Project									
Check									
30066	09/02/2015	Open			Accounts Payable	Copart	\$57.00		
	Invoice		Date	Description			Amount		
	14413565c		08/19/2015	12 MERZ CLS550 - 6/24-8/19 storage			\$57.00		

Type Check Totals:

FM-GMAT Project - GMAT Project Totals

1 Transactions

\$57.00

Checks	Status	Count	Transaction Amount	Reconciled Amount
	Open	1	\$57.00	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	1	\$57.00	\$0.00

EFTs	Status	Count	Transaction Amount	Reconciled Amount
	Open	0	\$0.00	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Total	0	\$0.00	\$0.00

All	Status	Count	Transaction Amount	Reconciled Amount
	Open	1	\$57.00	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	1	\$57.00	\$0.00

Grand Totals:

Checks	Status	Count	Transaction Amount	Reconciled Amount
	Open	105	\$657,578.69	\$0.00
	Reconciled	0	\$0.00	\$0.00
	Voided	1	\$100.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	106	\$657,678.69	\$0.00

EFTs	Status	Count	Transaction Amount	Reconciled Amount
	Open	2	\$57,945.56	\$22,909.34
	Reconciled	0	\$0.00	\$0.00
	Voided	0	\$0.00	\$0.00
	Total	2	\$57,945.56	\$22,909.34

All	Status	Count	Transaction Amount	Reconciled Amount
	Open	107	\$715,524.25	\$22,909.34
	Reconciled	0	\$0.00	\$0.00
	Voided	1	\$100.00	\$0.00
	Stopped	0	\$0.00	\$0.00
	Total	108	\$715,624.25	\$22,909.34

**VILLAGE OF LEMONT
ORDINANCE NO. _____**

**AN ORDINANCE
AMENDING LEMONT MUNICIPAL CODE
CHAPTER 5.04: LIQUOR LICENSES
(Decreasing and Issuing Class A-3 Liquor License)**

**ADOPTED BY THE
PRESIDENT AND THE BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT
THIS 14th DAY OF SEPTEMBER, 2015**

**Published in pamphlet form by
Authority of the President and
Board of Trustees of the Village of
Lemont, Counties of Cook, Will and
DuPage, Illinois, this 14th day of September, 2015.**

ORDINANCE NO. _____

**AN ORDINANCE
AMENDING LEMONT MUNICIPAL CODE
CHAPTER 5.04: LIQUOR LICENSES
(Decreasing and Issuing Class A-3 Liquor License)**

WHEREAS, the Village of Lemont (“Village”) is an Illinois Municipal Corporation pursuant to the Illinois Constitution of 1970 and the Statutes of the State of Illinois; and,

WHEREAS, Fore Golf Management, operating at 1 Pete Dye Drive, had previously applied for and was issued a Class A-3 Liquor License by the Village; and,

WHEREAS, Fore Golf Management has sold its business thereby surrendering the liquor license previously issued by the Village; and,

WHEREAS, the President and Board of Trustees of the Village of Lemont desire to decrease the number of Class A-3 liquor licenses granted; and,

WHEREAS, Eagl Illinois Beverage, LLC d/b/a Ruffled Feathers, operating as a golf club with restaurant, bar and banquet facility at 1 Pete Dye Drive, has applied for a Class A-3 Liquor License and has further requested the Village adopt an ordinance amending the Lemont Municipal Code, as amended, so as to permit such a license to be issued; and,

WHEREAS, the President and Board of Trustees of the Village of Lemont desire to increase the number of Class A-3 liquor licenses granted.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES of the Village of Lemont, Illinois:

SECTION 1: The above recitals are incorporated in this ordinance as if fully set forth.

SECTION 2: The number of Class A-3 liquor licenses, as set forth in the Lemont Municipal Code, Chapter 5, Section 5.04, Subsection 5.04.060, Class of Licenses, Number of Licenses and License Fees, remains unchanged.

SECTION 3: This Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

SECTION 4: All Ordinances or parts of Ordinances in conflict herewith shall be and the same are hereby repealed.

SECTION 5: The Village Clerk of the Village of Lemont shall certify to the adoption of this Ordinance and cause the same to be published in pamphlet form.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DUPAGE, ILLINOIS, on this 14th day of September, 2015.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniagowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk



Village of Lemont
Planning & Economic Development Department

418 Main Street · Lemont, Illinois 60439
phone 630-257-1595 · fax 630-257-1598

TO: Mayor Reaves
Village Board of Trustees

FROM: Heather Milway, Village Planner

THRU: Charity Jones, AICP, Planning & Economic Development Director

SUBJECT: Case 15-09 UDO Amendments

DATE: September 11, 2015

SUMMARY

Attached is an ordinance detailing proposed amendments to the UDO. The draft ordinance was reviewed by the Committee of the Whole in August. The substantive changes within the ordinance primarily relate to the permitted and accessory uses and obstructions in yards for gazebos, pergolas, and other similar accessory structures, as well as adjustments to the maximum allowable driveway widths. Additionally, there are several minor amendments to correct errors or clarify UDO requirements that do not substantively change the requirements of the UDO. Some of these clerical revisions were not reviewed by the Committee of the Whole in August, but all revisions were reviewed by the Planning and Zoning Commission during public hearings in February or June.

Attachments

1. An Ordinance Amending Title 17 of the Lemont Municipal Code, the Lemont Unified Development Ordinance of 2008.

VILLAGE OF LEMONT
ORDINANCE NO. _____

**AN ORDINANCE AMENDING TITLE 17 OF THE LEMONT MUNICIPAL CODE, THE
LEMONT UNIFIED DEVELOPMENT ORDINANCE OF 2008**

(UDO Amendments)

**ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT**

THIS 14th DAY OF SEPTEMBER, 2015

**Published in pamphlet form by
authority of the President and
Board of Trustees of the Village
of Lemont, Cook, DuPage, and Will
Counties, Illinois this 14th
day of September, 2015.**

ORDINANCE NO. _____

**AN ORDINANCE AMENDING TITLE 17 OF THE LEMONT MUNICIPAL CODE, THE
LEMONT UNIFIED DEVELOPMENT ORDINANCE OF 2008
(UDO Amendments)**

WHEREAS, the Village of Lemont approved Ordinance O-07-08 adopting the Lemont Unified Development Ordinance of 2008 (hereinafter “the Unified Development Ordinance”) with an effective date of March 15, 2008; and

WHEREAS, on February 18, 2015 and June 17, 2015, the Lemont Planning & Zoning Commission, in accordance with the requirements of the Illinois Combined Statutes and the Unified Development Ordinance, conducted a public hearing on proposed amendments to the zoning and land use regulations of the Unified Development Ordinance; and

WHEREAS, notices of the aforesaid public hearings were made in the manner provided by law; and

WHEREAS, the Lemont Planning & Zoning Commission found that the proposed amendments were consistent with the purposes of the Unified Development Ordinance and voted to recommend their approval;

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Lemont, Cook, DuPage and Will Counties, Illinois, as follows:

SECTION 1: The foregoing findings and recitals are hereby adopted as Section 1 of this Ordinance and are incorporated by reference as if set forth verbatim herein.

SECTION 2: The Lemont, Illinois Municipal Code (“Village Code”) Title 17, Unified Development Ordinance as amended, be and the same is further amended by adding the definitions shown below in underlined text to be added alphabetically to Chapter 17.02 Definitions of the Village Code as follows:

Gazebo. A freestanding, roofed, accessory building that is intended for recreational use only and not for habitation.

Cabana. An accessory structure composed of a rigid framework to support a loose membrane or fabric covering, which provides a weather barrier.

Pergola. An accessory structure composed of horizontal cross beams or open lattice, supported by vertical posts.

SECTION 3: The Lemont, Illinois Municipal Code (“Village Code”), as amended, is further amended in Title 17, Unified Development Ordinance, with additions shown in underline text and deletions shown in strikethrough to Chapter 17.03.040 of the Village Code as follows:

- A. Composition.** The Technical Review Committee (“TRC”) is comprised of the Planning and Economic Development Director or his or her designee, ~~Building Community Development Department staff~~ Commissioner or his or her designee, the Village Administrator or his or her designee, ~~Assistant Village Administrator,~~ Public Works Director or his or her designee, Village Engineer or his or her designee, Village Attorney or his or her designee, the Fire Marshal or his or her designee and one ~~representatives of all taxing bodies within Lemont from Lemont Township, Lemont Public Library, Lemont School District, and the Lemont Park District.~~
- B. Purpose.** The TRC reviews concept plans or proposed plans for projects. The offers a pre-submittal design and code review intended to help developers better understand the requirements and issues a project would raise if formally submitted for land use approval. The TRC is advisory in nature; its recommendations are compiled by the Planning and Economic Community Development Department and, upon submission of the land use application, are communicated to the Planning and Zoning Commission.

SECTION 4: The Lemont, Illinois Municipal Code (“Village Code”), as amended, is further amended in Title 17, Unified Development Ordinance, with additions shown in underline text and deletions shown in strikethrough to Chapter 17.04.110.E of the Village Code as follows:

- E. Recording of Approved Plats.** Upon the approval of the final plat by the Village Board, the following actions shall be taken:
1. The Village Clerk shall certify such approval and affix the corporate seal of the Village on the final plat and all copies.
 2. The final plat and all copies shall be distributed to the appropriate Village officials for certification.
 3. The final plat and all copies shall ~~be returned to the applicant, who shall file~~ be filed for record by the Village in the Recorder of Deeds Office in the appropriate county. Fees and costs associated with this filing shall be paid by the applicant. No other land use actions, administrative approvals, or building permits for the subject lots shall be granted until ~~the applicant returns three print copies of the recorded plat to the Community Development Department.~~ the recorded plat is filed and returned.
 4. ~~Copies of the recorded plat shall be distributed as follows:~~

- ~~i. One copy to the Village Clerk;~~
- ~~ii. One copy to the Village Engineer;~~
- ~~iii. One copy to the Planning and Economic Development Director.~~

SECTION 5: The Lemont, Illinois Municipal Code (“Village Code”), as amended, is further amended in Title 17, Unified Development Ordinance, with additions shown in underline text and deletions shown in strikethrough to Chapter 17.06.030.E of the Village Code as follows:

E. Detached Garages and Sheds

1. In R districts, detached garages and sheds shall be accessory uses only; they shall not be constructed prior to the establishment of a permitted principal use on the lot.
2. Detached garages and sheds shall be built at least three feet from all lot lines, unless specifically allowed otherwise by this ordinance. Additionally, detached garages and sheds shall be at least 10 feet from the principal structure unless the detached garage or shed meets or exceeds the Village building code standards for attached garages concerning fire protection rating, footing, and foundation.
3. Detached garages and sheds in R districts and detached garages and sheds that are accessory to residential uses shall have a maximum height of 15 feet. Parking structures in the Downtown District are subject to the height limits of the zoning district. Detached garages and sheds in all other districts shall have a maximum height of 30 feet.
4. In R-districts detached garages shall not be established on lots where an attached garage already exists. Similarly, attached garages shall not be established where a detached garage already exists. Only one detached garage shall be allowed per zoning lot, and the area of a detached garage shall not exceed 660 square feet.

SECTION 6: The Lemont, Illinois Municipal Code (“Village Code”), as amended, is further amended in Title 17, Unified Development Ordinance, with additions shown in underline text and deletions shown in strikethrough to Chapter 17.07.040 of the Village Code as follows:

- A. Applicability.** The provisions of this section shall apply to all residential land uses in all R zoning districts except for the R-4A zoning. See §17.07.020 of this ordinance for provisions governing driveways in the R-4A zoning district.

- B. Driveway Width.** Driveway width shall not exceed 22 feet at the lot line. From the lot line, driveway width may gradually be increased to accommodate entry into garages. Where the driveway meets the garage door(s), the width of the driveway may extend no more than 2 ft from the outside edge of the garage door(s) (the 2 ft limit does not apply between garage doors). In no case shall driveway width exceed 32 feet.
- C. Existing Driveways.** Driveways existing at the time of approval of the adoption of this section that exceed the standards of paragraph B above shall be allowed to be repaired or replaced, so long as the width of the driveway is not increased. Service walks adjacent to driveways existing at the time of approval of the adoption of this section shall not be included in the calculation of the existing driveway width.
- D. Driveway setbacks.** Driveways shall be located at least 1 foot from any side lot line.

SECTION 7: The Lemont, Illinois Municipal Code (“Village Code”), as amended, is further amended in Title 17, Unified Development Ordinance, with additions shown in underline text and deletions shown in strikethrough to Chapter 17.08.090.A of the Village Code as follows:

- A. Major Modification of Plans.** Major modifications of plans shall require re-review and re-approval in accordance with the provisions of ~~17.09.070~~ 17.08.070 of this ordinance. A “major modification” to an approved PUD plan/plat is any modification that meets any of the following thresholds:

SECTION 8: The Lemont, Illinois Municipal Code (“Village Code”), as amended, is further amended in Title 17, Unified Development Ordinance, with additions shown in underline text and deletions shown in strikethrough to Chapter 17.10.020.D of the Village Code as follows:

D. Restrictions

1. Unenclosed off-street parking spaces shall not be used for the repair, dismantling or servicing of any vehicles, equipment, materials, or supplies.
2. Inoperable vehicles shall not be parked or stored in unenclosed parking areas.
3. The parking of vehicles on areas of the front yard other than a driveway is prohibited.
4. Trucks and other commercial vehicles with “C” through “Z” license plates, trailers, recreational vehicles, and boats shall not be permitted to

park or be stored in any residential district except when located in a garage ~~or other fully enclosed structure~~ that substantially conceals them from view. Temporary parking on driveways in residential lots is permitted for a maximum of eight consecutive hours or 12 hours within a 24-hour period. A limit of one commercial vehicle with a “B” license plate is permitted to be parked on a residential lot.

SECTION 9: The Lemont, Illinois Municipal Code (“Village Code”), as amended, is further amended in Title 17, Unified Development Ordinance, with additions shown in underline text and deletions shown in strikethrough to Chapter 17.11.140.C of the Village Code as follows:

C. Wall signs in the B-1 and INT districts. One wall sign per building elevation facing a public street shall be permitted in the B-1 and INT districts. ~~One wall sign per building elevation facing a public street, shall be permitted in the B and INT districts.~~ In the case of a multi-tenant building, one wall sign shall be permitted per tenant. Each wall sign shall:

1. Be limited in area to one square foot per each lineal foot of building frontage to a maximum area of 96 square feet.
2. Consist of visible materials that are either of wood, metal, masonry, or a combination of these materials. Plastic and other synthetic materials are prohibited except as a material for alphanumeric characters and logos.

SECTION 10: The Lemont, Illinois Municipal Code (“Village Code”), as amended, is further amended in Title 17, Unified Development Ordinance Chapter, with additions shown in underline text and deletions shown in strikethrough to Chapter 17.13.040.A of the Village Code as follows:

A. Nonconforming Lots in R Districts.

1. A nonconforming lot in an R district may be developed ~~with a single-family detached dwelling unit~~, provided that yard depth, bulk and density restrictions of this ordinance are met.

SECTION 11: The Lemont, Illinois Municipal Code (“Village Code”), as amended, is further amended in Title 17, Unified Development Ordinance, with additions shown in underline text and deletions shown in strikethrough to Chapter 17.21.030.H of the Village Code as follows:

A. Applicability. The following standards of this section shall apply to new construction in the B-1 and B-3 zoning districts.

B. A. Exterior Walls Facing a Public Street. For structure in the B-1 and B-3

~~zoning districts, b~~ Building elevations facing a public street shall have a minimum of 75%, excluding glass, of the wall area facing the street constructed of one or more of the following materials

1. Face brick of clay, or
2. Native stone, or
3. Fiber cement board siding.

C. B. Exterior Walls Not Facing a Public Street. Building exterior walls not facing a public street shall have a minimum of 50%, excluding glass, of the wall area constructed of one or more of the materials listed in sub-paragraph A B of this section.

D. C. Building Articulation. Building exterior walls greater than 100 feet in length shall incorporate recesses and projections a minimum of three feet in depth and a minimum of 20 contiguous feet within each 100 feet of exterior wall length.

E. D. Roofs

1. Parapets, mansard roofs, gable roofs, hip roofs, or dormers shall be used to conceal flat roofs and rooftop mechanical equipment from public view.
2. Roof lines shall have a change in height every 100 linear feet in the building length.

F. E. Building Entrances

1. All commercial buildings shall have clearly defined, highly visible customer entrance(s) featuring at least three of the following:
 - a. Canopies, awnings or porticos; or
 - b. Overhangs of at least three feet from the supporting wall; or
 - c. Articulation of the building exterior wall, either recessed or projected, at the entrance; or
 - d. Corniced parapets over the door; or
 - e. Arches or peaked roof forms above entrance; or
 - f. Architectural details such as tile work, brick soldier course, or moldings.
2. Building entrances may include doors to individual shops or businesses, lobby entrances, or entrances to plazas or courtyards.

G. F. Sidewalks

1. Sidewalks shall be provided along the full length of any exterior wall featuring a customer entrance and along any exterior wall facing a parking area intended for customers or the general public.
2. Sidewalks shall be provided from the perimeter public sidewalk to the principal customer entrance. This internal walkway must feature landscaping for at least 50% of its length.
3. Sidewalks shall not be placed adjacent to street curbs, but rather shall be separated from street curbs by a parkway of at least five feet of landscaped or sodded area.

H. G. Other Pedestrian Features

1. Any commercial development in excess of 20,000 square feet of gross floor area shall incorporate a public space, such as plaza, courtyard, or landscaped garden within the vicinity of the building's main entrance of the development's principal structure that incorporates at least three of the following features:
 - a. Pedestrian seating in the form of benches or ledges of limestone; or
 - b. Water features, e.g. fountains or ponds; or
 - c. Textured paving such as brick or flagstone; or
 - d. Raised planters of limestone; or
 - e. Sculpture or other artwork; or
 - f. Outdoor eating or café.
2. The features incorporated per this paragraph shall be connected with public sidewalks adjacent to or running through the property.

I. H. Windows. A minimum of 40% of the area between four feet and ten feet in height on a building elevation facing a public shall be comprised of clear, non-reflective windows that allow views of indoor commercial space or product display areas. Banks are exempt from this requirement.

J. I. Colors. Exterior building walls' colors shall be low reflectance, subtle, neutral or earth tones. The use of high-intensity colors, metallic colors, or fluorescent colors is prohibited.

K. J. Parking

1. No more than 50% of the off-street parking for the entire development shall be located between the facade of the principal building and the primary abutting street.
2. No development shall have parking in excess of 140% of the parking spaces required by this ordinance.

L. K. Drive-through Facilities

1. Each drive-through facility shall be designed so that the drive-through window is not on a side of a building facing a public street.
2. The queue area shall not interfere with other on-site circulation and parking arrangements.
3. All pedestrian walkways for a drive-through development shall be clearly marked and enhanced with special paving or markings when they intersect the drive-through aisles.

SECTION 12: The Lemont, Illinois Municipal Code (“Village Code”), as amended, is further amended in Title 17, Unified Development Ordinance, so that Table 17-06-02, Permitted Accessory Uses and Obstructions in Yards, is deleted in its entirety and replaced with the Table shown on Exhibit A, attached hereto.

SECTION 13: The Lemont, Illinois Municipal Code (“Village Code”), as amended, is further amended in Title 17, Unified Development Ordinance, so that Figure 17-12-01, Vision Triangle, is deleted in its entirety and replaced with the Figure shown on Exhibit B, attached hereto.

SECTION 14: The Lemont, Illinois Municipal Code (“Village Code”), as amended, is further amended in Title 17, Unified Development Ordinance, so that Page LS-3 of Appendix G is replaced with Exhibit C, page LS-82 of Appendix G is replaced with Exhibit D, Pages LS-83a & LS-83b shown in Exhibit E are added to Appendix G, and page LS-90 of Appendix G is replaced with Exhibit F attached hereto.

SECTION 15: That the Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

SECTION 16: Should any Section or provision of this Ordinance be declared by a Court of competent jurisdiction to be invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part declared to be invalid.

SECTION 17: This Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DUPAGE, ILLINOIS, on this 14th day of September, 2015.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

Exhibit A

Table 17-06-02 Permitted Accessory Uses and Obstructions in Yards

Projection, Obstruction, or Accessory Use with Limitations	Yard			
	Front	Rear	Side	Corner Side
Air conditioning units, window, provided they do not extend more than three ft. from window	P	P	P	P
Air conditioning units and equipment, other than window installed, provided they are at least four feet from all property lines	-	P	P	P
Antenna, dish, pole, or tower, provided they are at least 5 feet from all property lines, and, if mounted on a structure, are on the roof or rear of the structure	-	P	-	-
Awnings and canopies, provided they: are at least 7 feet above grade; and, in R districts, are 5 feet from lot lines	P	P	P	P
Balconies, open	P	P	P	P
Basketball goal on non-recreation land use, limited to one pole- or garage-mounted goal and shall be at least five feet from all lot lines	P	P	P	P
Chimneys, attached, provided they project not more than 2 feet into a yard and at least 3 feet from lot lines	P	P	P	P
Compost bins	-	P	-	-
Decks and terraces in a residential district, DD, or INT district, provided they are: at least 15 ft from all lot lines in districts R-1, R-2, R-3, and R-4; and in districts DD, INT, R-4A, R-5, and R-6 at least 10 ft from all lot lines or equal to the setback of a conforming principal structure, whichever is less. (Ord O-36-08; O-69-12)	-	P	P	-
Dog runs, enclosed, provided that the minimum distance to any and all property lines is at least 10 ft	-	P	P	-
Fences	See Chapter 17.12			
Fire escapes, open or closed, or fire towers, provided they project not more than 5 feet into a yard adjoining a street or 3.5 ft into an interior side yard or rear yard	P	P	P	P
Fireplaces, outdoor, provided they are at least 10 feet from all lot lines	-	P	-	-
Firewood/woodpiles (residential), provided they do not exceed 4 ft in height and 4 ft in width	-	P	P	-

Flagpoles: maximum height is 20 ft in R district and 40 ft in other districts; pole must be 10 ft from lot lines	P	P	P	P
Garages, detached, or carports	-	P	P	-
Gardens, vegetable	-	P	P	-
Accessory buildings, excluding detached garages and sheds, and cabanas, provided they are at least 10 feet from all lot lines or equal to the setback of a conforming principal structure, whichever is less. Such accessory structures shall have a maximum height of 15 feet and maximum area of 160 square feet. Overhead (i.e. garage style) or roll up doors are not permitted.	-	P	P	P
Generators, electric, permanently installed, provided they are at least 4 feet from all lot lines.	-	P	P	-
Landscaping features, e.g. raised planter beds, retaining walls	P	P	P	P
Laundry drying equipment	-	P	-	-
Lawn furniture, e.g. benches, sun dials, bird baths	P	P	P	P
Light standards, ornamental	P	P	P	P
Patios, providing they are at least 5 feet from all lot lines. When located in a side yard, patios shall be setback at least 5 ft from the façade of the principal structure.	-	P	P	P
Pergolas, provided they are at least five feet from all lot lines. Pergola structure shall have a maximum height of 15 feet, as measured from the top of the horizontal cross beams or open lattice to the base of the vertical posts.		P	P	P
Permanently installed playground equipment, providing it is at least 5 ft from all lot lines	-	P	P	P
Public art, pursuant to Paragraph V.G.5 of this ordinance	P	P	P	P
Oriels, provided they project no greater than 2 ft from side of the building and are at least 3 feet from all lot lines	P	P	P	P
Sheds, in DD, INT, and all R districts, up to a maximum of 160 sq ft (Ord O-54-09; O-69-12)	-	P	P	-
Solar and wind power devices and structures, providing they are at least 7.5 ft from all lot lines. Such devices may be mounted on any elevation of any building on the zoning lot and may extend up to 12 feet above the maximum height permitted in the zoning district in which the lot is found.	P	P	P	P
Steps, open without roof, provided they are at least 3 feet from all property lines	P	P	P	P

Swimming pool, private, providing all parts of pool, including, but not limited to underground wall supports, decking, patios, filters and slides are a minimum of 7.5 ft from all lot lines. This minimum of 7.5 ft shall apply to all swimming pools, regardless of whether they are above-ground pools or at grade.	-	P	-	-
Volleyball, basketball, shuffleboard, and other courts, provided they are at least 10 feet from any property line.	-	P	-	-
Wing walls, providing they do not extend more than 4 feet from primary structure, and are less than 4 feet in height, and are at least 5 ft from all lot lines, and do not occupy drainage or other easements	P	P	P	P

Exhibit B

Figure 17-12-01 Vision Triangle. Fences shall not be placed within vision triangles.

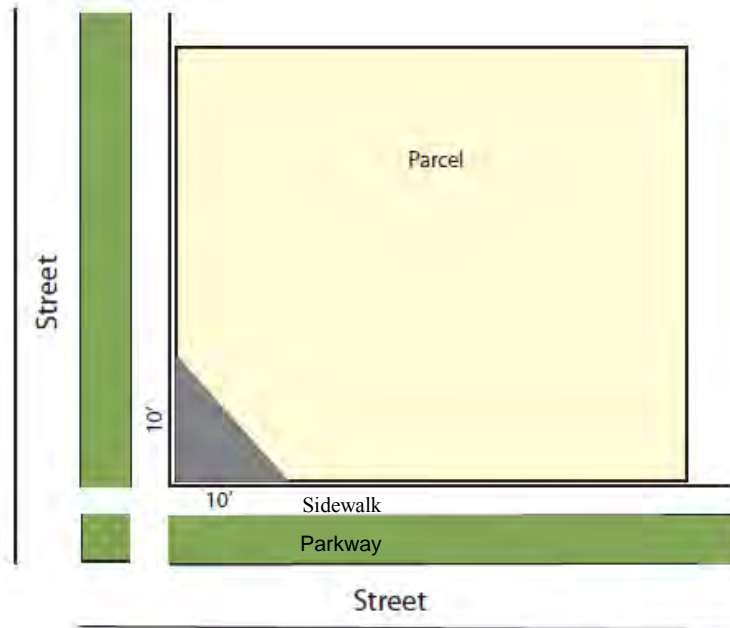
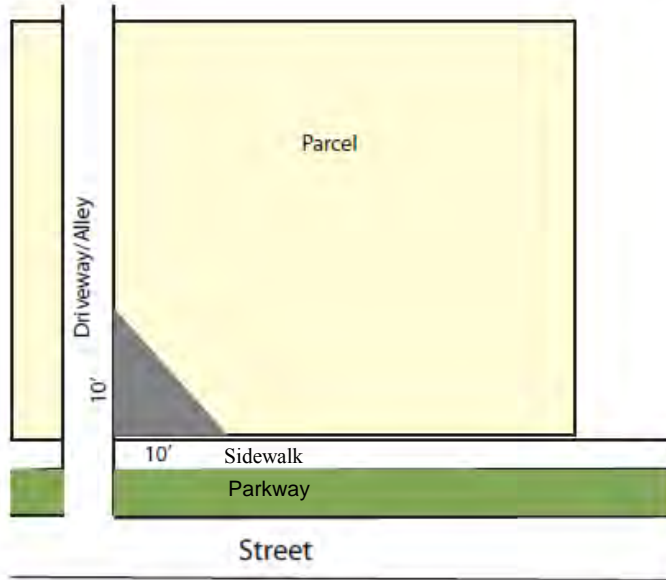
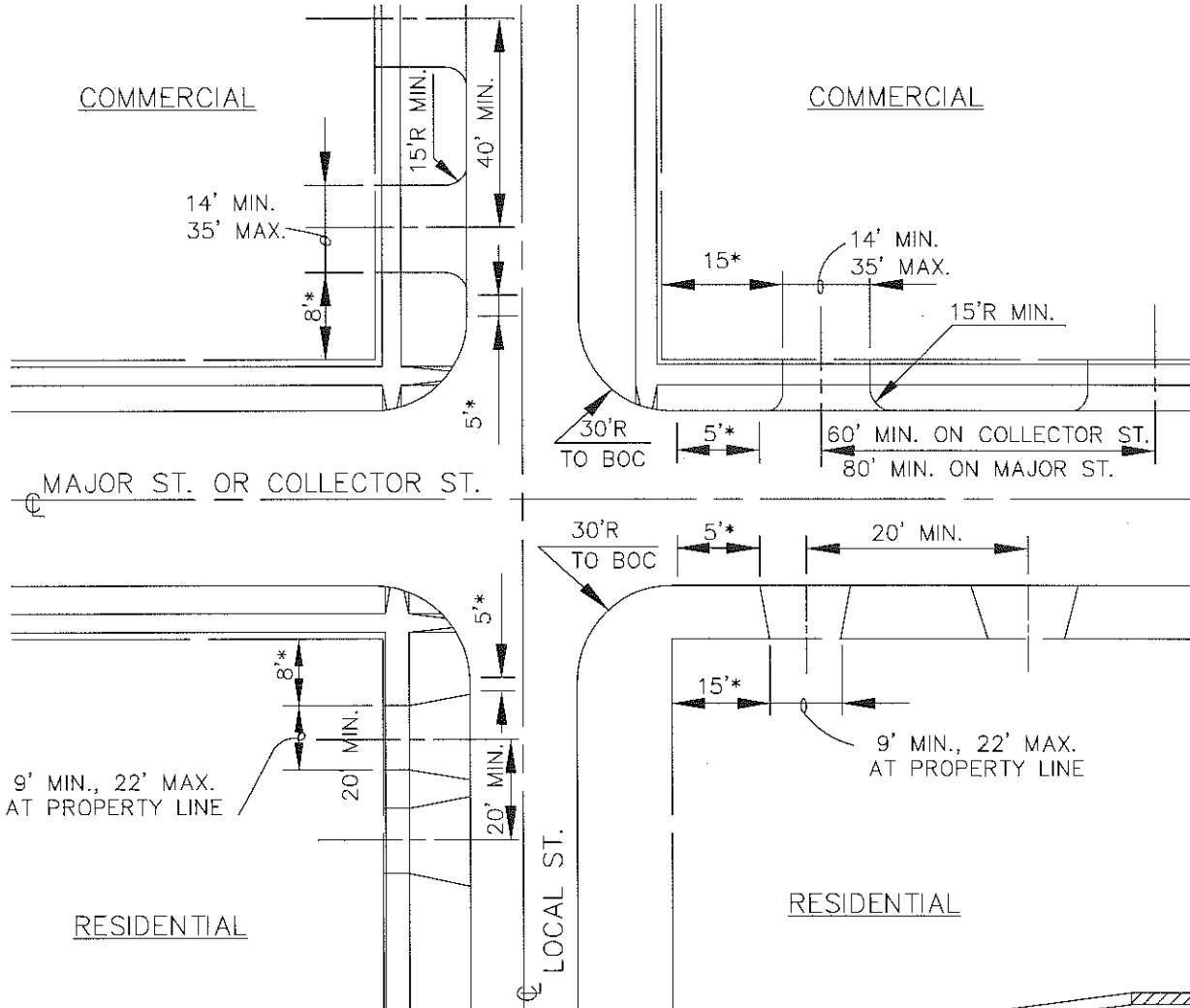


Exhibit C



NOTES:

1. EXPANSION MATERIAL IS REQUIRED BETWEEN CONCRETE DRIVES AND CURB OR SIDEWALK
2. WHERE NEW CONCRETE WORK MEETS OR ABUTS EXISTING CONCRETE, THE EXISTING CONCRETE SHALL BE SAWCUT TO A STRAIGHT AND CLEAN EDGE AND EXPANSION MATERIAL PLACED BETWEEN THE NEW AND EXISTING WORK.
3. ALL CURB REPLACEMENTS MUST BE AT LEAST 3 FEET IN LENGTH.
4. DRIVEWAY COMPOSITION SHALL BE PER LEMONT STANDARDS NO. LS-16.
5. CONTRACTION JOINTS SHALL BE IN ACCORDANCE WITH SECTION 3.04 OF THE LEMONT STANDARD SPECIFICATIONS WHERE DRIVEWAYS ARE LARGER THAN 12 FEET IN ANY DIRECTION, JOINTS SHALL BE EVENLY SPACED.

*WHICH EVER IS GREATER

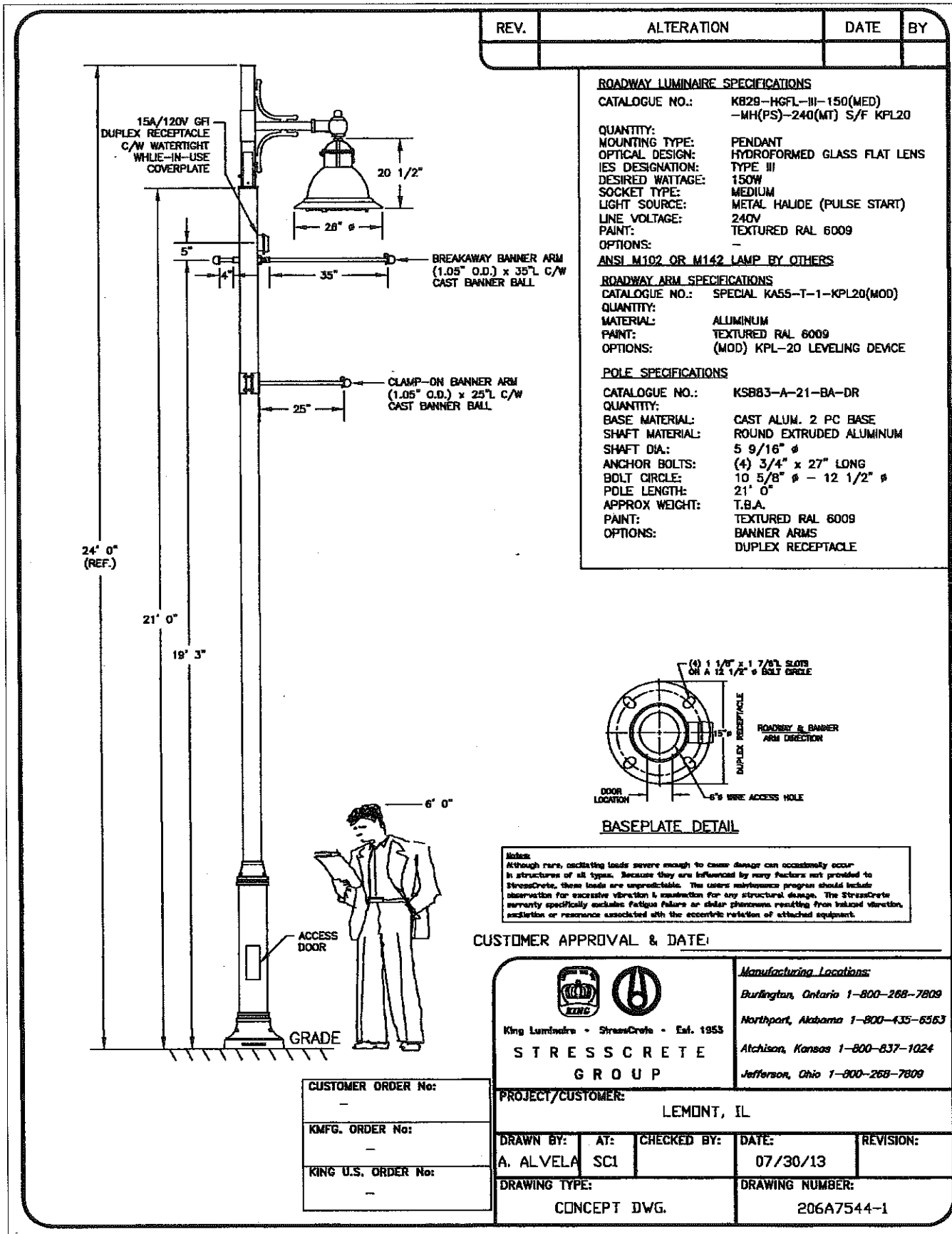
DEPRESSED CURB SIDEWALK AND GUTTER

MAXIMUM DRIVEWAY/PARKWAY SLOPE 8%

TYPICAL SECTION

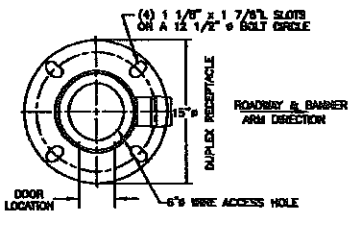
VILLAGE OF LEMONT		
DRIVEWAY APPROACH		
12/10/01	NO. LS-3	REV. 3

REV. 2/03/15
REV. 6/23/08



REV.	ALTERATION	DATE	BY



ROADWAY LUMINAIRE SPECIFICATIONS	
CATALOGUE NO.:	K829-HGFL-III-150(MED) -MH(PS)-240(MT) S/F KPL20
QUANTITY:	PENDANT
MOUNTING TYPE:	HYDROFORMED GLASS FLAT LENS
OPTICAL DESIGN:	TYPE III
IES DESIGNATION:	150W
DESIRED WATTAGE:	MEDIUM
SOCKET TYPE:	METAL HALIDE (PULSE START)
LIGHT SOURCE:	240V
LINE VOLTAGE:	TEXTURED RAL 6009
PAINT:	-
OPTIONS:	-
ANSI M102 OR M142 LAMP BY OTHERS	
ROADWAY ARM SPECIFICATIONS	
CATALOGUE NO.:	SPECIAL KASS-T-1-KPL20(MOD)
QUANTITY:	ALUMINUM
MATERIAL:	TEXTURED RAL 6009
PAINT:	(MOD) KPL-20 LEVELING DEVICE
OPTIONS:	-
POLE SPECIFICATIONS	
CATALOGUE NO.:	KSB83-A-21-BA-DR
QUANTITY:	CAST ALUM. 2 PC BASE
BASE MATERIAL:	ROUND EXTRUDED ALUMINUM
SHAFT MATERIAL:	5 9/16" ø
SHAFT DIA.:	(4) 3/4" x 27" LONG
ANCHOR BOLTS:	10 5/8" ø - 12 1/2" ø
BDLT CIRCLE:	21' 0"
POLE LENGTH:	T.B.A.
APPROX WEIGHT:	TEXTURED RAL 6009
PAINT:	BANNER ARMS
OPTIONS:	DUPLEX RECEPTACLE



BASEPLATE DETAIL

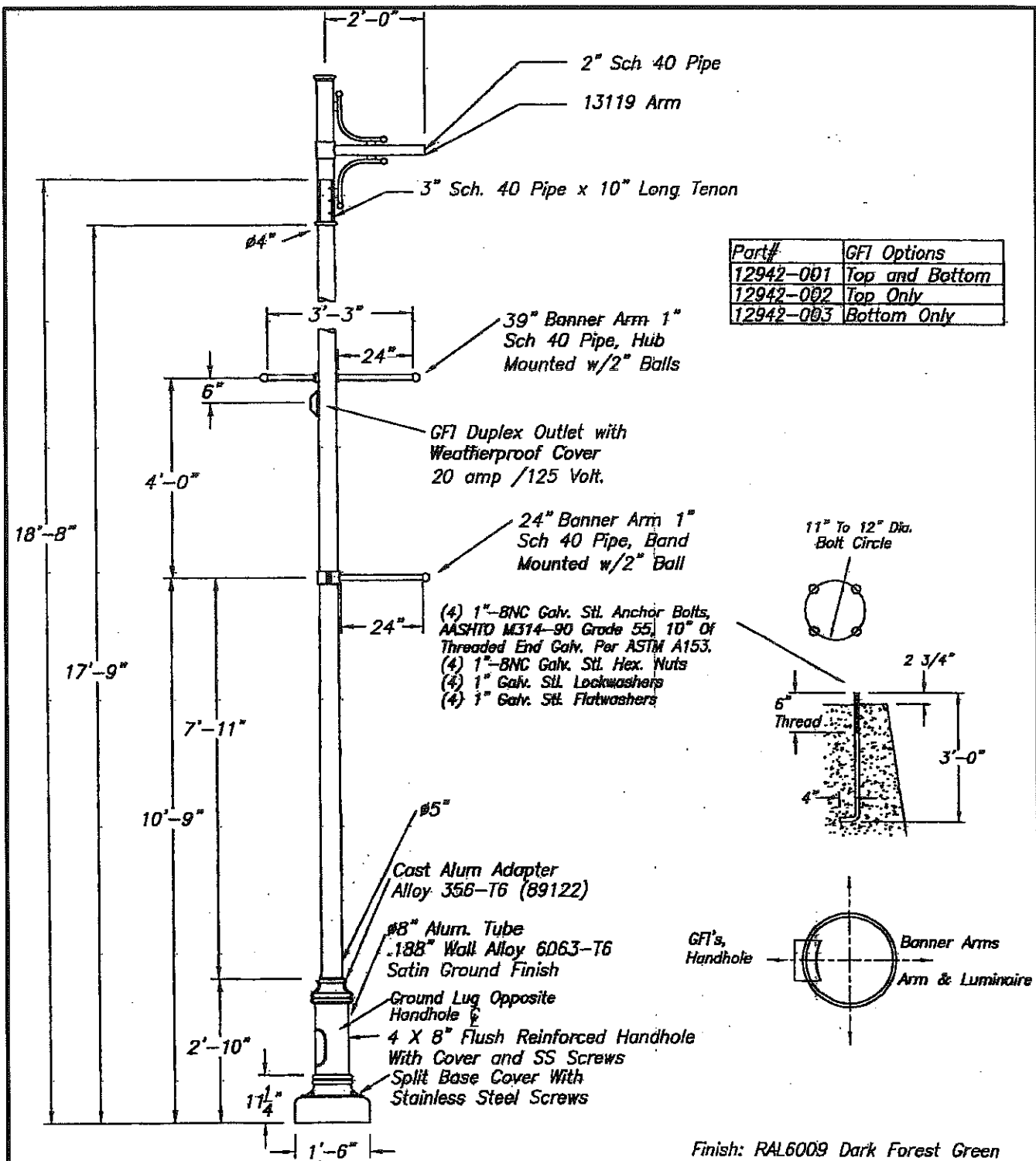
Notes:
Although rare, oscillating loads severe enough to cause damage can occasionally occur in structures of all types. Because they are influenced by many factors not provided to StressCrete, these loads are unpredictable. The users maintenance program should include observation for excessive vibration & consultation for any structural damage. The StressCrete warranty specifically excludes fatigue failure or other phenomena resulting from induced vibration, oscillation or resonance associated with the eccentric relation of attached equipment.

CUSTOMER APPROVAL & DATE:

  King Luminaires - StressCrete - Est. 1953 STRESSCRETE GROUP	Manufacturing Locations: Burlington, Ontario 1-800-268-7809 Northport, Alabama 1-800-435-6563 Atchison, Kansas 1-800-837-1024 Jefferson, Ohio 1-800-268-7809			
	PROJECT/CUSTOMER: LEMONT, IL			
DRAWN BY: A. ALVELLA	AT: SC1	CHECKED BY:	DATE: 07/30/13	REVISION:
DRAWING TYPE: CONCEPT DWG.		DRAWING NUMBER: 206A7544-1		

CUSTOMER ORDER No.:	-
KMFG. ORDER No.:	-
KING U.S. ORDER No.:	-

VILLAGE OF LEMONT	
ORNAMENTAL LIGHT STANDARD	
2/03/15	NO. LS-82



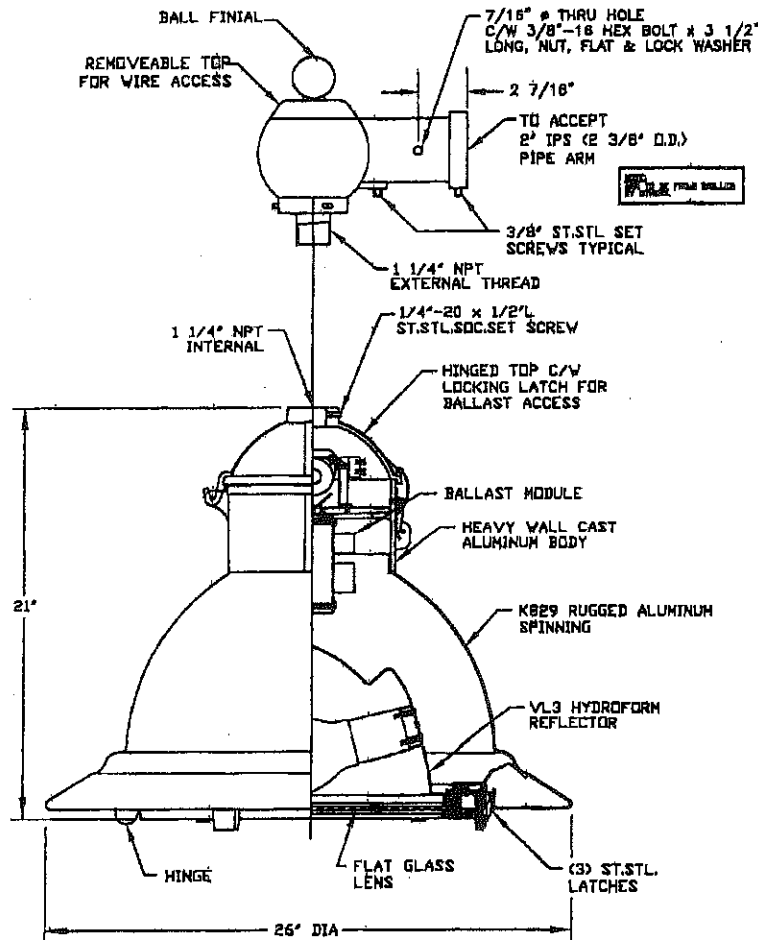
Finish: RAL6009 Dark Forest Green

NO.	REVISIONS	DATE
1	Wall was 0.156 added banner	
2	Bolt Circle Was 11"-13"	11/07
	GFI Was 15 Amp (KDR)	
3	Clarified Top Banner Dim's	11/07

hapco
Abingdon, Va.

TITLE: STAFFORD BASE POLES	
CUSTOMER: Lemont	
SCALE: 24	DATE: 10/16/2007
BY: GM	DRG. NO.
CHK'D:	A12942

VILLAGE OF LEMONT	
ORNAMENTAL LIGHT STANDARD	
2/03/15	NO. LS-83a



NOTE:

- 1) LAMP BY OTHERS
- 2) UNDERSIDE OF SPINNING TO BE PAINTED SAME COLOR AS REST OF LUMINAIRE
- 3) PIPE SEALER TO BE USED ON ALL N.P.T. THREADED COMPONENTS

SPECIFICATIONS

CATALOGUE NO: K829-HGFL-III-150 (MED)
-MH-240-KPL20

QUANTITY:
OPTICAL SYSTEM: HYDROFORM GLASS FLAT LENS
IES LTG. CLASS: TYPE III
WATTAGE: 150
SOCKET SIZE: MEDIUM
LIGHT SOURCE: METAL HALIDE
LINE VOLTAGE: 240V
PAINT: RAL #6009
LAMP BY OTHERS

BALLAST INFORMATION:

BALLAST TYPE: HX-HPF
BALLAST MANU: ADVANCE / MAGNETEK
CATALOG NUMBER: 71A7991 / S70MLTLC3M

NOTE:
ARM TO BE FIELD DRILLED
BY OTHERS.

OPTIONS:

- QUICK DISCONNECT
 TERMINAL BLOCK
 OTHER: KPL-20 LEVELING DEVICE



THE STRESSCRETE GROUP

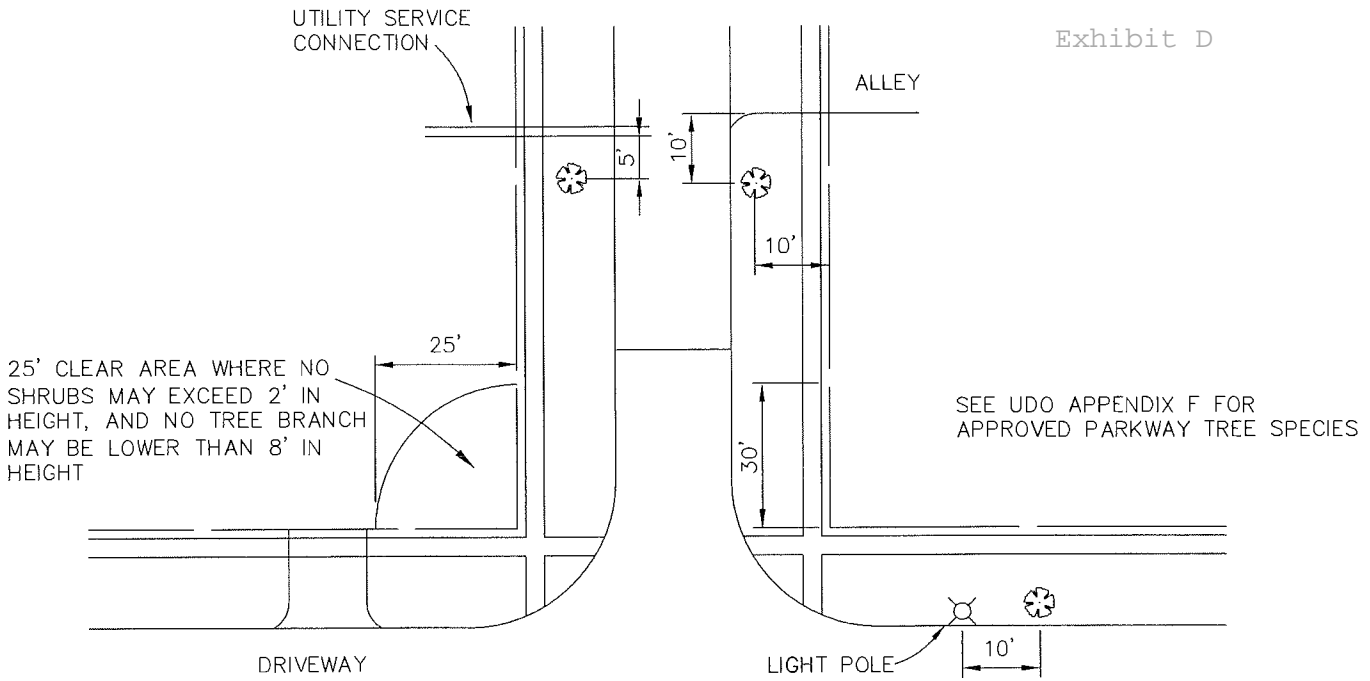
COMPANY INC.
14503 WALLICK ROAD
ATCHISON, KANSAS 66002
PHONE (913) 255-3112 FAX (913) 255-3124



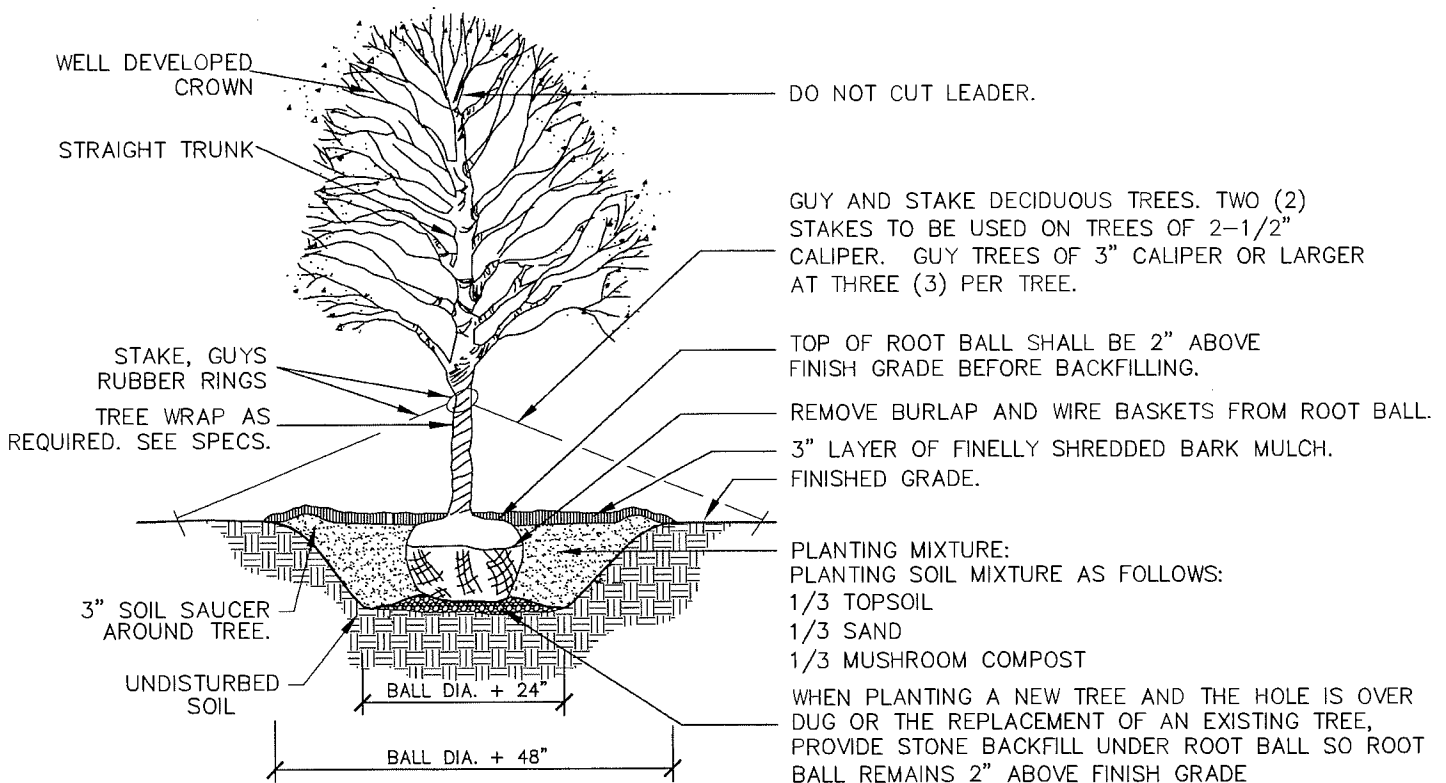
DRAWING NAME:	DWG NUMBER:	DATE:	DWG BY:	REV.
	829	4-30-07	M.L.W.	

PROJECT/CUSTOMER: LEMONT

2/03/15 NO. LS-83b
 ORNAMENTAL LIGHT STANDARD
 VILLAGE OF LEMONT



PERMITTED TREE LOCATIONS



TREE PLANTING DETAIL

NOTES:

1. TREES SHALL HAVE A MINIMUM TRUNK DIAMETER OF 2 1/2 INCHES. TREES UP TO AND INCLUDING 4 INCHES ARE MEASURED 6 INCHES ABOVE GROUND. TREES LARGER THAN 4 INCHES ARE MEASURED 12 INCHES ABOVE GROUND.
2. A MINIMUM OF 2 (TWO) TREES PER LOT; AT LEAST 1 (ONE) TREE EVERY 40 FEET SHALL BE REQUIRED IN ALL NEW SUBDIVISIONS.
3. PRUNING, IF NECESSARY, MUST BE DONE AFTER PLANTING AND ONLY IF TREES HAVE BROKEN BRANCHES.
4. PLANTINGS SHALL BE PER THE URBAN FORESTRY MANAGEMENT PLAN OF THE VILLAGE OF LEMONT.
5. TREE SPECIES PLACEMENT SHALL BE A STAGGERED PATTERN, SUCH THAT NO TREES OF THE SAME TYPE ARE NEXT TO EACH OTHER
6. TREES SHALL BE PLANTED AT LEAST 15 FEET AWAY FROM ALL TRAFFIC SIGNS.
7. SEE UDO APPENDIX F FOR APPROVED PARKWAY TREE SPECIES.

REV. 2/03/15
 REV. 4/08/14
 REV. 10/10/13
 REV. 4/13/10
 REV. 11/09/09
 REV. 6/23/08

VILLAGE OF LEMONT		
TREE PLANTING		
12/10/01	NO. LS-90	REV. 6



Village of Lemont
Planning & Economic Development Department

418 Main Street · Lemont, Illinois 60439
phone 630-257-1595 · fax 630-257-1598

TO: Mayor Reaves
Village Board of Trustees

FROM: Heather Milway, Village Planner

THRU: Charity Jones, AICP, Planning & Economic Development Director

SUBJECT: Case 15-11 Dunkin Donuts Final PUD and Rezoning

DATE: September 11, 2015

SUMMARY

Eric Carlson, architect for Birch Hill Realty Inc., contract purchaser of the subject property, is requesting Final Planned Unit Development approval and zoning classification change from the B-1 Office/Retail Transitional District to B-3 Arterial Commercial District. The purpose of the requested zoning entitlements is to allow construction of a drive-thru Dunkin Donuts. The Planning and Zoning Commission and Staff recommended approval with conditions. The development proposal was not reviewed by the Committee of the Whole prior to this Board meeting.

BOARD ACTION

Vote on the attached ordinance.

ATTACHMENTS

1. An ordinance granting final plan/plat approval, special use for a final planned unit development (PUD) and zoning map amendment for a drive through Dunkin Donuts located at 15629 127th Street in Lemont, Illinois.

VILLAGE OF LEMONT

ORDINANCE NO. _____

**AN ORDINANCE GRANTING FINAL PLAN/PLAT APPROVAL, SPECIAL USE FOR
A FINAL PLANNED UNIT DEVELOPMENT (PUD) AND ZONING MAP
AMENDMENT FOR A DRIVE THROUGH DUNKIN DONUTS LOCATED AT 15629
127TH STREET IN LEMONT, ILLINOIS.**

(DRIVE-THRU DUNKIN DONUTS)

**Adopted by the
President and Board of Trustees
of the Village of Lemont**

This 14th Day of SEPTEMBER, 2015

**Published in pamphlet form by
authority of the President and
Board of Trustees of the Village
of Lemont, Cook, DuPage, and Will
Counties, Illinois this 14th day of
September, 2015.**

ORDINANCE NO. _____

AN ORDINANCE GRANTING FINAL PLAN/PLAT APPROVAL, SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT (PUD) AND ZONING MAP AMENDMENT FOR A DRIVE THROUGH DUNKIN DONUTS LOCATED AT 15629 127TH STREET IN LEMONT, ILLINOIS.

(DRIVE-THRU DUNKIN DONUTS)

WHEREAS, Birch Hill Realty Inc., (hereinafter referred to as the “Petitioner”), is the contract purchaser of approximately .92 acres of property located at 15629 127th Street (PIN # 22-29-309-012-0000), legally described and depicted in Exhibit A (hereinafter referred to as the “Subject Property”); and

WHEREAS, the Petitioner applied pursuant to the provisions of the Lemont, Illinois Municipal Code, Title 17 Unified Development Ordinance (“UDO”) seeking rezoning to the B-3 Arterial Commercial District for the Subject Property and a special use for a final planned unit development, consisting of the following (hereinafter referred to as “Drive-thru Dunkin Donuts PUD”);

1. Architectural Elevations for Dunkin Donuts, prepared by ECA Architects and Planners, dated revision 9/9/2015, attached hereto and incorporated herein as Exhibit B; and
2. Dunkin Donuts 127th Street Lemont, Illinois, prepared by Craig R. Knoche & Associated Civil Engineers, P.C., dated revised 9/9/2015, attached hereto and incorporated herein as Group Exhibit C; and
3. Menu Sign for Dunkin Donuts, prepared by Everbrite., dated revision 8/31/2015, attached hereto and incorporated herein as Exhibit D; and

WHEREAS, a notice of the aforesaid Public Hearing was made in the manner provided by law and was published in the *Lemont Reporter-Met*, a newspaper of general circulation within the Village; and

WHEREAS the Planning and Zoning Commission of the Village of Lemont, Illinois, in accordance with the UDO, conducted a public hearing on the petition on August 19, 2015 and recommended approval of the Drive-thru Dunkin Donuts PUD; and

WHEREAS, the President and Board of Trustees of the Village have reviewed the matter herein and have determined that the same is in the best interest of the public health, safety and welfare of the residents of the Village of Lemont, and hereby adopt the finding of facts as set forth in Exhibit E.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, DUPAGE, AND WILL, ILLINOIS:

SECTION 1: Incorporation of Recitals. The foregoing findings and recitals are hereby adopted as Section 1 of this Ordinance and are incorporated by reference as if set forth verbatim herein.

SECTION 2: Special Use & Zoning Map Amendment. A zoning map amendment from B-1 Office/Retail Transitional District to B-3 Arterial Commercial district is granted for the Subject Property. A special use for final planned unit development is granted as provided and conditioned in this Ordinance.

SECTION 3: Conditions. The special use for a final planned unit development shall have the following condition:

1. **General Conditions.** The Subject Property shall be developed, constructed and maintained in accordance with Village Code, the approved plans pertaining to the Subject Property and the exhibits to this Ordinance.
2. **Special Conditions.**
 - a. Prior to issuance of site development permit a tree preservation plan for the existing trees on the site will be developed in accordance with UDO Section 17.20.130 and approved by the Village Arborist; and
 - b. The Subject Property shall be subject to a reciprocal easement granting ingress and egress over the Subject Property to the Neighboring Property. “Neighboring Property” shall be defined as the property immediately contiguous to the northeast and east of the Subject Property (which is further described as Lot 1 of the Lemont Highlands Subdivision (PINs 22-29-309-017-0000 and 22-29-309-016)).

The area of the Subject Property subject to the reciprocal easement shall be marked as reserved on the Final P.U.D. Plat which shall remain marked as such, except if by the express consent of the Village or such alteration upon the Final P.U.D. Plat is to properly declare the recording of a reciprocal easement drafted per the conditions of this Ordinance. The area subject to the reciprocal easement shall not be subject to any other encroachments upon that area that restrict access to the Subject Property and the Neighboring Property.

The Subject Property’s owner (“Owner”) shall enter into an agreement with the owner of the Neighboring Property (“Neighboring Property Owner”) (Owner and Neighboring Property Owner hereinafter collectively defined as “Parties”) as described below:

- i. the Parties shall enter into a reciprocal easement, by and between themselves, that shall be binding upon all successors and assigns and shall not expire without the consent of the Village;
- ii. that provides access for the ingress and egress over the Subject Property and the Neighboring Property as depicted upon the Final P.U.D. Plat; and
- iii. that shall be drafted and executed by the Parties prior to the issuance of any building permit by the Village to the applicant; and
- iv. that shall be recorded against the Subject Property and Neighboring Property; and
- v. that the Parties shall bear all costs associated with the drafting, execution and recording of the reciprocal agreement; and
- vi. that is approved, prior to recorded, by the Village's Planning and Economic Development Director.

Should the parties not be able to reach an agreement, the Village, at its sole discretion, can either repeal this Ordinance or obtain from the Owner with the Owner's consent, an assignable easement to the Village for ingress and egress over the Subject Property at the sole cost of the Owner.

SECTION 4: The planned unit development approval shall lapse in the event the Petitioner does not commence with site development in twelve (12) months of the effective date of this ordinance.

SECTION 5: The Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

SECTION 6: This Ordinance shall be in full force and effect from and after its passage, approval and publication provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DuPAGE, ILLINOIS, ON THIS 14th DAY OF SEPTEMBER, 2015.

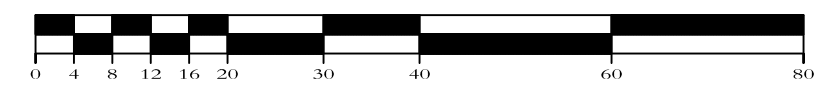
	<u>AYES</u>	<u>NAYS</u>	<u>ABSENT</u>	<u>ABSTAIN</u>
Debby Blatzer				
Paul Chialdikas				
Clifford Miklos				
Ron Stapleton				
Rick Sniegowski				
Jeanette Virgilio				

**Approved by me this 14th day of
SEPTEMBER, 2015**

BRIAN K. REAVES, Village President

Attest:

CHARLENE M. SMOLLEN, Village Clerk



Plat of Survey

of
Lot 2 in Lemont Highlands Subdivision of the South 3/2, 50 feet of the East 1/2 of the Southwest 1/4 of Section 29, Township 37 North, Range 11, East of the Third Principal Meridian, in Cook County, Illinois

Unsubdivided
Lands

Lemont Highlands
Subdivision
(Doc. 14513964)

Lot 3

N88°14'08"E
123.96
rec. = 124.04

Lot 2
38,815 sq ft

Lot 1

N11°50'00"W
322.96
rec. = 323.00

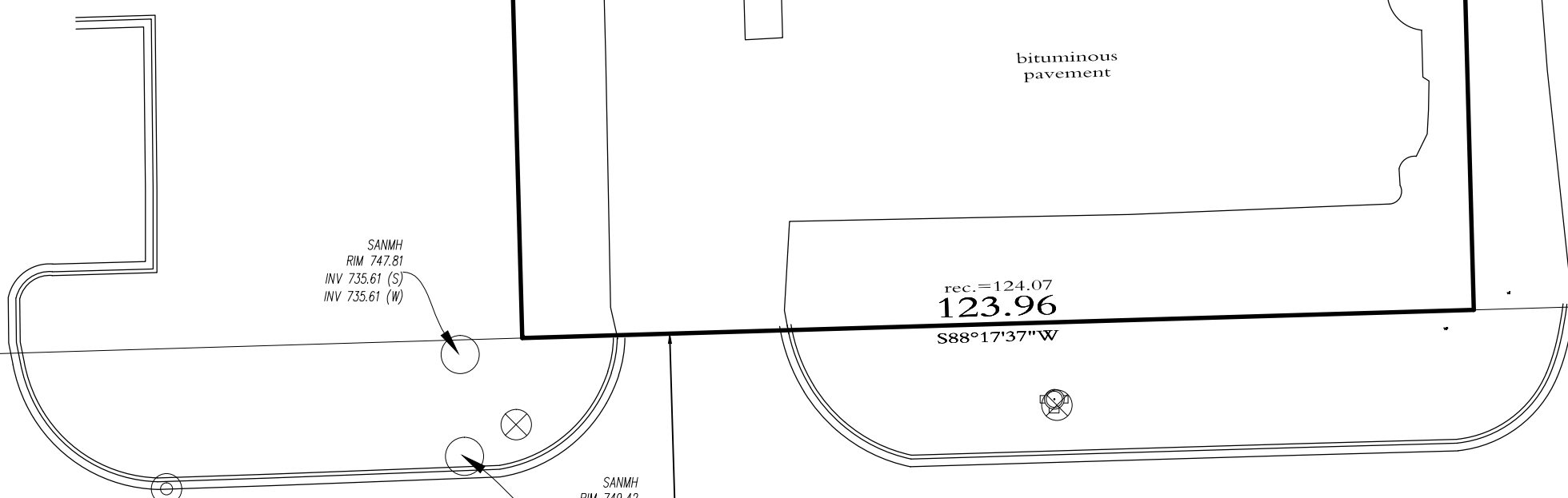
N75°32'30"E
323.09
rec. = 323.00

S88°17'57"W
123.96
rec. = 124.07

SAMM
RW 747.81
NW 735.61 (S)
NW 735.61 (W)

SAMM
RW 749.42
NW 735.57 (N)
NW 735.57 (E)
NW 735.57 (W)

SAMM
RW 747.22
NW 734.50 (N)
NW 734.50 (E)
NW 734.50 (W)



127th Street

State of Illinois }
County of DuPage } S.S.

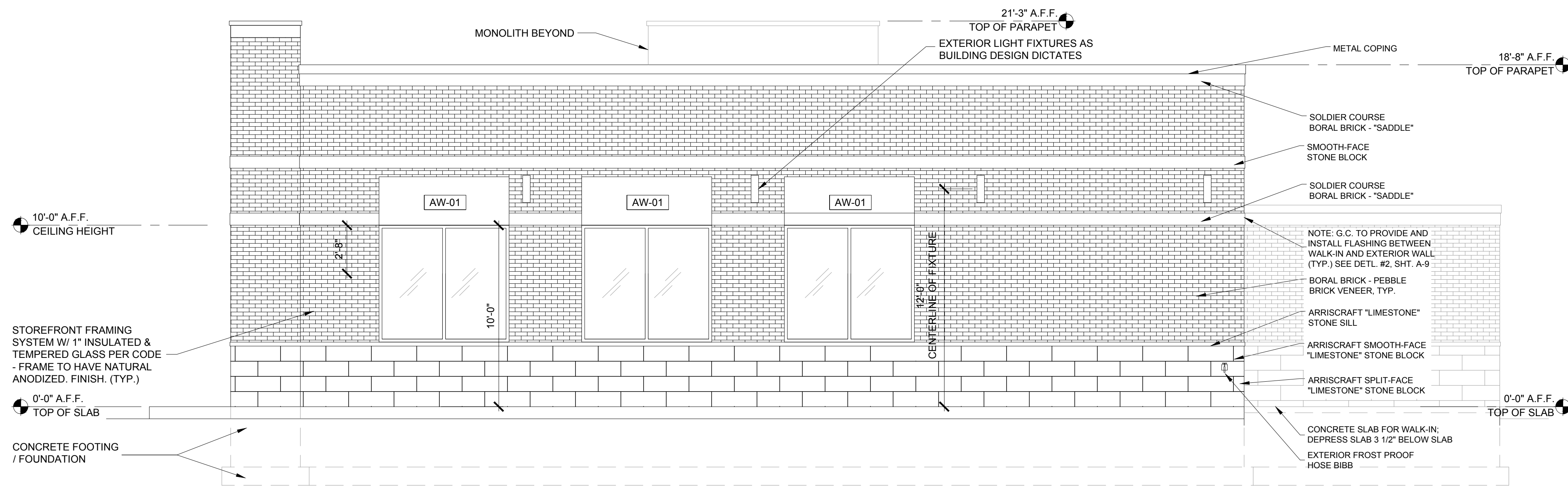
This is to certify that I, John Cole Helfrich, an Illinois Professional Land Surveyor, have surveyed the lands shown and described on the annexed Plat and have prepared said Plat as a representation thereof. The field work was completed on May 8, 2015.

Given under my Hand and Seal at Wheaton, Illinois
this 8th day of May, A.D. 2015.



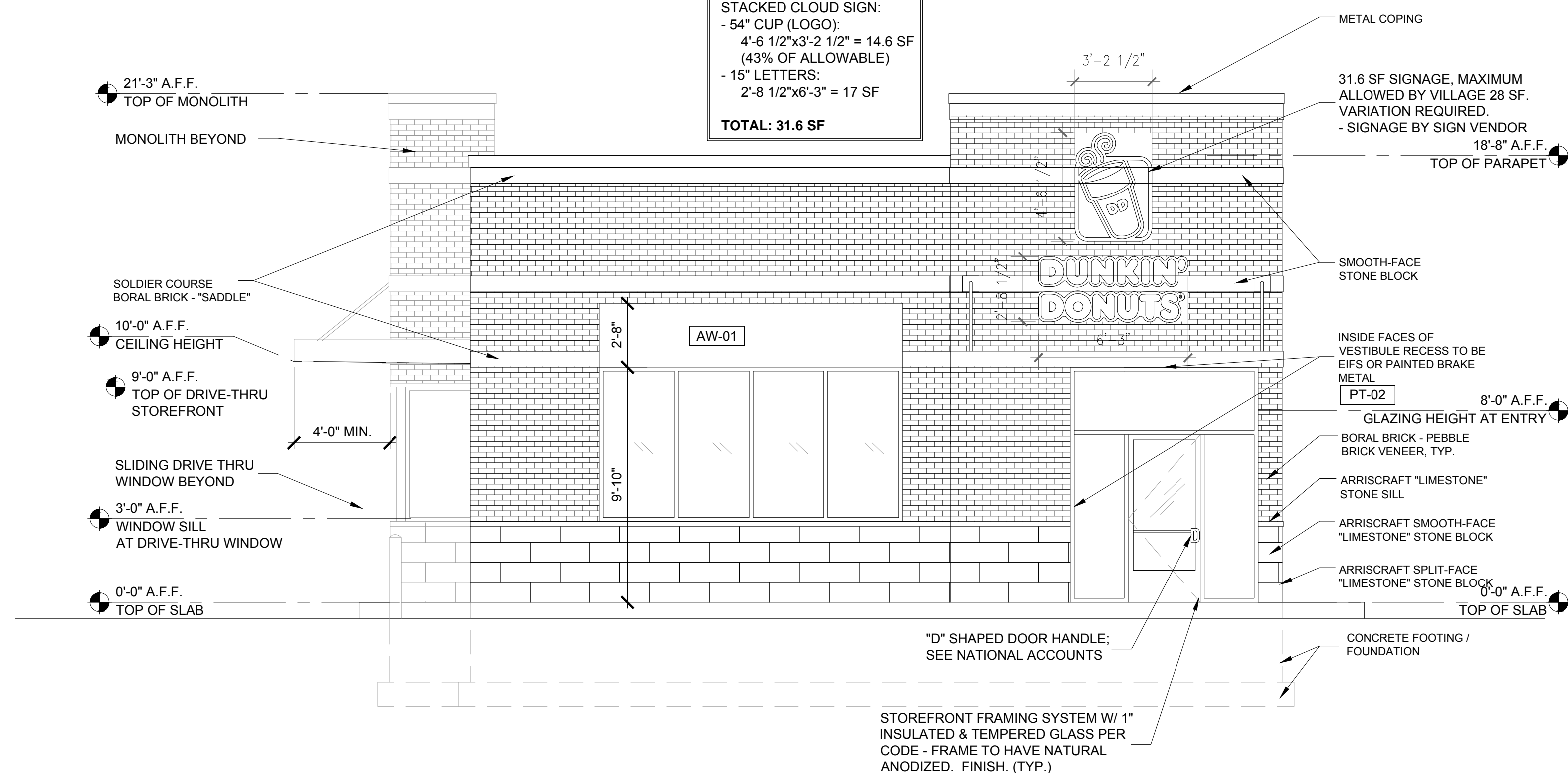
Illinois Professional Land Surveyor 2967
exp. 11-30-16





1 RIGHT ELEVATION

3/16" = 1'-0" NOTE:



2 FRONT ELEVATION

3/16" = 1'-0" NOTE:

EXTERIOR FINISH MATERIAL SCHEDULE:

EXTERIOR FINISH MATERIAL SCHEDULE					
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION	REMARKS
AW-01	AWNING	ARLON	DD FRESH BREW AWNING	BROWN AWNING WITH FRESH BREW MESSAGING	STANDARD AWNING FOR FRESH BREW DESIGNS W/ ORANGE BAND
AW-01ALT	AWNING	ARLON	DD FRESH BREW AWNING	BROWN AWNING - PLAIN MATERIAL	STANDARD PLAIN MATERIAL FOR FIELD ERADICATION OF CUP ICON AND COFFEE & MORE MESSAGE
AW-02	AWNING	ARLON	DD FRESH BREW AWNING	ORANGE AWNING WITH FRESH BREW MESSAGING	ALTERNATE AWNING FOR FB DESIGNS WHERE ORANGE BAND IS NOT ALLOWED OR PRACTICAL TO OVERALL DESIGN
AW-02ALT	AWNING	ARLON	DD FRESH BREW AWNING	ORANGE AWNING - PLAIN MATERIAL	STANDARD PLAIN MATERIAL FOR FIELD ERADICATION OF CUP ICON AND COFFEE & MORE MESSAGE
AW-03	AWNING	ARLON	BR FLAVORS AWNING	PINK AWNING	STANDARD AWNING FOR BR FLAVOR DESIGNS W/BLUE BAND
BC-1	BOLLARD COVERS	IDEAL SHIELD	BC1-CC-4-52-S	4"W X 52"H ORANGE BOLLARD SLEEVE	
MAS-01	STONE VENEER	MS INTERNATIONAL	LPN1QARCWHI624	LEDGER PANEL VENEER (6" X 24")	
MAS-02	STONE VENEER	ARRISCRAFT	REN115	"LIMESTONE" (VERIFY WITH OWNER)	ROCKFACE FOR BOTTOM TWO COURSES SMOOTH FOR TOP (BELOW SILL)
MAS-03	BRICK VENEER	GENERAL SHALE		"COLONY POINTE" (VERIFY WITH OWNER)	
MAS-04	BRICK VENEER	GENERAL SHALE		"DUTCH CHOCOLATTE" (VERIFY WITH OWNER)	ACCENT BAND (SOLDIER COURSE)

ARCHITECT:
EA
 ARCHITECTS AND PLANNERS
 24 N. BENNETT ST.
 GENEVA IL 60134
 PHONE 630 608 0500
 FAX 630 839 8875

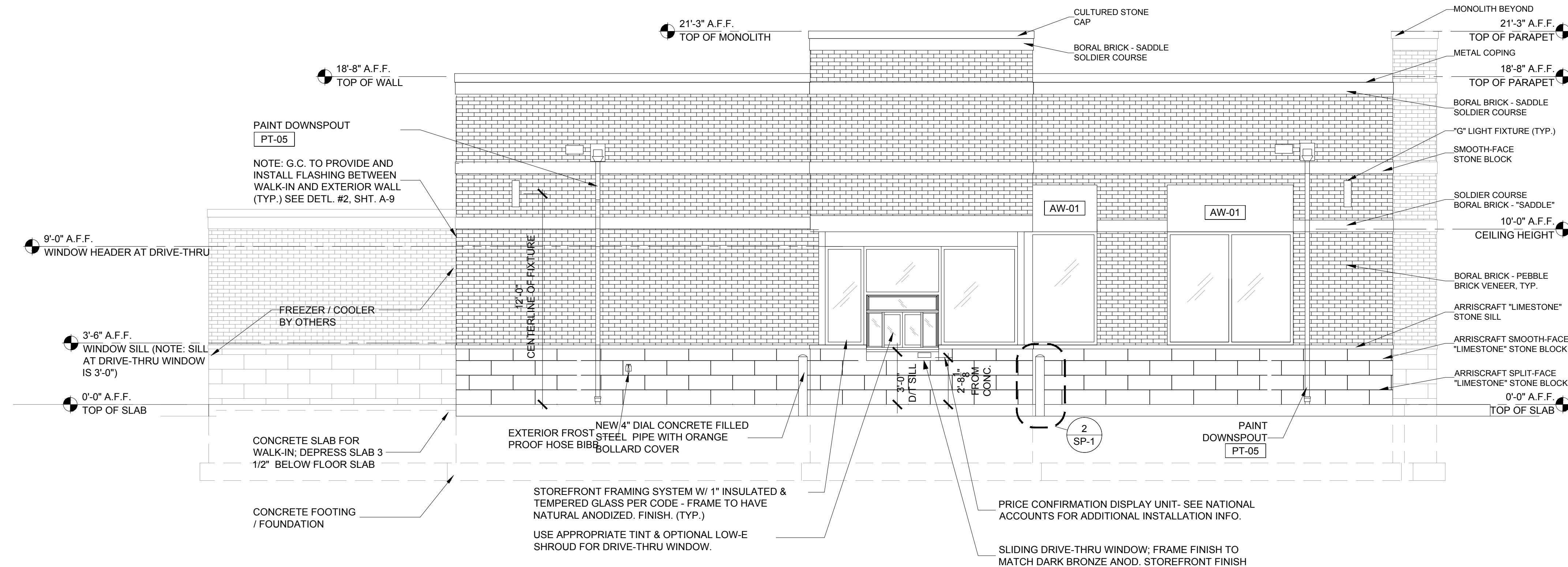
CLIENT:
DUNKIN DONUTS
 15629 W. 127TH ST.
 LEMONT, IL

REVISIONS:

#	DESCRIPTION	DATE
1	PUD SUBMITTAL	07-27-15
2	REVISIONS TO PUD SUBMITTAL	09-9-15
3		
4		
5		
6		
7		
8		
9		
10		

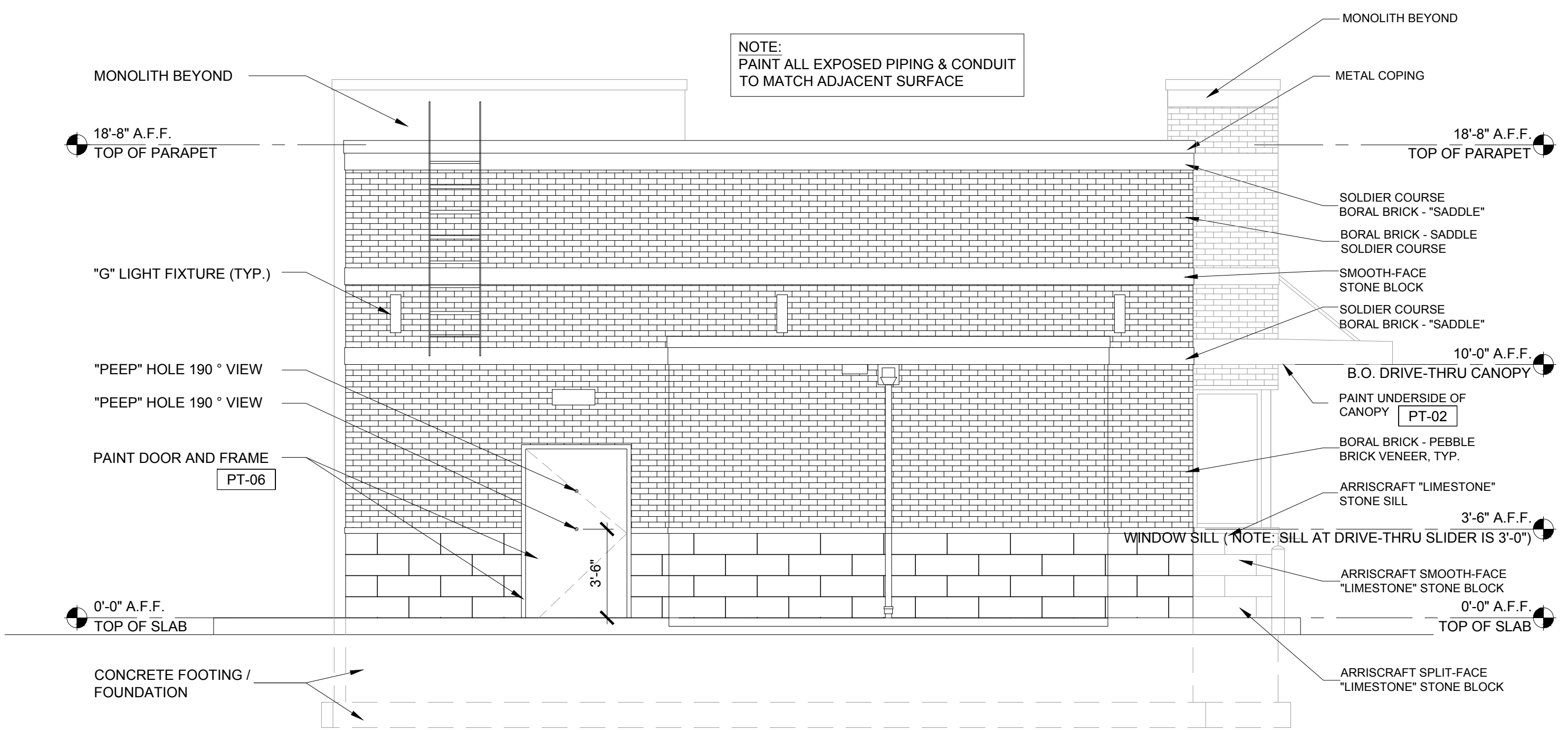
FILE NAME: 15-116_LEMONT
 DRAWN BY: ERC
 REVIEWED BY: ERC
 DRAWING INITIATION DATE: 06-18-15
 SHEET TITLE:

ELEVATIONS
 SHEET NO.
A1.1



1 LEFT ELEVATION

3/16" = 1'-0" NOTE:



2 REAR ELEVATION

3/16" = 1'-0" NOTE:

ARCHITECT:
EA
 ARCHITECTS
 AND
 PLANNERS
 24 N. BENNETT ST.
 GENEVA IL 60134
 PHONE 630 608 0500
 FAX 630 839 8875

CLIENT:

DUNKIN DONUTS
 15629 W. 127TH ST.
 LEMONT, IL

REVISIONS:

#	DESCRIPTION	DATE
△	PUD SUBMITTAL	07-27-15
△	REVISIONS TO PUD SUBMITTAL	09-9-15
△		
△		
△		
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△		
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FILE NAME: 15-116_LEMONT
 DRAWN BY: ERC
 REVIEWED BY: ERC
 DRAWING INITIATION DATE: 06-18-14
 SHEET TITLE:

ELEVATIONS

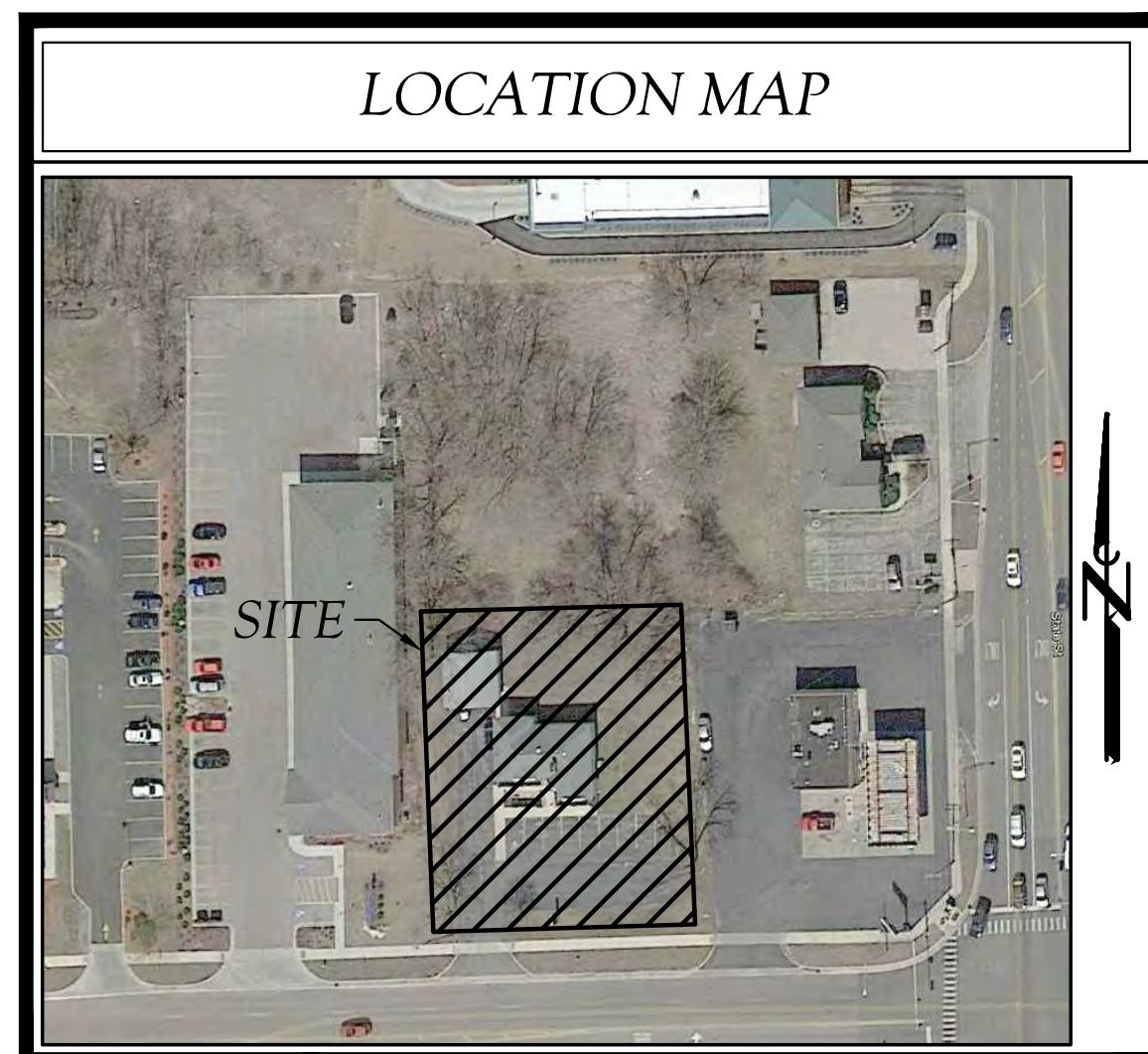
SHEET NO.

A1.2

DUNKIN DONUTS

127th STREET
LEMONT, ILLINOIS

PREPARED FOR
ECA ARCHITECTS



DRAWINGS INDEX			
		REV	DATE
C0.1	TITLE & INDEX SHEET	0	6/19/15
C0.2	EXISTING CONDITIONS PLAN	0	6/19/15
C1.1	PRELIMINARY/FINAL P.U.D. PLAN	1	8/31/15
C2.1	GRADING PLAN	0	6/19/15
C2.2	STORMWATER AND EROSION CONTROL PLAN	0	6/19/15
C2.3	SWPPP DETAILS	0	6/19/15
C3.1	UTILITY PLAN	0	6/19/15
C4.1	LANDSCAPE PLAN	0	6/19/15
C7.1	GENERAL NOTES & SPECIFICATIONS	0	6/19/15
C7.2	SITE DETAILS	0	6/19/15
C7.3	UTILITY DETAILS	0	6/19/15
	LATEST REVISION	1	8/31/15

CONTACTS	
VILLAGE OF LEMONT 418 MAIN STREET LEMONT, ILLINOIS 60439	
PLANNING & ECONOMIC DEV. - CHARITY JONES	(630) 257-1595
PUBLIC WORKS	(630) 257-2532
POLICE DEPARTMENT	(630) 257-2229
BUILDING DEPARTMENT - MARK LoCHAPPELL	(630) 257-1580
COMED - JEFF BARNES 350 S. 2ND ST. ELGIN, IL 60123	(847) 608-2336
AT&T - MARK BENCISCUTTO 255 EAST CHICAGO ST ELGIN, IL 60123	(847) 888-6822
NICOR - DAVE DECHERT 300 WEST TERRACOTTA CRYSTAL LAKE, IL 60014	(815) 455-0271 X262
COMCAST CABLE - MARTHA GIERAS 688 INDUSTRIAL DR. ELMHURST, IL 60126	(630) 600-6352

WARNING CALL

Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

(Operates 24 hours a day 365 days a year)

BEFORE YOU DIG

CONTRACTORS SHALL CALL J.U.L.I.E. BEFORE START OF CONSTRUCTION. CALL LOCAL AMERITECH OFFICE FOR LOCATIONS OF FIBEROPTIC CABLES. J.U.L.I.E. DOES NOT MARK THESE LOCATIONS.

DRAINAGE OVERLAY CERTIFICATE

STATE OF ILLINOIS } ss.
COUNTY OF COOK

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF. OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS _____ DAY OF _____ 2015

INDIANA REGISTERED PROFESSIONAL ENGINEER OWNER OR ATTORNEY FOR OWNER

STATE REGISTRATION NUMBER _____

BENCHMARKS	
BENCHMARK #1 EXISTING FIRE HYDRANT EAST OF THE EXISTING DRIVE ENTRANCE. TOP BOLT ELEV. 750.52	
BENCHMARK #2 EXISTING WATER VALVE VAULT ON THE WEST SIDE OF THE EXISTING DRIVE ENTRANCE. RIM ELEV. 748.85	
ALL ELEVATIONS ARE USGS DATUM. REFER TO C0.2 FOR BENCHMARK LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL BENCHMARKS	

REVISIONS			
NO.	DATE	DESCRIPTION	
1	9/9/2015	Village Comments for Final PUD Ordinance	

TITLE & INDEX SHEET

DUNKIN DONUTS
127th STREET
LEMONT, ILLINOIS

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE CODES AND ORDINANCES OF THE VILLAGE OF LEMONT.
LICENSE EXPIRATION: NOVEMBER 30, 2015

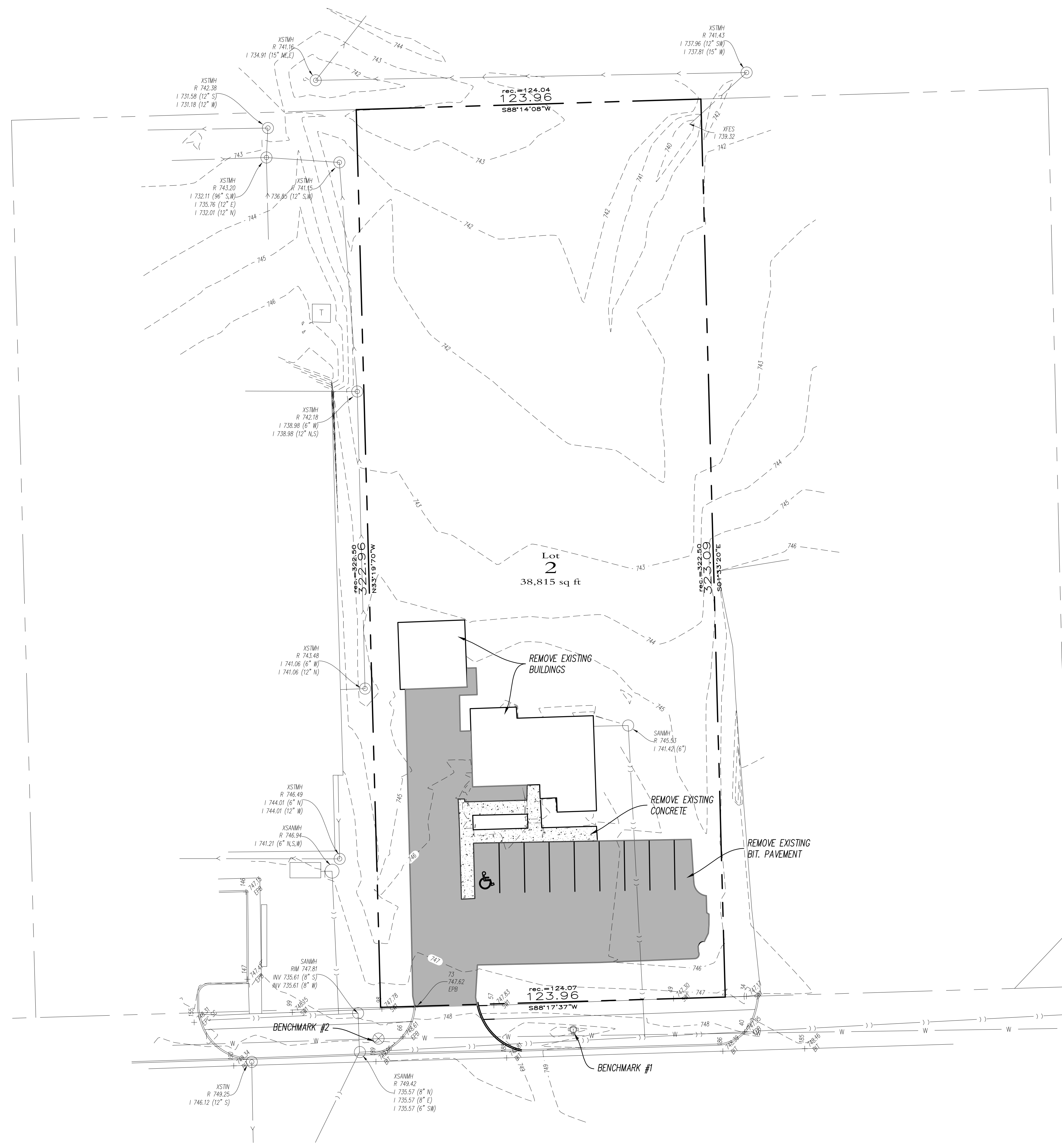
STEVEN R. KUDWA LICENSED ENGINEER # 062-054950

Craig R. Knoche & Associates Civil Engineers, P.C.
24 N. Bennett Street • Geneva, IL 60134 • phone (630) 845-1270 • fax (630) 845-1275

DATE: 6/19/15
FILE: 15-019 C01
JOB NO: 15-019

C0.1
SHEET NO.

LEMONT, ILLINOIS
DUNKIN DONUTS



SITE DEMOLITION LEGEND

	TO REMAIN	TO BE REMOVED
WATERMAIN		
STORM SEWER		
SANITARY SEWER		
STORM MANHOLE		
SANITARY MANHOLE		
VALVE VAULT/B-BOX		
MONITORING WELL		
FIRE HYDRANT		
UTILITY POLE		
CURB AND GUTTER		
CONTOUR		
TREES		
STREET LIGHT		
TRANSFORMER		
CONCRETE		

SITE DEMOLITION NOTES

- All sewers which are to be abandoned shall be removed and replaced with approved trench backfill and compacted to 95% modified proctor if located in future building areas or 90% in any other location. Plugs shall be on both ends of pipe for a distance of 2' and be made of non-shrink concrete concrete or mortar.
- Contractor shall field verify all existing conditions prior to demolition and notify engineer of any discrepancies or potential conflicts between existing conditions and proposed design.
- All excess material shall be hauled offsite and disposed of properly. Demolition debris shall not be buried on site unless soil engineer has approved as allowable backfill.
- Contractor must barricade construction area with 6 ft. min. chain link fence equipped with locked construction entrance gate. All open trenches must be backfilled the same day they are opened.
- Demolition contractor shall call J.U.L.I.E. prior to any demolition work.
- Demolition contractor is responsible for demolition permits and associated fees.
- Demolition contractor is responsible for following all O.S.H.A. regulations.
- All utilities to be abandoned shall be capped in accordance with the requirements of the appropriate utility companies and the governing municipality.
- Traffic control for work in the right-of-way shall meet I.D.O.T. standards per Section 900, Standard Specifications for Road and Bridge Construction. (as adapted 2012)
- Contractor must barricade (including warning lights) all open excavations to prevent vehicular and pedestrian traffic from entering the area.
- All excavations to be filled in 9" lifts with approved engineered backfill and compacted to 95% modified proctor.
- Excavation contractor shall grade site in order to provide full pavement section per pavement detail.
- A construction schedule shall be coordinated with all adjacent property owners to maintain continuous access to all existing driveways.
- All mud shall be removed from all construction vehicles prior to exiting the construction site. Any dirt and debris deposited on the adjacent roadways shall be immediately removed from said adjacent roadways.
- All manholes to be abandoned shall have the cone removed and backfilled per the requirements of the appropriate utility company and the governing municipality.
- Demolition drawing is for site demolition work only - building demolition by others.
- Demolition of all utilities (including but not limited to gas, electric, telephone and cable) shall be coordinated with the governing municipality and the utility companies.
- Excavate all existing landscape areas, including parkways, to full pavement design depth for new construction.
- Contractor will be responsible for removal of all visible and underground improvements including but not limited to items shown on these plans.
- Ground is to be graded to have positive drainage and seeded or immediate construction of the new building.
- Within 30 days after any structure, building and premises are demolished, the owner shall remove all debris from the site, restore the original grade to the surface, and spread not less than 4" of black topsoil over the entire surface of the demolition site. Upon spreading and grading the topsoil, the owner shall sow an approved commercial perennial blend of grass seed at a min. of 5 pounds per 1000 sq. ft. or shall lay sod. The grass shall be maintained throughout the established growing season.

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

EXISTING CONDITIONS & DEMOLITION PLAN

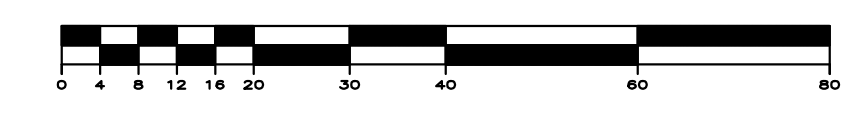
DUNKIN' DONUTS
127th STREET
LEMONT, ILLINOIS

Craig R. Knoche & Associates • Civil Engineers
• Surveyors
• Land Planners
24 N. Bennett Street • Geneva, IL 60134 • phone (630) 845-1270 • fax (630) 845-1275

DATE: 6/19/15
FILE: 15-019 C02
JOB NO: 15-019

C0.2
SHEET NO.

LEMONT, ILLINOIS
DUNKIN' DONUTS



SITE ANALYSIS

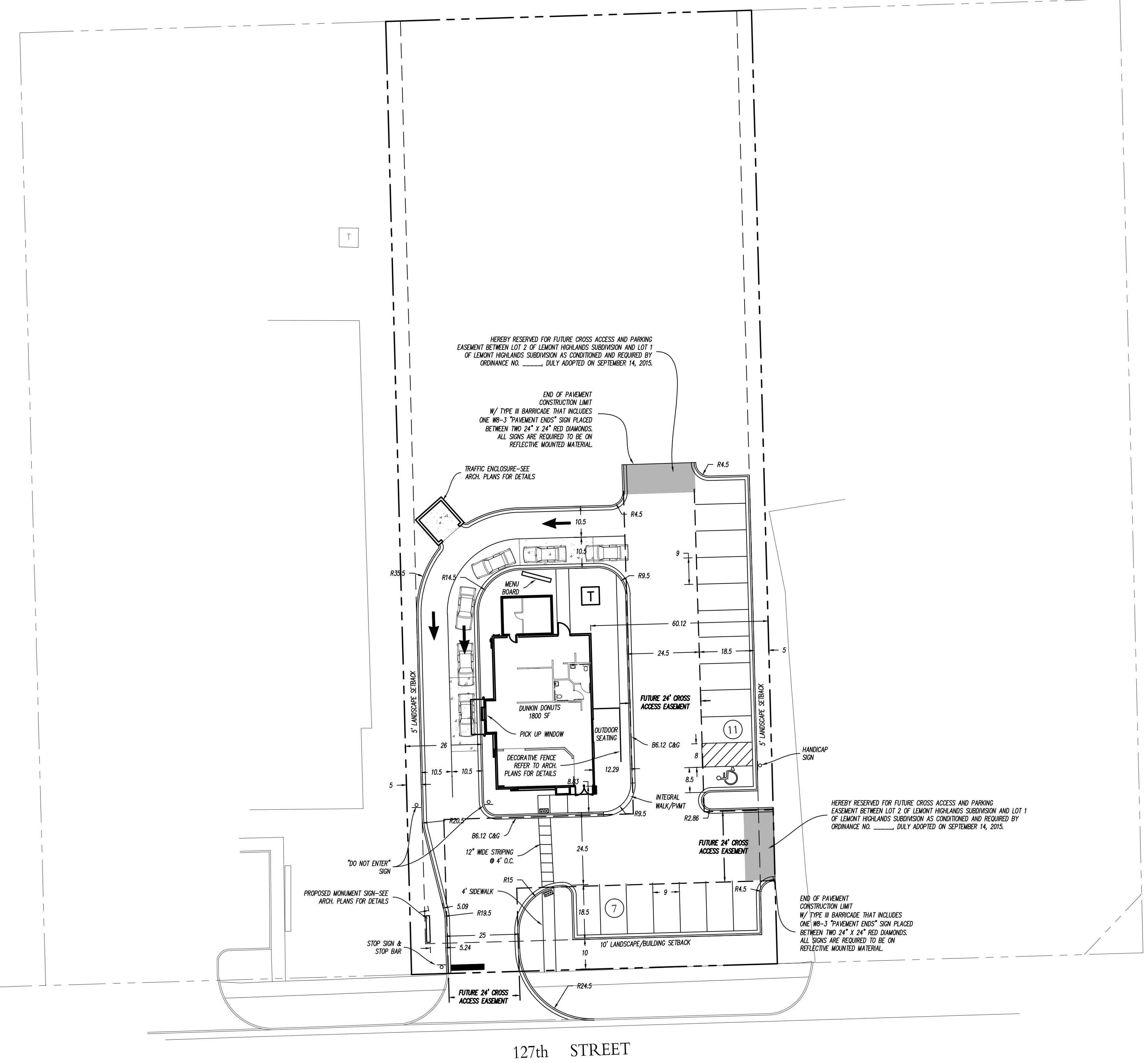
SITE	
TOTAL SITE AREA	40,043 SF ±0.92 ACRES
TOTAL DISTURBED AREA	20,018 SF ±0.46 ACRES
PROPOSED RETAIL BUILDING	1,800 SF
TOTAL CARS PROVIDED	18 CARS

LEGEND

PROPOSED CURB & GUTTER B6:12 SEE DETAIL 2/C7.2	
EXISTING CURB & GUTTER	
PROPERTY LINE	
SETBACK LINE	
CONCRETE PAVEMENT SEE DETAIL 3/C7.2	
PROPOSED LIGHT POLE	

SITE NOTES

- ALL PROPERTY DIMENSIONS AND AREA ARE APPROXIMATES AND SUBJECT TO CHANGE PER FINAL SURVEY.
- ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RADI ARE FACE OF CURB UNLESS OTHERWISE NOTED.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO STARTING WORK AND NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
- SIDEWALK AROUND PERIMETER OF BUILDING SHALL BE INTEGRAL WALK / CURB SEE DETAIL 10/C7.2
- CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ALL EXISTING PAVEMENT AND/OR CURB AND GUTTER DAMAGED DURING CONSTRUCTION, WHICH IS NOT SPECIFIED ON DEMOLITION PLAN (02.2).
- SEE DETAIL FOR CONCRETE PAVEMENT SECTIONS.
- PAVEMENT MARKINGS WITHIN THE PARKING LOT SHALL BE PAINTED TRAFFIC YELLOW 4" WIDE AND 2 COATS
- ADA ACCESSIBLE RAMPS SHALL BE INSTALLED AT ALL LOCATIONS DELINEATED ON PLANS AS WELL AS AT ALL LOCATIONS WHERE SIDEWALKS ABUTTS DRIVES OR ROADWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING RAMPS PER THE MOST STRINGENT LOCAL, STATE OR FEDERAL CODE AT THE TIME OF CONSTRUCTION.
- ALL CURB AND GUTTER SHALL BE B6:12 UNLESS OTHERWISE STATED ON THE PLANS.



STATE STREET

127th STREET

REVISIONS

NO.	DATE	DESCRIPTION
2	9/09/15	PER VILLAGE COMMENTS
1	8/31/15	PER VILLAGE COMMENTS
NO.	DATE	DESCRIPTION

**FINAL
PLAT**

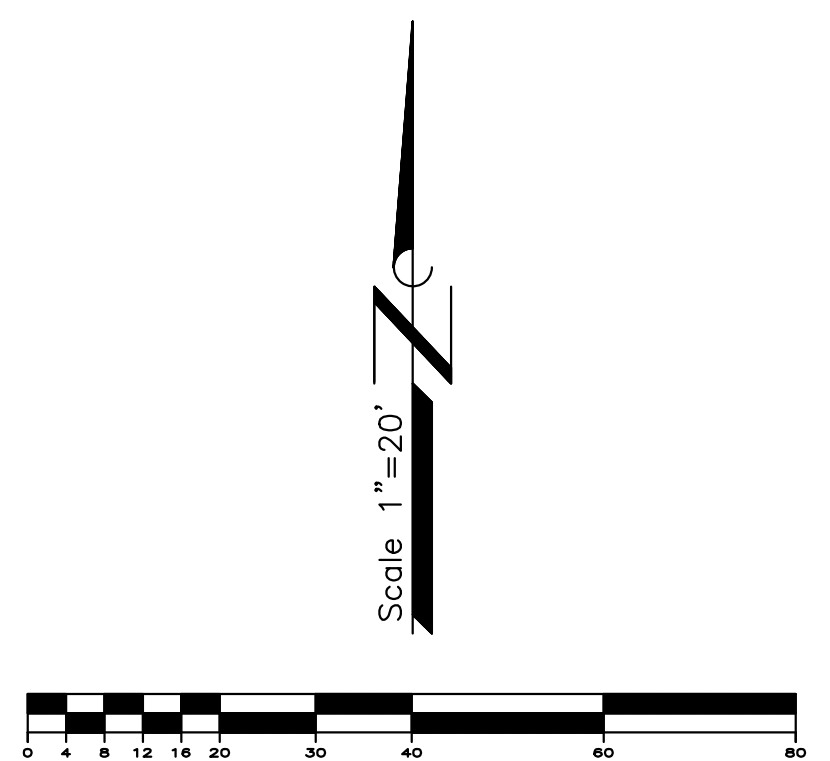
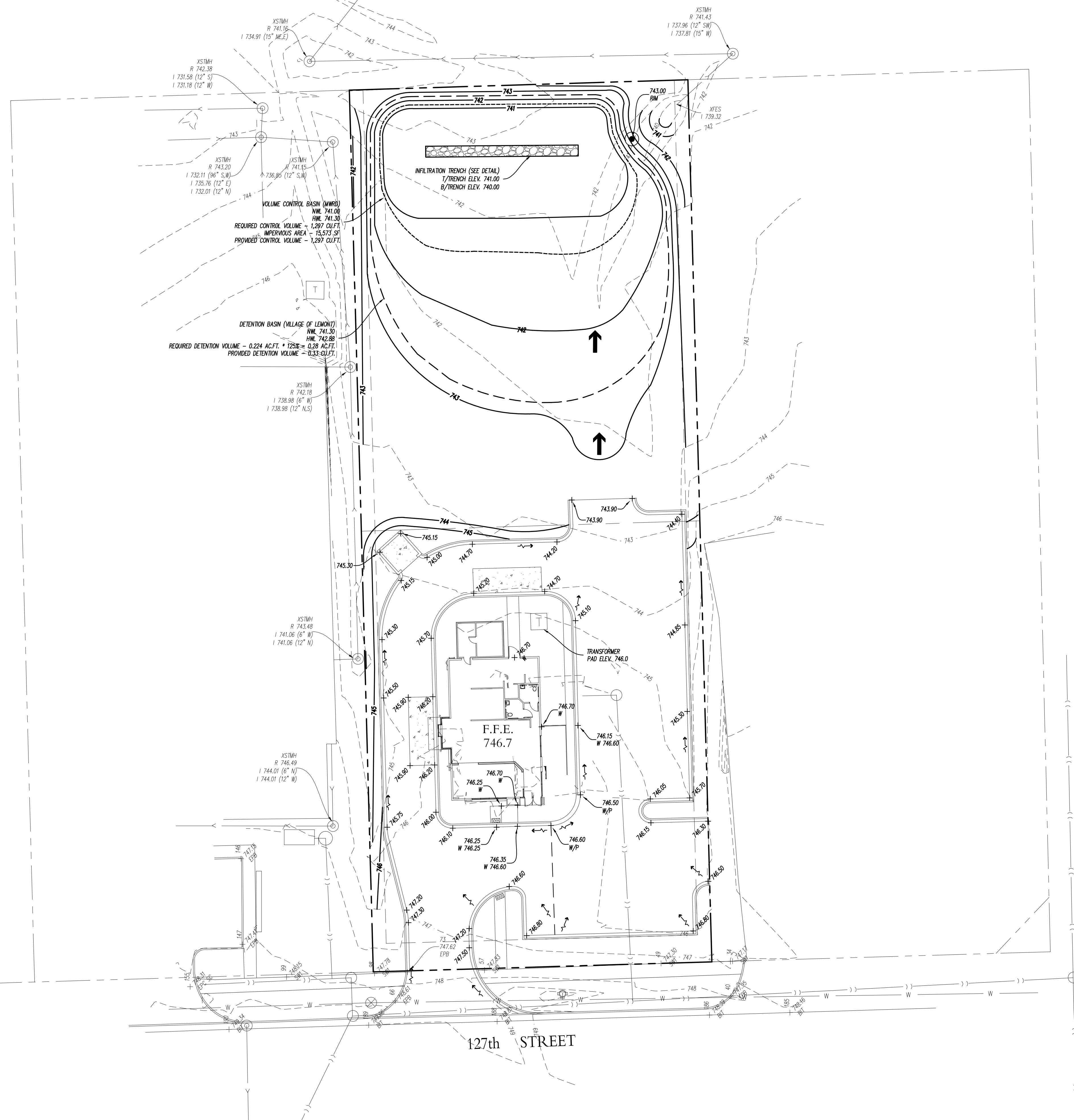
DUNKIN DONUTS
127th STREET
LEMONT, ILLINOIS

Craig R. Knoche & Associates • Civil Engineers
• Surveyors
• Land Planners
24 N. Bennett Street • Geneva, IL 60134 • phone (630) 845-1270 • fax (630) 845-1275

DATE: 6/19/15
FILE: 15-019 C10
JOB NO: 15-019

C1.1
SHEET NO.

LEMONT, ILLINOIS
DUNKIN DONUTS



LEGEND

	EXISTING	PROPOSED
PAVEMENT GRADE	▲ 675.00	▲ 675.00
WALK GRADE	▲ 675.00	▲ 675.00
BACK OF CURB GRADE	▲ 675.00	▲ 675.00
GROUND GRADE	▲ 675.00	▲ 675.00
RIM GRADE	▲ 675.00	▲ 675.00
STORM MANHOLE/CATCH BASIN	⊙	⊙
STORM INLET	⊙	⊙
FLARED END SECTION	⊙	⊙
SANITARY MANHOLE	⊙	⊙
FIRE HYDRANT	⊙	⊙
VALVE VAULT/B-BOX	⊙	⊙
REVERSE CURB & GUTTER	—	—
CONTOURS	- - - 675 - - -	- - - 675 - - -
EMERGENCY OVERFLOW	→	→
FLOW DIRECTION	→	→
RIDGELINES	—	—
REVERSE CURB	—	—

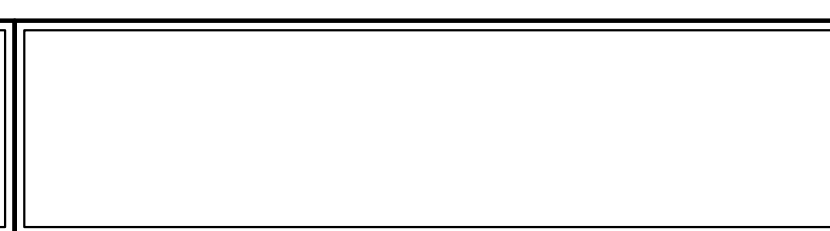
- GRADING NOTES**
1. GRADING CONTRACTOR SHALL VERIFY EXISTING CONTOURS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 2. THE GRADING CONTRACTOR SHALL SPREAD SPOILS FROM UTILITY CONTRACTORS WORK TO BALANCE THE SITE TO THE EXTENT POSSIBLE.
 3. THE GRADING CONTRACTOR SHALL REMOVE EXCESS SOIL FROM THE SITE.
 4. EROSION CONTROL MEASURES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: SILT FENCE AROUND PERIMETER SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED. ALL INLET STRUCTURES SHALL BE PROTECTED WITH INLET BASKETS.
 5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN SUCH MEASURES UNTIL GRADING IS COMPLETE AND PARKING LOT IS PAVED. IF THERE IS NO GENERAL CONTRACTOR, IT WILL THEN BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO INSTALL AND MAINTAIN EROSION CONTROL MEASURES.
 6. THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF THE EROSION CONTROL DEVICES SHALL MAINTAIN ALL STORM WATER POLLUTION DEVICES THROUGHOUT CONSTRUCTION AND UNTIL ALL UNPAVED OR NON-BUILDING AREAS HAVE A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70 PERCENT OR GREATER. MAINTENANCE INCLUDES WEEKLY INSPECTIONS OR AN INSPECTION FOLLOWING A RAINFALL OF 1/2 INCH IN A 24-HOUR PERIOD. THE CONTRACTOR MUST SUBMIT A COPY OF THE INSPECTION REPORT TO THE OWNER WEEKLY, AND ENGINEER AT THE END OF EACH MONTH AND KEEP A COPY OF THE REPORT ON THE CONSTRUCTION SITE UNTIL THE REQUIRED VEGETATION COVER IS IN PLACE.
 8. IF ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN ON THESE DRAWINGS ARE REQUIRED TO STOP OR PREVENT EROSION OR ARE REQUIRED BY ANY AUTHORITY HAVING JURISDICTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL SUCH DEVICES. THE OWNER OR ENGINEER SHALL BE NOTIFIED OF THE ADDITIONAL WORK AND COST PRIOR TO INSTALLATION.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND ENGINEER, IN WRITING, OF ANY ADDITIONAL SOURCES OF STORM WATER POLLUTION OBSERVED DURING CONSTRUCTION AND THE ADDITIONAL COSTS REQUIRED TO PREVENT ADDITIONAL POLLUTION.
 10. CONTRACTOR SHALL COMPARE ARCHITECTURAL AND ENGINEERING PLANS FOR INTERFACE COMPATIBILITY.
 11. ALL LANDSCAPE AND MASS GRADED AREAS SHALL HAVE AT LEAST SIX (6) INCHES OF TOPSOIL SPREAD PRIOR TO STABILIZATION.

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

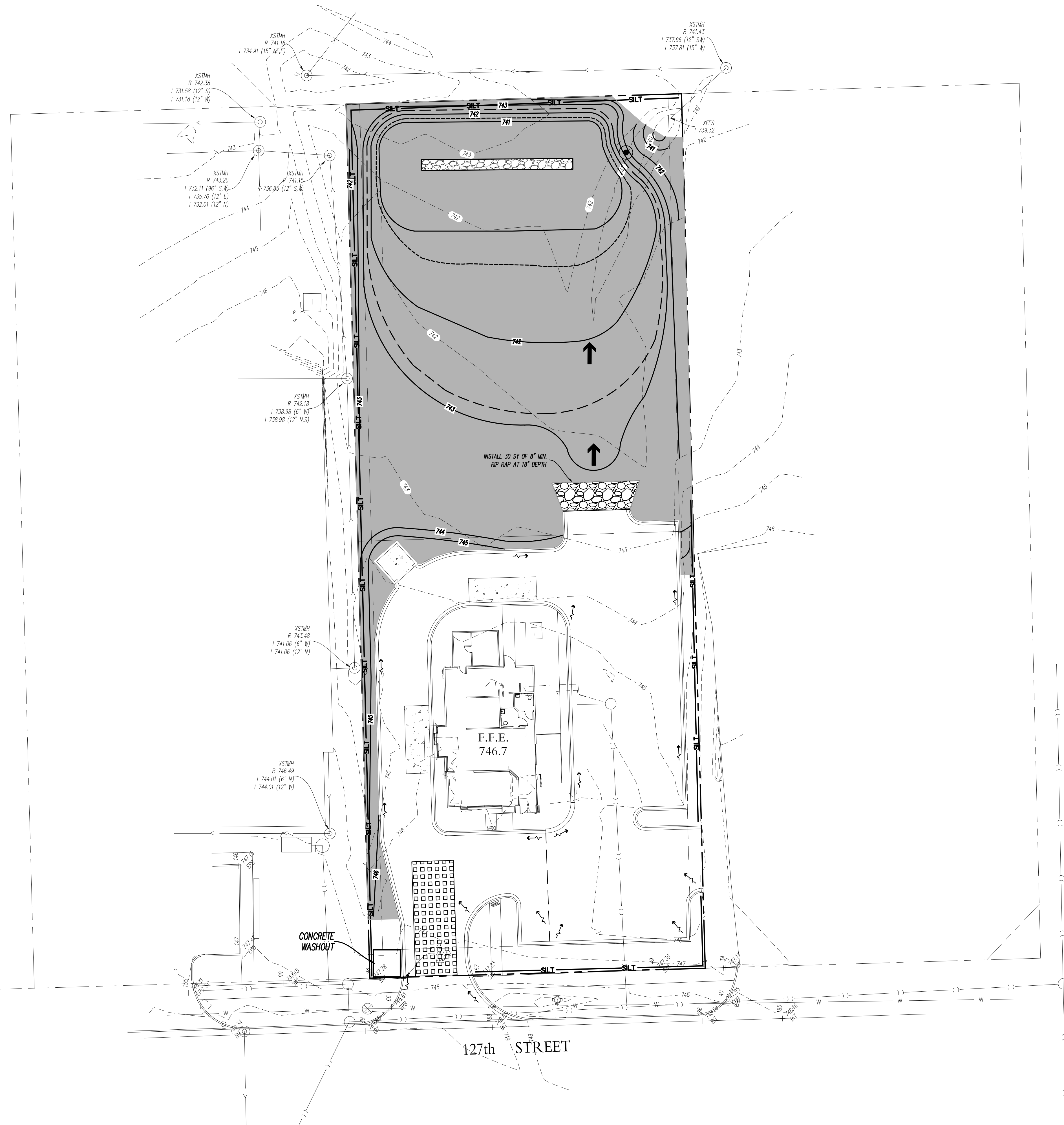
GRADING PLAN

DUNKIN DONUTS
127th STREET
LEMONT, ILLINOIS





Craig R. Knoche & Associates • Civil Engineers
• Surveyors
• Land Planners
24 N. Bennett Street • Geneva, IL 60134 • phone (630) 845-1270 • fax (630) 845-1275


DATE: 6/19/15	C2.1
FILE: 15-019 C20	
JOB NO: 15-019	
SHEET NO.	



LEGEND

 CONSTRUCTION ENTRANCE - SEE DETAIL. CONTAMINATED MATERIAL TO BE REMOVED AND REPLACED WITH CA-6 PRIOR TO PAVING. ELEVATION OF CONSTRUCTION ENTRANCE TO MATCH PAVEMENT SUBGRADE ELEVATION. LENGTH OF ENTRANCE SHALL BE NO LESS THAN 100 FEET.

 TENSAR ERONET D8150 EROSION CONTROL BLANKET. SEED MIX #3 SHALL BE USED IN ALL AREAS WHERE EROSION CONTROL BLANKET IS REQUIRED UNLESS OTHERWISE STATED ON LANDSCAPE PLAN.

 SILT FENCE - SEE DETAILS C2.3

EROSION CONTROL SEED MIXES

SEED MIX #3

29% Spring Oats	50#
23% Alta Tall Fescue	40#
18% Fults Puccinellia Distans	30#
12% Perennial Ryegrass	20#
6% Side Oats Grama	10#
6% Birdsfoot Trefoil **	10#
3% Alsike Clover **	5#
3% Little Blue Stem	5#

170# per acre

** Requires Inoculation

SEED MIX #7

56% Spring Oats	64#
44% Perennial Rye Grass	50#

114# per acre

**STORMWATER POLLUTION PREVENTION PLAN
CONTRACTOR CERTIFICATION**

STATE OF ILLINOIS
COUNTY OF COOK

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (LR10) THAT AUTHORIZES THE STORMWATER DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR VIOLATING THIS PERMIT, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

CONTRACTOR'S SIGNATURE _____ COMPANY NAME _____
 TITLE _____ ADDRESS _____
 DATE _____ PHONE NUMBER _____

**STORMWATER POLLUTION PREVENTION PLAN
OWNER CERTIFICATION**

STATE OF ILLINOIS
COUNTY OF COOK

IT IS THE RESPONSIBILITY OF THE LANDOWNER AND/OR GENERAL CONTRACTOR TO INFORM ANY SUBCONTRACTOR(S) WHO MAY PERFORM WORK ON THIS PROJECT OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA.

OWNER'S SIGNATURE _____ COMPANY NAME _____
 TITLE _____ ADDRESS _____
 DATE _____ PHONE NUMBER _____

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

**STORMWATER POLLUTION
PREVENTION PLAN**

DUNKIN DONUTS
127th STREET
LEMONT, ILLINOIS

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DATE: 6/19/15
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JOB NO: 15-019
SHEET NO. **C2.2**

DUNKIN DONUTS
LEMONT, ILLINOIS

SWPPP NOTES

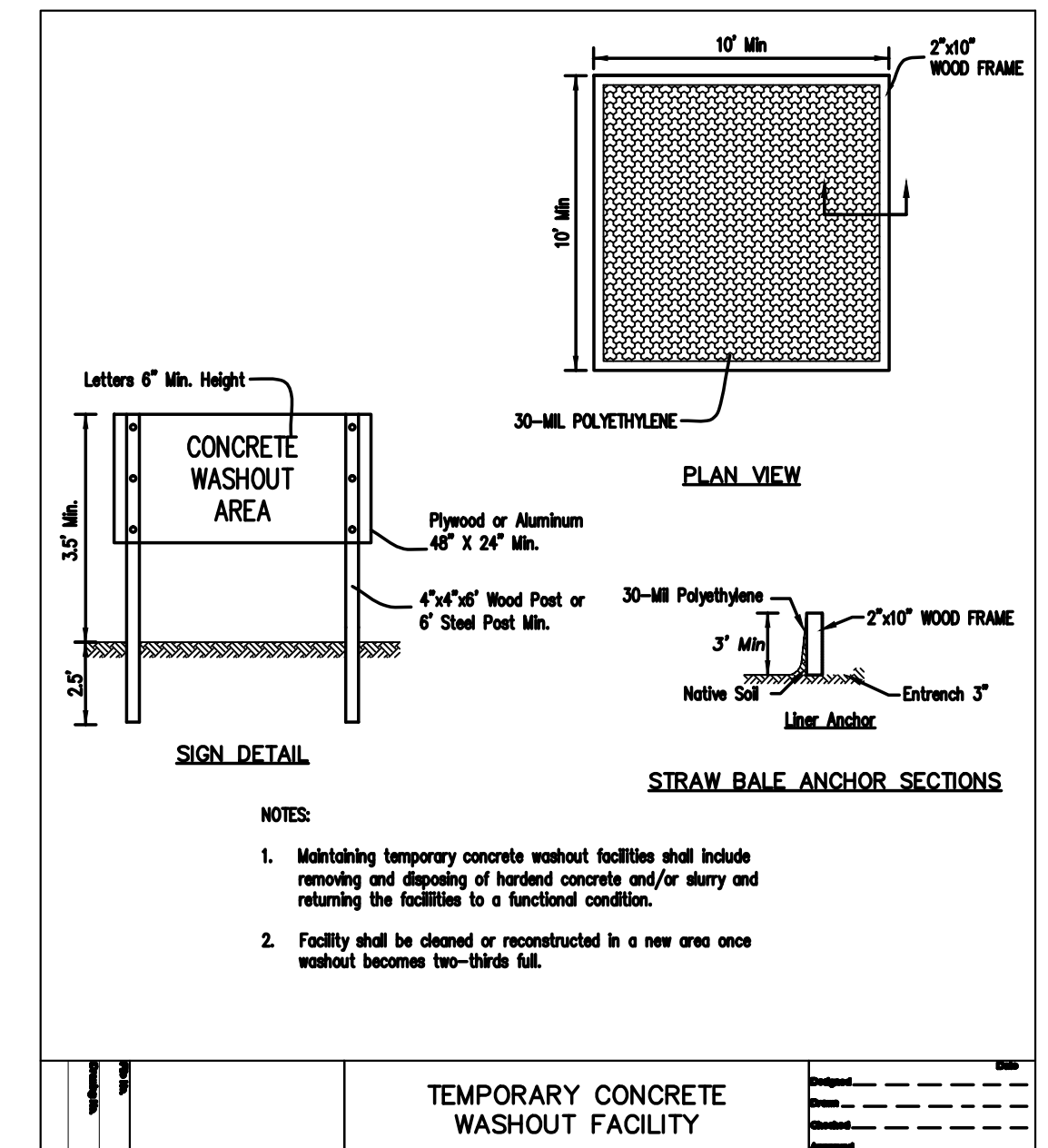
- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, LATEST EDITION.
- A COPY OF THE APPROVED STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS), A SUPPLEMENTARY STORM WATER POLLUTION PREVENTION PLAN SHALL BE SUBMITTED BY THE OWNER FOR REVIEW BY VILLAGE OF ALGONQUIN AND IEPA.
- EROSION CONTROL MEASURES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: SILT FENCE SHALL BE PLACED AND SHALL REMAIN IN PLACE AROUND EACH STORM STRUCTURE UNTIL CONSTRUCTION IS COMPLETED. A SILT FENCE AROUND PERIMETER SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED. ALL INLET STRUCTURES SHALL BE PROTECTED WITH "CATCH-ALL" INLET BASKETS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF LAND DISTURBING ACTIVITY AND MAINTAIN SUCH MEASURES UNTIL VEGETATION STABILIZATION IS 70% COMPLETE AND PARKING LOT IS PAVED. IF THERE IS NO GENERAL CONTRACTOR, IT WILL THEN BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO INSTALL AND MAINTAIN EROSION CONTROL MEASURES.
- THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF EROSION CONTROL DEVICES SHALL MAINTAIN ALL STORM WATER POLLUTION DEVICES THROUGHOUT CONSTRUCTION AND UNTIL ALL UNFRAMED OR NON-BUILDING AREAS HAVE A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OR GREATER. MAINTENANCE INCLUDES WEEKLY INSPECTIONS OR AN INSPECTION FOLLOWING A RAINFALL OF 1/2" IN A 24-HOUR PERIOD. THE CONTRACTOR MUST SUBMIT A COPY OF THE INSPECTION REPORT TO THE OWNER AND ENGINEER AT THE END OF EACH MONTH AND KEEP A COPY OF THE REPORT ON THE CONSTRUCTION SITE UNTIL THE REQUIRED VEGETATION COVER IS IN PLACE.
- IF ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN ON THESE DRAWINGS ARE REQUIRED TO STOP OR PREVENT EROSION OR ARE REQUIRED BY ANY AUTHORITY HAVING JURISDICTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL SUCH DEVICES. THE OWNER OR ENGINEER SHALL BE NOTIFIED OF THE ADDITIONAL WORK AND COST PRIOR TO INSTALLATION.
- ANY AND ALL INCIDENTS OF NON-COMPLIANCE MUST BE SUBMITTED TO THE VILLAGE OF ALGONQUIN AND IEPA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND ENGINEER, IN WRITING, OF ANY ADDITIONAL SOURCES OF STORM WATER POLLUTION OBSERVED DURING CONSTRUCTION AND THE ADDITIONAL COSTS REQUIRED TO PREVENT ADDITIONAL POLLUTION.
- REFER TO LANDSCAPE PLAN FOR LOCATIONS AND SPECIFICATIONS OF SOODING, SEEDING AND NETLAND PLANTINGS.
- STOCKPILES SHALL NOT EXCEED 2:1 SLOPES. STOCKPILES REMAINING IN PLACE LONGER THAN 14 DAYS SHALL BE REQUIRED TO HAVE I.D.O.T. #7 SEED MIX INSTALLED. ALL STOCKPILES SHALL BE EQUIPPED WITH SILT FENCE PRIOR TO PILING OF EARTHWORK. STOCKPILES SHALL BE INSTALLED AROUND PERIMETER OF STOCKPILE WITH SILT FENCE LOCATED ON BOTH SIDES OF DITCH.
- PRIORITY SHALL BE GIVEN TO THE COMPLETION AND STABILIZATION OF THE DETENTION AREAS. WORK IN THESE AREAS SHALL NOT BE PROLONGED IN AN ATTEMPT TO HAVE FINAL GRADING AND STABILIZATION TAKE PLACE AT ONE TIME.
- ALL ADJACENT STREETS AND ROADWAYS SHALL BE KEPT CLEAR OF DEBRIS. DAILY INSPECTIONS AND CLEANING ARE REQUIRED AS NECESSARY. CLEANING SHALL BE DONE WHEN DEEMED NECESSARY BY AUTHORITIES TO PREVENT HAZARDS TO HEALTH OR DRAINAGE UTILITIES INCLUDING CURB AND GUTTERS INLETS, DITCHES ETC.
- IN AREAS WHERE WORK IS COMPLETE, PERMANENT STABILIZATION SHALL OCCUR WITHIN SEVEN (7) DAYS OF COMPLETION, AND IN AREAS WHERE WORK HAS TEMPORARILY CEASED FOR 14 DAYS OR MORE, TEMPORARY STABILIZATION SHALL OCCUR BY THE 7TH DAY AFTER WORK HAS CEASED.
- DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FIELD TILES OR STORM WATER STRUCTURES IS PROHIBITED.
- THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATION COVER FOR PROPER EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS THAT ARE TO REMAIN IDELE THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GROWING SEASON MUST INCORPORATE THE SOIL STABILIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.
- STOCKPILES OF SOIL AND OTHER BUILDING MATERIALS TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE FURNISHED WITH EROSION AND SEDIMENT CONTROL MEASURES (I.E., PERIMETER SILT FENCE). STOCKPILES TO REMAIN IN PLACE FOR 14 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.
- COMPLETED SLOPES SHALL BE SEEDING AND MULCHED (OR BLANKETED, IF APPLICABLE) AS THE EXCAVATION PROCEEDS TO THE EXTENT CONSIDERED DESIRABLE AND PRACTICAL. PERMANENT SEEDING SHALL BE USED WHENEVER POSSIBLE UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROLONG FINAL GRADING AND SHAPING SO THAT THE ENTIRE PROJECT CAN BE PERMANENTLY SEEDING AT ONE TIME.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY ROCK ISLAND COUNTY.
- IT IS THE RESPONSIBILITY OF THE LANDOWNER AND/OR GENERAL CONTRACTOR TO INFORM ANY SUBCONTRACTOR(S) WHO MAY PERFORM WORK ON THIS PROJECT OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA.

SOIL EROSION CONTROL SEQUENCING

- EACH RESPECTIVE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND ANY NECESSARY CORRECTIVE ACTION ASSOCIATED WITH THE EROSION CONTROL MEASURES SO DESIGNATED FOR THAT CONTRACTOR.
- THE FOLLOWING ITEMS ARE TO BE PROVIDED BY THE DESIGNATED CONTRACTOR AT THE TIME AND IN THE GENERAL SEQUENCE INDICATED BELOW.
- MASS GRADING/EARTHWORK CONTRACTOR
 - PROVIDE CONSTRUCTION ENTRANCE AND SILT FENCE PRIOR TO THE START OF CONSTRUCTION.
 - PROVIDE DIVERSION SWALES AROUND SITE PERIMETER (WHICH ARE PART OF OVERALL GRADING PLAN) AS NECESSARY TO PREVENT AND/OR INTERCEPT STORM WATER RUNOFF TO OFFSITE AREAS, AS PART OF THE INITIAL MASS GRADING IMPROVEMENTS.
 - OVER-EXCAVATE PROPOSED TEMPORARY SILTATION BASIN(S) AS NECESSARY. OVER-EXCAVATE AROUND PROPOSED YARD INLETS.
 - UNDERGROUND CONTRACTOR
 - PROVIDE INLET BASKETS AROUND ALL STORM STRUCTURES IMMEDIATELY UPON INSTALLATION OF SAID STRUCTURE(S).
 - PROVIDE CLEANING OF THE STORM SEWER SYSTEM AND SEWER STRUCTURES.
 - PROVIDE INLET BASKETS AT ALL CURB INLETS DURING CONSTRUCTION. INLET BASKETS SHALL BE MAINTAINED UNTIL ALL "UPSTREAM" AREAS TO A RESPECTIVE INLET HAVE BEEN COMPLETED THROUGH ESTABLISHMENT OF VEGETATIVE COVER.

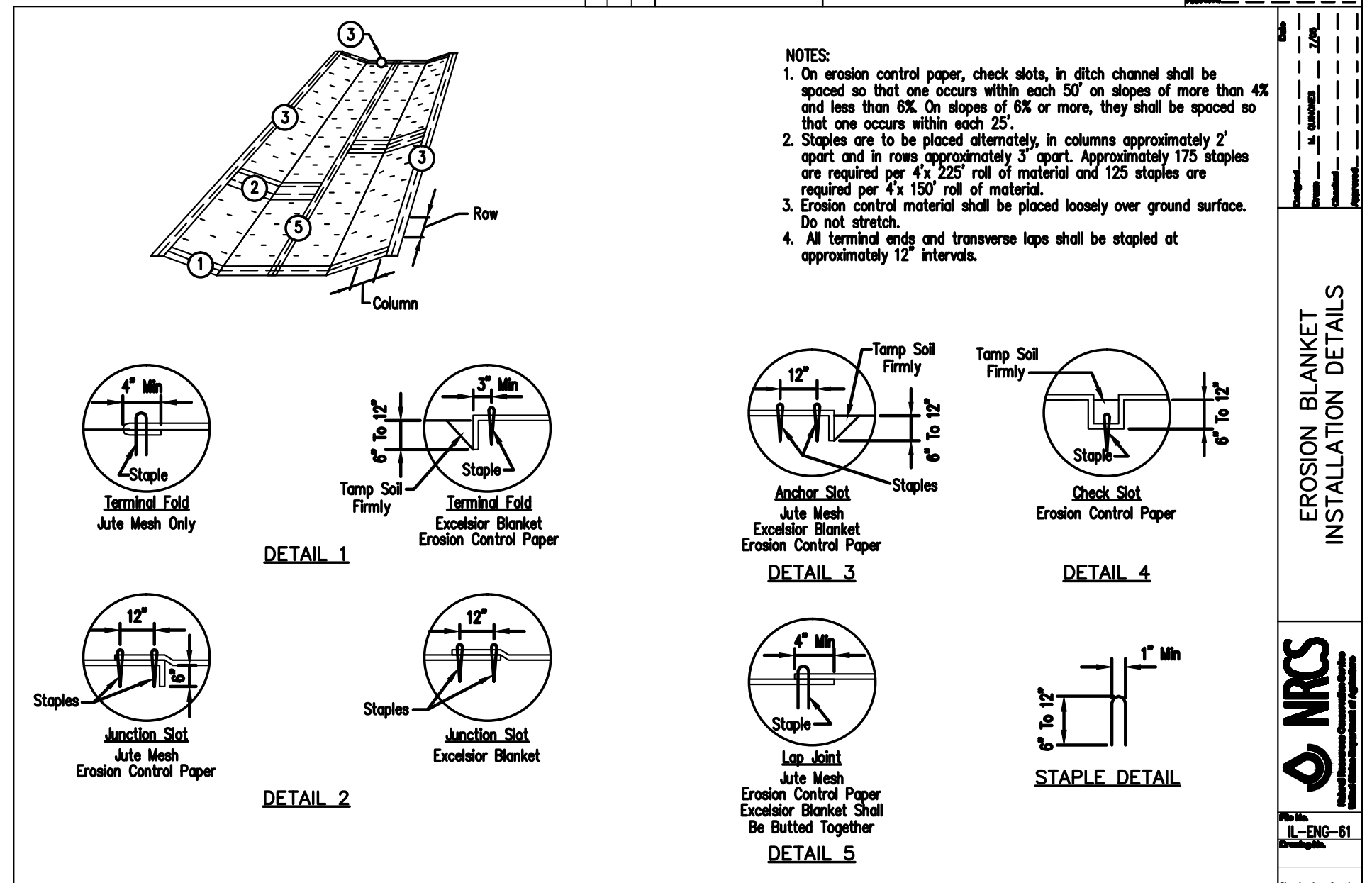
INSPECTION SCHEDULE

- DIVERSION AND STRUCTURAL MEASURES - WILL BE INSPECTED AT WEEKLY INTERVALS OR AFTER EVERY RAINSTORM PRODUCING RUNOFF.
- SEDIMENT BASINS - WILL BE CHECKED WEEKLY FOR SEDIMENT ACCUMULATION.
- VEGETATIVE PLANTINGS - SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.
- REPAIRS - ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES OR OTHER RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN 7 DAYS.
- MOWING - DRAINAGEWAYS, DITCHES AND OTHER AREAS THAT SUPPORT A DESIGNATED FLOW OF WATER WILL BE MOWED REGULARLY TO MAINTAIN THAT FLOW.
- RESEEDING - SEEDING AREAS WHERE THE SEED HAS NOT PRODUCED A GOOD COVER WILL BE RESEEDING AND FERTILIZED.



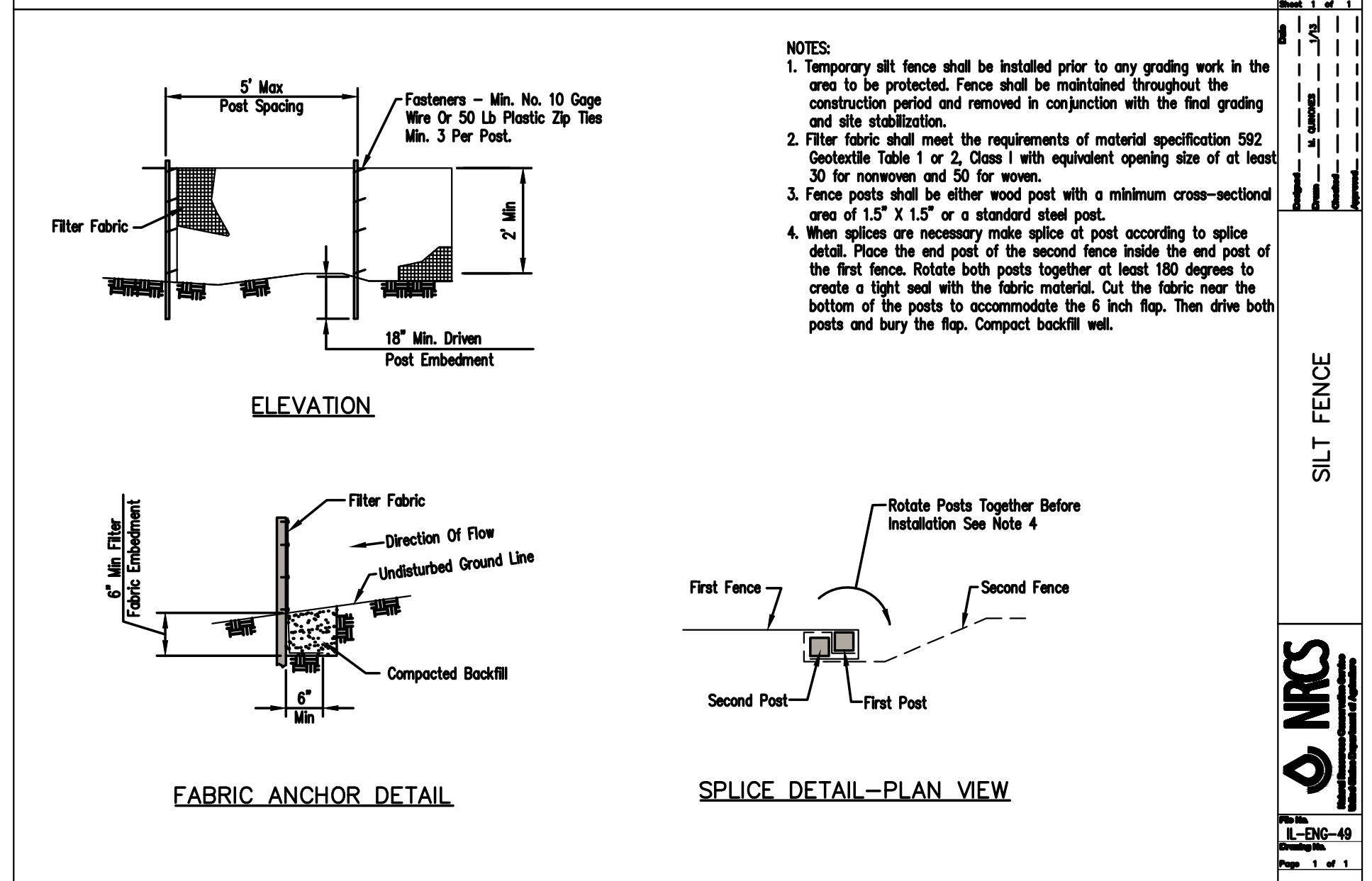
- NOTES:
- Maintaining temporary concrete washout facilities shall include removing and disposing of hardened concrete and/or slurry and returning the facilities to a functional condition.
 - Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.

TEMPORARY CONCRETE WASHOUT FACILITY



- NOTES:
- On erosion control paper, check slots, in ditch channel shall be spaced so that one occurs within each 50' on slopes of more than 4% and less than 6%. On slopes of 6% or more, they shall be spaced so that one occurs within each 25'.
 - Staples are to be placed alternately, in columns approximately 2' apart and in rows approximately 3' apart. Approximately 175 staples are required per 4'x 225' roll of material and 125 staples are required per 4'x 150' roll of material.
 - Erosion control material shall be placed loosely over ground surface. Do not stretch.
 - All terminal ends and transverse laps shall be stapled at approximately 12' intervals.

EROSION CONTROL BLANKET INSTALLATION DETAILS



- NOTES:
- Temporary silt fence shall be installed prior to any grading work in the area to be protected. Fence shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
 - Filter fabric shall meet the requirements of material specification 582, Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
 - Fence posts shall be either wood post with a minimum cross-sectional area of 1.5" x 1.5" or a standard steel post.
 - When splices are necessary make splice of post according to splice detail. Place the end post of the second fence inside the end post of the first fence. Rotate both posts together at least 180 degrees to create a tight seal with the fabric material. Cut the fabric near the bottom of the posts to accommodate the 6 inch flap. Then drive both posts and bury the flap. Compact backfill well.

SILT FENCE

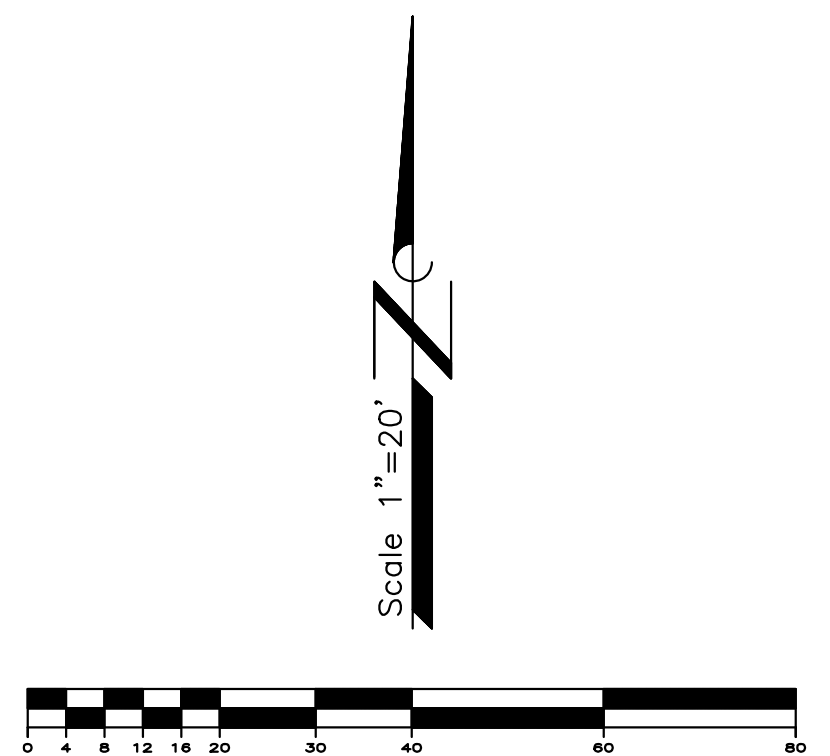
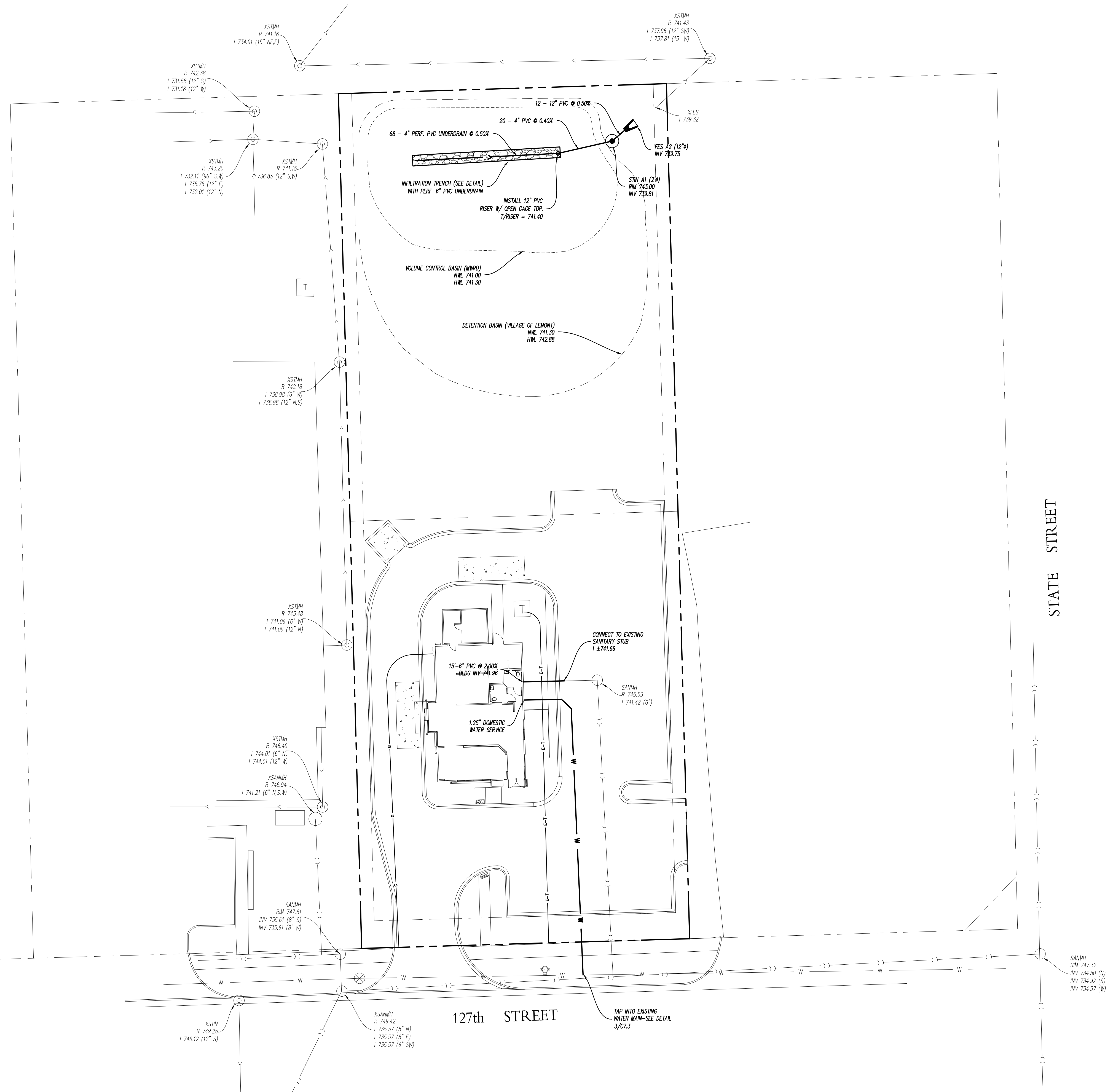
REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

SWPPP NOTES & DETAILS

DUNKIN DONUTS
127th STREET
LEMONT, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers, P.C.
24 N. Bennett Street • Geneva, IL 60134 • phone (630) 845-1270 • fax (630) 845-1275

DATE:	6/19/15
FILE:	15-019 C20
JOB NO:	15-019
SHEET NO.	C2.3



LEGEND

	PROPOSED	EXISTING
STORM SEWER	—>—	—>—
SANITARY SEWER	—>—	—>—
WATERMAIN	— 8" D.I.W.M. —	— 12" D.I.W.M. —
ELECTRIC	— E —	— E —
TELEPHONE	— T —	— T —
GAS	— G —	— G —
STORM MANHOLE	⊙	⊙
FLARED END SECTION	⊙	⊙
SANITARY MANHOLE	⊙	⊙
VALVE VAULT / B-BOX	⊙	⊙
FIRE HYDRANT	⊙	⊙
LIGHT POLES	⊙	⊙

- UTILITY NOTES**
- ALL WATERMAIN SHALL BE CLASS 50 DUCTILE IRON PIPE UNLESS OTHERWISE SPECIFIED. FITTINGS SHALL MEET AWWA C110 OR C153. VALVE SHALL MEET AWWA C509-87.
 - ALL STORM SEWER PIPE SHALL MEET DOT SPECIFICATIONS (ART. 550.03) FOR SELECTING THE PIPE CLASS. STORM PIPE MUST MEET ASTM C76 STANDARDS.
 - PRECAST CONCRETE SECTIONS FOR MANHOLES, CATCH BASINS, INLETS AND VAULTS SHALL MEET ASTM C478.
 - EXISTING UTILITIES SHOWN ARE FOR INFORMATION ONLY AND ARE NOT NECESSARILY EXCLUSIVE. CONTRACTOR SHALL VERIFY UTILITIES WHERE POSSIBLE AND NOTIFY ENGINEER OF DISCREPANCIES, EXCEPTIONS, OR OMISSIONS AS SOON AS POSSIBLE.
 - NO FILTER FABRIC ALLOWED UNDER FRAMES OR GRATES. ALL STRUCTURES SHALL HAVE INLET FILTERS INSTALLED. ALL INLET PROTECTION SHOULD BE IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN.
 - FRAME AND GRATE REQUIREMENTS:
 STORM STRUCTURE (PAVEMENT) - NEENAH R-2504 TYPE A
 STORM STRUCTURE (CURB) - NEENAH R-3015
 STORM STRUCTURE (GRASS) - NEENAH R-4340-B
 SANITARY STRUCTURE - NEENAH R-1712
 EXCEPTIONS TO ABOVE ARE NOTED ON PLANS.
 - GENERAL CONTRACTOR SHALL VERIFY SPECIFIC SIZE AND LOCATION OF CONDUIT FOR GAS, ELECTRIC AND TELEPHONE PRIOR TO INSTALLATION.
 - ALL EXISTING DRAIN TILE LOCATED WITHIN THE SITE BOUNDARY SHALL BE REMOVED OR ABANDONED AS NECESSARY. ALL DRAIN TILE ENTERING SITE SHALL BE TIED INTO PROPOSED STORM LINE OR REROUTED TO MAINTAIN EXISTING DRAINAGE PATTERNS. IN PLACES WHEREBY THE PROPOSED WATERMAIN AND EXISTING ACTIVE DRAIN TILE CROSS, THE WATERMAIN SHALL BE INSTALLED WITH CASING 10 FEET ON EITHER SIDE OF CROSSING.
 - SANITARY PLUGS WILL BE REQUIRED DURING CONSTRUCTION AT ALL EXISTING MANHOLES WHERE PROPOSED CONNECTIONS ARE MADE AND AT THE FIRST MANHOLE OF EACH PROPOSED SANITARY LINE.
 - CONTRACTOR TO SEE LANDSCAPE AND IRRIGATION SPECIFICATIONS IN ARCHITECTURAL PLANS AND CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
 - ALL STORM STRUCTURES LOCATED IN AND ALONG ALL 86.12 CURB AND GUTTER SHALL HAVE CURB FRAME AND GRATES.
 - ALL ROOF DOWNSPOUTS MUST TIE DIRECTLY INTO THE STORM SEWER SYSTEM. NO OVERLAND DRAINAGE WILL BE PERMITTED FOR THE ROOF DRAINS.

REVISIONS

NO.	DATE	DESCRIPTION

UTILITY PLAN

DUNKIN DONUTS
 127th STREET
 LEMONT, ILLINOIS

STATE STREET

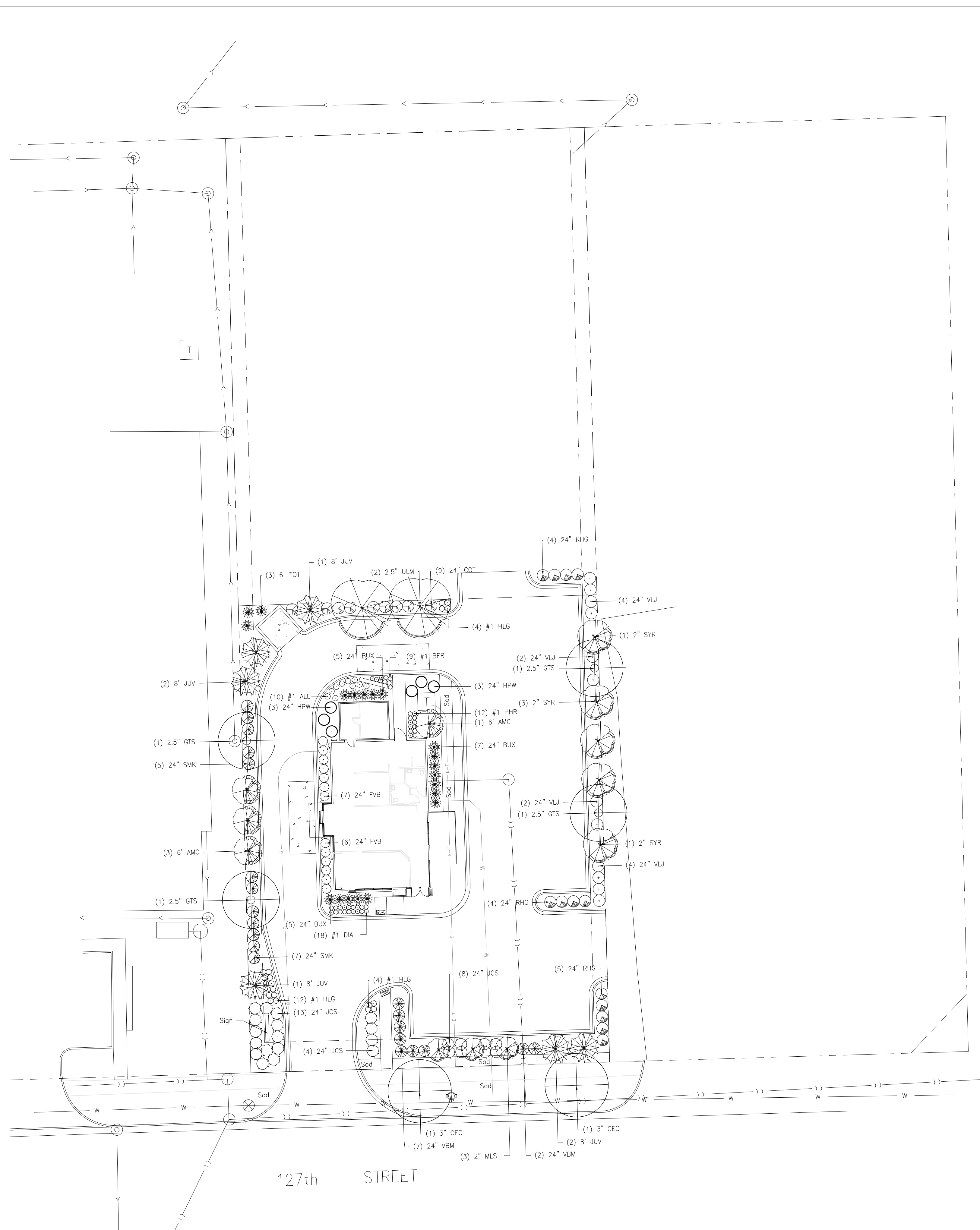
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DATE: 6/19/15
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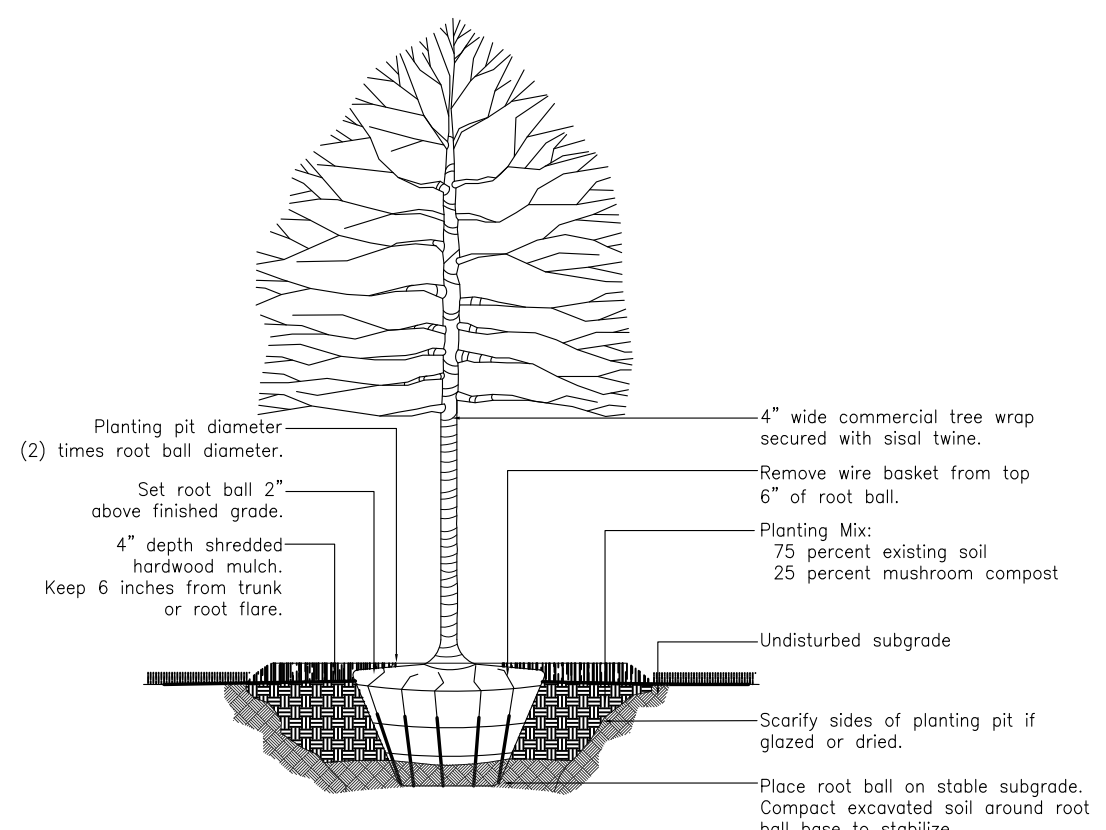
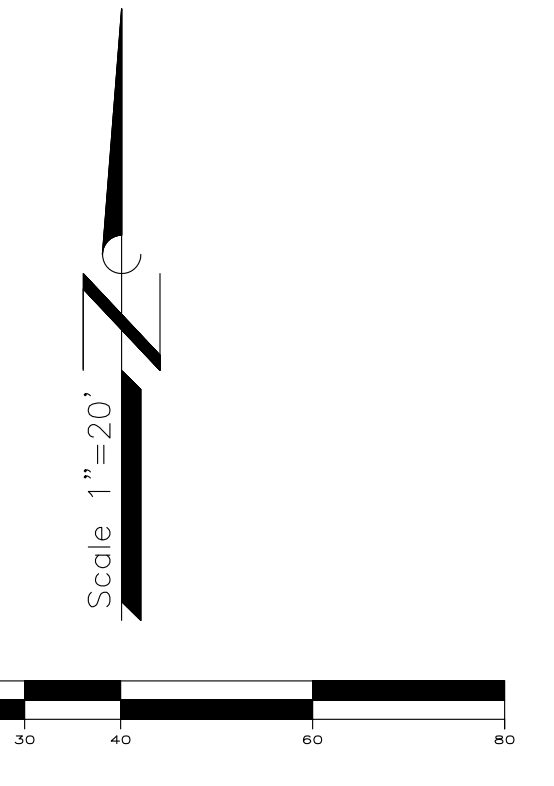
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 SHEET NO.

DUNKIN DONUTS LEMONT, ILLINOIS

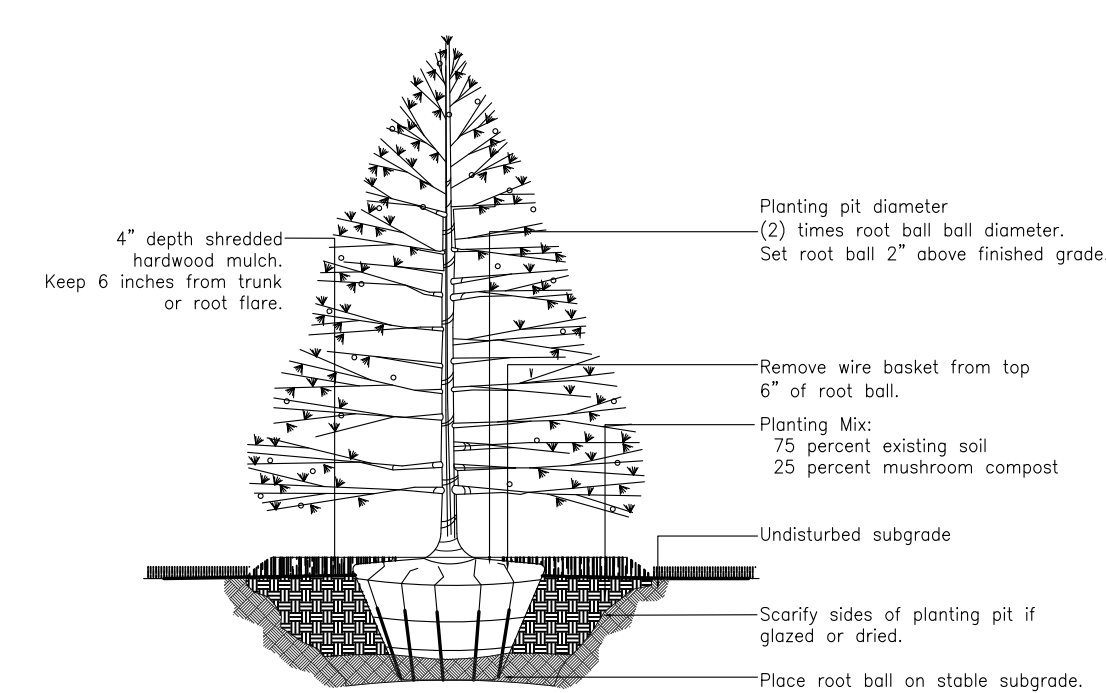


STATE STREET

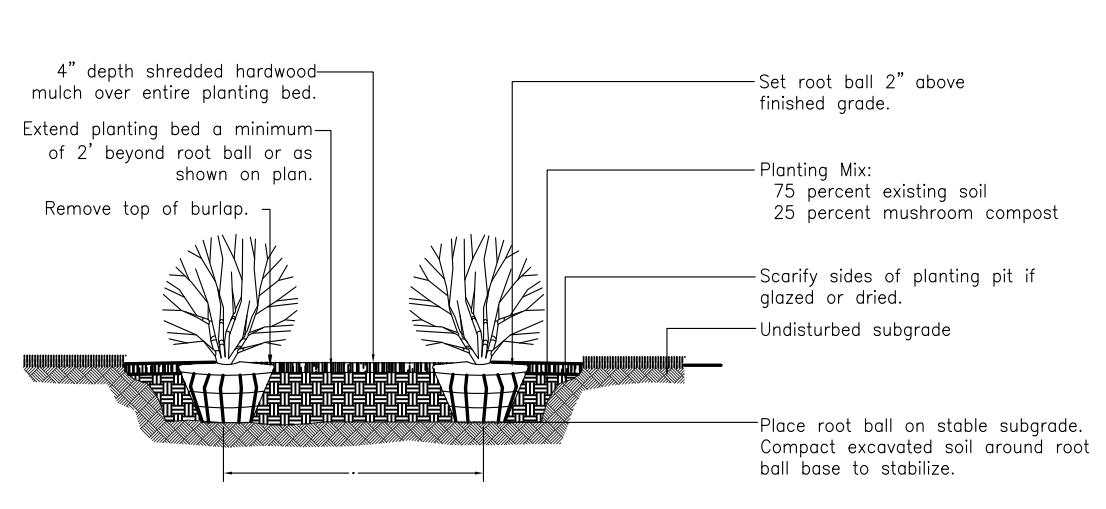
127th STREET



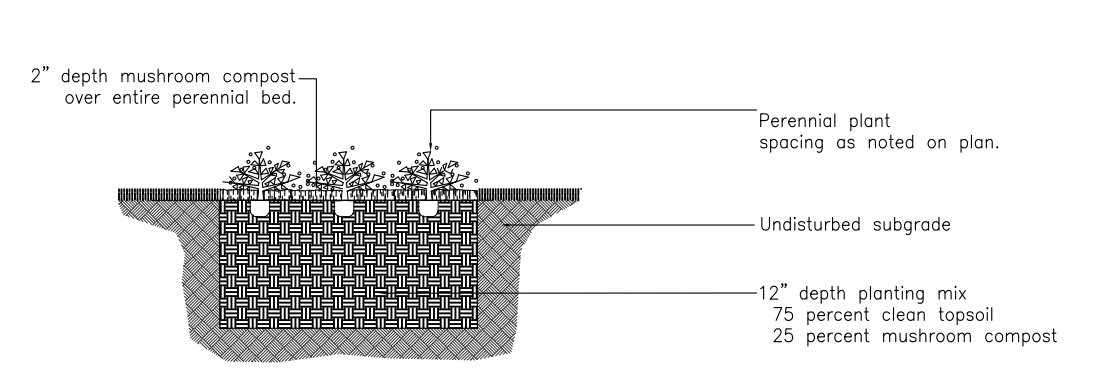
Detail
Deciduous Tree Planting



Detail
Evergreen Tree Planting



Detail
Shrub Planting



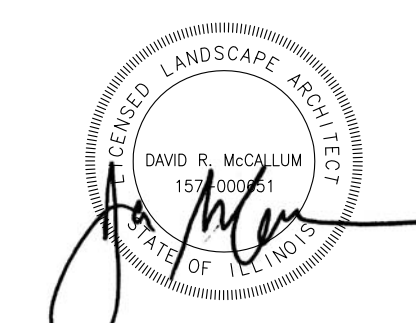
Detail
Perennial Planting

Landscape Notes

- Maintenance: The owner, tenant, and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscaping required by this ordinance or preserved under the provisions of this ordinance in good condition so as to present a healthy, neat, and orderly appearance. Specifically:
 - All plant growth in landscaped areas shall be controlled by pruning, trimming, or other suitable methods so that plant materials do not interfere with public utilities, restrict pedestrian or vehicular access, or otherwise constitute a traffic hazard; and
 - All planted areas shall be maintained in a relatively weed free condition and clear of undergrowth; and
 - All trees, shrubs, ground covers, and other plant materials must be replaced if they die or become unhealthy because of accidents, drainage problems, disease, or other causes.
- Landscape contractor/installer to warranty all plant materials to be straight and stable at end of warranty period. Any plant material not straight, or loose in root ball, is to be replaced by landscape contractor and warranty period extended by one additional growing season.
- Parkway trees shall be planted a minimum of 15'-0" from any traffic sign.
- Parkway trees shall be installed in the spring or fall, but not before the construction of the building and the completion of the public sidewalk. Parkway trees shall not be planted later than 2-years after commencement of construction.

Plant List

Shade Trees	Key	Qty.	Size	Botanical Name	Common Name	Remarks
CEO	2	3"		<i>Celtis occidentalis</i> 'Prairie Pride'	Prairie Pride Common Hackberry	BB
GTS	4	2.5"		<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skyline'	Skyline Thornless Honeylocust	BB
ULM	2	2.5"		<i>Ulmus</i> x 'Morton Glossy'	Triumph Elm	BB
Ornamental Trees	Key	Qty.	Size	Botanical Name	Common Name	Remarks
AMC	4	6"		<i>Amelanchier canadensis</i>	Shadblow Serviceberry	BB/Clump
MLS	3	2"		<i>Malus sargentii</i>	Sargent Crabapple	BB/Clump
SYR	5	2"		<i>Syringa reticulata</i>	Japanese Tree Lilac	BB
Evergreen Trees	Key	Qty.	Size	Botanical Name	Common Name	Remarks
JUV	6	8'		<i>Juniperus virginiana</i>	Eastern Redcedar	BB
Shrubs	Key	Qty.	Size	Botanical Name	Common Name	Remarks
BUX	17	24"		<i>Buxus</i> x <i>microphylla</i> 'Glencee'	Chicagoland Green Boxwood	BB
COT	9	24"		<i>Cotoneaster acutifolius</i>	Peking Cotoneaster	BB
FVB	13	24"		<i>Forsythia viridissima</i> 'Bronensis'	Bron Dwarf Forsythia	BB
HPW	6	24"		<i>Hydrangea paniculata</i> 'Pinky Winky'	Pinky Winky Hydrangea	BB
JCS	25	24"		<i>Juniperus chinensis</i> var. <i>sargentii</i>	Sargent Juniper	BB
RHG	13	24"		<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	BB
SMK	12	24"		<i>Syringa patula</i> 'Miss Kim'	Miss Kim Dwarf Lilac	BB
TOT	3	6'		<i>Thuja occidentalis</i> 'Techny'	Mission Arborvitae	BB
VBM	9	24"		<i>Viburnum dentatum</i> 'Christom'	Blue Mulfin Arrowwood Viburnum	BB
VLJ	12	24"		<i>Viburnum dent.</i> 'KLM seventeen Little Joe'	Little Joe Viburnum	BB
Perennials	Key	Qty.	Size	Botanical Name	Common Name	Remarks
ALL	10	#1		<i>Allium</i> 'Summer Beauty'	Summer Beauty Allium	Container
BER	9	#1		<i>Bergenia cordifolia</i> 'Winter Glow'	Winter Glow Bergenia	Container
DIA	18	#1		<i>Dianthus gratianopolitanus</i> 'Firewitch'	Firewitch Cheddar Pinks	Container
HLG	20	#1		<i>Hemerocallis</i> 'Little Grapette'	Little Grapette Daylily	Container



REVISIONS

NO.	DATE	DESCRIPTION

LANDSCAPE PLAN

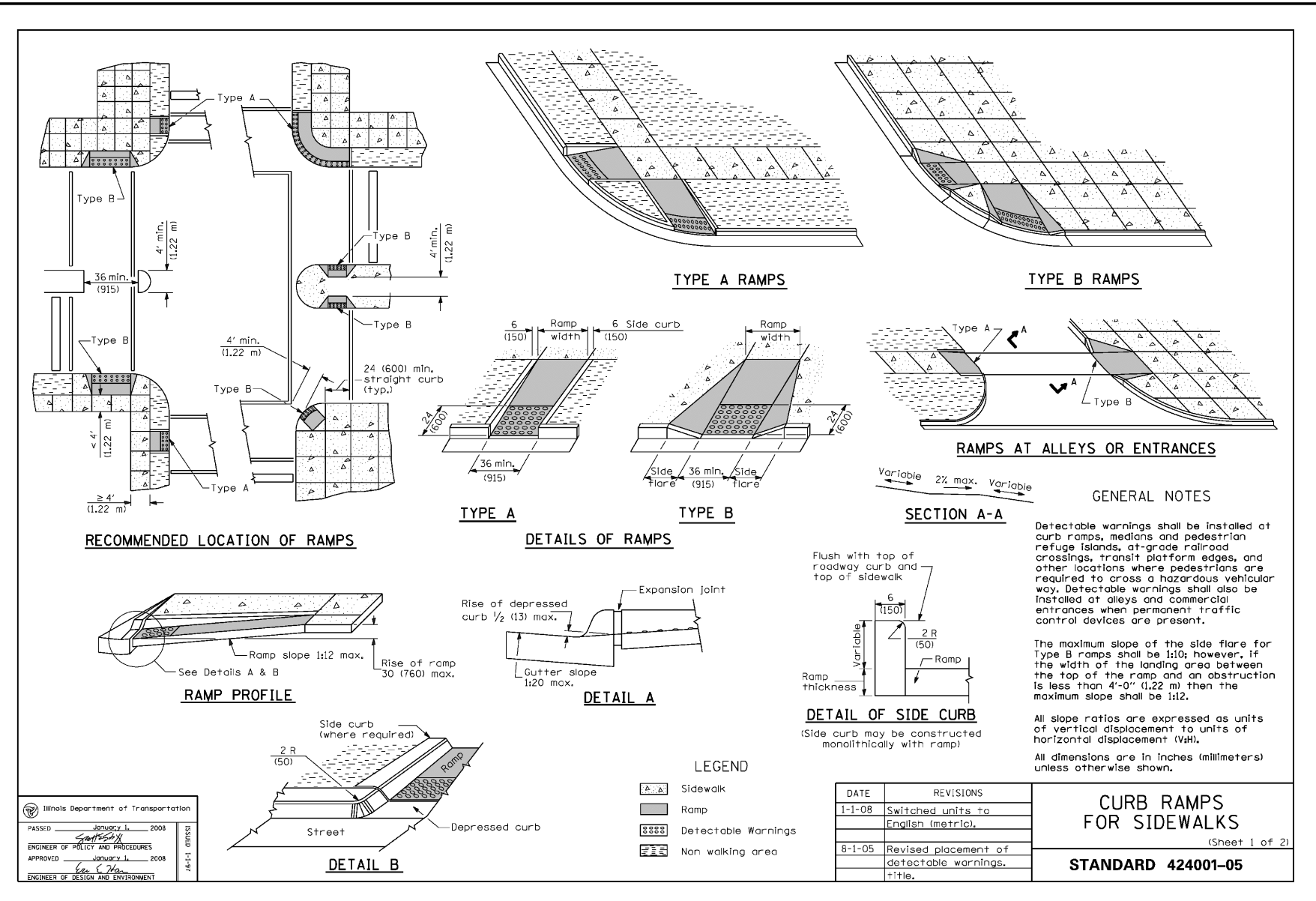
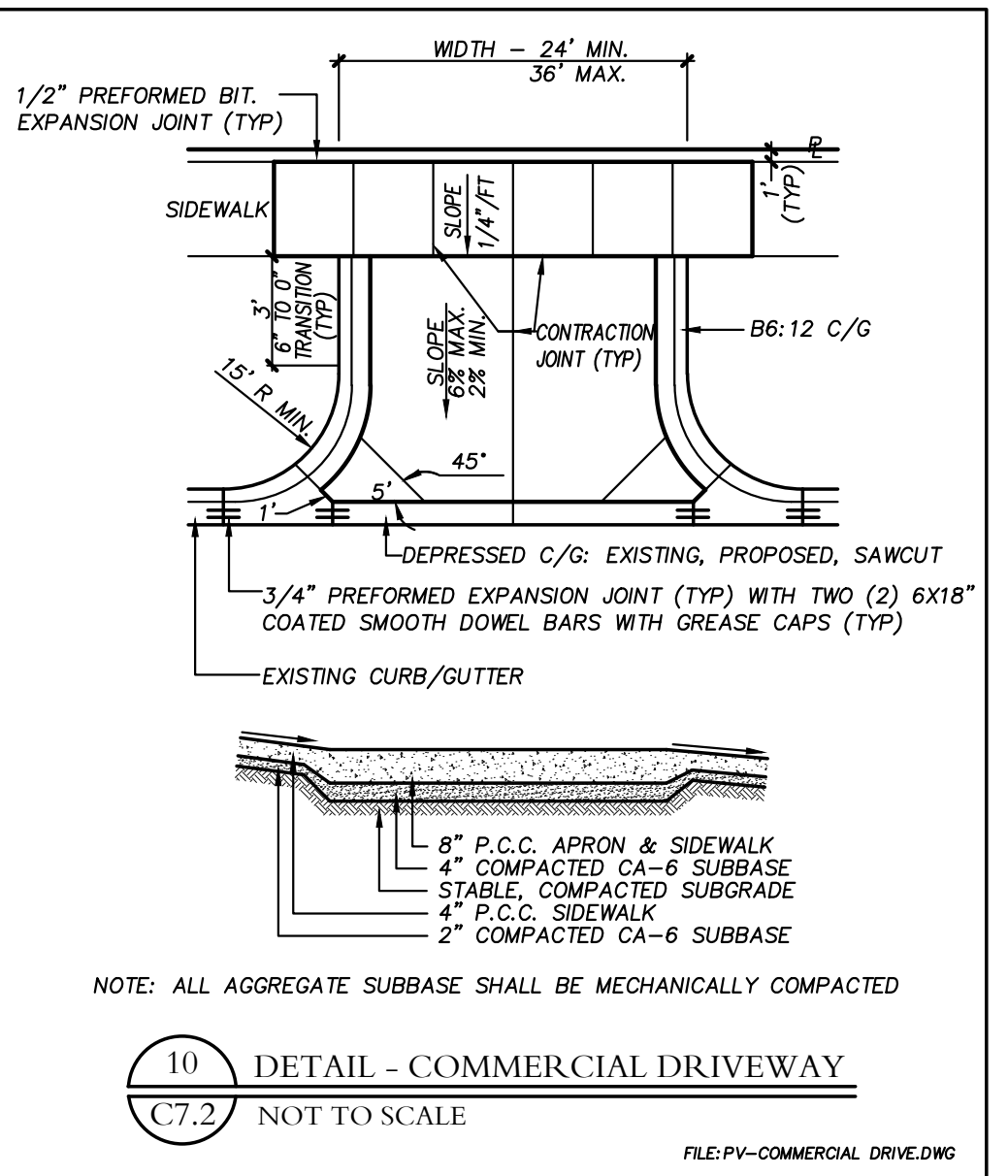
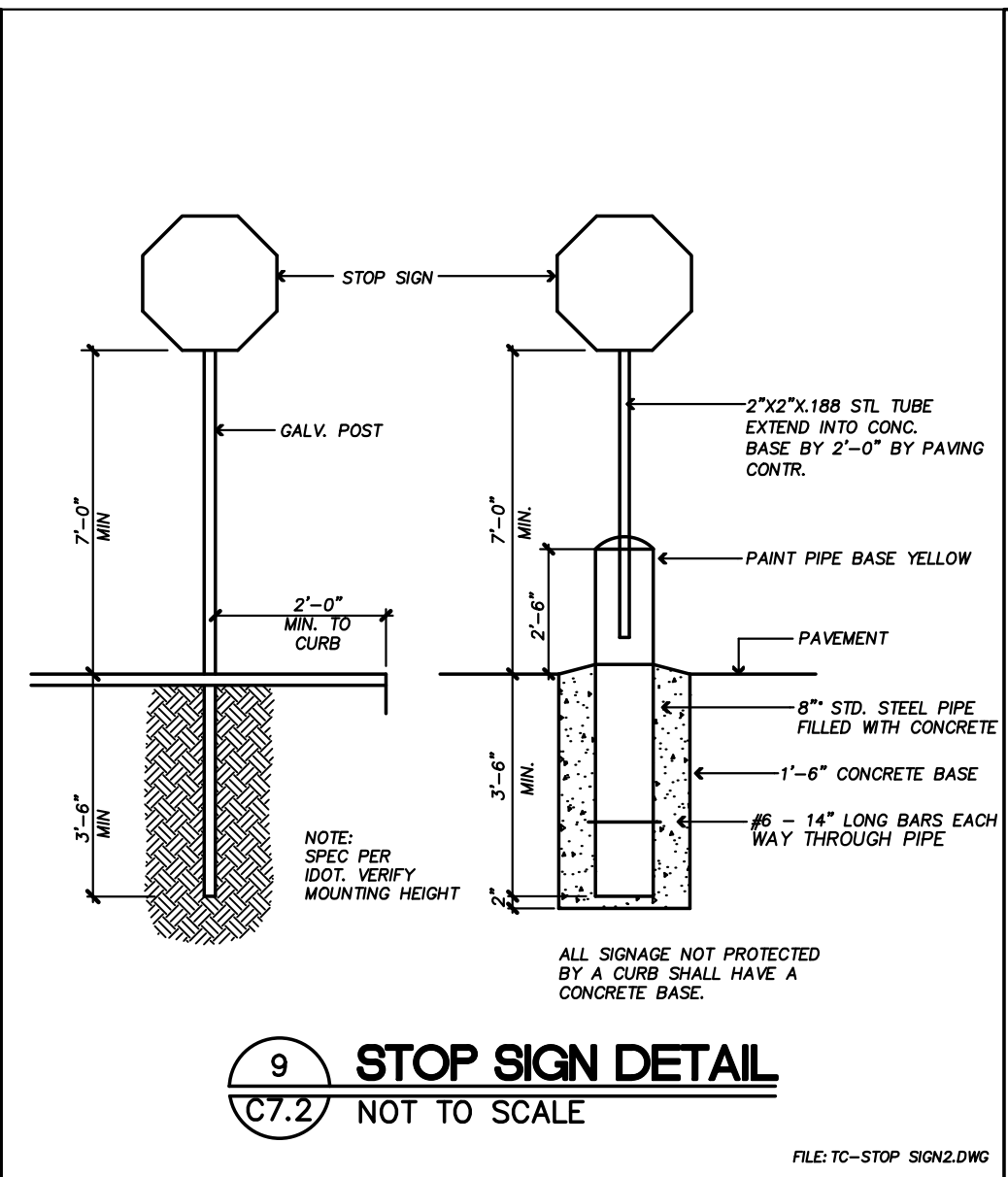
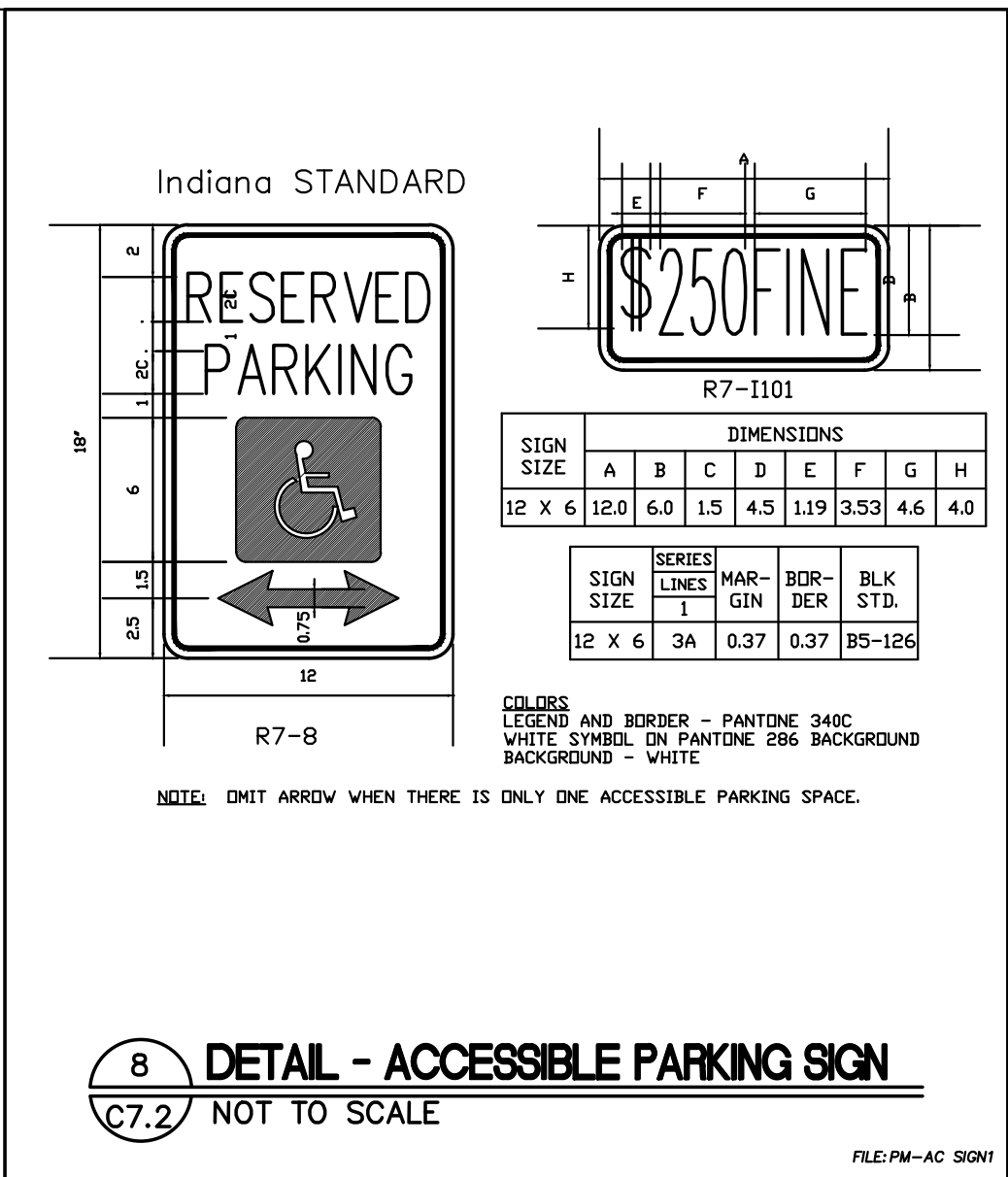
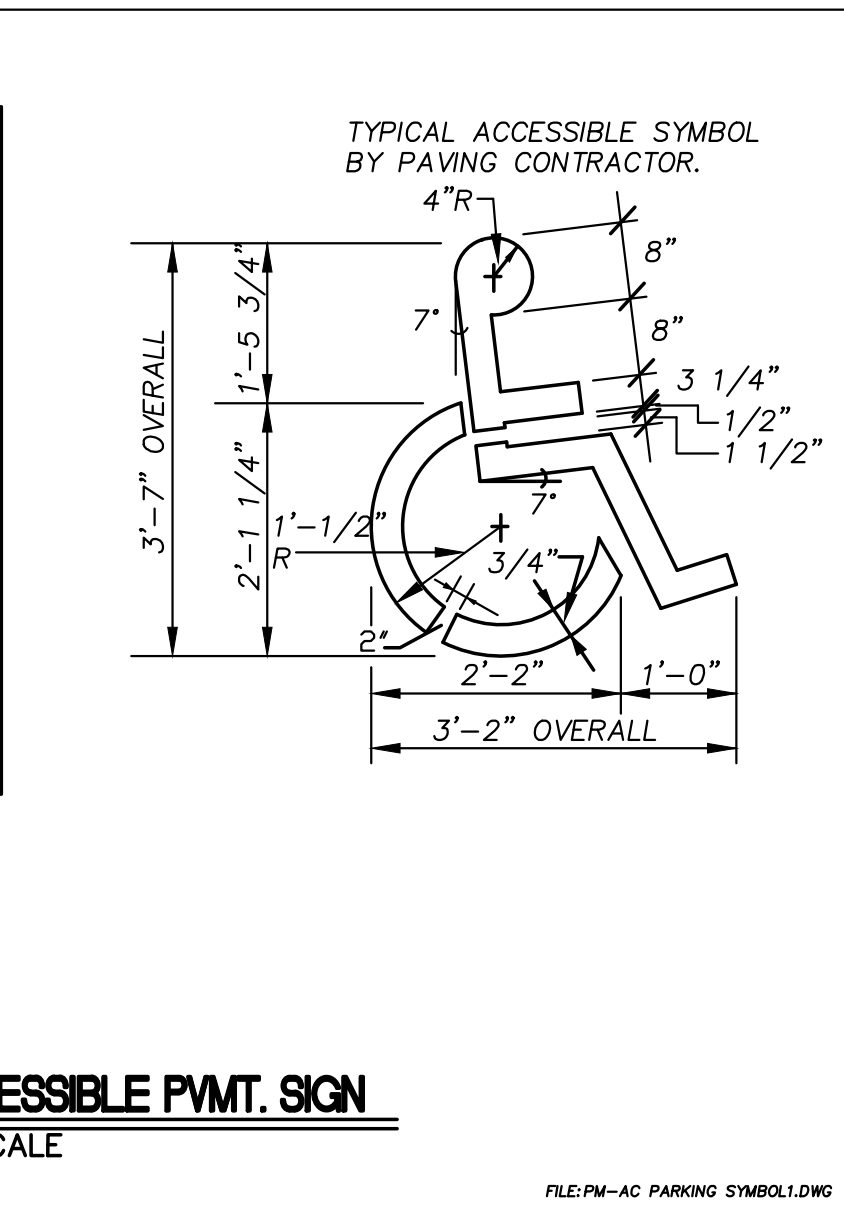
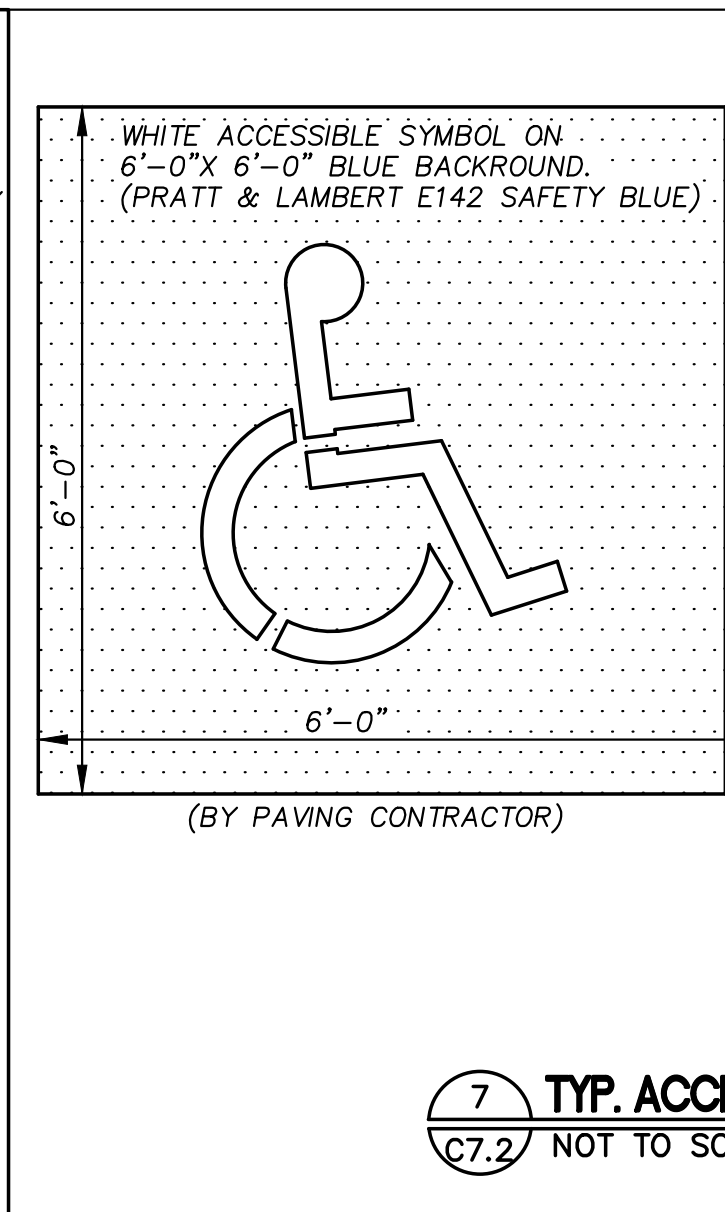
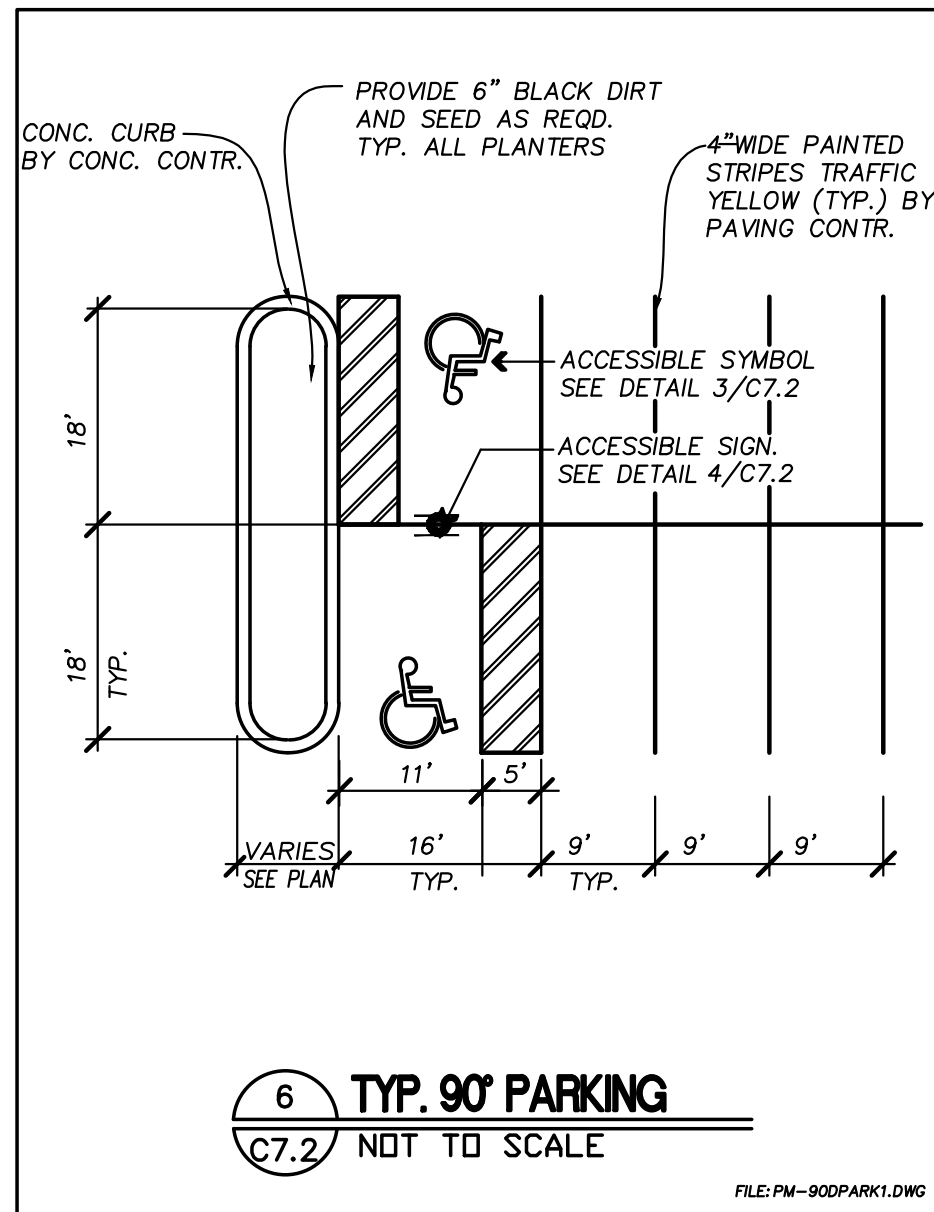
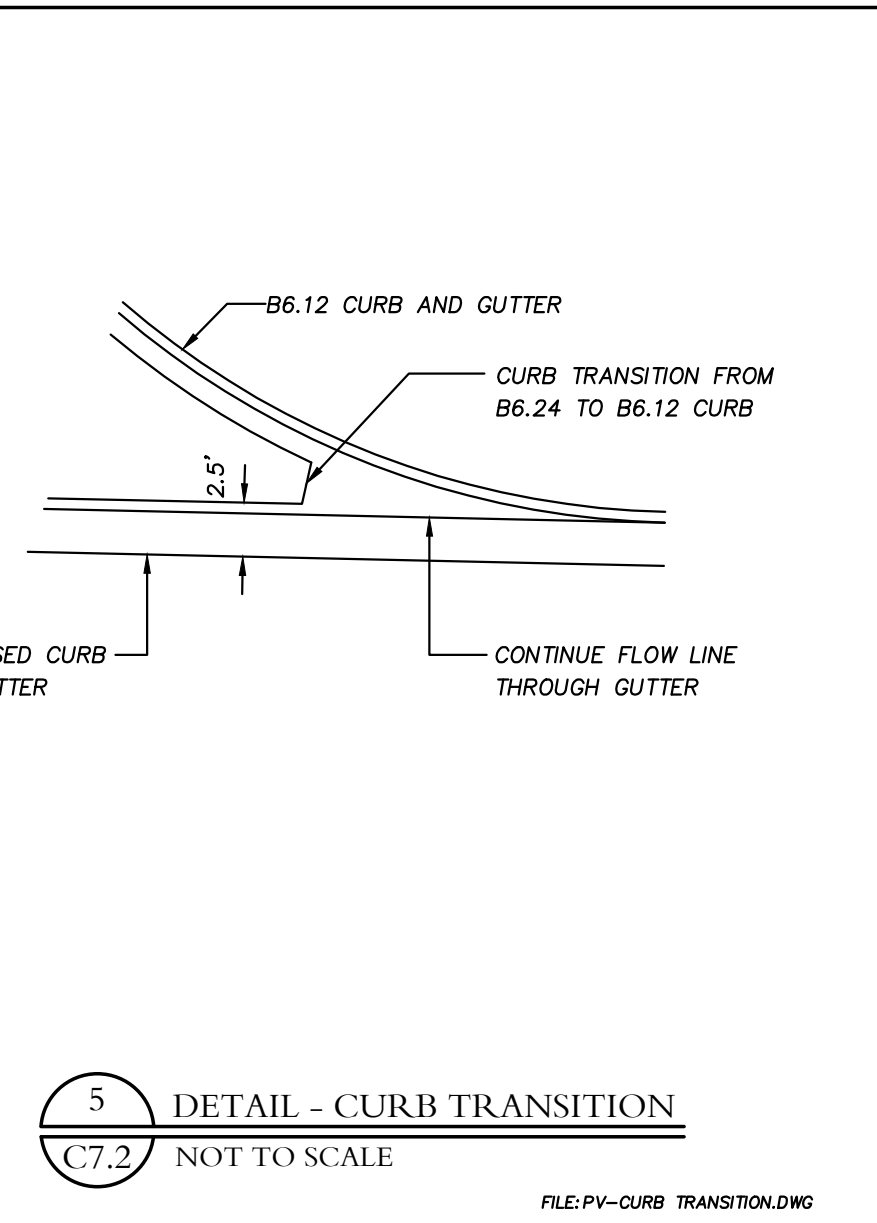
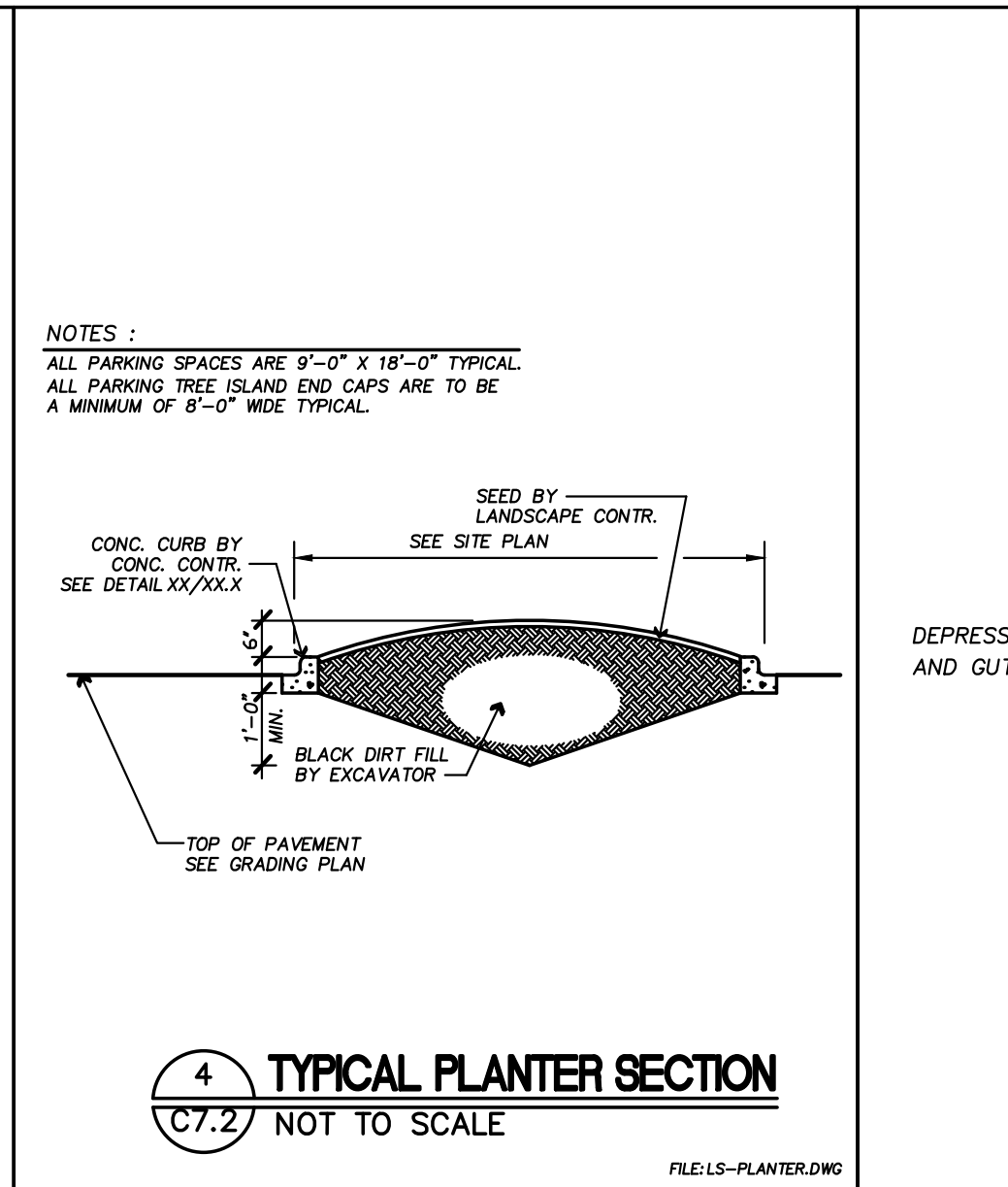
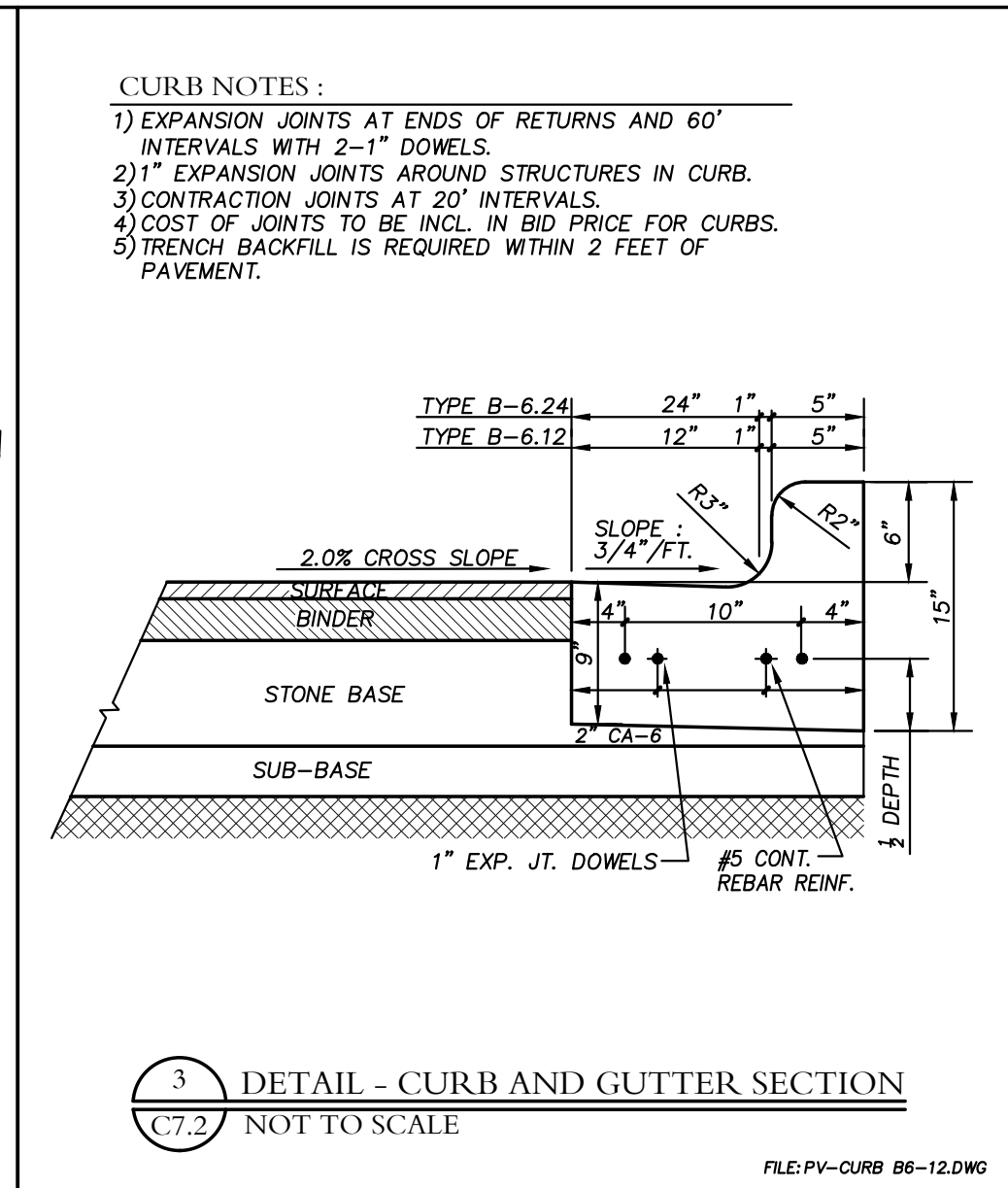
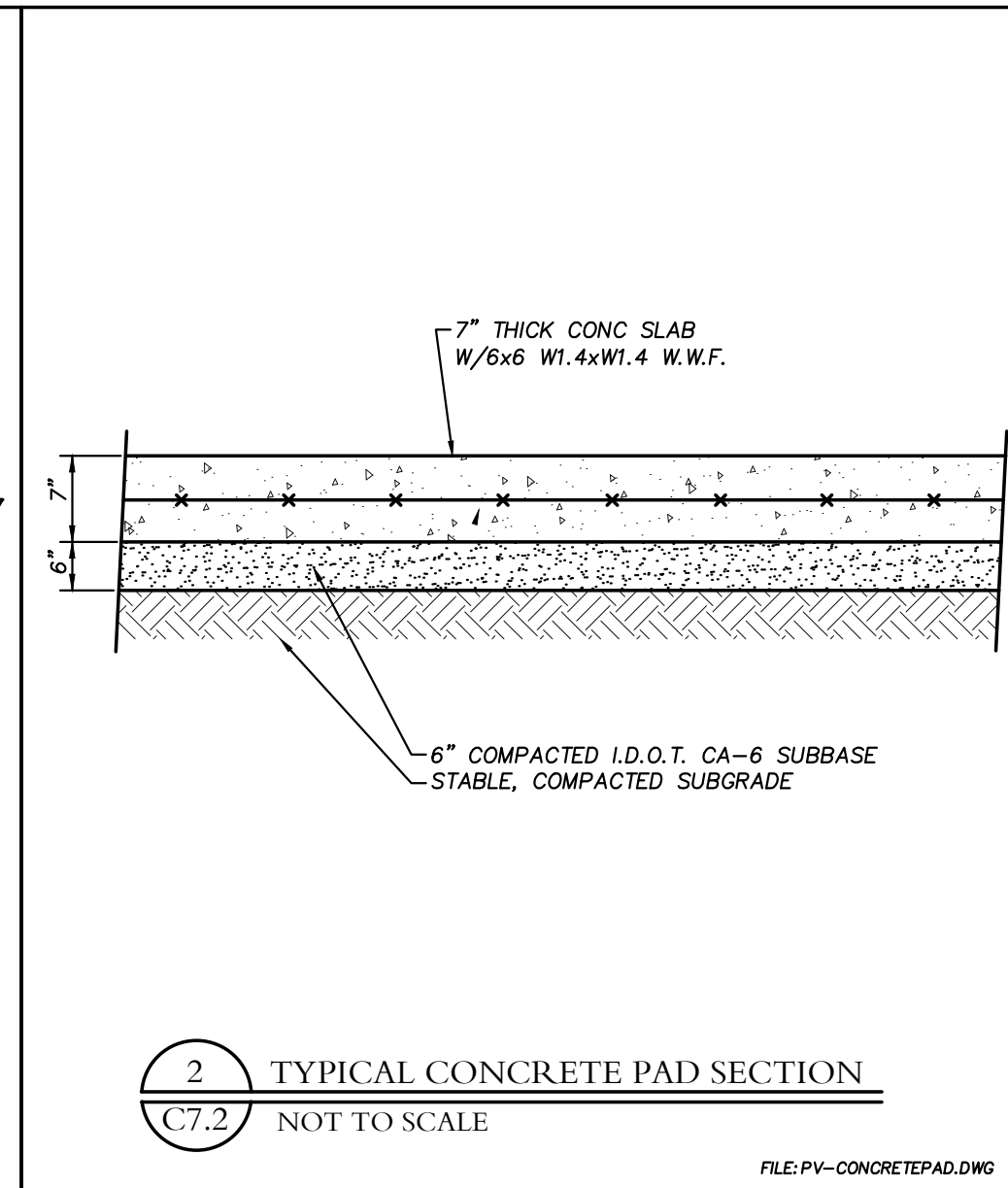
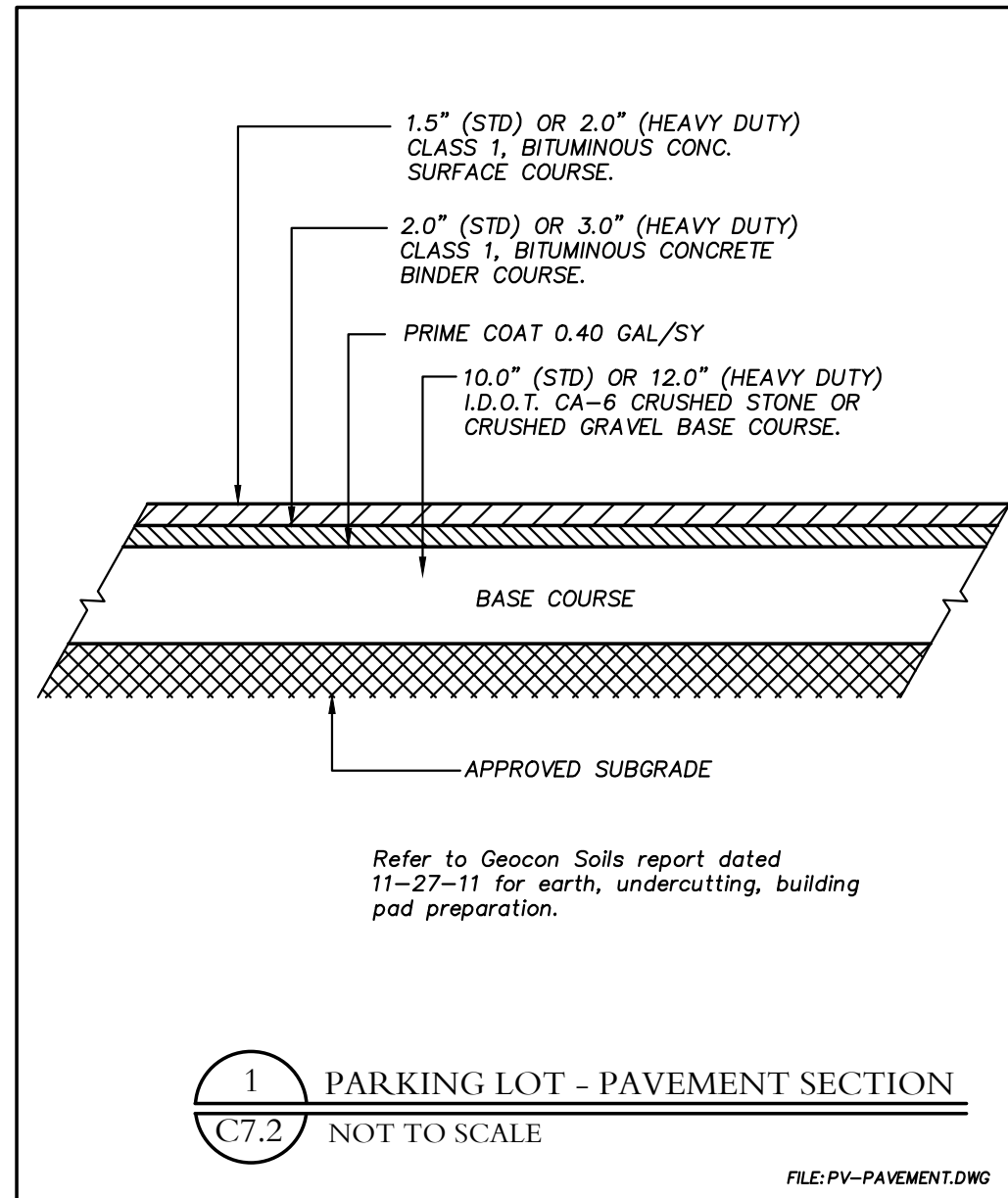
DUNKIN DONUTS
127th STREET
LEMONT, ILLINOIS

DAVID R. McCALLUM ASSOCIATES, INC.
Landscape Architects
761 North Western Avenue
Lisle, Illinois 60138

Craig R. Knoche & Associates • Civil Engineers
• Surveyors
• Land Planners
24 N. Bennett Street • Geneva, IL 60134 • phone (630) 845-1270 • fax (630) 845-1275

DATE: 6/19/15
FILE: 15-019 C40
JOB NO: 15-019
SHEET NO: C4.1

LEMONT, ILLINOIS
DUNKIN DONUTS



REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

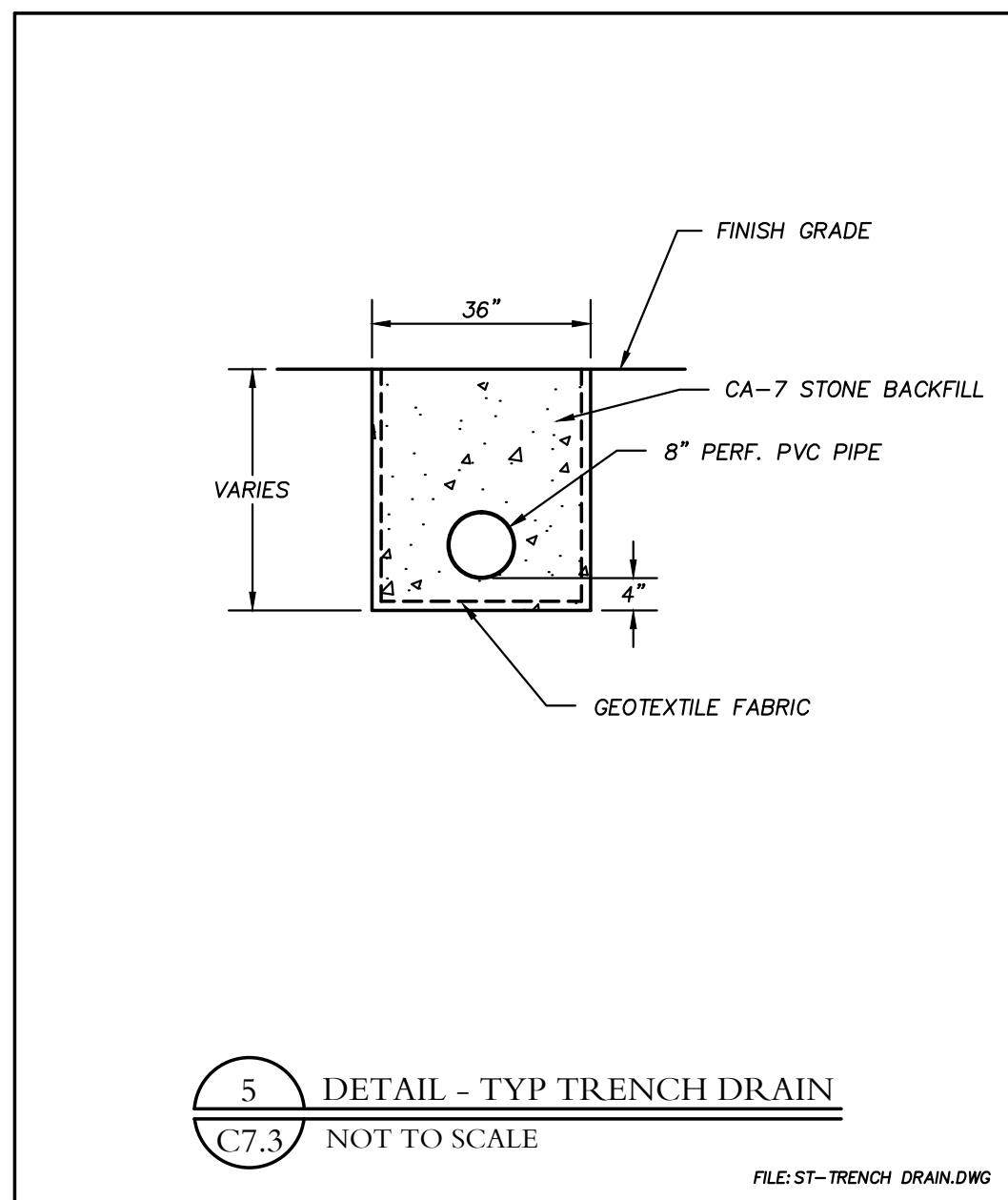
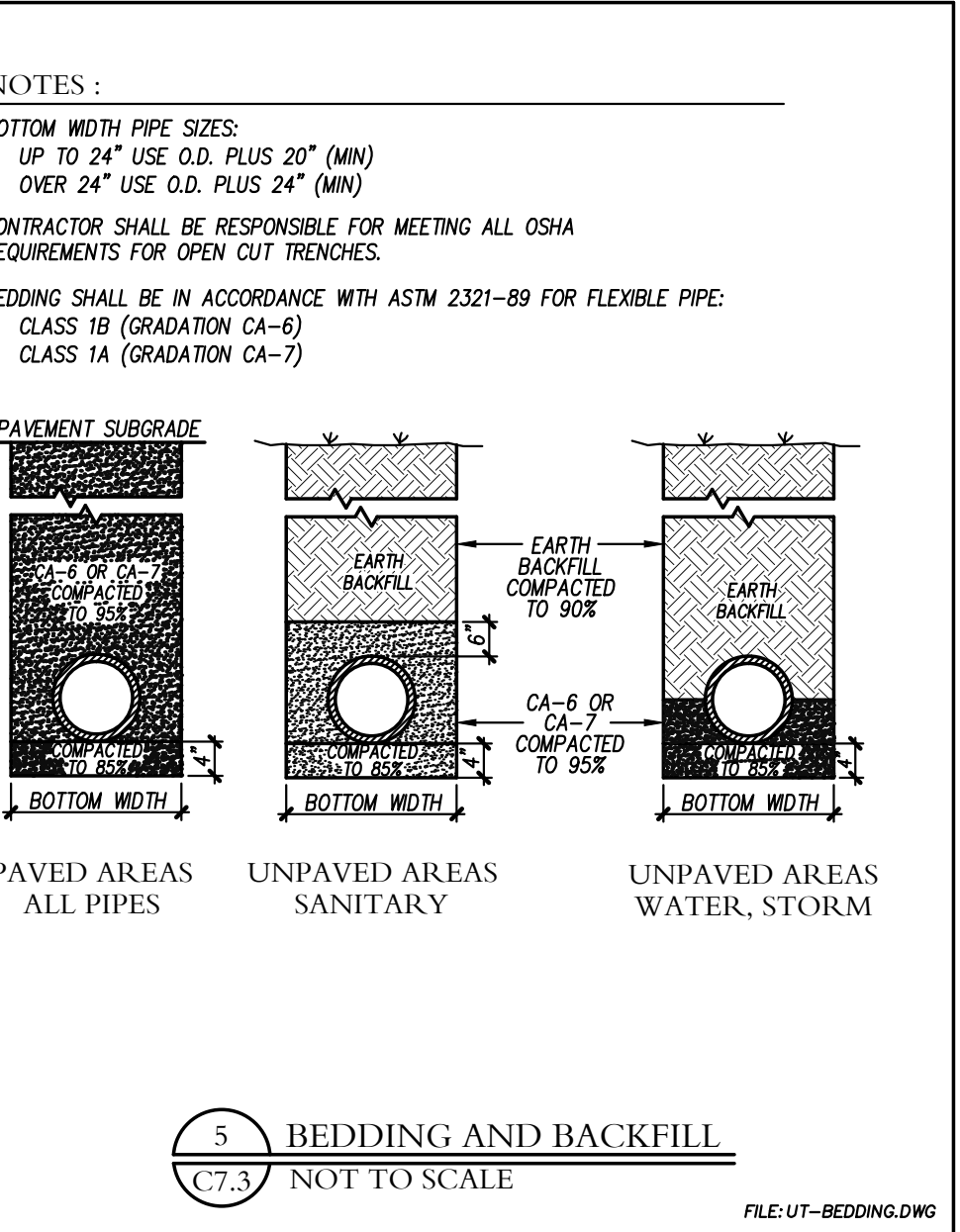
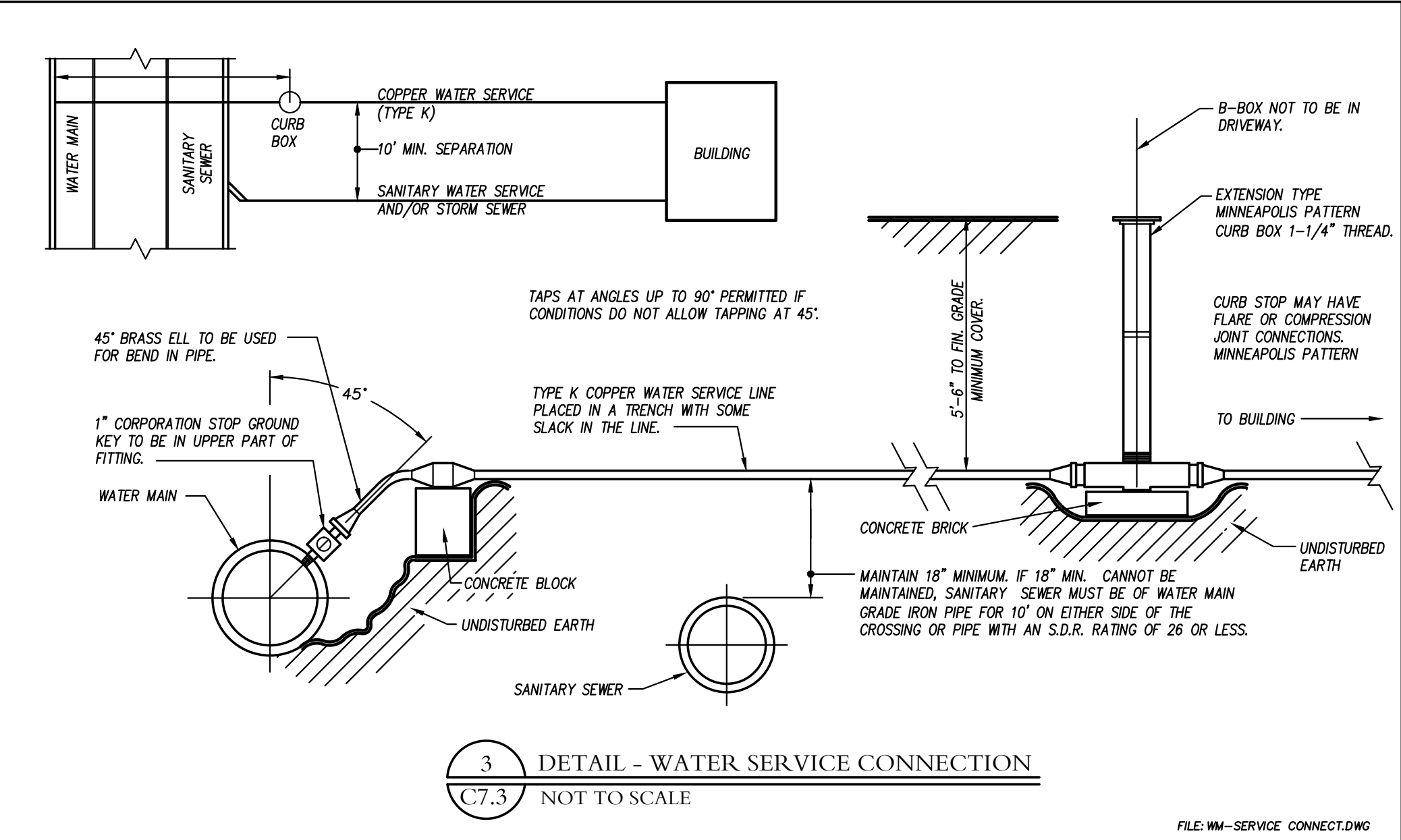
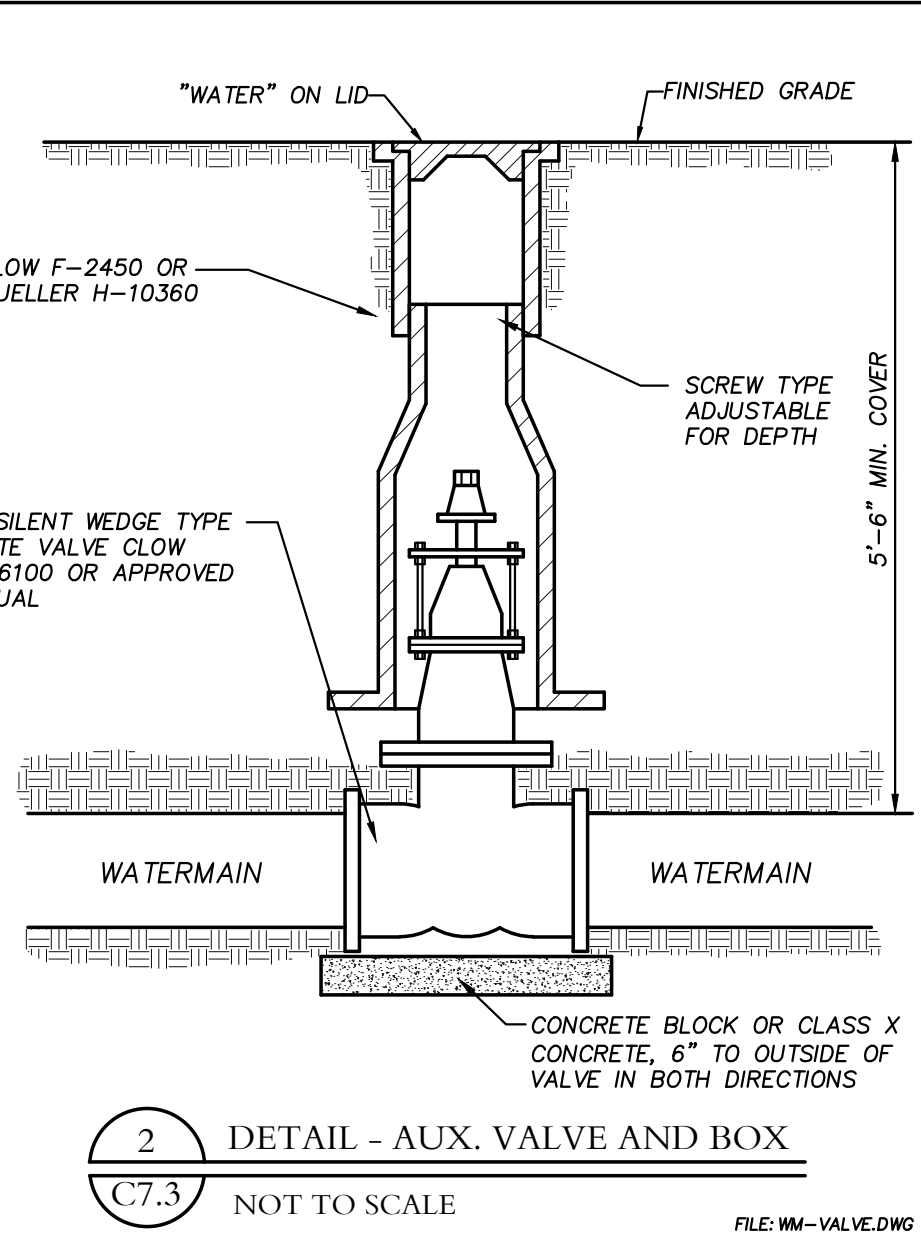
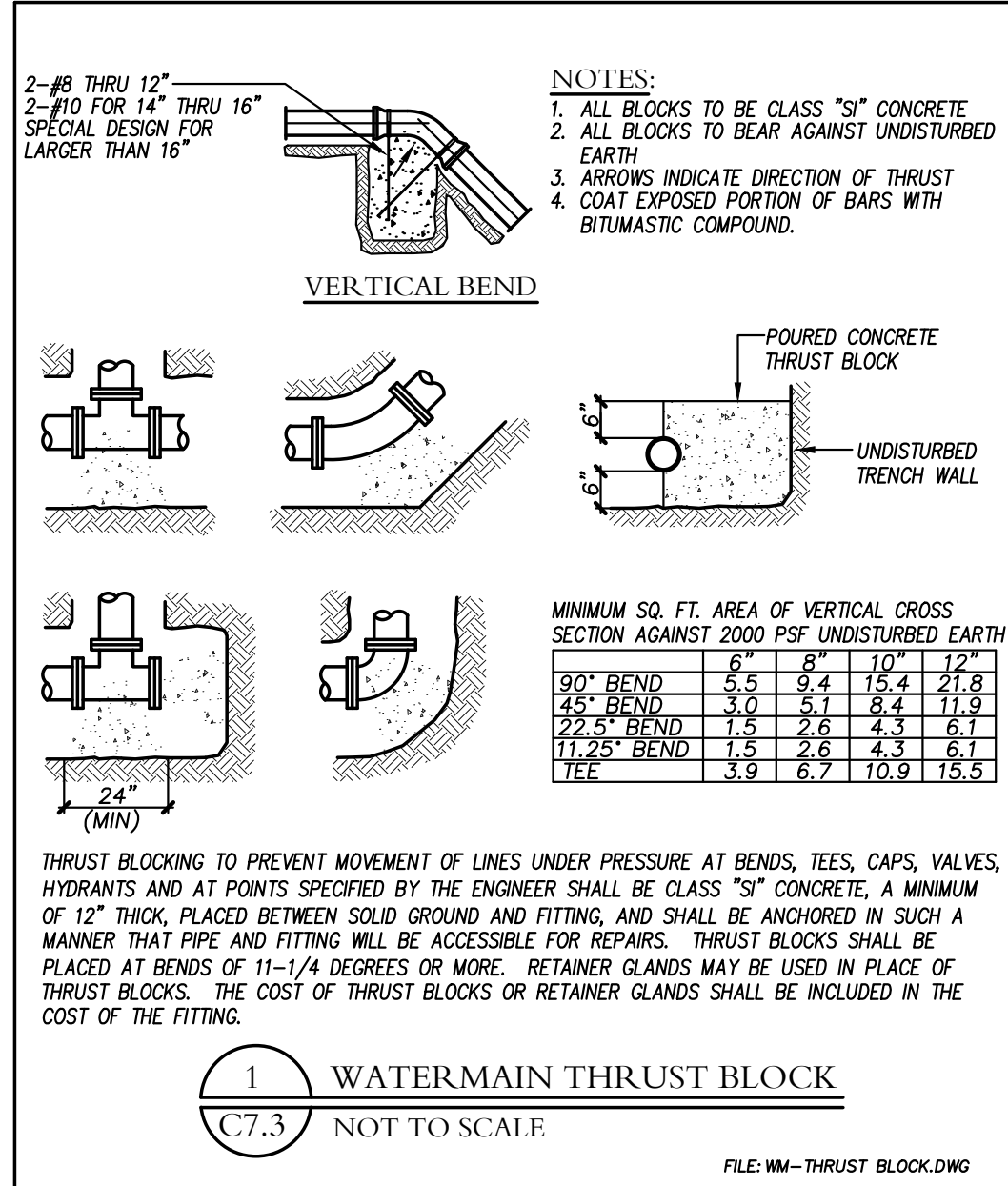
SITE DETAILS

DUNKIN DONUTS
127th STREET
LEMONT, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers, P.C.

DATE: 6/19/15 FILE: 15-019 C70 JOB NO: 15-019	C7.2 SHEET NO.
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LEMONT, ILLINOIS
DUNKIN DONUTS



REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

UTILITY DETAILS

DUNKIN DONUTS
127th STREET
LEMONT, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers, P.C.

DATE: 6/19/15
FILE: 15-019 C70
JOB NO: 15-019
SHEET NO. C7.3

24 N. Bennett Street • Geneva, IL 60134 • phone (630) 845-1270 • fax (630) 845-1275

Exhibit D



NOTE: THESE DRAWINGS ARE FOR IMAGE DESIGN GUIDANCE ONLY. IT IS THE SOLE RESPONSIBILITY OF THE ARCHITECTS AND ENGINEERS RETAINED BY THE FRANCHISEE TO PREPARE ALL NECESSARY CONSTRUCTION DOCUMENTS FOR THE PARTICULAR PROJECT LOCATION. DUNKIN' BRANDS, INC., THEIR AGENTS AND EMPLOYEES, DO NOT WARRANT THE ACCURACY OF THESE DRAWINGS, NOR DOES DUNKIN' BRANDS, INC. GUARANTEE THAT THESE DRAWINGS AND THEIR COMPONENTS MEET THE REQUIREMENTS OF ANY FEDERAL, STATE OR LOCAL LAWS, REGULATIONS, ORDINANCES, BUILDING CODES OR INDIVIDUAL SITE CONDITIONS. IT IS THE SOLE RESPONSIBILITY OF THE FRANCHISEE AND OF THE ARCHITECT AND ENGINEERS RETAINED BY THE FRANCHISEE TO ENSURE COMPLIANCE WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES, CODES AND OTHER REQUIREMENTS, INCLUDING, WITHOUT LIMITATION, AMERICANS WITH DISABILITIES ACT.

Everbrite
 4949 South 110th Street
 PO Box 20020
 Greenfield, WI 53220-0020
 414.529.7131

DUNKIN' BRANDS™
 [eatdrinkthink™]

Revisions:
8/15/11 - FACINGS
8/31/2015

NGSS DD VALUE ENGINEERED DT MB W/ CLADDING (NO SPEAKER)
FILE

Date: 9/8/09
Scale: NTS
Drawn: C HART
DT-1

EXHIBIT E

FINDINGS. Based upon the evidence and testimony presented in the public hearing, the Lemont Village Board of Trustees finds the following:

1. The Lemont 2030 Comprehensive Plan's future land use map designates the subject site as Community Retail (CR); however, the appropriateness of the CR land use is not feasible given current market conditions which are not expected to change for the next several years, and limited site visibility on Archer Avenue.
2. The requested zoning change implements the recommendations of the 2030 Comprehensive Plan
3. The requested B-3 zoning is consistent with the existing land use of surrounding properties.
4. The PUD request achieves the UDO 17.08.010C objective of ensuring that the future growth and development which occurs is in accordance with policies and goals of the Village.
5. The PUD will not unreasonably increase the traffic on 127th St.

Village Board

Agenda Memorandum

To: Mayor & Village Board

From: George Schafer, Village Administrator

Subject: **RESOLUTION OF OBJECTION TO THE IMPROPER ANNEXATION
OF COOK COUNTY FOREST PRESERVE DISTRICT LAND TO PALOS
PARK**

Date: September 10, 2015

BACKGROUND/HISTORY

The Village of Lemont formally objects to the Cook County Forest Preserve District's involvement in the proposed annexation of district property and consequently, the annexation of nearly 2,000 acres of property in Lemont Township. The annexation represents a disregard for the intent of the Illinois Municipal Code to allow Palos Park to annex territory it would not otherwise be allowed to annex. Lemont School Districts 113A and 210, the Lemont Park District and the Lemont Library District have all passed resolutions objecting to the annexation. The Lemont Fire Protection District and Lemont Township will pass resolutions later this month.

RECOMENDATION

Staff recommends the passage of the attached resolution

ACTION REQUIRED

Motion to Approve Resolution

ATTACHMENTS

Resolution of Objection to the Improper Annexation of Cook County Forest Preserve District Land to Palos Park

Resolution No. _____

RESOLUTION OF OBJECTION TO THE IMPROPER ANNEXATION OF COOK COUNTY FOREST PRESERVE DISTRICT LAND TO PALOS PARK

WHEREAS, the Village of Lemont (“Village”) is an Illinois Municipal Corporation duly constituted under the Illinois Constitution and Illinois Statutes; and

WHEREAS, the Village has authority to implement a comprehensive plan to land situated within the corporate limits and contiguous territory not more than one and one-half miles beyond the corporate limits and not included in any municipality; and

WHEREAS, the Village has included the territory marked in slatted red (“territory”) on the attached Map (attached as Exhibit A) in its comprehensive plan; the same territory that is currently located in Lemont Township, the Lemont School Districts, the Lemont Park District, the Lemont Fire Protection District and the Lemont Public Library District (collectively the “Lemont Community”); and

WHEREAS, the Village’s long range planning initiatives would be thwarted should this territory annex to Palos Park; and

WHEREAS, many services already provided by the Lemont Community would be duplicated, creating significant taxpayer waste, ignoring the already tremendous financial strain currently placed on taxpayers, especially those located in the Lemont Community as well as those taxpayers in Palos Park; and

WHEREAS, the Village currently provides police protection and public works services to the territory. Based on proximity of Palos Park and the inherent response time it would have to the territory Palos Park would not be able to properly serve the territory; therefore, the Village police would be forced to continue to serve the territory and patrol the territory, despite the facts that the territory would be located in Palos Park’s jurisdiction and no Palos Park funds would be

used to pay Lemont police for its protection services. Should the Village police not respond to an issue in this neighboring municipality, an “island” of homes and businesses would be left separated from their own police department, putting any business or residential Palos Park citizens at risk; and

WHEREAS, should this property annex to Palos Park, the Lemont Community would have no say so in the land planning, which includes residential, recreational and commercial developments, regardless of the impact it may have upon the Lemont Community’s citizenry’s quality of life and finances; and

WHEREAS, the uncontained growth of the territory left in the hands of Palos Park will result in Lemont School Districts being burdened with an influx of new students clogging the school system. Should the territory develop uncontrolled, as proposed by Palos Park, the Lemont School Districts’ classroom sizes will increase significantly lessening the one-on-one instruction students are currently able to receive from their teachers; and

WHEREAS, Palos Park is attempting to annex the Mid-Iron Golf Club (“Mid-Iron”) as the first piece of the territory, which is property that is not contiguous to Palos Park. Since Mid-Iron is contiguous to the forest preserve and not Palos Park, Palos Park must go through the forest preserve to annex Mid-Iron; and

WHEREAS, the Section 7-1-1 of the Illinois Municipal Code, 65 ILCS 5/7-1-1 (“Code”) controls how a municipality may annex certain unincorporated territory, including when that territory is not contiguous to a municipality but when a territory is continuous to a forest preserve district and that forest preserve district is also contiguous to the annexing municipality. A forest preserve district can be used to create contiguity for territory only if the annexing municipality is the closest municipality within the county to the territory to be annexed; and

WHEREAS, the attached Map (attached as Exhibit B) clearly shows that the Village is significantly closer (contiguous at one point, 175 feet at another, 250 feet at another, and .36 miles at a fourth point) than to Palos Park (.45 miles at one point, 1.5 miles at another); thereby making it abundantly clear that Palos Park cannot legally annex Mid-Iron without the Cook County's Forest Preserve District's ("Forest Preserve") assistance; and

WHEREAS, the Forest Preserve has agreed to annex their territory (as shown in blue on Exhibit A) to provide the needed contiguity to Palos Park, over the Lemont Community's objection and to its detriment, thereby being used to circumvent the true intent of the Code; and

WHEREAS, the Forest Preserve is setting a dangerous precedent by blatantly ignoring its own mission by placating to those individual land owners and playing politics in favor of Palos Park over the Lemont Community; and.

WHEREAS, the Lemont Community has reviewed as much information as it could obtain and finds that the annexation of the Forest Preserve territory is an abuse of power by the Forest Preserve that will have a direct and negative impact upon the Lemont Community and the general health, welfare and safety of its citizenry;

BE IT RESOLVED by the Village President and Board of Trustees of the Village of Lemont as follows:

SECTION ONE: The foregoing findings and recitals, and each of them, are hereby adopted as Section One of this Resolution and are incorporated by reference as if set forth verbatim herein.

SECTION TWO: The Village of Lemont formally objects to Forest Preserve's involvement and complete disregard for the intent of the Code to allow Palos Park to annex territory it would not otherwise be allowed to annex.

SECTION THREE: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL AND DUPAGE, ILLINOIS on this _____ day of _____, 2015.

PRESIDENT AND VILLAGE BOARD MEMBERS:

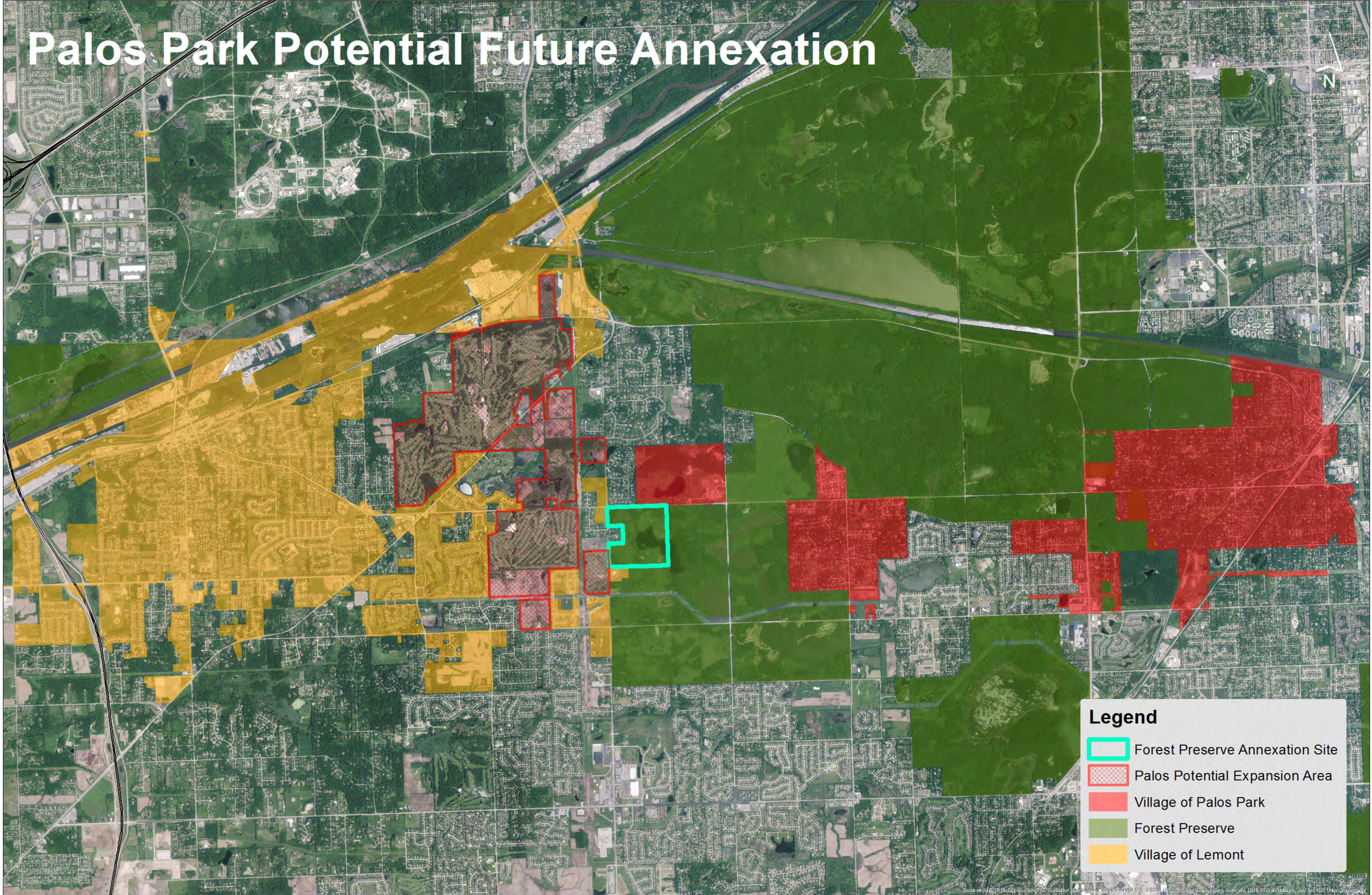
	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

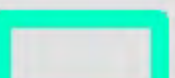


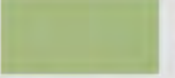

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

Palos Park Potential Future Annexation



Legend

-  Forest Preserve Annexation Site
-  Palos Potential Expansion Area
-  Village of Palos Park
-  Forest Preserve
-  Village of Lemont

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, SITA, Intermap, Swire, and GIS Data Company

Proximity to Municipal Boundaries

S ARCHER AVE

MCCARTHY RD

Gleneagles

.36 mi

.45 mi

1.5 mi

250 ft

Mid Iron

Ludwig Farm

175 ft

W 131ST ST

PARKER RD

BELL RD

S WILL COOK RD

Legend

- Village of Palos Park
- Mid Iron
- Forest Preserve
- Village of Lemont

