



Village of Faith

Village of Lemont

418 Main Street • Lemont, Illinois 60439

VILLAGE BOARD MEETING

MAY 14, 2012 - 7:00 P.M.

AGENDA

- I. PLEDGE OF ALLEGIANCE
- II. ROLL CALL
- III. CONSENT AGENDA (RC)
 - A. APPROVAL OF MINUTES
 1. APRIL 23, 2012 VILLAGE BOARD MEETING
 - B. ORDINANCE AMENDING LEMONT MUNICIPAL CODE CHAPTER 5.04, SECTION 5.04.080: ALCOHOLIC BEVERAGES (REDUCING NUMBER OF CLASS A-3 LIQUOR LICENSES)
(ADMINISTRATION)(REAVES)(WEHMEIER/SCHAFER)
 - C. ORDINANCE AMENDING LEMONT MUNICIPAL CODE CHAPTER 5.04, SECTION 5.04.080: ALCOHOLIC BEVERAGES (INCREASING NUMBER OF CLASS C-3 LIQUOR LICENSES)
(ADMINISTRATION)(REAVES)(WEHMEIER/SCHAFER)
 - D. APPROVAL OF DISBURSEMENTS
- IV. MAYOR'S REPORT
 - A. PROCLAMATION – SPECIAL OLYMPICS (VV)
 - B. PROCLAMATION – INFINITE GREEN RECOGNITION (VV)
 - E. PROCLAMATION – PUBLIC WORKS WEEK (VV)
 - F. PROCLAMATION – NATIONAL CURVES DAY (VV)
 - G. AUDIENCE PARTICIPATION
- V. CLERK'S REPORT
 - A. CORRESPONDENCE
 - B. ORDINANCES
 1. ORDINANCE ADOPTING THE ELECTRIC AGGREGATION PLAN OF GOVERNANCE
(ADMINISTRATION)(REAVES)(WEHMEIER/SCHAFER)
 2. ORDINANCE AUTHORIZING AGGREGATION OF ELECTRICAL LOAD
(ADMINISTRATION)(REAVES)(WEHMEIER/SCHAFER)

Mayor

Brian K. Reaves

Village Clerk

Charlene M. Smollen

Trustees

Debby Blatzer
Paul Chialdikas
Clifford Miklos
Rick Sniegowski
Ronald Stapleton
Jeanette Virgilio

Administrator

Benjamin P. Wehmeier

Administration

phone (630) 257-1590
fax (630) 243-0958

Building Department

phone (630) 257-1580
fax (630) 257-1598

Planning & Economic Development

phone (630) 257-1595
fax (630) 243-0958

Engineering Department

phone (630) 243-2705
fax (630) 257-1598

Finance Department

phone (630) 257-1550
fax (630) 257-1598

Police Department

14600 127th Street
phone (630) 257-2229
fax (630) 257-5087

Public Works

16680 New Avenue
phone (630) 257-2532
fax (630) 257-3068

www.lemont.il.us

3. **ORDINANCE AMENDING THE LEMONT UNIFIED DEVELOPMENT ORDINANCE OF 2008
(PLANNING & ED)(STAPLETON)(BROWN)**
4. **ORDINANCE AUTHORIZING THE ACQUISITION OF CERTAIN REAL PROPERTY KNOWN AS 10985 ARCHER AVENUE
(ADMINISTRATION)(REAVES)(WEHMEIER/SCHAFER)**
5. **ORDINANCE AMENDING CHAPTER 15 OF THE LEMONT, ILLINOIS MUNICIPAL CODE RELATING TO ADDITIONAL AMENDMENTS TO THE INDUSTRIAL, COMMERCIAL AND MULTIFAMILY BUILDING CODE (INTERNATIONAL BUILDING CODE), 2006 EDITION AS AMENDED
(ADMIN/BUILDING)(REAVES/STAPLETON)(WEHMEIER/SCHAFER/BUETTNER)**
6. **ORDINANCE SETTING PURCHASE PRICE FOR REAL ESTATE
(PARCEL OH 60003)
(ADMINISTRATION)(REAVES)(WEHMEIER/SCHAFER)**

C. RESOLUTIONS

1. **RESOLUTION APPROVING THE INTERGOVERNMENTAL AGREEMENT WITH WILL COUNTY ELECTRIC AGGREGATION GROUP
(ADMINISTRATION)(REAVES)(WEHMEIER/SCHAFER)**
2. **RESOLUTION AMENDING THE ILLINOIS QUALITY MANAGEMENT PLAN – GLEN OAK ESTATES
(PUBLIC WORKS)(BLATZER)(PUKULA)**
3. **RESOLUTION AUTHORIZING AWARD OF CONTRACT FOR THE LOGAN STREET WATER MAIN REPLACEMENT PROJECT
(PUBLIC WORKS)(BLATZER)(PUKULA)**
4. **RESOLUTION APPROVING AN INTERGOVERNMENTAL AGREEMENT WITH LEMONT-BROMBEREK COMBINED SCHOOL DISTRICT 113A
(ADMINISTRATION)(REAVES)(WEHMEIER/SCHAFER)**

- VI. **VILLAGE ATTORNEY REPORT**
- VII. **VILLAGE ADMINISTRATOR REPORT**
- VIII. **BOARD REPORTS**
- IX. **STAFF REPORTS**
- X. **UNFINISHED BUSINESS**
- XI. **NEW BUSINESS**
- XII. **MOTION FOR EXECUTIVE SESSION (RC)**
- XIII. **ACTION ON CLOSED SESSION ITEMS**
- XIV. **MOTION TO ADJOURN (RC)**

MINUTES
VILLAGE BOARD MEETING
April 23, 2012

The regular meeting of the Lemont Village Board was held on Monday, April 23, 2012, at 7:00 p.m., President Brian Reaves presiding.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL

Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Virgilio present.

III. CONSENT AGENDA

Motion by Blatzer, seconded by Miklos, to approve the following items on the consent agenda by omnibus vote:

A. Approval of Minutes

1. April 9, 2012 Village Board Meeting.
2. April 16, 2012 Committee of the Whole Meeting

B. Approval of Disbursements

Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Virgilio; ayes. Motion passed.

IV. MAYOR'S REPORT

A. Mayor's Drive for Charity is next Monday, April 30th. Morning tee times are still available.

B. Public Hearing – Annexation Agreement of Timberline Knolls

Motion to open by Stapleton, seconded by Chialdikas.

No public comments received.

Motion to close by Blatzer, seconded by Chialdikas.

C. Public Hearing – Electrical Aggregation

Motion to open by Blatzer, seconded by Miklos.

No public comments received.

Motion to close by Miklos, seconded by Blatzer

D. Proclamation for Municipal Clerks Week. Motion by Blatzer, seconded by Miklos to approve said proclamation. VV 6 ayes. Motion passed.

E. Proclamation for May Motorcycle Awareness Month. Motion by Stapleton, seconded by Blatzer to approve said proclamation. VV 6 ayes. Motion passed.

F. AUDIENCE PARTICIPATION

V. CLERK'S REPORT

A. Correspondence

B. Ordinances

1. **Ordinance O-28-12** Authorizing the Execution of an Annexation Agreement for 40.81 Acres Located at 40 Timberline Drive in Lemont, Illinois. Motion by

Chialdikas, seconded by Stapleton, to adopt said ordinance. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Virgilio; 6 ayes. Motion passed.

2. **Ordinance O-29-12** Annexing to the Village of Lemont Approximately .72 Acres Located Near the Intersection of Timberline Drive and New Avenue, in Lemont, IL. Motion by Miklos, seconded by Chialdikas, to adopt said ordinance. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Virgilio; 6 ayes. Motion passed.
3. **Ordinance O-30-12** Granting a Special Use for a Planned Unit Development (PUD) and Zoning Map Amendment for a 40.81 Acre Site at 40 Timberline Drive in Lemont, IL. Motion by Stapleton, seconded by Miklos, to adopt said ordinance. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Virgilio; 6 ayes. Motion passed
4. **Ordinance O-31-12** Approving the 3rd Amendment to FY 11-12 Operational Budget. Motion by Sniegowski, seconded by Miklos, to adopt said ordinance. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Virgilio; 6 ayes. Motion passed.
5. **Ordinance O-32-12** Granting Final Plan/Plat for a Residential Planned Unit Development on a 4.76 Acre Parcel Located at 12660 Thornberry Drive, in Lemont, IL. Motion by Chialdikas, seconded by Miklos, to adopt said ordinance. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Virgilio; 6 ayes. Motion passed.
6. **Ordinance O-33-12** Granting a Special Use to Allow An Entertainment Complex at 1232 State Street in Lemont, IL. Motion by Stapleton, seconded by Blatzer, to adopt said ordinance. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Virgilio; 6 ayes. Motion passed.

C. Resolutions

1. **Resolution R-25-12** Authorizing Agreement to Enter into a Contract with Wight Construction, Inc. Motion by Blatzer, seconded by Chialdikas, to adopt said resolution. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Virgilio; 6 ayes. Motion passed.
2. **Resolution R-26-12** Approving a Plat of Dedication for Public Alley and Public Roadway to the Village of Lemont, IL. Motion by Miklos, seconded by Blatzer, to adopt said resolution. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Virgilio; 6 ayes. Motion passed.
3. **Resolution R-27-12** Authorizing Agreement with Receivables Management Inc. Motion by Miklos, seconded by Blatzer, to adopt said resolution. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Virgilio; 6 ayes. Motion passed.

VI. VILLAGE ATTORNEY REPORT

VII. VILLAGE ADMINISTRATOR REPORT

VIII. BOARD REPORTS

Trustee Sniegowski – we could have six bidders on the Electrical Aggregation.

Virgilio – Saturday, May 12th will be the Quarryman Challenge. Volunteers are still needed.

IX. STAFF REPORTS

Public Works - Residents are encouraged to hire professionals for tree trimming and cutting.

X. UNFINISHED BUSINESS

XI. NEW BUSINESS

1. A possible site plan for the Rt. 83 / Archer property was discussed.

XII. EXECUTIVE SESSION

Motion by Blatzer, seconded by Stapleton, to move into Executive Session(s) for the purpose of discussing Setting the Price of Real Estate. Roll call: Blatzer, Chialdikas, Miklos, Sniegowski, Stapleton, Virgilio; 6 ayes. Motion passed.

XIII. ACTION ON CLOSED SESSION ITEMS

There being no further business, a motion was made by Blatzer, seconded by Stapleton, to adjourn the meeting at 8:25 p.m. Voice vote: 6 ayes. Motion passed.

**VILLAGE OF LEMONT
ORDINANCE NO. _____**

**AN ORDINANCE
AMENDING LEMONT MUNICIPAL CODE
CHAPTER 5.04, SECTION 5.04.080: ALCOHOLIC BEVERAGES
(Reducing Number of Class A-3 Liquor Licenses)**

**ADOPTED BY THE
PRESIDENT AND THE BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT
THIS 14th DAY OF May, 2012**

**Published in pamphlet form by
Authority of the President and
Board of Trustees of the Village of
Lemont, Counties of Cook, Will and
DuPage, Illinois, this 14th day of May, 2012.**

ORDINANCE NO. _____

AN ORDINANCE
AMENDING LEMONT MUNICIPAL CODE
CHAPTER 5.04, SECTION 5.04.080: ALCOHOLIC BEVERAGES
(Reducing Number of Class A-3 Liquor Licenses)

WHEREAS, the Village of Lemont (“Village”) is an Illinois Municipal Corporation pursuant to the Illinois Constitution of 1970 and the Statutes of the State of Illinois; and,

WHEREAS, Vito’s and Nicks’, a business establishment within the Village was previously licensed to sell alcohol pursuant to a Class A-3 liquor license granted by the Village; and

WHEREAS, Vito’s and Nicks’, has ceased its business operation and has no intention of seeking a renewal of its Class A-3 liquor license; and

WHEREAS, the President and Board of Trustees of the Village of Lemont desire to reduce the number of Class A-3 liquor licenses granted.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES of the Village of Lemont, Illinois:

SECTION 1: The above recitals are incorporated in this ordinance as if fully set forth.

SECTION 2: The Lemont Municipal Code, Chapter 5, Section 5.04, Subsection 5.04.080 is hereby amended to read as follow in the manner and form shown in strikethrough type below and inserting therein and therefore such new text in the manner and form and shown in underlined bold type below, so that said Section 5.04.080 shall hereafter provide as follows:

5.040.080 License – Fees – Classes of Operator.

- B. Number of Licenses. There shall be issued in the Class A-1 and A-2 categories, together, not more than four at any one time; the number of Class A-3 licenses to be issued at any one time shall not exceed ~~twelve~~ **eleven**, and the number of C-1 licenses to be issued at any one time shall not exceed nine.

SECTION 3: This Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

SECTION 4: All Ordinances or parts of Ordinances in conflict herewith shall be and the same are hereby repealed.

SECTION 5: The Village Clerk of the Village of Lemont shall certify to the adoption of this Ordinance and cause the same to be published in pamphlet form.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DUPAGE, ILLINOIS, on this 14th day of May, 2012.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniagowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

**VILLAGE OF LEMONT
ORDINANCE NO. _____**

**AN ORDINANCE
AMENDING LEMONT MUNICIPAL CODE
CHAPTER 5.04, SECTION 5.04.080: ALCOHOLIC BEVERAGES
(Increasing Number of Class C-3 Liquor Licenses)**

**ADOPTED BY THE
PRESIDENT AND THE BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT
THIS 14th DAY OF May, 2012**

**Published in pamphlet form by
Authority of the President and
Board of Trustees of the Village of
Lemont, Counties of Cook, Will and
DuPage, Illinois, this 14th day of May 2012.**

ORDINANCE NO. _____

AN ORDINANCE
AMENDING LEMONT MUNICIPAL CODE
CHAPTER 5.04, SECTION 5.04.080: ALCOHOLIC BEVERAGES
(Increasing Number of Class C-3 Liquor Licenses)

WHEREAS, the Village of Lemont (“Village”) is an Illinois Municipal Corporation pursuant to the Illinois Constitution of 1970 and the Statutes of the State of Illinois; and,

WHEREAS, Otto Brandt Wines, Inc., operating at 110 Main Street, has applied for a Class C-3 Liquor License and has further requested the Village adopt an ordinance amending the Lemont Municipal Code, as amended, so as to permit such a license to be issued; and

WHEREAS, the President and Board of Trustees of the Village of Lemont desire to increase the number of Class C-3 liquor licenses granted.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES of the Village of Lemont, Illinois:

SECTION 1: The above recitals are incorporated in this ordinance as if fully set forth.

SECTION 2: The Lemont Municipal Code, Chapter 5, Section 5.04, Subsection 5.04.080 is hereby amended to read as follow in the manner and form shown in strikethrough type below and inserting therein and therefore such new text in the manner and form and shown in underlined bold type below, so that said Section 5.04.080 shall hereafter provide as follows:

5.040.080 License – Fees – Classes of Operator.

A(10)(c) . There shall be issued in the Class C-3 category no more than ~~zero~~ **one** licenses at any one time.

SECTION 3: This Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

SECTION 4: All Ordinances or parts of Ordinances in conflict herewith shall be and the same are hereby repealed.

SECTION 5: The Village Clerk of the Village of Lemont shall certify to the adoption of this Ordinance and cause the same to be published in pamphlet form.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DUPAGE, ILLINOIS, on this 14th day of May, 2012.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

PAYABLE TO	INV NO	CHECK DATE G/L NUMBER	CHECK NO	AMOUNT DESCRIPTION	DIST
01 AMALGAMATED BANK OF CHICAGO				646211.25	
	12-05-14 2355	23-00-82102	#2355	89897.50	
	12-05-14 2386	23-00-82210	#2386	14477.50	
	12-05-14 2387	14-00-82540	#2387	23886.25	
	12-05-14 2438	17-11-82430	#2438	35306.25	
	12-05-14 2914	30-11-82302	#2914	52812.50	
	12-05-14 3079	14-00-82560	#3079	147880.00	
	12-05-14 3109	14-00-82580	#3109	35755.00	
	12-05-14 3373	35-00-82314	#3373	35650.00	
	12-05-14 4131	30-11-82304	#4131	34415.00	
	12-05-14 4427	23-00-82202	#4427	176131.25	
01 AMAUDIT				561.84	
	592	22-05-54400	APR 2011	62.07	
	592	10-90-53900	APR 2011	469.38	
	592	10-15-53000	APR 2011	30.39	
01 ARTHUR PETERSON INC				80.58	
	12-04-12	10-15-60900	MISC HOWE	80.58	
01 AT&T				999.57	
	630243095804	10-90-53900	4/13-5/12/12	166.94	
	630243146804	72-00-57000	INTERNET	112.64	
	630243737504	10-53-68010	PHONE/INTERNET	113.89	
	63025198204	22-10-54150	RUFFLED FEATHERS	41.63	
	630257043604	22-10-54150	GLENS OF CONNEMAR	43.70	
	630257159804	10-90-53900	630257159804	126.85	
	630257229004	22-05-54400	WELL #3	101.98	
	630257247404	10-90-53900	3/26-4/25	123.74	
	630257527104	22-10-54150	HARPER'S GROVE	43.44	
	630257593604	22-05-54400	WELL #4	46.28	
	630257642104	22-05-54400	WELL #5	36.60	
	630257953904	22-10-54150	KEEPATAW TRAILS	41.88	
01 AVALON PETROLEUM COMPANY				12266.80	
	013095	10-17-61500	1600 GALS UNL	5118.40	
	452651	10-17-61500	900 GALS UNL	3379.50	
	548791	10-17-61500	1020 GALS UNL	3768.90	
01 AVAYA INC				360.42	
	2731836309	10-90-53900	4/25-7/24	360.42	
01 ASPEN VALLEY LANDSCAPE				644.14	
	I1-103463	10-15-60900	PLANTING MIX	367.54	
	I1-103478	40-00-60900	STONE	276.60	
01 AIR 1 WIRELESS				21.24	
	AIR10IN4631	10-90-53900	DUAL OUTPUT MICR	21.24	
01 AZAVAR				809.19	
	8844	45-00-56600	CONTINGENCY PMT	809.19	
01 BALLARD, THOMAS				103.98	
	12-04-23	10-60-52100	SPRINGFIELD TRIP	103.98	
01 SUSAN M. BRUCE				86.56	

A / P W A R R A N T L I S T

[NW1]

REGISTER # 422

DATE: 05/14/12

Monday May 14,2012

PAGE 2

PAYABLE TO	INV NO	CHECK DATE G/L NUMBER	CHECK NO	AMOUNT DESCRIPTION	DIST
	12-05-03	10-53-68010		OPEN HOUSE RFRSHM	86.56
01 BUXTON COMPANY				1250.00	
034058	10-90-56600			SCOUT MKTG SVC	1250.00
01 COMCAST CABLE				173.50	
12-04-8896	10-90-53900			CABLE/INTERNET	173.50
01 COMED				4906.91	
12-04-0007	10-15-53000			TALCOTT, E OF STE	142.34
12-04-4052	10-15-53000			STEPHEN ST	54.35
12-04-8014	10-15-53000			ILLINOIS, E OF ST	17.94
12-05-7033	10-15-53000			BELL RD, MAIN ST	139.20
12/04-2007	10-15-53000			ROLLING MDW DR	4553.08
01 CHIPAIN'S FINER FOODS				82.64	
002013710902	10-15-60100			COFFEE, CRMR, SGR	82.64
01 CHASE				3138.87	
040212-050112	10-05-52100			SIGNS-GOLF OUTING	130.00
040212-050112	10-05-52100			ICSC LODGING	846.72
040212-050112	10-05-52100			WCGL MEETING	100.00
040212-050112	10-10-52100			ICSC CONVENTION	1101.60
040212-050112	10-10-52100			IML SEMINAR	125.00
040212-050112	10-10-52100			WCGL MEETING	178.36
040212-050112	10-10-52100			MAYOR REAVES	50.00
040212-050112	10-10-52200			ICSC	50.00
040212-050112	10-15-61200			POSTER	20.00
040212-050112	10-20-52100			FOOD, BEVERAGES	166.21
040212-050112	10-20-52300			STAMPS	9.00
040212-050112	10-20-60100			VARIOUS	212.96
040212-050112	10-90-52250			LATE FEE, INTERES	134.02
040212-050112	10-90-60601			EMMA SUBSCR	15.00
01 CHRISTIAN, EMILY				17.50	
105368010	10-53-68010			JEWELRY COMMISSIO	17.50
01 DON MORRIS ARCHITECTS PC				615.00	
12-04-30	10-25-56400			APR 12	115.00
12-04-30	10-25-56550			APR 12	500.00
01 DOHERTY, MARYANNE				272.57	
12-05-07	10-50-52100			IFPCA MEETING	272.57
01 DUSTCATCHERS, INC.				74.73	
38392	10-35-57500			FLOOR MATS	74.73
01 ELECTRONIC ACCESS SYSTEMS INC				342.50	
3488	10-35-57515			REPAIR GATE	342.50
01 EMBROIDERY & SCREEN PRINTING S				150.00	
3560	10-20-61400			SSMCTF	150.00
01 ENVIRO-TEST INC.				176.00	
12-128898	22-05-56700			WATER SAMPLES	176.00
01 EXELON ENERGY INC				15205.96	
100367800310	22-10-54150			CHESTNUT CROSSING	148.04
100367900310	22-10-54150			HARPER'S GROVE	132.62
100368000300	22-10-54150			OAK TREE	161.10

PAYABLE TO	INV NO	CHECK DATE G/L NUMBER	CHECK NO	AMOUNT	DIST
	100368000310	22-10-54150	OAK TREE LN	163.77	
	100368100310	22-05-54400	WELL #6	1642.60	
	100523800310	22-10-54150	KEEPATAW TRLS	153.41	
	100523900310	22-05-54400	WELL #5	6393.43	
	100524000320	22-05-54400	WELL #4	3982.56	
	100539200310	22-10-54150	GLENS OF CONNEMAR	114.22	
	201411100020	10-15-53000	STEPHEN/SANI CANA	21.89	
	201411200020	10-15-53000	164 E PEIFFER	132.42	
	201411300020	10-15-53000	1080 NORWALK	1842.19	
	201411500020	10-15-53000	ALLEY OFF CANAL	317.71	
01 FEDERAL EXPRESS CORP				132.64	
7-867-23718		10-53-58001	QC SHIPPING	106.70	
7-867-23718		10-10-52300	VH POSTAGE	25.94	
01 FEJEDELEM & SONS INC				17600.00	
6		17-00-70700	PLANTER BOXES	17600.00	
01 WRIGHT EXPRESS FSC				654.54	
29291793		10-17-61500	OUTSIDE PURCHASES	654.54	
01 FRANK NOVOTNY & ASSOCIATES INC				45163.17	
02115-43		25-00-541100	CSO FLOW MON	468.00	
06028.GE-30		10-15-56300	STAFF MTG ATTND	438.00	
06051-11		10-15-56300	DRAWINGS, PLANS	26.84	
06301-2		10-15-56300	UTIL PERMIT PROC	219.00	
07171-16		40-00-56300	MCCARTHY & WALKER	511.00	
09205-7F		25-00-570100	CLOSE-OUT	522.00	
10041-9		17-11-581100	PDR - PHASE 1	16477.50	
10360-9		25-00-567100	PLANT REHAB	14754.75	
10428-7		25-00-571100	PUNCHLIST	1595.00	
10444-7		25-00-573100	PUNCHLIST	3043.00	
10452-7		25-00-575100	CLOSE-OUT	110.00	
11043-7		25-00-517100	LOGAN DAM	165.00	
11120-6		22-05-56300	COM ED EASEMENT	538.00	
11368-2		34-00-56300	PLAT OF ANNEX	209.50	
11372-3		10-00-28500	SMITH FARMS	365.00	
11383-3		34-00-56600	83 & MAIN MISC	265.50	
12022-2		22-05-56300	CDBG APPLICATION	57.08	
12043-2		22-10-56300	MWRDGC	365.00	
12080-2		10-15-56300	COM ED EXHIBITS	324.00	
12102-1		22-10-56300	MWRD REPORTS	438.00	
12105-1		10-00-28500	SMITH FARMS	1095.00	
12110-1		34-00-56300	MAPS	1935.00	
12124-1		40-00-56300	IDOT 2011 MFT	219.00	
12125-1		40-00-56300	IDOT 2012 MFT	219.00	
12147-1		10-15-56300	BUDGET AUDIT	292.00	
12166-1		10-15-56300	CMAA TRAFFIC COUN	146.00	
12181-1		22-10-56300	FPA AMENDMENT	365.00	
01 G & H IMPORT AUTO PARTS INC				68.06	
604089		10-17-61100	PARTS RETD	35.90-	

A / P W A R R A N T L I S T

[NW1]

REGISTER # 422

DATE: 05/14/12

Monday May 14,2012

PAGE 4

PAYABLE TO	INV NO	CHECK DATE G/L NUMBER	CHECK NO DESCRIPTION	AMOUNT	DIST
	604091	10-17-61100	PARTS	98.60	
	604479	10-17-61100	PARTS	5.36	
01 SARAH GOLAK	12-05-01	75-00-20005	CPP #0258, 0457,	144.00	144.00
01 GRAINGER	9805037844	10-15-60900	PART	9.66	9.66
01 GOODING RUBBER COMPANY	308920	10-15-57000	GARDEN HOSE REPAI	14.36	14.36
01 GUARANTEED TECH SERV & CONSULT	2010293	80-00-70100	IT SUPPORT	1724.89	1724.89
01 HOMER INDUSTRIES LLC	S44907	10-15-60900	MULCH	264.00	264.00
01 INTERNATIONAL CONF OF POLICE C	36535	10-20-52200	5/1/12-4/30/13	125.00	125.00
01 ILLINOIS DEPT OF AGRICULTURE	2012	10-15-52100	2012 PEST CONTROL	60.00	60.00
01 ILLINOIS LAW ENFORCEMENT ALARM	2012	10-20-52200	7/1/12-6/30/13	50.00	50.00
01 ILLINOIS STATE POLICE	381202734	10-20-60110	SO REGISTRATION	30.00	30.00
01 ILLINOIS MUNICIPAL LEAGUE	12-04-24	10-05-52200	6/1/12-5/31/13	1188.00	1188.00
01 INKWELL LTD	57691	10-20-60100	STAMPER	197.78	27.83
	57734	10-20-60100	COPY PAPER		169.95
01 THOMAS A YOUPEL	6578	10-25-60300	MUNI CODE/ADMIN D	175.00	175.00
01 I-PAC	12-04-23	10-20-52200	2012 DUES	125.00	125.00
01 ILLINOIS STATE POLICE	381203050	10-00-29050	LIQUOR LICENSE	39.50	39.50
01 IMPERIAL SERVICE SYSTEMS, INC	57838	10-35-57500	MAY '12 CLEANING	1689.00	656.00
	57838	10-35-57505	MAY '12 CLEANING		34.00
	57838	75-00-57350	MAY '12 CLEANING		34.00
	57838	72-00-57000	MAY '12 CLEANING		34.00
	57838	10-35-57515	MAY '12 CLEANING		931.00
01 JCM UNIFORMS	663951	10-20-61400	J GARCIA	330.93	206.73
	664037.1	10-20-61400	J MULLEN		124.20
01 JOHNSON DEPP & QUISENBERRY INC	12-04-30	10-61-56600	OAN	5691.00	5691.00
01 LEMONT EXPRESS CAR WASH	1385	10-20-57000	APR'12 WASHES (25	100.00	100.00
01 LOCIS	33426	10-00-28020	CHECK STOCK	690.25	172.55
	33426	10-00-28025	CHECK STOCK		172.55

PAYABLE TO	INV NO	CHECK DATE G/L NUMBER	CHECK NO DESCRIPTION	AMOUNT	DIST
	33426	10-00-28030	CHECK STOCK	172.55	
	33426	10-00-28035	CHECK STOCK	172.60	
01 LUDWIG'S INC				41.99	
12-04-12		10-20-60600	CANIDAE DOG FOOD	41.99	
01 MOTOROLA SOLUTIONS - STARCOM				500.00	
63363282012		10-20-52600	STARCOM21	500.00	
01 MUNICIPAL ELECTRONICS INC				113.88	
S334927		10-17-61100	PARTS	113.88	
01 MENARD'S				440.31	
94902		10-15-60900	FOAM BOARDS	30.42	
95210		22-05-61300	MISC HDWE	379.90	
95300		22-05-60850	STRAINER	29.99	
01 METROPOLITAN INDUSTRIES INC				575.00	
0000259440		22-10-57150	TARGET-KOHL'S	575.00	
01 MORRIS ENGINEERING INC				4140.00	
12-02874		10-25-56305	4/1-4/30/12 REVIE	4075.00	
12-02874		10-25-56310	4/1-4/30/12 INSP	65.00	
01 MARATHON SPORTSWEAR				5965.93	
127634		10-53-58001	PARTICIPANT T-SHI	5153.43	
128119		10-53-58001	T-SHIRTS	812.50	
01 NAPA AUTO PARTS				1412.34	
069542		10-17-61100	SUBSCRIPTION	149.00	
467638		10-17-61100	PARTS	31.60	
468588		10-17-61100	PARTS	217.80	
468941		10-17-61100	PARTS	5.87	
468968		10-17-61100	PARTS	322.71	
469227		10-17-61100	PARTS	30.56	
469488		10-17-61100	PARTS RETD	20.73	
469550		10-17-61100	PARTS	46.61	
469595		10-17-61100	PARTS	33.17	
469614		10-17-61100	PARTS	37.57	
469720		10-17-61100	PARTS	13.20	
469722		10-17-61100	PARTS	55.20	
470012		10-17-61100	PARTS	52.24	
470124		10-17-61100	PARTS	202.01	
470172		10-17-61100	PARTS	219.00	
470238		10-17-61100	PARTS	16.53	
01 NATIONAL CRIME PREVENTION COUN				395.00	
P02037		10-20-52100	JUNE 5-7 TRNG	395.00	
01 NORTH EAST MULTI-REGIONAL TRAI				2970.00	
154467		10-20-52200	7/1/12-6/30/13	2970.00	
01 NEXTEL COMMUNICATIONS				2840.28	
180900510-123		10-90-53900	3/24-4/23/12	2840.28	
01 NICOR GAS				349.33	
12-04-00430		22-10-54150	RUFFLED FTHRS	80.16	
12-04-1000 5		22-10-54150	CHESTNUT CROSSING	25.00	
12-04-20008		22-05-54400	WELL #3	78.03	

PAYABLE TO	INV NO	CHECK DATE G/L NUMBER	CHECK NO DESCRIPTION	AMOUNT	DIST
	12-04-8700	1	22-10-54150	SMITH FARMS	24.38
	12-04-9378	5	22-05-54400	WELL #6	30.48
	12-05-2382	4	22-10-54150	GLENS OF CONNEMAR	26.17
	12/04-2000	8	22-10-54150	KEEPATAW TRAILS	24.85
	12/04-9589	2	22-10-54150	TARGET-KOHLIS	24.90
	12/05-2000	4	22-05-54400	WELL #4	35.36
01 NATIONAL SEED	529610SI		10-15-60900	GRASS SEED	387.50
					387.50
01 NORTHEAST WI TECHNICAL COLLEGE	SFT0000059938		10-20-52100	TASER TRNG	350.00
					350.00
01 OLDE ENGLISH GARDENS LLC	2504		10-35-57515	MULCHING	990.00
	2514		10-25-57650	MOWING-VAC PROP	840.00
					150.00
01 OCCUPATIONAL HEALTH CENTERS	1006732373		10-90-56500	2 PRE-EMP PX	200.00
					200.00
01 O'NEILL TERRI	12-04-30		10-20-52100	CHAPLAIN CONF	335.15
					335.15
01 MONA PARRY	12-05-03		10-53-68010	4/28 ART CLASS	60.00
					60.00
01 PETTY CASH - POLICE DEPT	12-05-03		10-20-52100	PETTY CASH	397.67
	12-05-03		10-20-52300	PETTY CASH	335.38
	12-05-03		10-20-60100	PETTY CASH	6.00
	12-05-03		10-20-60110	PETTY CASH	54.29
					2.00
01 PINNER ELECTRIC INCORP	22108		40-00-60900	TRAFFIC SIGNALS	400.00
					400.00
01 PORTER LEE CORP	11532		10-35-57515	BEAST	800.00
					800.00
01 MARGARET POPLAWSKI	12-05-03		10-53-68010	4/14, 21 ART CLAS	120.00
					120.00
01 QUINLAN SECURITY SYSTEMS	10041		10-15-57000	MAY-JUL 2012	196.59
					196.59
01 QUILL CORPORATION	2690089		10-10-60100	KEYBOARD REST	140.15
	2857342		10-10-60100	WALLETS, BANKER B	14.39
	2886854		10-10-60100	TAPE, INDEXES	87.28
					38.48
01 RAGS ELECTRIC	4827-74		40-00-60900	APR 2012	2154.90
	8078		10-15-57400	LIGHT REPAIR	1000.00
	8095		10-35-57500	R/R LIGHTS	138.00
	8105		10-15-57400	LIGHT REPAIR	196.22
	8107		10-15-57400	LIGHT REPAIR	92.00
	8127		10-15-57400	LIGHT REPAIR	440.12
					288.56
01 RAYMAR HYDRAULIC REPAIR SERVIC	1600		10-17-61100	PARTS	370.82
					370.82
01 RAINBOW PRINTING	408843		22-05-60100	#10 WINDOW ENVS	563.85
					171.95

PAYABLE TO	INV NO	CHECK DATE G/L NUMBER	CHECK NO DESCRIPTION	AMOUNT	DIST
	408888	10-00-29023	SPONSOR SIGN	160.00	
	408901	10-25-52450	FORMS, STICKERS	231.90	
01 RUFFLED FEATHERS GOLF CLUB 43012F		10-00-29023	BAL DUE	785.61	785.61
01 RECORD INFORMATION SERVICES 31695		10-10-56600	FORECLOSURE SVC	575.00	575.00
01 SOUTHWEST CENTRAL DISPATCH MAY2012		10-20-53800	MAY 2012	24206.54	24206.54
01 SUREFIRE AUTO PARTS				884.24	
12-04-30	10-20-57000	VARIOUS ITEMS	204.91		
240687	10-17-61100	PARTS	262.13		
241376	10-17-61100	PARTS	3.82		
242672	10-17-61100	PARTS	1.56		
243025	10-17-61100	PARTS	185.17		
243664	10-17-61100	PARTS	15.98		
243830	10-17-61100	PARTS	74.49		
243853	10-17-61100	PARTS RETD	74.49-		
243857	10-17-61100	PARTS	123.97		
244124	10-17-61100	PARTS	9.58		
244136	10-17-61100	PARTS	4.99		
244153	10-17-61100	PARTS RETD	7.25-		
244241	10-17-61100	PARTS	79.38		
01 SIDWELL COMPANY 88388		10-15-60100	SIDWELL BOOK	380.00	380.00
01 SUBURBAN LIFE PUBLICATIONS				997.68	
566691	10-10-52450	COMM CORNER	320.00		
568236	22-05-52450	LEGAL NOTICE	357.68		
568337	10-10-52450	COMM CORNER	320.00		
01 CHARLENE SMOLLEN 12-04-27		10-05-52100	SPRINGFIELD MTG	199.36	199.36
01 SECRETARY OF STATE 11COFO-000720		10-20-57000	TITLE	95.00	95.00
01 VICTOR SPLITT 12-05-08		10-50-52100	IFPCA MTG	90.40	90.40
01 STAPLETON, RON 12-05-03		10-05-52100	SPRINGFIELD TRIP	430.27	430.27
01 SWAHM POOL				82266.21	
12-04-30	10-90-53100	APR 2012	61208.85		
12-04-30	22-15-53100	APR 2012	18882.73		
12-04-30	10-00-29550	APR 2012	2174.63		
01 TOSHIBA FINANCIAL SERVICES				1128.10	
57133372	10-90-57000	COPIER	785.00		
57177282	10-15-57000	COPIER LEASE	343.10		
01 TOSHIBA FINANCIAL SERVICES 57115903		10-20-70100	COPIERS	1261.12	1261.12
01 TEE JAY SERVICE CO 147857		10-35-57515	MAY '12 - APR '13	700.00	700.00

PAYABLE TO	INV NO	CHECK DATE G/L NUMBER	CHECK NO DESCRIPTION	AMOUNT	DIST
01 T.P.I.				7880.25	
	6235	10-25-56400	APR 12 REVIEWS	6920.25	
	6235	10-25-56550	APR 12 INSP	960.00	
01 VILLAGE OF ROMEVILLE				3450.00	
	2012-00000003	17-11-561200	PROJ 11-602	3450.00	
01 VILLAGE OF ORLAND PARK				195.00	
	10810	10-35-57515	MAR 2012	195.00	
01 VISION SERVICE PLAN (IL)				931.14	
	12-04-17	10-90-53300	MAY 12 VISION	931.14	
01 VULCAN MATERIALS CO				118.20	
	672774	40-00-60900	12 TONS STONE	118.20	
01 WASTE MANAGEMENT				24.00	
	448033-2007-3	10-15-52900	APR 2012	24.00	
01 WATER RESOURCES INC				1452.27	
	27101	22-05-70200	WATER METERS	1452.27	
01 WEST SIDE TRACTOR SALES				198.31	
	N72919	10-17-61100	PARTS	198.31	
** TOTAL CHECKS TO BE ISSUED				920277.92	

FUND	AMOUNT
GENERAL FUND	170421.64
GENERAL DEBT SERVICE	207521.25
T.I.F.	72833.75
WATER & SEWER FUND	37447.26
W & S ALT REV BOND	280506.25
WATER/SEWER CAPITAL IMPROVE FUND	20657.75
DOWNTOWN CANAL DIST. T.I.F.	87227.50
GATEWAY T.I.F.	2410.00
SPEC SVC AREA	35650.00
MOTOR FUEL TAX	2743.80
ROAD IMPROVEMENT FUND	809.19
PARKING GARAGE FUND	146.64
PARKING LOT FUND	178.00
GENERAL CAPITAL IMPROVEMENTS	1724.89
*** GRAND TOTAL ***	920277.92

A/P MANUAL CHECK POSTING LIST

POSTINGS FROM ALL CHECK REGISTRATION RUNS(NR) SINCE LAST CHECK VOUCHER RUN(NCR)

PAYABLE TO REG NO	INV NO	CHECK DATE G/L NUMBER	CHECK NO DESCRIPTION	AMOUNT	DIST
01 AMALGAMATED BANK OF CHICAGO 471	12-05-01 3000	05/14/12 35-00-56950	67355 SSA SERIES 2009	515.00	515.00
01 PETTY CASH 471	12-05-08	05/08/12 10-53-58001	67354 PRIZE MONEY	1000.00	1000.00

** TOTAL MANUAL CHECKS REGISTERED 1515.00

REPORT SUMMARY

CASH FUND	CHECKS TO BE ISSUED	REGISTERED MANUAL	TOTAL
01	920277.92	1515.00	921792.92
TOTAL CASH	920277.92	1515.00	921792.92

DISTR FUND	CHECKS TO BE ISSUED	REGISTERED MANUAL	TOTAL
10	170421.64	1000.00	171421.64
14	207521.25	.00	207521.25
17	72833.75	.00	72833.75
22	37447.26	.00	37447.26
23	280506.25	.00	280506.25
25	20657.75	.00	20657.75
30	87227.50	.00	87227.50
34	2410.00	.00	2410.00
35	35650.00	515.00	36165.00
40	2743.80	.00	2743.80
45	809.19	.00	809.19
72	146.64	.00	146.64
75	178.00	.00	178.00
80	1724.89	.00	1724.89
TOTAL DISTR	920277.92	1515.00	921792.92

A / P W A R R A N T L I S T

REGISTER # 419

DATE: 04/30/12

Monday April 30,2012

PAGE 1

PAYABLE TO	INV NO	CHECK DATE G/L NUMBER	CHECK NO DESCRIPTION	AMOUNT	DIST
01 ASHLAND INC	95862361	10-17-61100	OIL	107.13	107.13
01 AT&T	63024304480412	22-10-54150	CHESTNUT CROSSING	269.40	42.15
	63024304590412	22-10-54150	OAK TREE LN		45.99
	63024312300412	22-10-54150	EAGLE RIDGE		43.72
	63024316090412	22-10-54150	KOHL'S-TARGET		45.74
	63024317390412	22-05-54400	WELL #6		91.80
01 BALLARD, THOMAS	18923006058	10-60-57000	NEXTEL HOLDER	21.59	21.59
01 BLACK DIRT INC	14989	10-15-60900	PULVERIZED SOIL	205.00	205.00
01 CALL ONE	12-04-15	10-90-53900	4/15-5/14 SVCS	830.14	830.14
01 CINTAS DOCUMENT MANAGEMENT	DD25144554	10-10-60100	DOC SHREDDING	62.57	62.57
01 CDW GOVERNMENT LLC	J533214	10-70-70200	SOFTWARE	1648.25	1648.25
01 CASTLETOWN HOMES INC	110734	10-00-28200	R-1330 KRYSZYNA C	1000.00	1000.00
01 CASE LOTS INC	039609	10-10-60100	TP	54.85	54.85
01 COLLEGE OF DUPAGE	SLEA-0020-114	10-20-52100	HOMICIDE TRNG	115.00	115.00
01 CIRCLE TRACTOR	228477	10-17-61100	PARTS	21.52	10.52
	228555	10-17-61100	PARTS		11.00
01 DUSTCATCHERS, INC.	37469	10-35-57515	FLOOR MATS	136.63	61.90
	37470	10-35-57500	FLOOR MATS		74.73
01 JCM UNIFORMS	664532	10-60-61400	K MURRAY	293.50	169.35
	665227.1	10-60-61400	T BALLARD		90.45
	666272	10-60-61400	K MURRAY		33.70
01 MEDIA DISTRIBUTORS	MDSOINV00004524	10-70-70200	P.O. #2071	1307.60	1307.60
01 QUILL CORPORATION	2534301	10-25-60100	ACCENT MARKERS	175.56	4.58
	2575607	10-10-60100	STORAGE BOXES		85.49
	2575607	10-25-60100	STORAGE BOXES		85.49
01 RICCIO CONSTRUCTION CORP	2162	22-10-57050	20 W LOGAN	20004.26	9020.26
	2164	22-10-57050	2011 REPAIRS		1794.00
	2167	22-05-58100	1102 REP WORK 201		9190.00
01 COOK COUNTY RECORDER OF DEEDS	INV272113011	10-00-29400	CASE 11-02	164.00	118.00

SYS DATE:04/26/12

VILLAGE OF LEMONT

SYS TIME:08:56

A / P W A R R A N T L I S T

[NW1]

REGISTER # 419

DATE: 04/30/12

Monday April 30,2012

PAGE 2

PAYABLE TO	INV NO	CHECK DATE G/L NUMBER	CHECK NO DESCRIPTION	AMOUNT	DIST
	INV272113011	10-00-29400	CASE 11-05		46.00
01 STRICTLY BOARD-UP INC 6099		10-25-57650	WELL BEING CHECK	147.00	147.00
01 SUBURBAN LIFE PUBLICATIONS 566938		10-00-29400	LEGAL NOTICE 12-0	199.52	199.52
** TOTAL CHECKS TO BE ISSUED				26763.52	

SYS DATE:04/26/12

VILLAGE OF LEMONT

SYS TIME:08:56

A / P W A R R A N T L I S T

{NW1}

DATE: 04/30/12

REGISTER # 419
Monday April 30,2012

PAGE 3

FUND	AMOUNT
GENERAL FUND	6489.86
WATER & SEWER FUND	20273.66
*** GRAND TOTAL ***	26763.52

=====
A/P MANUAL CHECK POSTING LIST
POSTINGS FROM ALL CHECK REGISTRATION RUNS(NR) SINCE LAST CHECK VOUCHER RUN(NCR)
=====

PAYABLE TO REG NO	INV NO	CHECK DATE G/L NUMBER	CHECK NO	AMOUNT	DIST
92 THE INK WELL 468	32665	04/25/12 92-00-60100	10068	150.00	150.00
			BUSINESS CARDS		

** TOTAL MANUAL CHECKS REGISTERED 150.00

=====
REPORT SUMMARY
=====

CASH FUND	CHECKS TO BE ISSUED	REGISTERED MANUAL	TOTAL
01	26763.52	.00	26763.52
92	.00	150.00	150.00
TOTAL CASH	26763.52	150.00	26913.52

DISTR FUND	CHECKS TO BE ISSUED	REGISTERED MANUAL	TOTAL
10	6489.86	.00	6489.86
22	20273.66	.00	20273.66
92	.00	150.00	150.00
TOTAL DISTR	26763.52	150.00	26913.52

SYS DATE:04/30/12

VILLAGE OF LEMONT

SYS TIME:12:49

A / P W A R R A N T L I S T

[NW1]

DATE: 04/30/12

REGISTER # 420
Monday April 30,2012

PAGE 1

PAYABLE TO	INV NO	CHECK DATE G/L NUMBER	CHECK NO DESCRIPTION	AMOUNT	DIST
01 ARCHON CONSTRUCTION CO INC 10444-4SF		25-00-573200	STATE/WARNER	74540.18	74540.18
01 ADVANTAGE CHEVROLET 64579		10-17-61100	PARTS	260.65	260.65
01 ALBRECHT, CHRIS 12-04-27		10-65-53600	PLUMBING PART	8.08	8.08
01 AVALON PETROLEUM COMPANY 548789 548790		10-17-61500 10-17-61500	1000 GALS UNL 1175 GALS UNL	7642.96	3514.00 4128.96
01 BRISTOL HOSE & FITTING 00294251		10-17-61100	PARTS	10.95	10.95
01 BOURBONNAIS SUPPLY INC. 158579		10-17-61100	PARTS	169.95	169.95
01 BUXTON COMPANY 034050		10-90-56600	"SCOUT" SERVICE	1250.00	1250.00
01 CDW GOVERNMENT LLC J468631 J469447 J617124 J704372		80-00-70100 10-70-70200 80-00-70100 80-00-70100	SERVER LICENSING COMPUTER EQ SOFTWARE LICENSE IT LICENSING	11341.11	584.80 2748.60 4670.08 3337.63
01 DABNEY, DOREEN 12-04-14		10-65-53600	RECYCLING EVENT	40.37	40.37
01 GUARANTEED TECH SERV & CONSULT 2010266		80-00-70100	IT SUPPORT	1040.00	1040.00
01 ISTHA 12-03-08		14-00-82880	I-355 SO EXT IMPR	1100000.00	1100000.00
01 LEMONT HIGH SCHOOL DIST 210 12-03-12		10-90-56410	INTRGVTL AGRMNT	338.68	338.68
01 JOHN WOLFE 042512A		10-17-61300	SOCKET SET	149.95	149.95
01 MEDIA DISTRIBUTORS MDSOINV00004476		10-70-70200	P.O. #2071	1042.50	1042.50
01 OCCUPATIONAL HEALTH CENTERS 1006719643 1006720645		10-90-56500 10-90-56500	PRE-EMP PX PRE-EMP PX	200.00	100.00 100.00
01 PATRICK B. MURPHY, INC. 20358		22-10-57050	SEWER CLNG/TELE	3150.00	3150.00
01 PORTABLE JOHN INC A-177099		10-53-60110	TOILETS	188.16	188.16
01 QUINLAN SECURITY SYSTEMS 9945		10-15-57000	NEW ALARM PAD	399.60	399.60
01 QUILL CORPORATION 2610578		10-10-60100	WRIST REST, PAPER	50.74	50.74
01 ROD BAKER FORD 113569		10-17-61100	PARTS #094	110.69	110.69
01 COOK COUNTY RECORDER OF DEEDS				382.00	

SYS DATE:04/30/12

VILLAGE OF LEMONT

SYS TIME:12:49

A / P W A R R A N T L I S T

[NW1]

REGISTER # 420

DATE: 04/30/12

Monday April 30,2012

PAGE 2

PAYABLE TO	INV NO	CHECK DATE G/L NUMBER	CHECK NO DESCRIPTION	AMOUNT	DIST
	INV272022912	10-00-29400	CASE 11-13	126.00	
	INV272022912	33-00-70600	PLAT 1204710073	128.00	
	INV272022912	33-00-70600	PLAT 1204710074	128.00	
01 REX RADIATOR SALES J34745		10-17-57000	DSL TANK REP	605.00	605.00
01 SCHINDLER ELEVATOR CORP 7151612977		72-00-57000	ELEVATOR MAINT	1775.03	1775.03
01 SUBURBAN LIFE PUBLICATIONS 566936		10-10-52450	4/6 LEGAL NOTICE	451.76	225.88
567370		10-10-52450	4/13 LEGAL NOTICE		225.88
01 STOLLER INTERNATIONAL P5600		10-17-61100	PARTS	574.92	574.92
01 TIGERDIRECT INC. F95713210101		80-00-70100	2 HP 8200 PCS	2585.67	1853.77
F95713210102		80-00-70100	WARRANTY (2)		499.98
F95713210104		80-00-70100	2 LED MONITORS		231.92
01 VILLAGE OF ROMEOVILLE 2012-00000003		17-11-561200	QUIET ZONE STUDY	3725.00	3725.00
** TOTAL CHECKS TO BE ISSUED			1212033.95		

SYS DATE:04/30/12

VILLAGE OF LEMONT

SYS TIME:12:49

A / P W A R R A N T L I S T

[NW1]

REGISTER # 420

DATE: 04/30/12

Monday April 30,2012

PAGE 3

FUND	AMOUNT
GENERAL FUND	16369.56
GENERAL DEBT SERVICE	1100000.00
T.I.F.	3725.00
WATER & SEWER FUND	3150.00
WATER/SEWER CAPITAL IMPROVE FUND	74540.18
GATEWAY PROPERTY ACQUISITION	256.00
PARKING GARAGE FUND	1775.03
GENERAL CAPITAL IMPROVEMENTS	12218.18
*** GRAND TOTAL ***	1212033.95

=====

A/P MANUAL CHECK POSTING LIST
POSTINGS FROM ALL CHECK REGISTRATION RUNS(NR) SINCE LAST CHECK VOUCHER RUN(NCR)

=====

PAYABLE TO REG NO	INV NO	CHECK DATE G/L NUMBER	CHECK NO DESCRIPTION	AMOUNT	DIST
01 COPENHAVER CONSTRUCTION 469	11372-1	04/26/12 10-00-28500	67324 SMITH FARMS	9996.30	9996.30
01 RATHBUN CSERVENYAK & KOZOL 469	74805	LLC04/27/12 80-00-590400	67326 REPL VOID CK#6653	874.00	874.00
01 RUFFLED FEATHERS GOLF CLUB 469	43012P	04/26/12 10-00-29023	67325 4/30 GOLF OUTING	17002.54	17002.54
** TOTAL MANUAL CHECKS REGISTERED				27872.84	

=====

REPORT SUMMARY

=====

CASH FUND	CHECKS TO BE ISSUED	REGISTERED MANUAL	TOTAL
01	1212033.95	27872.84	1239906.79
TOTAL CASH	1212033.95	27872.84	1239906.79

DISTR FUND	CHECKS TO BE ISSUED	REGISTERED MANUAL	TOTAL
10	16369.56	26998.84	43368.40
14	1100000.00	.00	1100000.00
17	3725.00	.00	3725.00
22	3150.00	.00	3150.00
25	74540.18	.00	74540.18
33	256.00	.00	256.00
72	1775.03	.00	1775.03
80	12218.18	874.00	13092.18
TOTAL DISTR	1212033.95	27872.84	1239906.79

Proclamation

Mayor
Brian K. Reaves

Village Clerk
Charlene Smollen



Trustees
Debby Blatzer
Paul Chialdikas
Clifford Miklos
Rick Sniegowski
Ronald Stapleton
Jeanette Virgilio

WHEREAS, the Law Enforcement Torch Run is the single largest year-round fundraising event benefitting the Special Olympics Illinois; and

WHEREAS, the annual intrastate relay and its various fundraising projects, including "Cops on the Roof Top," raise money and gain awareness for the athletes who participate in Special Olympics Illinois; and

WHEREAS, the Special Olympics program reaffirms the beliefs that with hope and dedication, we can see achievement and self-worth realized by any individual and persons with intellectual disabilities, through their involvement in Special Olympics, to show their communities that there are no limits to their potential; and

WHEREAS, the Law Enforcement Torch Run for Special Olympics Illinois, through its fundraising efforts, helps to provide for this opportunity making the potential for every Special Olympics athlete's dream to come to life; and

WHEREAS, approximately 3,000 officers representing every branch of law enforcement across the state from local police officers to FBI agents will carry the Flame of Hope nearly 1,500 miles, running through thousands of Illinois communities to its final destination – the Opening Ceremonies of the Special Olympics Illinois Summer Games each June in Normal, IL.

NOW, THEREFORE, I, BRIAN K. REAVES, Mayor of Lemont, on behalf of the Village Board of Trustees, do hereby declare June 1, 2012, as Cop on the Roof Top Day in the Village of Lemont to heighten awareness and raise donations for the Law Enforcement Torch Run benefiting Special Olympics Illinois; and all residents are encouraged to support this Law Enforcement Torch Run event for the Special Olympics Illinois.

Dated at Lemont this 14th day of May, 2012.

BRIAN K. REAVES, Mayor

Attest:

CHARLENE SMOLLEN, Village Clerk

Proclamation

Mayor
Brian K. Reaves

Village Clerk
Charlene Smollen



Trustees

Debby Blatzer
Paul Chialdikas
Clifford Miklos
Rick Sniegowski
Ronald Stapleton
Jeanette Virgilio

WHEREAS, Project Infinite Green launched its pilot program on October 4, 2011, to offer students in the Village of Lemont the opportunity to learn from industry experts about the science and business of both traditional and sustainable energy sources; and

WHEREAS, this program, designed by community residents and teachers, government officials and corporate partners, promotes the ideals of the STEM (Science, Technology, Engineering, and Mathematics) Coalition to raise awareness of STEM education within the government and other organizations and encourages academic exploration on a local level; and

WHEREAS, over the past 25 weeks, voluntarily meeting twice weekly, thirty 7th and 8th grade students had been charged with creating green business plans using all they have learned from their mentors and research; and

WHEREAS, with the success of the program through the students hard work and dedication, Project Infinite Green and these students have been invited to Washington D.C. to present their green business plans to Congressman Lipinski, Senator Durbin and the STEM ED Caucus on May 16-18.

NOW, THEREFORE, I, BRIAN K. REAVES, Mayor of Lemont, on behalf of the Village Board of Trustees and the entire community, hereby commend Project Infinite Green and its team of students, residents, teachers, government officials and corporate partners for their desire and drive to help make this pilot program a success; and further express our pride to the students on the creation of their business plans and invitation to Washington D.C.

Dated at Lemont this 14th day of May, 2012.

BRIAN K REAVES, Mayor

Attest:

CHARLENE SMOLLEN, Village Clerk

Proclamation

Mayor
Brian K. Reaves

Village Clerk
Charlene Smollen



Trustees

Debby Blatzer
Paul Chialdikas
Clifford Miklos
Rick Sniegowski
Ronald Stapleton
Jeanette Virgilio

WHEREAS, the week of May 20-26, 2012 is celebrated as NATIONAL PUBLIC WORKS WEEK; and

WHEREAS, the public works infrastructure, facilities, and services, including water, sewer, roadways, public buildings, ground maintenance and snow removal, are of vital importance to the health, safety, and well-being of the residents of the Village of Lemont; and

WHEREAS, these essential facilities and services could not be provided without the dedicated efforts of public works professionals, including engineers, administrators, equipment operators, and skilled workers, who help ensure their safe and efficient operation; and

WHEREAS, the 2012 observance of Public Works Week and the services they provide raise awareness of the significant contributions of the Public Works Department to the quality of our citizens' everyday lives.

NOW, THEREFORE, I, BRIAN K. REAVES, Mayor of Lemont, on behalf of the Village Board of Trustees, hereby proclaim the week of May 20-26 as PUBLIC WORKS WEEK in the Village of Lemont and hereby join with the community to express our appreciation to the employees of the Public Works Department in recognition of their contribution to our health, safety, comfort and quality of life.

Dated at Lemont this the 14th day of May, 2012

BRIAN K REAVES, Mayor

Attest:

CHARLENE SMOLLEN, Village Clerk

Proclamation

Mayor
Brian K. Reaves

Village Clerk
Charlene Smollen



Trustees

Debby Blatzer
Paul Chialdikas
Clifford Miklos
Rick Sniegowski
Ronald Stapleton
Jeanette Virgilio

WHEREAS, on May 17, 2012, National Curves Day was initiated as a partnership with the United States Office of Women's Health and Curves International, Inc., in celebration of National Women's Health Week, May 13-19, to increase awareness of women's health issues nationwide; and

WHEREAS, from that day forward, National Curves Day will occur in the Spring on the first Thursday following Mother's Day during National Women's Health Week; and

WHEREAS, National Curves Day celebrates the efforts of national and community organizations working with partners and volunteers through fundraising efforts to improve awareness of key women's health issues; and

WHEREAS, Curves of Lemont will officially launch local efforts to promote healthy lifestyles for women on May 17, 2012.

NOW, THEREFORE, I, BRIAN K. REAVES, Mayor of Lemont, on behalf of the Village Board of Trustees, hereby proclaim the Thursday following Mother's Day, May 17, 2012, as National Curves Day in Lemont and urge all residents to participate in the healthy activities planned for this special day at our local Lemont Curves.

Dated at Lemont this the 14th day of May, 2012

BRIAN K. REAVES, Mayor

Attest:

CHARLENE SMOLLEN, Village Clerk

**VILLAGE OF LEMONT
ORDINANCE NO. _____**

**AN ORDINANCE ADOPTING ELECTRIC AGGREGATION
PLAN OF GOVERNANCE**

**ADOPTED BY THE
PRESIDENT AND THE BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT
THIS 14th DAY OF May, 2012**

Published in pamphlet form by
Authority of the President and
Board of Trustees of the Village of
Lemont, Counties of Cook, Will and
DuPage, Illinois, this 14th day of May, 2012.

ORDINANCE NO. _____

**AN ORDINANCE ADOPTING ELECTRIC AGGREGATION
PLAN OF GOVERNANCE**

WHEREAS, recently the Illinois Power Agency Act, Chapter 20, Illinois Compiled Statutes, Act 3855, added Section 1-92 entitled Aggregation of Electrical Load by Municipalities and Counties (hereinafter referred to as the “Act”);

WHEREAS, under the Act, the Village may operate the aggregation program under the Act as an opt-out program for residential and small commercial retail customers, if a referendum is passed by a majority vote of the residents pursuant to the requirements under the Act; and,

WHEREAS, the Village submitted the question in a referendum on March 20, 2012, and a majority of the electors voting on the question voted in the affirmative; and,

WHEREAS, the corporate authorities hereby find that it is in the best interest of the Village to operate the aggregation program under the Act as an opt-out program and to implements the program according to the terms of the Act; and,

WHEREAS, prior to the implementation of an opt-out electrical aggregation program, the Village needs to adopt an Electric Power Aggregation Plan of Operation and Governance as required by the Act; and,

WHEREAS, the Village held the required Public Hearings for the Electric Power Aggregation Plan of Operation and Governance on April 16, 2012 and April 23, 2012.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT and BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COOK, DUPAGE AND WILL COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1: The Corporate Authorities of the Village of Lemont find that the recitals set forth above are true and correct.

SECTION 2: The Corporate Authorities of the Village of Lemont find and determine that it is in the best interests of the Village of Lemont to operate the electric aggregation program under the Act as an opt-out program.

SECTION 3: That the Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

SECTION 4: This Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DUPAGE, ILLINOIS, on this 14th day of May, 2012.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

Will Electric Aggregation Group

Electric Aggregation Plan of Operation and Governance

Will County Governmental League

Electrical Aggregation Plan of Operation and Governance

Enacted in August of 2007, the Illinois Power Agency Act, 20 ILCS 3855/I-92, established the means for local governments to aggregate their residents' electric loads with voter approval. This act, working in conjunction with the state's deregulated electricity market, allows municipalities to solicit bids for the aggregated residential and commercial loads. Member Communities of the Will County Governmental League, have found it in their best interest to join together and work collectively to pursue Electric Aggregation. As such, communities have formed the Will Electric Aggregation Group through an intergovernmental agreement. This plan of Operation and Governance applies to the aggregation program for members of the Will Electric Aggregation Group. Aggregation Members, as defined in the 'Definitions' section below, of the Will Electric Aggregation Group understand and recognize the bids for electric aggregation are for the Will Electric Aggregation Group as a whole, and bids will be accepted by the Will Electric Aggregation Group as a whole. Upon selection of a vetted alternative retail electric service provider, the Will Electric Aggregation Group will enter into a service contract on behalf of its residents and small commercial businesses if and only if such provider's price offer results in savings relative to ComEd.

Aggregation efforts seek to lower the cost of electricity for residents and small commercial businesses. By combining the electrical load of all eligible participants, aggregation groups can put competitive pressure on electric suppliers. This service results in lower electricity prices and greater savings than residents can individually attain.

The aggregation process was thorough and diligent. The Will County Governmental League selected a qualified consultant to assist in the overall process. With this consultant they made every effort to educate residents on the aggregation's process, timeline, and effects. This educational process was implemented through individual mailings, newspaper articles, websites, press releases and public meetings.

Upon completion of the requirements defined by 20 ILCS 3855/1-92, the Will Electric Aggregation Group will begin to solicit bids from qualified alternative retail electric suppliers. All bids will be considered. The winning supplier's bid will be carefully analyzed and the supplier vetted with help from the consultant. Finally, Aggregation Members will receive opt-out mailers which provide information on the rates, terms and conditions of the supply contract secured by the city as a result of the aggregation efforts.

The Illinois power act provides for Opt-In and Opt-Out participation in electrical aggregation. Will Electric Aggregation Group members have determined an Opt-out structure to be in the best interest of their Aggregation Members. As such, all eligible Aggregation Members will be automatically enrolled. If an individual Aggregation Member, they may elect to opt out of the aggregation group, ensuring that municipal electrical aggregation is voluntary. Will Electric Aggregation Group Members and any new supplier chosen will provide all of the relevant information required to allow for residents and small commercial businesses to opt-out of the aggregation program.

Despite the switch in energy supply, ComEd is accountable for electricity reliability. ComEd will still operate and maintain the infrastructure required to distribute electricity as required by the “Minimum Reliability Standards” established by the ICC. Reports of outages, or other reliability issues should be directed to ComEd. Further, should the selected supplier default and fail to supply electricity per the terms of the executed contract, ComEd will step in and provide electricity at posted tariff rates.

The remainder of this document intends to set forth the plan for establishing, operating, and managing a municipal aggregation program by the most comprehensive and efficient means.

Definitions:

Will Electric Aggregation Group Member- A Community which has adopted the Intergovernmental Agreement formalizing membership in the Will Electric Aggregation Group.

Aggregation Member – A resident or small commercial retail account located within the boundaries of a Will Electric Aggregation Group member that meets all of the eligibility requirements as listed in this Plan of Governance, and has not opted out.

Defaulted Tariff Service – rate charged for customers taking electric service from ComEd. This is applicable to residents who opt- out of the aggregation program.

ICC- Illinois Commerce Commission

IPA – Illinois Power Authority

REC – Renewable Energy Credits

Retail Electric Supplier – Market Participant who engages in the practice of reselling electricity to retail customers as certified by the ICC.

Opt-out – Process by which a resident may choose not to participate in the aggregation efforts.

Small Commercial Retail - business that use 15,000 kWh or less annually.

I. Bidding Process

Hiring and Retaining an Aggregation Consultant

Will Electric Aggregation Group has deemed it necessary that an independent consultant be hired and retained to assist in all phases of the aggregation process. Selected consultant will provide independent and helpful advice to Will Electric Aggregation Group officials. The selected consultant will:

1. Have a license as an electric broker/consultant in the state of Illinois.
2. Develop and implement a process and system to receive customer data from ComEd and evaluate such data for eligibility in the program.
3. Prepare the RFP to be provided to potential suppliers with an interest in supplying the aggregation data.
4. Assist Will Electric Aggregation Group officials in the drafting and preparation of all notifications and educational material to advance the aggregation effort.
5. Advise Will Electric Aggregation Group on any matter that arises in reference to the aggregation program.
6. Provide a Disclosure statement establishing its independence from party with interest in the aggregation effort.
7. Adhere to the confidentiality rules outlined in Section II .
8. Disclose the fee paid to them by the supplier. Other consultation fees will be discussed and negotiated with Will Electric Aggregation Group.
9. Advise Will Electric Aggregation Group on any major changes that will significantly impact the aggregation group for the duration of the contract.

Accumulation, Verification and Implementation of Data

Will Electric Aggregation Group, through the efforts of the consultant, will be responsible for accumulating, verifying and distributing all necessary data and customer information to the selected supplier. Below are the primary steps for that process:

1. Data Acquisition –Will Electric Aggregation Group will be responsible for providing the selected supplier with all customer and account data. This base data will be provided by Com Ed, and aggregated by the consultant.
2. Data Verification - Acquired data will be reviewed internally by the consultant for accuracy.
3. Data Confirmation – Reviewed data will be corroborated with ComEd to determine an eligible customer pool.
4. Data will include: Customer name, address, utility account number, historical usage, demand, new enrollments/drops and any other information deemed necessary by either supplier or Will Electric Aggregation Group.
5. The data base will be maintained and updated every 3 months to ensure accuracy.

Eligibility

Not all residents or small commercial businesses will be eligible for participation in the Will Electric Aggregation Group aggregation program. The following are the minimum requirements to determine eligibility.

1. Customers must reside within boundaries of a member of the Will Electric Aggregation Group,
2. The small commercial retail customers must use less than 15,000 kWh.
3. Customer must not be in an active supply contract with a supplier other than ComEd.
4. Special rate classes will be evaluated on an individual basis to determine eligibility in the program.

Formulation of RFP

The consultant will assist Will Electric Aggregation Group in the preparation of an RFP to be distributed to qualified suppliers who have expressed an interest in supplying the aggregation group:

1. Term - The Service agreement shall be for an initial term of ___ months. Renewal of the contract, or any future contracts, will be subject to review and approval of Will Electric Aggregation Group members designated representatives.
2. Product Structure – Product structure will be fixed price full requirements.
3. Product Details – Will Electric Aggregation Group reserves the right for all charges to be detailed by the supplier including but not limited to: Product Mix, REC's, Capacity Charges, PJM charges, ancillaries, losses, credit/collection costs, etc.
4. The supplier will supply all eligible members of the aggregation group, without regard to individual member credit.
5. Special Rates – The supplier may be required to provide special rates similar to those of ComEd. Such rates must be competitive with ComEd programs.
6. Billing – The alternative retail supplier will be responsible for managing the billing process.

Supplier Qualifications

1. Supplier must be certified with the Illinois Commerce Commission.
2. Supplier must be registered with ComEd to do business.
3. Agree to hold harmless the Will Electric Aggregation Group from any financial conflicts or obligations as a result of the aggregation Program.
4. Supplier must demonstrate creditworthiness, as certified by two credit rating agencies or provide an acceptable letter of credit worthiness if it fails to meet the former condition. Will Electric Aggregation Group reserves the right to reject or approve the credit worthiness of any potential supplier.

5. Maintain a technologically sound and secure database of all customers in the program as well as maintain an EDI network that is fully compatible with ComEd, and has appropriate data backup.
6. Supplier will provide at Will Electric Aggregation Group's request, reports on number of members, current savings analysis, and other info required by Will Electric Aggregation Group.
7. Develop and implement an educational plan that is easily accessible to all eligible members of the aggregation program through mailings, websites, telephone call centers and newspaper articles.
8. Maintain a toll-free call center that is capable of handling the calls of aggregation members to address:
 - a. Customer support
 - b. Billing inquires
 - c. Complaints
 - d. Questions about electricity supply
9. Comply with all laws and regulations of the State of Illinois.
10. The supplier will ensure that the aggregation group is at all times in accordance with both local and state laws in regards to the aggregation effort. They will keep Will Electric Aggregation in good standing as an aggregator.
11. Agree to all confidentiality provisions provided in this plan of governance.

Plan Requirements

Pursuant to the Illinois Power Agency Act, 20 ILCS 3855/I92 the selected supplier must:

1. Provide for universal access to all applicable residential customers and equitable treatment of applicable residential customers
2. Describe demand management and energy efficiency services to be provided to each class of customers
3. Meet any requirements established by law concerning aggregated service offered pursuant to this section

RFP Process

1. All bids will be submitted in compliance with the terms and conditions as set forth by Will Electric Aggregation Group and the State of Illinois. Will Electric Aggregation Group reserves the right to review, reject, or accept any or all bids received. It will be the sole responsibility of WCGL to accept or reject bids as deemed necessary.
2. Will Electric Aggregation Group will review all bids with the aid of an independent consultant.
3. Will Electric Aggregation Group has no obligation to select a bid. It reserves the right to refuse any or all bids at any time and for any reason.

Bid Selection

1. Will Electric Aggregation Group will select a bid that best serves the interests of the Aggregation Members. It has no obligation to select a bid.
2. In the event no bid is selected, Will Electric Aggregation Group reserves the right to revise and re-issue the RFP as it determines appropriate.

Group Bidding

The Will Electric Aggregation Group may choose to participate in an individual bid or a group bid. Should the Will Electric Aggregation Group choose to participate in a group bid, it shall not forfeit and any executive signing powers as a result of participation with others. Additionally, the Will Electric Aggregation Group's decision not to participate shall not have any effect on the pricing offered to other members of the group. The choice to select a bid as the result of a group will be solely up to the representatives of the Will Electric Aggregation Groups members. Further, pursuant to Section 1 of "Bid Selection," The Will Electric Aggregation Group will choose a bid that best serves the interests of its residents, and reserves all right to reject the group bid offer and solicit for bids pertinent to the Will Electric Aggregation Group only.

Education

The selected supplier will develop and implement an educational program for Will Electric Aggregation Group's Aggregation Members residents on the aggregation process. The program shall clearly show the steps of municipal aggregation and the timeline necessary to complete such steps. Further it will provide detailed information on the impacts of the aggregation program to include customer rights, savings analysis, reliability, and responsibilities of both the supplier and ComEd. The supplier and Will Electric Aggregation Group may work together to draft such a program. Approval of such program will be authorized only by the Will Electric Aggregation Group.

II. Operation of Aggregation Group

Opting Out

The supplier will send notification to all residents, via business reply mail, for a firm date of commencement of the supply contract. The members of the Will Electric Aggregation Group will provide the supplier with their municipal logo in an acceptable format as well as the Will Electric Aggregation Group logo, which shall be printed on the outside of the envelope as well as on the letter head of the out-out notification. At this time an Aggregation Member may choose to opt-out of the aggregation group. If an Aggregation Member chooses to do so, they must give notice of their intent to the selected supplier no more than 20 days after the post mark date of the notice. Clear instructions on opting out will be provided on the mailer sent out by the supplier. Means of opting out should

include business reply mail, toll free numbers and websites. There will be no fee or penalty for opting out.

Contents of the mailer will also include the rate, terms conditions, and full disclosure of services provided by supplier. Further detailed instructions for opting out will also be provided.

The supplier will send notice to ComEd of all residents that wish to opt out.

Price Match

If the Utility's Price to Compare for the Account(s)' rate class are set below the fixed rate during the term of the agreement, the Retail Electric Supplier will either a) lower the fixed rate to match that of the Utility's applicable Price to Compare or b) terminate the agreement without damages or early termination fees to either party. "Utility's Price to Compare" shall mean ComEd's "Price to Compare" for the applicable rate class, as posted on the ICC website (www.pluginillinois.org), which includes ComEd's electricity supply charge plus ComEd's transmission services charge, but shall not include ComEd's purchased electricity adjustment.

Move Ins

Customers moving into the aggregation group to a residence with an existing electric meter will have the opportunity to be included. The same terms and conditions that apply to the aggregation group will apply to these customers.

Customers moving into the aggregation group in new construction or where there is no existing electric meter will not be automatically included. If a resident moves into the aggregation group under these conditions and wishes to participate they will be given rates and terms quoted by the supplier at that time. The same terms and conditions that apply to the aggregation group are not guaranteed to new customers.

Move Out

Residents moving out of the aggregation group will discontinue service. No fee or penalty shall be assessed by the supplier for termination of supply due to moving out, nor shall supplier attempt to recoup these costs from any remaining customer.

Moving within the Aggregation Group

Residents or small commercial businesses moving locations within the geographic boundaries of the aggregation group shall receive the same rate, terms and conditions as those at their previous location. The supplier shall assess no fee for customers moving within the aggregation group.

Development and Maintenance of Customer Records

The ICC requires all municipalities, after adoption of this plan, to submit a Direct Access Request and Government Authority Aggregation Form to ComEd. Once received ComEd will generate an eligible customer pool conditional to the criteria previously established in this document. ComEd will provide the requested customer list within 10 business days.

The supplier will create and establish a sound database to include but not limited to: ComEd account number, supplier account number, address rate class, and demand and usage history. Records will be kept and maintained for 2 years after the end of the contract, and the complete data base will be sent to Will Electric Aggregation Group upon request.

Confidentiality

All information and records generated by ComEd, Will Electric Aggregation Group, the consultant or the supplier, shall be privileged information to those parties. All customer information will be stored in secure databases. No party may disclose at any time during or any time after the term of the contract, any customer information to any outside party unless required by law.

Billing

Consolidated billing, when possible, shall be a facet of every supplier's bid. Customers will receive one bill from ComEd for both the supplier's portion and ComEd's distribution portion. Customers will adhere to ComEd's billing procedures and will be subject to all terms and conditions of both ComEd's and suppliers late fees and non-payment conditions.

Will Electric Aggregation Group shall not be liable for any of the late or non-payments of its aggregation group members. Supplier shall include, as part of their quote, costs for lost collections and no other charges may be assessed by the supplier. Costs for lost collections will be included as criteria for selection of a supplier.

Termination of Service

1. Early Termination – Will Electric Aggregation Group reserves the right to terminate service before the end of the contract subject to :
 - a. Disclosure of privileged customer information.
 - b. Unsound business practices as defined in the contract with supplier.
 - c. The revoking of any of the supplier's licenses, or ability to conduct business in the state of Illinois.
 - d. ComEd's termination of business with the supplier.

- e. Unsound billing practices or procedures as defined in the contract with the supplier.
- f. Inadequate customer support as outlined in this plan of governance.
- g. Any other breach of contract by the supplier at Will Electric Aggregation Group's sole discretion.

Upon early termination the contract, Will Electric Aggregation Group will either inform ComEd of its desire to return to the default tariff rate or negotiate and execute a contract with an alternate supplier.

2. End of Contract term – Electricity supply shall terminate on the date specified by the contract. Will Electric Aggregation Group may or may not choose to renew the contract with agreed upon terms. If Will Electric Aggregation Group chooses to not renew the contract and has not given adequate notice to the supplier, electricity supply will continue on a month to month term at the best competitive rate the supplier can offer.
3. Notice of Termination – Notice of termination must be given 30 days prior to the end of the contract. Early termination due to any reason listed above or found reasonable by Will Electric Aggregation Group, will not be subject to such terms.
4. Notice of Early Termination – Early termination due to any reason listed above or found reasonable by Will Electric Aggregation Group will be defined in the contract with the supplier and will be subject to the following terms:
 - a. Written notice to the supplier of reason to terminate service.
 - b. Parties will have 7 business days to resolve issue in question.
 - c. Further action desired by either party will be conducted through the respective Illinois court.

Miscellaneous

Will Electric Aggregation Group reserves the right to modify or amend any of the provisions of this document consistent with any laws or regulations governing the aggregation program.

Will Electric Aggregation Group shall be subject to all laws rules and regulations as set forth by applicable agencies in the state of Illinois. They are bound to fully execute all processes, and laws in accordance with aggregations efforts or any arising as result of participating in such program.

**VILLAGE OF LEMONT
ORDINANCE NO. _____**

**AN ORDINANCE AUTHORIZING
AGGREGATION OF ELECTRICAL LOAD**

**ADOPTED BY THE
PRESIDENT AND THE BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT
THIS 14th DAY OF MAY, 2012**

Published in pamphlet form by
Authority of the President and
Board of Trustees of the Village of
Lemont, Counties of Cook, Will and
DuPage, Illinois, this 14th day of May, 2012.

ORDINANCE NO. _____

**AN ORDINANCE AUTHORIZING
AGGREGATION OF ELECTRICAL LOAD**

WHEREAS, recently the Illinois Power Agency Act, Chapter 20, Illinois Compiled Statutes, Act 3855, added Section 1-92 entitled Aggregation of Electrical Load by Municipalities and Counties (hereinafter referred to as the “Act”);

WHEREAS, under the Act, the Village may operate the aggregation program under the Act as an opt-out program for residential and small commercial retail customers, if a referendum is passed by a majority vote of the residents pursuant to the requirements under the Act; and,

WHEREAS, the Village submitted the question in a referendum on March 20, 2012, and a majority of the electors voting on the question voted in the affirmative; and,

WHEREAS, the corporate authorities hereby find that it is in the best interest of the Village to operate the aggregation program under the Act as an opt-out program and to implements the program according to the terms of the Act

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT and BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COOK, DUPAGE AND WILL COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1: The Corporate Authorities of the Village of Lemont find that the recitals set forth above are true and correct.

SECTION 2: The Corporate Authorities of the Village of Lemont find and determine that it is in the best interests of the Village of Lemont to operate the electric aggregation program under the Act as an opt-out program.

SECTION 3:

A. The Corporate Authorities of the Village of Lemont hereby are authorized to aggregate in accordance with the terms of the Act residential and small commercial retail electrical loads located within the corporate limits of the Village of Lemont , and for that purpose may solicit bids and enter into service agreements to facilitate for those loads that sale and purchase of electricity and related services and equipment.

B. The Corporate Authorities of the Village of Lemont are granted the authority to exercise such authority jointly with any other municipality or county and in combination with two or more municipalities or counties, may initiate a process jointly to authorize aggregation by majority vote of each particular municipality or county as required by the Act.

C. The Aggregation Program for the Village shall operate as an opt-out program for residential and small commercial retail customers.

D. The Aggregation Program shall be approved by a majority of the members of the Corporate Authority of the Village of Lemont .

E. The Corporate Authorities of the Village with the assistance of the Illinois Power Agency shall develop a plan of operation and governance for the Aggregation Program and shall conduct such public hearings and provide such public notice as required under the Act. The Load Aggregation Plan shall provide for universal access to all applicable residential customers and equitable treatment of applicable residential customers, shall describe demand management and energy efficiency services to be provided to each class of customers and shall meet any requirements established by law concerning aggregated service offered pursuant to the Act.

F. As an opt-out program, the residential and small commercial retail customers shall be fully informed in advance that they have the right to opt-out of the Aggregation Program. The disclosure and information provided to the customers shall comply with the requirements of the Act.

G. The Electrical Aggregation shall occur automatically for each person owning, occupying, controlling or using an electrical load center proposed to be aggregated in the corporate limits of the Village, subject to a right to opt-out of the program as described under this ordinance and Act.

H. Because of the way the bidding process works, the Village or his designee will need to have the authority to sign a contract with the lowest cost electricity provider on the same day that bids are received. The Village or his designee has the authority to execute a contract with the lowest cost electricity supplier upon receipt and review of the bids.

SECTION 4: That the Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

SECTION 5: This Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DUPAGE, ILLINOIS, on this 14th day of May, 2012.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniagowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk



Village of Lemont
Planning & Economic Development Department

418 Main Street · Lemont, Illinois 60439
phone 630-257-1595 · fax 630-257-1598

TO: Mayor Brian K. Reaves #54-12
Village Board of Trustees

FROM: James A. Brown, Planning & Economic Development Director

THRU

SUBJECT: Case 12-06 UDO Amendments

DATE: 8 May 2012

SUMMARY

On 21 March 2012 the Planning & Zoning Commission (PZC) conducted a public hearing on the proposed changes. The only public comment was concerning the freight transportation terminal changes; a recent buyer of M-2 zoned property on Main Street objected to the changes. The PZC subsequently voted not to recommend this particular change. The other item that the PZC did not recommend was the proposed change that would limit the length that an attached garage could protrude from the façade of a residence. The PZC voted to recommend the other changes as presented in the attached documents. The PZC recommend all other proposed amendments.

The Committee of the Whole reviewed the proposed amendments at its April meeting, and the attached ordinance and exhibits reflect comments from that meeting.

ATTACHMENT

An Ordinance Amending the Lemont Unified Development Ordinance of 2008

**VILLAGE OF LEMONT
ORDINANCE NO. _____**

**AN ORDINANCE AMENDING THE LEMONT
UNIFIED DEVELOPMENT ORDINANCE OF 2008**

**ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT
THIS 14TH DAY OF MAY, 2012**

**Published in pamphlet form by
authority of the President and
Board of Trustees of the Village
of Lemont, Cook, DuPage, and Will
Counties, Illinois this 14th
day of May, 2012.**

ORDINANCE NO. _____

**AN ORDINANCE AMENDING THE LEMONT
UNIFIED DEVELOPMENT ORDINANCE OF 2008**

WHEREAS, the Village of Lemont approved Ordinance O-07-08 adopting the Lemont Unified Development Ordinance of 2008 (hereinafter “the Unified Development Ordinance”) with an effective date of March 15, 2008; and

WHEREAS, on March 21, 2012, the Lemont Planning & Zoning Commission, in accordance with the requirements of the Illinois Combined Statutes and the Unified Development Ordinance, conducted a public hearing on proposed amendments to the zoning and land use regulations of the Unified Development Ordinance; and

WHEREAS, a notice of the aforesaid public hearing was made in the manner provided by law; and

WHEREAS, The Lemont Planning & Zoning Commission found that the proposed amendments were consistent with the purposes of the Unified Development Ordinance and voted to recommend their approval;

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Lemont that:

Section 1. The Lemont Unified Development Ordinance of 2008 is hereby amended as indicated by “Text Changes to the UDO, Chapter 17.02 through Chapter 17.18,” attached hereto and incorporated herein as Exhibit A; and

Section 2. The Lemont Unified Development Ordinance of 2008 is hereby amended by deleting Chapter 17.22 in its entirety and replacing it with a new Chapter 17.22, attached hereto and incorporated herein as Exhibit B.

Section 3. Should any section or provision of this ordinance be declared by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the ordinance as a whole or any part thereof other than the part declared to be invalid.

Section 4. This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

**PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF
TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL,
AND DuPAGE, ILLINOIS, on this 14th day of May, 2012.**

AYES

NAYS

PASSED

ABSENT

Debby Blatzer

**Paul Chialdikas
Cliff Miklos
Rick Sniegowski
Ron Stapleton
Jeanette Virgilio**

Approved by me this 14th day of May, 2012

BRIAN K. REAVES, Village President

Attest:

CHARLENE M. SMOLLEN, Village Clerk

Text Changes to the UDO, Chapter 17.02 through Chapter 17.18

Chapter 2. Add the following definitions to Chapter 2:

HARDWARE STORE/HOME IMPROVEMENT CENTER A facility primarily engaged in the retail sale of various basic hardware lines, such as tools, plumbing, electrical supplies, paint, houseware, household appliances, garden and landscaping supplies, nursery items, and lumber.

NIGHTCLUB A commercial establishment dispensing alcoholic beverages for consumption on the premises and where the design and method of operation is primarily aimed at providing dancing and musical entertainment, either live or recorded. This use is separate from and does not include "ADULT USES".

PAWN SHOP An establishment that, in whole or in part, loans money on deposit of personal property or deals in the purchase or possession of personal property on condition of selling the same back again to the pledger or depositor, or loans or advances money on personal property by taking chattel mortgage security thereon, and takes or receives such personal property.

SMOKING LOUNGE An establishment that caters to smokers of tobacco or and allows the smoking of water pipes, hookahs, nargiles or other such devices.

USE, TEMPORARY The use of land or a structure, consistent with uses allowed by this ordinance, established for a fixed period of time with the intent that such use will terminate automatically upon expiration of the fixed time period. Examples of temporary uses are Halloween costume stores or markets.

Section 17.06.030. Add the following new sub-paragraph to Paragraph 17.06.030.E:

4. In R-districts detached garages shall not be established on lots where an attached garage already exists. Only one detached garage shall be allowed per zoning lot, and the area of a detached garage shall not exceed 660 square feet.

Table 17-06-01. Amend Table 17-06-01 as follows:

- list "hardware store/home improvement center" as a permitted use in B-1, B-3, and DD zoning districts;
- list "smoking lounge" as a prohibited use in all zoning districts;

- list “nightclub” as a permitted use in B-3 and DD zoning districts;
- list “pawn shop” as a prohibited use in all zoning districts;
- change “freight transportation terminal” from a special use to a prohibited use in the M-2 zoning district;
- list “temporary uses consistent with other permitted uses in the zoning district” as a permitted use in all B zoning districts and in the DD district.

Section 17.06.120. Amend Paragraph 17.06.120.C as follows (words underlined are additions and words ~~stricken~~ are deletions):

5. On-site display and/or storage of products at establishments with a primary use of:
 - a. Auto/light truck sales and service; and
 - b. Boat/RV sales and service; and
 - c. Heavy equipment sales and service; and
 - d. Motorcycle sales and service; and
 - e. Flea market or farmer’s market; and
 - f. Garden center; and
 - g. Landscaping/nursery providing mulch, either piled or in bags, is screened; and
 - h. Lumberyard; and
 - i. Freight transportation terminal; and
 - k. Hardware store/home improvement center when limited to seasonal items and lumber.

Chapter 17.07. Add the following new paragraph to Chapter 17.07:

17.07.040 DRIVEWAYS IN R ZONING DISTRICTS

A. Applicability. The provisions of this section shall apply to all residential land uses in all R zoning districts except for the R-4A zoning. See §17.07.020 of this ordinance for provisions governing driveways in the R-4A zoning district.

B. Driveway width. Driveway width shall not exceed 22 feet at the lot line. From the lot line driveway width may gradually be increased to accommodate entry into garages.

C. Existing driveways. Driveways existing at the time of approval of the adoption of this section that exceed the standards of paragraph B above shall be allowed to be repaired or replaced, so long as the width of the driveway is not increased.

Section 17.11.100. Amend Paragraph 17.11.100.B as follows (words underlined are additions and words ~~stricken~~ are deletions):

3. ~~Political campaign signs may be erected and displayed not more than 30 days prior to the date of the election and shall be removed not later than five days following the election.~~ There shall be no limit on the duration of display of political signs.

Section 17.11.100. Add the following new paragraph to Section 17.11.100:

G. Temporary Use Signs. Signs for temporary uses may be displayed for a period of 90 days in a given calendar year. Signs for temporary uses shall either: (1) adhere to all standards for materials and illumination in the zoning district where the sign is established; or (2) be constructed of cloth, canvas, light fabric, wall board or other light material and not be illuminated. Signs for temporary uses shall adhere to the standards for number, placement and size for signs in the subject zoning district.

Section 17.18.040. Delete the last two sentences of Section 17.18.040 as follows (words underlined are additions and words ~~stricken~~ are deletions):

~~Any required cash contribution shall be submitted to the Village prior to the approval of a Final Plat of Subdivision. IN instances where development occurs without the need to subdivide land, required cash contributions shall be paid at the time of site development or building permit application, whichever occurs first.~~

Section 17.18.050. Amend Section 17.18.050 as follows (words underlined are additions and words ~~stricken~~ are deletions):

As a condition of approval of final plat of subdivision or of a planned unit development, each subdivider or developer will be required to dedicate land for park and recreational purposes, for library purposes, and for school sites to serve the immediate and future needs of the residents of the development, or to make cash contribution in lieu of actual land dedication, or a combination of both, at the option of the Village in accordance with the following criteria and formulas. Additionally, in the case of residential development or subdivision that involves annexation of territory to the Village, the applicant will be required to donate land/cash for fire protection purposes. Land contributions shall occur at the time of final plat approval. Cash contributions shall occur at the time of application for building permits.

Section 17.18.140. Amend the last sentence of 17.18.140.A as follows (words underlined are additions and words ~~stricken~~ are deletions):

Therefore the Village has determined that ~~the dedication of land or~~ cash contributions in lieu of actual land dedication or in lieu of a combination of both shall be required of each annexing developer.

Section 17.18.060. Amend Paragraph 17.18.060.C as follows (words underlined are additions and words ~~stricken~~ are deletions):

1. ~~Except for combined school park sites, the Lemont Park District Master Plan shall be used as a guideline in locating sites. If the Village or Park District has not planned a park within the subdivision or planned unit development is located,~~ the park site shall be so located as to be readily accessible to the people within ~~such neighborhood~~ the subdivision or planned unit development. Play and athletic fields and large park sites must be conveniently accessible to the community at large.

CHAPTER 17.22

RESIDENTIAL DESIGN STANDARDS

Sections

17.22.010	Background
17.22.020	Design Variety in Residential Construction
17.22.030	Exceptions to Similarity Standards
17.22.040	Architectural Standards for Residences

17.22.010 BACKGROUND

- A. Purpose.** The variety in the exterior appearance of single-family dwellings enhances the appearance of the community, and the Village Board hereby deems it in the best interest of the community to discourage excessive similarity and encourage distinctiveness of exterior design in single-family. Specifically the purposes of this chapter are to:
1. Promote an aesthetically pleasing character in Lemont's residential districts; and
 2. Protect and enhance property values; and
 3. Encourage new dwelling construction of distinctive design; and
 4. Discourage excessive similarity among adjacent dwelling units.
- B. History.** This chapter, amended, updates and replaces the Village's Ordinance No. 791, "Appearance Code," adopted on May 24, 1993.

17.22.020 DESIGN VARIETY IN RESIDENTIAL CONSTRUCTION

- A. Applicability.** The provisions of this section shall apply to all new single-family residential construction.

- B. Proximity standard.** Before a building permit is issued, the Zoning Administrator shall determine that the proposed new single-family dwelling is dissimilar in appearance, i.e. is not similar, to any single-family dwelling on the same street which is within two lots of the proposed new single-family dwelling. A single-family dwelling on a corner lot may be considered dissimilar to another single-family dwelling if the two subject dwellings face different streets. On a cul-de-sac or turnaround, new a single-family dwelling must be dissimilar to at least three other existing or planned single-family dwellings on the same cul-de-sac or turnaround.
- C. Comparison Procedure.** The proposed new single-family dwelling shall be compared to all other existing or other proposed single-family dwellings that fall within the range of the proximity standard of paragraph B above. The proposed dwelling shall be compared with only one other dwelling at a time. If the criteria in paragraph D below are met, then the proposed dwelling is compared to another dwelling that meets the proximity standard, and so forth. The criteria met in one comparison do not need to match the criteria met in another comparison.
- D. Criteria.** When comparing the proposed new single-family dwelling to another single-family dwelling subject to the proximity standards of paragraph B of this section, the two buildings shall be deemed to be dissimilar, i.e., not similar in appearance, when criteria in the four sub-paragraphs 1, 2, 3, and 4 below are met.
1. *Exterior materials and details.* The exterior materials on the façade or the details on the façade of the subject buildings shall differ by at least two of the following ways:
 - a. The percentage of at least one exterior material, e.g. brick, on the proposed building differs by at least 25 percent from the same material on the other subject building.
 - b. The color of brick on the proposed building differs from the color or size/type of brick on the other subject building.
 - c. The orientation of siding on the proposed building differs from the orientation of siding on the other subject building.

- d. A water table at least three feet in height is incorporated on the proposed building and there is a lack of a water table on the other subject building.
 - e. The incorporation of quoins is different from the incorporation of quoins on the other subject building. Here, “different” may mean that one building lacks quoins while the other one does not, or it may mean that the size, the length, the shape and the materials of the quoins on the subject building substantially varies.
 - f. The presence or incorporation of belt courses, brick soldier courses, or other brick detail on the proposed building is extensive and differs from such architectural features on the other subject building. “Extensive” in this case shall mean that the detail is incorporated throughout the façade rather than one specific window, entrance, or portion of the façade. Such presence or incorporation of said items used as lintels shall not factor into this standard, but may factor into the standards for fenestration found in paragraph D.3 below.
2. *Entrance features and other façade features.* The front or main entrance to the subject buildings shall differ by at least one of the following ways:
- a. The entrance surround on the proposed building consists of different elements, such side windows or transoms, as found on the other subject building.
 - b. The incorporation or lack of bay windows, oriels, porches, or columns on the proposed building differs from the other subject building.
3. *Fenestration.* The design and disposition of windows and other exterior openings on the subject buildings shall differ in at least one of the following ways:
- a. The number of windows on the façade of the proposed new single-family dwelling differs from the number of windows on the façade of the other subject building.
 - b. The presence or incorporation of masonry lintels or

arches over windows on the façade of the proposed single-family dwelling is different from the presence or incorporation of masonry lintels on the façade of the other subject building. Here “different” could mean that one building uses one type of arch (e.g. a Roman arch), while the other building uses another type of arch (e.g. a bowspring arch). Alternatively, “different” could mean that a solid stone lintel is used on one building and a solid stone jack arch is used on the other building.

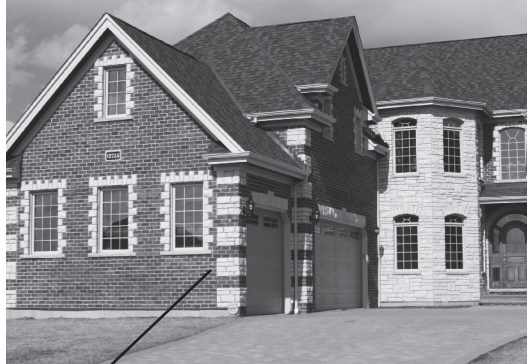
- c. The type of window incorporated into the façade of the proposed building differs from the type of window incorporated into the façade of the other subject building. For example, one building may have casement windows and the other building may have double-hung windows.

4. *Roofline.* The roof or roof line shall differ by at least one of the following ways:

- a. The presence or the incorporation of dormers on the façade of the proposed building is different from the presence or incorporation of dormers on the façade of the other subject building. Here “different” may mean that the number and arrangement of dormers is varied, or that the height, width, roof angle or material of the dormers is different.
- b. The roof type of the proposed building is different from the roof type of the other subject building. For example, one building may have a hip roof and the other building may have a gabled roof.
- c. The roof line of a front porch on the proposed building is different from the roof line of a front porch on the other subject building.
- d. The number or arrangement of gables on the façade of the proposed building is different from the number or arrangement of gables on the façade of the other subject building.

- E. **Dissimilarity Clarified.** The following characteristics shall not by themselves constitute dissimilarity among two otherwise similar dwellings:

Examples of some architectural terms used in this chapter



Quoins Slightly projecting stone used at the corner of a building



Elements such as **side windows**, **transom** and **arch** comprise the **entrance surround**

1. Variations in color, except as allowed in sub-paragraph B.1 of this section;
2. Variations in roofing material;
3. Reversal of plan orientation.

17.22.030 EXCEPTIONS TO SIMILARITY STANDARDS

- A. Planned Unit Developments.** The provisions of this chapter may be waived for planned unit developments in which similarity of architectural form and style among dwellings is integral to the success of a unified plan, and in which the high quality of building materials, building design, and site plan overcome the presumed deficiencies of similarity.
- B. Already-Issued Permits.** The provisions of this chapter may be waived by the Zoning Administrator in cases where the applicant for a building permit could not have been expected to have had knowledge of the plans for a neighboring residential building that was approved but not yet built. (Ord O-54-09)

17.22.040 ARCHITECTURAL STANDARDS FOR RESIDENCES

- A. Applicability.** The provisions of this chapter shall apply to all new residential construction in all R-zoning districts.
- B. Roofing materials.** Corrugated metal roofing or metal roofing with ribbing less than 12 inches apart shall be prohibited.
- C. Chimney materials.** The exteriors of chimneys shall be constructed of brick or stone.
- D. Permitted exterior materials.** The following materials, or combinations of the following materials, are expressly permitted on all exterior elevations:

 - 1. Brick
 - 2. Decorative natural stone or synthetic stone
 - 3. Wood
 - 4. Fiber cement siding, cement board siding, e.g. Hardie plank™
 - 5. Stucco
 - 6. Vinyl
 - 7. Cement or concrete
- E. Prohibited exterior materials.** The following materials are expressly prohibited on the exterior elevations:

 - 1. Dryvit, EIFS, or other similar products
 - 2. Split-face block, CMU, quick brick, utility brick, or similar masonry products.
- F. Other exterior materials.** Materials not listed on the above lists shall be evaluated on a case-by-case basis by VILLAGE'S Zoning Administrator. The Zoning Administrator shall determine if the material closely resembles in texture, composition (physical properties), and durability any of the approved materials listed in this paragraph. If so, the Zoning Administrator shall approve the material for use on exteriors. If not, the Zoning Administrator shall deny the use of the material on exteriors.

G. Garages. With the exception of side-loaded garages, no portion of a single-family residence that contains a garage shall project more than ten feet from the plane of the elevation of the residence that is closest to the street. See Figure 17-22-01 for clarification on the plane of elevation.

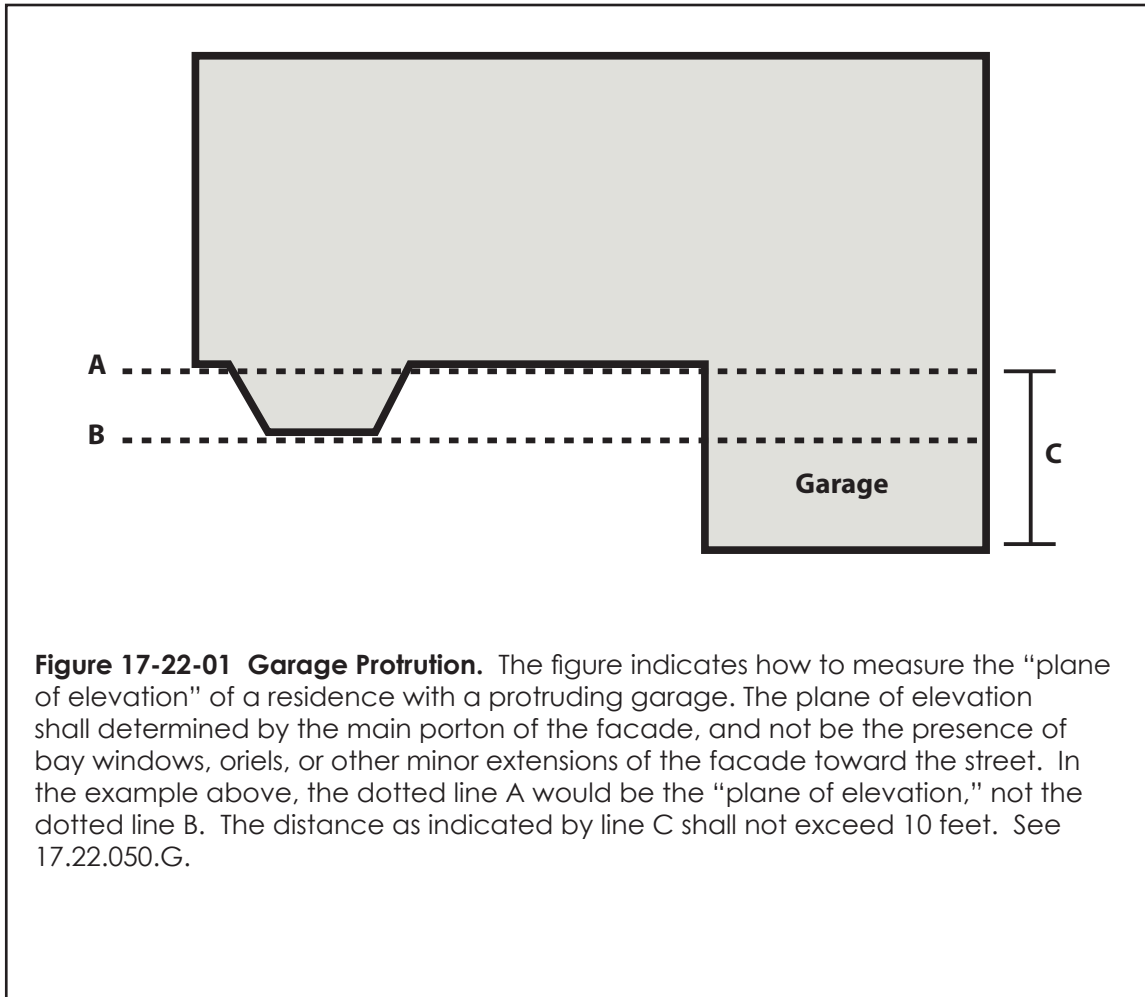


Figure 17-22-01 Garage Protrusion. The figure indicates how to measure the "plane of elevation" of a residence with a protruding garage. The plane of elevation shall be determined by the main portion of the facade, and not by the presence of bay windows, oriels, or other minor extensions of the facade toward the street. In the example above, the dotted line A would be the "plane of elevation," not the dotted line B. The distance as indicated by line C shall not exceed 10 feet. See 17.22.050.G.

**VILLAGE OF LEMONT
ORDINANCE NO. O-__-12**

**AN ORDINANCE AUTHORIZING THE ACQUISITION OF CERTAIN REAL
PROPERTY KNOWN AS 10985 ARCHER AVENUE**

**ADOPTED BY THE
PRESIDENT AND THE BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT
THIS __ DAY OF _____, 2012**

**Published in pamphlet form by
Authority of the President and
Board of Trustees of the Village of
Lemont, Counties of Cook, Will and
DuPage, Illinois, this __ day of _____, 2012.**

Ordinance No. O-___-12

**AN ORDINANCE AUTHORIZING THE
ACQUISITION OF CERTAIN REAL PROPERTY KNOWN
AS 10985 ARCHER AVENUE**

WHEREAS, the Village Board finds that the acquisition of the real property legally described on **Exhibit A** and commonly known as 10985 Archer Avenue, is necessary, convenient and in the interest of the Village of Lemont;

WHEREAS, pursuant to Section 5/2-2-12 of the Illinois Municipal Code (65 ILCS 5/2-2-12) the Village of Lemont (“Village”) may acquire and hold real property for corporate purposes; and

NOW, THEREFORE, BE IT ORDAINED BY THE VILLAGE PRESIDENT AND THE VILLAGE BOARD OF THE VILLAGE OF LEMONT, COOK, DUPAGE AND WILL COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1: The Village Board finds the above recitals to be true, incorporates them into this ordinance, and further finds that it is necessary, convenient and in the interest of public health, safety and welfare of the residents of the Village to acquire the real property legally described on Exhibit A.

SECTION 2: The Village Administrator is hereby authorized to negotiate a contract for the purchase of said Property from the current owner of record at a purchase price not to exceed \$450,000 and upon such terms as he deems in the best interest of the Village of Lemont.

SECTION 3: Upon execution of said contract and the filing of same with the Village Clerk, the Mayor and the Village Administrator or authorized to execute any and all documents and to take all necessary actions to acquire said Property. The Village Attorney, Tressler LLP and Jeffrey M. Stein, John J. Zimmermann and Michael F. Zimmermann are authorized to execute any and all documents which are necessary for the closing of the transaction at or prior to the closing of this transaction.

SECTION 4: That this Ordinance shall be in full force and effect from and after its passage, approval and publication as required by law.

**PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DUPAGE,
ILLINOIS, on this ____ day of _____, 2012.**

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

EXHIBIT A

LEGAL DESCRIPTION

THAT PART OF THE SOUTHWEST ¼ OF SECTION 13, TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE WEST LINE OF SAID SOUTHWEST ¼ AND THE SOUTH LINE OF A ONE (1) ACRE TRACT OF LOT 3 IN CANAL TRUSTEE'S SUBDIVISION IN THE SAID SOUTHWEST ¼, SAID SOUTH LINE BEING 660.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST ¼, THENCE NORTH ALONG SAID WEST LINE OF SOUTHWEST ¼ TO THE SOUTHWESTERLY LINE OF ROUTE 83 AS DEDICATED BY DOCUMENT NO. 12010923 AND RECORDED ON JUNE 11, 1937; THENCE SOUTHEASTERLY ALONG SAID WESTERLY LINE TO THE AFORESAID SOUTH LINE OF THE ONE (1) ACRE TRACT; THENCE WEST ALONG SAID SOUTH LINE OF THE (1) ACRE TRACT TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS. (EXCEPTING THE WEST 33.00 FEET THEREOF AND ALSO EXCEPTING THEREFROM THAT PORTION FALLING WITHIN ROUTE 83), IN COOK COUNTY, ILLINOIS.

THE NEW BOUNDARY OF THE AREA ANNEXED SHALL EXTEND TO THE FAR SIDE OF ANY ADJACENT HIGHWAY AND SHALL INCLUDE ALL OF EVERY HIGHWAY WITHIN THE AREA ANNEXED.

More commonly known as 10985 Archer Ave, Lemont, Illinois 60439.

Tax I.D. Nos: 22-13-302-009-0000.

**VILLAGE OF LEMONT
ORDINANCE NO. _____**

**AN ORDINANCE AMENDING CHAPTER 15 OF THE LEMONT, ILLINOIS
MUNICIPAL CODE RELATING TO ADDITIONAL AMENDMENTS TO THE
INDUSTRIAL, COMMERCIAL AND MULTIFAMILY BUILDING CODE
(INTERNATIONAL BUILDING CODE), 2006 EDITION AS AMENDED**

**ADOPTED BY THE
PRESIDENT AND THE BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT
THIS 14th DAY OF MAY, 2012**

Published in pamphlet form by
Authority of the President and
Board of Trustees of the Village of
Lemont, Counties of Cook, Will and
DuPage, Illinois, this 14th day of May, 2012.

ORDINANCE NO. _____

An Ordinance Amending Chapter 15 of the Lemont, Illinois Municipal Code Relating to Additional Amendments to the Industrial, Commercial and Multifamily Building Code (International Building Code), 2006 Edition as Amended

WHEREAS, the Village of Lemont (“Village”) is an Illinois Municipal Corporation pursuant to the Illinois Constitution of 1970 and the Statutes of the State of Illinois;

WHEREAS, the Village Board finds that certain model building codes, including the International, Commercial and Multifamily Building Code (“Building Code”), may be adopted and amended by municipalities; and,

WHEREAS, the Village Board further finds that the Building Code of the Village may be amended to provide for the protection of the public health, safety, morals and welfare, and is otherwise in the public interest; and,

WHEREAS, the Village and the Lemont Fire Protection District (“District”) have concurred that certain provisions of the building codes may be amended to allow for the new use of existing structures in the Village of Lemont Historic District No. 1 as defined by Section 17.16.020 and Map 17-16-01 of the Lemont, Illinois Municipal Code (“Historic District”) so as to not have a detrimental impact upon those existing historic structures; and

WHEREAS, the Village Board and District further concur that this amendment will not reduce or diminish the safety and welfare of the public, but will rather promote and provide for the protection of the public health, safety, morals and welfare of the public by allowing existing historic structures in the Historic District to remain intact and operational;

WHEREAS, the Village Board finds that the Building and Fire Codes of both the Village and the District, with this amendment still provide sufficient fire protection safeguards in these

historic structures ensuring the protection of the public health, safety, morals and welfare of the public; and

WHEREAS, all other code requirements relating to the retrofitting and installation of sprinklers in existing structures not addressed in this amendatory ordinance shall remain in full force and effect.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT and BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COOK, DUPAGE AND WILL COUNTIES, ILLINOIS, as follows:

SECTION 1: The foregoing findings and recitals, and each of them, are hereby adopted as Section 1 of this Ordinance and are incorporated by reference as if set forth verbatim herein.

SECTION 2: The Lemont, Illinois Municipal Code (“Village Code”), as amended, is hereby further amended in the manner and form shown below with additions being shown in underlined text, so that Section 15.04.020 (32) through (36) reads as follows:

(32) Chapter 34 Existing Structures

3406.1 Conformance. Add to the end of the section the following:

Exception: This section shall not require the retrofitting or installation of an Automatic Sprinkler System as defined by this Code and the Industrial, Commercial and Multifamily Fire Code (International Fire Code) as adopted, for any structure located in Historic District No. 1 as defined by Section 17-16-020 and Map 17-16-01 of the Lemont, Illinois Municipal Code.

~~(32-33)~~ *Appendix C Group U—Agricultural buildings.* Adopt in its entirety.

~~(33-34)~~ *Appendix F Rodentproofing.* Adopt in its entirety.

~~(34-35)~~ *Appendix G Flood-resistant construction.* Adopt in its entirety.

~~(35-36)~~ *Appendix I Patio covers.* Adopt in its entirety.

SECTION 3: That the Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

SECTION 4: Should any Section or provision of this Ordinance be declared by a Court of competent jurisdiction to be invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part declared to be invalid.

SECTION 5: This Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DUPAGE, ILLINOIS, on this 14th day of May, 2012.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

VILLAGE OF LEMONT

ORDINANCE NO. _____

**AN ORDINANCE
SETTING PURCHASE PRICE FOR REAL ESTATE
(PARCEL OH 60003)**

**ADOPTED BY THE
PRESIDENT AND THE BOARD OF TRUSTEES
OF THE VILLAGE OF LEMONT
THIS 14th DAY OF MAY, 2012**

**Published in pamphlet form by
Authority of the President and
Board of Trustees of the Village of
Lemont, Counties of Cook, Will and
DuPage, Illinois, this 14th day of May, 2012.**

**AN ORDINANCE
SETTING PURCHASE PRICE FOR REAL ESTATE
(PARCEL OH 60003)**

WHEREAS, the Village of Lemont has previously approved acquisition of certain real estate (Parcel OH 60003 – legal description attached as Exhibit A) for the purpose of improving public roadways within the corporate limits; and,

WHEREAS, this property will be acquired by the Village but transferred to and be under the jurisdiction of the Illinois Department of Transportation (IDOT); and

NOW, THEREFORE, BE IT ORDAINED, the Mayor and Village Board of the Village of Lemont, Illinois, as follows:

SECTION 1: The Recitals set forth above are incorporated into and made a part of this Ordinance.

SECTION 2 The Mayor and Village Board hereby determine that \$8,300.00 is approved as just compensation for Parcel OH 60003 and the Village Administrator and staff are authorized to offer and complete this acquisition for such amount.

SECTION 3. That the Village Clerk of the Village of Lemont be and is directed hereby to publish this Ordinance in pamphlet form, pursuant to the Statutes of the State of Illinois, made and provided.

SECTION 4: Should any Section or provision of this Ordinance be declared by a Court of competent jurisdiction to be invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part declared to be invalid.

SECTION 5: This ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL, AND DUPAGE, LLINOIS, on this 14th day of May, 2012.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____

Rick Sniagowski
Jeanette Virgilio

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk

EXHIBIT A

LEGAL DESCRIPTION

PIN: 22-27-301-004

THAT PART OF THE NORTHEASTERLY 1.62 ACRES OF LOT 18 (MEASURED SO AS TO GIVE EQUAL DISTANCES ALONG NORTH AND SOUTHEASTERLY LINE OF SAID LOT 18) IN COUNTY CLERK'S DIVISION OF SECTION 27, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED APRIL 30, 1880 AS DOCUMENT NUMBER 269444, COOK COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH THIRTY-THREE (33) FOOT RIGHT-OF-WAY LINE OF MCCARTHY ROAD, AS OCCUPIED, AND THE NORTHWESTERLY FIFTY (50) FOOT RIGHT-OF-WAY LINE OF ARCHER AVENUE; THENCE SOUTH 45 DEGREES 15 MINUTES 33 SECONDS WEST (BEARINGS ASSUMED FOR DESCRIPTION PURPOSES ONLY) ALONG SAID ARCHER AVENUE RIGHT-OF-WAY, 45.00 FEET; THENCE NORTH 23 DEGREES 26 MINUTES 29 SECONDS WEST, 32.69 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID MCCARTHY ROAD; THENCE NORTH 87 DEGREES 51 MINUTES 28 SECONDS EAST ALONG SAID MCCARTHY ROAD RIGHT-OF-WAY, 45.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 0.016 ACRES, MORE OR LESS.

LAND ACQUISITION

Route: Village of Lemont/McCarthy Road
(Current Owner: TCF Management.)
Section: 02-000500 WR
Project: M-8003(504)
Job NO.: R-90-015-10
County: Cook
Parcel No.: OH 60003

**INTERGOVERNMENTAL AGREEMENT
BETWEEN MUNICIPALITIES OF THE WILL COUNTY ELECTRIC AGGREGATION
GROUP AND THE VILLAGE OF LEMONT**

This Intergovernmental Agreement made and entered into as of the ____ day of _____, 2012 by and between the **MUNICIPALITIES OF THE WILL COUNTY ELECTRIC AGGREGATION GROUP** and the **VILLAGE OF LEMONT**.

Preamble

WHEREAS, the **VILLAGE OF LEMONT** (the “Village”) **MUNICIPALITIES OF THE WILL COUNTY ELECTRIC AGGREGATION GROUP** (the “Will Electric Aggregation Group”) are units of local government within the meaning of Article VII, Section 1, of the Constitution of the State of Illinois of 1970 and public agencies as that term is used in Section 2 of the Intergovernmental Cooperation Act, 5 ILCS 220/2; and

WHEREAS, the Intergovernmental Cooperation Act, 5 ILCS 220/1 et seq., provides that any power or powers, privileges, or authority exercised or which may be exercised by a public agency of this State may be exercised and enjoyed jointly with any other public agency of this State; and

WHEREAS, the Illinois Power Agency Act, Chapter 20, Illinois Compiled Statutes, Act 3855, added Section 1-92 entitled Aggregation of Electrical Load by Municipalities and Counties; and,

WHEREAS, the corporate authorities hereby find that it is in the best interest of the Village to operate the aggregation program under the Act as an opt-out program and to implement the program according to the terms of the Act; and,

WHEREAS, the corporate authority further finds it in the best interest of the Village to be a part of the Will County Electrical Aggregation Group, recognizing the pooling of resources and personnel enhances the ability to solicit bids with a much larger electric need and reduces the cost associated with the implementation of an electric aggregation program; and,

WHEREAS, in the opinion of the Parties, the best interests of the residents, the Village and the Will Electric Aggregation Group will be enhanced by entering into this Intergovernmental Agreement.

NOW, THEREFORE, BE IT RESOLVED by the Village President and Board of Trustees of the Village of Lemont as follows:

SECTION ONE: The Village Board finds that it is necessary, convenient and in the interest of the Village to enter into an Intergovernmental Agreement with the Will County Electric Aggregation Group to facilitate the solicitation of bids and assist in the implementation of the Village’s electric aggregation program.

SECTION TWO: The Mayor and/or Village Administrator are authorized to execute such Intergovernmental Agreement in the form satisfactory to the Village Administrator and Village Attorney; to make minor changes to the document prior to execution which do not materially increase the Village's obligations; and to take any other steps necessary to carry out this resolution.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL AND DUPAGE, ILLINOIS on this _____ day of _____, 2012.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES

President

ATTEST:

CHARLENE M. SMOLLEN

Village Clerk

INTERGOVERNMENTAL AGREEMENT

This Agreement made and entered into this _____ day of _____, 2012, and executed by and between the undersigned Individual Members of the Will Electric Aggregation Group (hereinafter collectively called the "Will Electric Aggregation Group").

WHEREAS, Article 7, Section 10 of the Constitution of Illinois 1970, authorizes units of local government to contract among themselves to obtain or share services and to exercise, combine or transfer any power or function in any manner not prohibited by law; and

WHEREAS, pursuant to 20 ILCS 3855/1-92, aggregation of electrical load by municipalities and counties, the corporate authorities of a municipality or county board of a county may adopt an ordinance under which it may aggregate residential and small commercial retail electrical loads; and

WHEREAS, the corporate authorities of a municipality or county board may solicit bids, also known as Requests For Proposals or RFPs, from Alternative Retail Electric Suppliers, and enter into service agreements to facilitate those loads for the sale and purchase of electricity and related services and equipment, and may also exercise such authority jointly; and

WHEREAS, the undersigned Individual Members of the Will Electric Aggregation Group recognize that the pooling of resources and personnel enhances the ability to solicit bids for electricity with a much larger electric need and reduces the administrative costs associated with the implementation of an electrical aggregation program.

NOW, THEREFORE, in consideration of the terms herein set forth and the mutual covenants and obligations of the parties hereto; it is hereby agreed by the undersigned Individual Members of the Will Electric Aggregation Group as follows:

SECTION 1. Incorporation.

The recitals contained in the Preamble set forth above are incorporated herein by reference as if fully set forth and repeated herein.

SECTION 2. Definitions.

The following words, terms and phrases, when used in this Inter-Governmental Agreement, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Individual Members of the Will Electric Aggregation Group: Each individual municipality, village, city, and/or county who signs this Agreement and agrees to its terms.

Will County Governmental League: A not-for-profit intergovernmental organization providing technical assistance and services, as well as providing a forum for municipalities to discuss and resolve regional issues of mutual concern.

Will Electric Aggregation Group: All Individual Members of the Will Electric Aggregation Group are collectively referred to as the Will Electric Aggregation Group.

SECTION 2. Purpose.

The Will Electric Aggregation Group wishes to aggregate residential and small commercial retail electrical loads and solicit bids and enter into service agreements with Alternative Retail Electric Suppliers to facilitate those loads for the sale and purchase of electricity and related services and equipment as one account. It is imperative for the bidding process that Alternate Retail Electric Suppliers submitting bids to the Will Electric Aggregation Group know the number of households within the Will Electric Aggregation Group, as it is presupposed that Alternate Retail Electric Suppliers will bid based on the number of households. Furthermore, Individual Members of the Will Electric Aggregation Group understand and recognize that the bids for electric aggregation are for the Will Electric Aggregation Group as a whole, and bids will be accepted by the Will Electric Aggregation Group as a whole.

SECTION 3. Requirements.

The Individual Members of the Will Electric Aggregation Group, prior to passage of the referendum, agree to:

- Follow the requirements of 20 ILCS 3855/1-92.
- Pass an Ordinance to place the question of electric aggregation as an opt-out program on the ballot.
- Publish a notice for a referendum for aggregation of electrical load.
- Place the question for aggregation of electrical load to its residents on a referendum at the next election as an opt-out program.
- Initiate a process to authorize a joint program of aggregation by a majority vote of each particular municipality or county.

The Individual Members of the Will Electric Aggregation Group, after passage of the referendum, agree to:

- Follow the requirements of 20 ILCS 3855/1-92.
- Develop a (draft) plan of operation and governance for the aggregation program.
- Publish notice of the public hearings on a plan of operation and governance once a week for 2 consecutive weeks in a newspaper of general circulation in the jurisdiction; the notice shall summarize the plan and state the date, time, and location of each hearing.
- Hold at least two public hearings on a plan of operation and governance.
- Adopt an ordinance with respect to aggregation of residential and small commercial retail electric loads.
- Adopt an ordinance with respect to a plan of operation and governance.
- Authorize a representative to accept a bid and enter into a service agreement with an Alternative Retail Electric Supplier to facilitate those loads for the sale and purchase of electricity and related services and equipment.

As it is imperative that the Will Electric Aggregation Group solicit bids for electricity and other related services as a group, the Individual Members of the Will Electric Aggregation Group agree to not solicit bids or Requests For Proposals for electricity and other related services on their own, or enter into service agreements with an Alternative Retail Electric Supplier individually.

SECTION 4. Parties.

The Individual Members of the Will Electric Aggregation Group consist of municipalities, villages, cities, and counties. In the event that additional agencies request to participate in the Will Electric Aggregation Group, their acceptance will be contingent upon acceptance of all terms in this Agreement and execution and payment of all applicable fees and costs.

SECTION 5. Passage Of The Referendum.

In order to aggregate residential and small commercial retail electrical loads and solicit bids and enter into service agreements to facilitate those loads for the sale and purchase of electricity and related services and equipment with the Will Electric Aggregation Group, it is a prerequisite that a majority of the electors of the Individual

Members of the Will Electric Aggregation Group vote in the affirmative on the electric aggregation referendum.

SECTION 6. Failure Of The Referendum.

For the Individual Members of the Will Electric Aggregation Group whose electors do not vote in the affirmative on the electric aggregation referendum and the referendum fails, those Members cannot aggregate residential and small commercial retail electrical loads and solicit bids and enter into service agreements to facilitate those loads for the sale and purchase of electricity and related services and equipment as an opt-out program with the Will Electric Aggregation Group and as such, will be disqualified from participating in the Will Electric Aggregation Group. The disqualified Members may operate their aggregation program as an opt-in program for residential and small commercial retail customers.

SECTION 7. Will County Governmental League.

The Will County Governmental League is coordinating the Will Electric Aggregation Group. Therefore, each individual municipality, village, city, and/or county of the Will Electric Aggregation Group shall be affiliated with the Will County Governmental League. As coordinators of the Will Electric Aggregation Group, the Will County Governmental League will assist Individual Members of the Will Electric Aggregation Group:

- Initiate a process to authorize a joint program of aggregation.
- Develop a (draft) plan of operation and governance for the aggregation program.
- Hold at least two public hearings on a plan of operation and governance.
- Adopt an ordinance with respect to aggregation of residential and small commercial retail electric loads.
- Adopt an ordinance with respect to a plan of operation and governance.
- Comply with the requirements of 20 ILCS 3855/1-92.
- Coordinate with ComEd in gathering and organizing customer load and account data.
- Prepare the load analysis and the bid format to be submitted to Alternative Retail Electric Suppliers for electric product pricing.
- Evaluate existing risk and opportunity issues relative to submitted offers.

As coordinators of the Will Electric Aggregation Group, the Will County Governmental League will, on behalf of Individual Members of the Will Electric Aggregation Group:

- Coordinate the cooperation of the Individual Members of the Will Electric Aggregation Group.
- Solicit Requests For Proposals (RFPs) and receive bids for residential and small commercial retail electrical loads.
- Review and prepare analysis of indicative pricing from Alternative Retail Electric Suppliers.
- Summarize the bids from Alternative Retail Electric Suppliers for residential and small commercial retail electrical loads.
- Coordinate the selection of an Alternative Retail Electric Supplier for electric aggregation.

The Will County Governmental League contracted with DaCott Energy Services, Ltd. to assist the Will County Governmental League. Upon request, the contract between the Will County Governmental League and DaCott Energy Services, Ltd. is available for inspection. Any funds collected above the \$300,000 cap on the DaCott Energy Services, Ltd. fee will be allocated by a majority vote of the Will Electric Aggregation Group.

SECTION 8. Selection Of A Bid.

The bids, or Requests For Proposals, for electric aggregation are for the Will Electric Aggregation Group as a whole. Therefore, the service agreements to facilitate those loads for the sale and purchase of electricity and related services and equipment will be accepted by the Will Electric Aggregation Group as a whole.

It is understood that due to the nature of the electric market, the time frame for acceptance of a bid must be done promptly, and time is of the essence. The window from receipt of the bids to the time of acceptance is relatively short, and as such, in all likelihood, the boards of the Individual Members of the Will Electric Aggregation Group will not have time to review the bids and vote on which bid to accept. As such, each Individual Member of the Will Electric Aggregation Group shall be authorized by its respective board to have the authority to accept a bid and select an Alternative Retail Electric Supplier.

Each Individual Member of the Will Electric Aggregation Group may have more than one representative review the bids and provide input. The Will County

Governmental League will coordinate the process for review and selection of an Alternative Retail Electric Supplier. In order to provide an orderly process after receipt and review of the bids, each Individual Member of the Will Electric Aggregation Group will have one vote relative to selection of an Alternative Retail Electric Supplier. Each Individual Member of the Will Electric Aggregation Group will indicate to the Will County Governmental League its voting representative. At the conclusion of bid reviews and discussion, a representative of the Will County Governmental League will initiate a meeting (at its offices, by telephone conference call, or both) take a roll-call vote, and a majority of the votes cast for an Alternative Retail Electric Supplier will be the bid accepted by the Will Electric Aggregation Group. In the event that a majority of the votes cast reject all bids, the Will Electric Aggregation Group will take no action relative to selection of an Alternative Retail Electric Supplier.

The rules of parliamentary practice contained in Robert's Rules Of Order shall govern the meetings relative to review and acceptance of the bids. The representative from the Will County Governmental League shall decide all questions of order and shall be governed in the decisions by parliamentary law as contained in Robert's Rules Of Order.

SECTION 9. Costs/Authority.

Each Individual Member of the Will Electric Aggregation Group assumes the cost, liability and responsibility for its own members, and as to indemnification of said Will Electric Aggregation Group, its individual members, and the Will County Governmental League and as to personal benefits, all to the same extent as they are protected, insured, indemnified and otherwise provided for by the Statutes of the State of Illinois and the ordinances of the participating municipalities.

SECTION 10. Termination/Modification Of Agreement.

This Agreement shall be in full force and effect between all Individual Members of the Will Electric Aggregation Group who have signed this Agreement and continue until such time that said contract agreed to with the Alternate Retail Electric Supplier expires. Said contract with the Alternate Retail Electric Supplier will not exceed a term of three years. Or, if the votes cast reject all bids, Individual Members of the Will Electric Aggregation Group may withdraw from this Agreement upon thirty (30) days written notice to the Will County Governmental League.

It is imperative for the bidding process that Alternate Retail Electric Suppliers submitting bids to the Will Electric Aggregation Group know the number of households within the Will Electric Aggregation Group. As such, Individual Members of the Will Electric Aggregation Group may withdraw from this Agreement up to two weeks prior to the date set for soliciting bids (or Requests For Proposals) from Alternate Retail Electric Suppliers, without consequence, by written notice to the Will County Governmental League.

SECTION 11. Severability.

The various provisions of this Agreement are severable and if any provision or part thereof is held to be unenforceable by any court of competent jurisdiction, then such enforceability shall not affect the validity or enforceability of the remaining provision of parts thereof in this Agreement.

SECTION 12. Entire Agreement.

This Agreement constitutes the entire Agreement and supersedes all prior agreements and understandings, oral and written, and may not be modified or amended except in writing signed by all Individual Members of the Will Electric Aggregation Group.

SECTION 13. Governing Law.

The laws of the State of Illinois, County of Will, will govern all disputes arising out of or relating to this Agreement. Any dispute arising out of or in connection with this Agreement shall be submitted to the exclusive jurisdiction and venue of the courts located in the County of Will, and all Individual Members of the Will Electric Aggregation Group specifically agree to be bound by the jurisdiction and venue thereof.

SECTION 14. Execution And Counterparts.

This Agreement may be executed in any number of counterparts, each of which when so executed and delivered shall be deemed an original, and such counterparts together shall constitute only one instrument. Any one of such counterparts shall be sufficient for the purpose of proving the existence and terms of this Agreement.

IN WITNESS WHEREOF, the undersigned governmental units have caused this Agreement to be duly authorized and executed, and attached herewith is a copy of the Resolution authorizing the signing officials to execute this Agreement.

The undersigned representative(s) of the Member Villages hereby agree to the above terms and conditions of this Inter-Governmental Agreement.

Will County Governmental League

By: _____ Date: _____

Attest: _____

Village of

By: _____ Date: _____

Attest: _____

City of

By: _____ Date: _____

Attest: _____

to: Mayor Brian K. Reaves
Village Board of Trustees

from: James L. Cainkar, P.E., P.L.S., Acting Village Engineer

subject: Amendment of the Illinois Quality Management Plan
Glen Oak Estates

date: May 3, 2012

BACKGROUND

Back in the mid-1970's, a portion of the planned Glen Oak Estates Development parcel was accidentally included in the Illinois American Facilities Planning Area (FPA) by a boundary map error. In order for this portion of the Glen Oak Estates Development to be removed from the Illinois American FPA, and transferred to the MWRDGC FPA, an "Illinois Quality Management Plan Petition" is required to be submitted to CMAP. A Village Board Resolution approving same is required by CMAP and is enclosed herein.

RECOMMENDATION

Staff recommends approval of the attached Resolution.

ATTACHMENTS

- "Amendment of the Illinois Quality Management Plan Petition";
- Resolution.

VILLAGE BOARD ACTION REQUIRED

Approval of the attached Resolution.

RESOLUTION _____

RESOLUTION
Amendment of the Illinois Quality Management Plan
Glen Oak Estates

WHEREAS, the Village of Lemont is requesting a change in FPA boundaries, an Amendment of the Illinois Quality Management Plan petition needs to be completed and submitted; and

WHEREAS, said petition allows for the correction of a boundary map error to include a parcel of land into the MWRDGC FPA that was incorrectly included in the Illinois American FPA.

NOW THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Lemont that the petition for the Amendment of the Illinois Quality Management Plan attached hereto is hereby approved.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL AND DuPAGE, ILLINOIS, on this 14th day of May, 2012.

AYES

NAYS

PASSED

ABSENT

Debby Blatzer
Paul Chialdikas
Clifford Miklos
Rick Sniegowski
Ronald Stapleton
Jeanette Virgilio

CHARLENE SMOLLEN, Village Clerk

Approved by me this 14th day of May, 2012.

A t t e s t:

BRIAN K. REAVES, Village President

CHARLENE SMOLLEN, Village Clerk

Approved as to form: _____
Jeff Stein, Village Attorney

Date: _____

**AMENDMENT OF THE
ILLINOIS WATER QUALITY
MANAGEMENT PLAN**

**Village of Lemont
418 Main Street
Lemont, Illinois 60439
Phone: (630) 257-1550
Fax: (630) 243-0958**

File No. 12181

Section A
To be completed by all applicants seeking amendment of the
Illinois Water Quality Management Plan.

This amendment request is filed pursuant to the Illinois Environmental Protection Agency's Procedures and Requirements in effect at this time for revising water quality management plans. I certify that I am familiar with the information contained in the application and, to the best of my knowledge, such information is true, complete and accurate. I further certify that I possess the authority to request and submit an amendment petition.

BEN WEHMEIER
Printed Name of Petitioner

Signature of Petitioner

May 14, 2012
Date

**Has the elected Board of the applicant entity formally endorsed
submittal of this water quality amendment application?**

Yes If Yes, attach resolution, minutes or other documentation of action.

No If No, indicate when Board action is scheduled to occur.

Petitioner's Authorized Agent and Contact Person:

Name BEN WEHMEIER
Title VILLAGE ADMINISTRATOR
Entity VILLAGE OF LEMONT
Address 418 MAIN STREET
City LEMONT State IL Zip 60439
Phone (630) 257-1590 Fax (630) 243-0958

Type of Amendment Requested (check all that apply)

New Treatment Facility/Discharge FPA Boundary Change
 Expanded Plant Capacity FPA Creation
 Dissolution of FPA Land Treatment System
 FPA Name Change Plant Phase-Out

Other CORRECTION OF SCRIVENERS ERROR ON FPA MAP

Identify all facility planning areas within 1½ miles of requested amendment area and/or applicant's facility planning area.

MWRDGC FPA

ILLINOIS AMERICAN FPA

Section B
To be completed for all amendment requests involving the proposed construction of a new wastewater or land treatment facility and/or expansion (capacity modification) of an existing treatment facility.

1. Provide a summary of, and the need for, the requested amendment. NOTE: Any amendment application involving 1) a substantial change in a facility planning area, 100 or more acres, and/or 2) a new or expanded treatment facility, involving a capacity increase of 0.25 mgd or 10 percent, should be accompanied by an up-to-date facility plan.

2. Facility Information

Name: _____

Ownership: Public _____ Private _____ Other _____

Owner's Name: _____

Operator: _____

Location: _____

City/Township/County: _____

3. Treatment Processes

A. Describe the wastewater treatment processes to be used.

NOT APPLICABLE

B. For discharges to high quality and/or low flow water bodies.

Will the facility incorporate design components which maximize treatment reliability, including process units in parallel which provide treatment redundancy in the event of main system malfunction or failure; effluent polishing lagoons incorporating wetland vegetation; and a preference for high-reliability technologies? Please describe.

4. **Treatment Capacities**

Design Flows: Design Year for proposed flows _____
Average Daily Flow: Current _____ mgd Proposed _____ mgd
Maximum Daily Flow: Current _____ mgd Proposed _____ mgd

Actual Flows (based on most recent annual experience): Year _____

Measured average daily flow: _____ mgd

Flow Components* a. Average Sanitary _____ mgd
b. Average Infiltration _____ mgd
c. Average Inflow _____ mgd

*a+b+c = average daily flow

5. **Receiving Waters** Name and location:

Type: Stream _____ Lake _____ Well Injection _____ Other _____

If other, describe: _____

Estimate of average annual upstream flow and 7-day, 10-year low flow of identified receiving stream: _____ cfs

Information Source: _____

NOT APPLICABLE

6. **Discharge Location:** Not Applicable _____

Latitude: _____ Degrees _____ Minutes _____ Seconds

Longitude: _____ Degrees _____ Minutes _____ Seconds

7. **Area to Be Served:** Provide a map of the existing and proposed service area for the new/expanded treatment facility at a scale of 1 inch = 2,000 feet.

Existing Service area: Total acres _____ Population _____

Households _____ Total PE _____

Proposed Service Area: Total acres _____ Population _____

Households _____ Total PE _____

By Year: _____

(NOTE: The proposed amendment must not exceed the population projections for the twenty-year planning period set forth in the currently approved facility plan or the CMAP twenty year forecasts for the facility planning area. CMAP may agree to adjustments within the regional forecast total.)

8. **Development(s) to be Served:** Describe all anticipated development that will be served by the new and/or expanded treatment facility. (For each development, provide the following information: project name, developer name, number and mix of units for residential developments, and total acreage. For non-residential development provide expected number of employees. Please indicate project status (i.e., planned, annexed, zoned, under construction, construction completed, etc.). Attach additional sheets as needed.

NOT APPLICABLE

9. **Permits/Variances** NPDES Number: _____ (Attach Copy)
NPDES Permit applied for: No _____ Yes _____ Date applied for: _____
Land Application Construction Permit Number: _____ (Attach Copy)
Land Application Permit applied for: No _____ Yes _____ Date applied for: _____
Has or will a variance from IEPA/PCB Standards be required for the operation of the
proposed facility? No _____ Yes _____ If yes, describe: _____

10. **If the proposal is for a privately owned and operated facility, describe the type, size, location and distance to nearest existing publicly owned wastewater sewer and treatment facility.** _____

11. **Provide the following information regarding the anticipated costs for the proposed facility modification/creation.**

Wastewater Treatment Plant	\$ _____
Sludge Handling Facilities	\$ _____
Pump Stations	\$ _____
Interceptor Sewers	\$ _____
Collection Sewers	\$ _____
On-site and Alternative Systems	\$ _____
Land Acquisition	\$ _____
Inspection/Construction Management	\$ _____
Project Management/Design	\$ _____
Other	\$ _____
Estimated Total Construction Cost:	\$ _____

12. Provide an estimate of annual operation, maintenance and replacement costs for the proposed facility modification/creation.

Labor	\$ _____
Utilities	\$ _____
Materials	\$ _____
Outside Services	\$ _____
Equipment Replacement	\$ _____
Miscellaneous	\$ _____
Total Estimated Annual O,M & R Costs	\$ _____

13. Uniform Annual Equivalent Cost: \$ _____

14. Describe how the proposed facility modification/creation will be financed.

Local Developer Contribution	\$ _____
IEPA Revolving Loan	\$ _____
General Obligation Bond	\$ _____
Revenue Bond	\$ _____
Special Taxing District	\$ _____
User Charges/Fees	\$ _____
Private Utility-Capital Funds	\$ _____
Other IEPA Funding	\$ _____
Other State Funding	\$ _____
Other Grants/Loans/Fees:	
_____	\$ _____
_____	\$ _____
Total Anticipated Financing	\$ _____

15. Describe any and all service alternatives which were examined including land treatment to the requested amendment.¹ Attach additional sheets as needed.

16. How was cost effectiveness of the selected alternative determined? Attach additional sheets as needed).

¹ Anticipated environmental impacts associated with each alternative should also be presented for water quality (surface and groundwater), wetlands, floodplains, prime agricultural lands, fish and wildlife, and endangered and threatened species. Options for alternative discharge locations (e.g., to receiving waters with greater dilution rations) should also be discussed.

Section C

To be completed for all amendment requests seeking facility planning area (FPA) creation and/or facility planning area boundary modification.

1. Provide a summary of and the need for the requested amendment.

NOTE: Any amendment application involving 1) a substantial change in a facility planning area, 100 or more acres, and/or 2) a new or expanded treatment facility, involving a capacity increase of 0.25 mgd or 10 percent, should be accompanied by an up-to-date facility plan.

DUE TO A SCRIVENERS ERROR THAT OCCURRED SOMETIME IN MID-1970's,
THE SUBDIVISION OF FOX HILLS-UNIT 2 WAS INADVERTENTLY INCLUDED
IN THE MWRDGC FPA, IN LIEU OF CITIZEN'S UTILITIES FPA (CURRENTLY
ILLINOIS AMERICAN FPA). THIS CAUSED A 25.24 ACRE PARCEL TO BE
INCLUDED IN THE CITIZEN'S UTILITIES FPA (CURRENTLY ILLINOIS
AMERICAN FPA), WHEN IT SHOULD HAVE BEEN INCLUDED IN THE MWRDGC
FPA. DUE TO THIS DRAFTING ERROR, AN FPA AMENDMENT IS NECESSARY.

SEE EXHIBIT C

2. **Geophysical Information**

Provide the following information regarding the amendment area.

- a. Size: 25.24 Requested Amendment Area (in acres)

Attach a black-and-white map that clearly delineates the existing facility planning area and the amendment area at a scale of 1" = 2000'.

- b. Location: County COOK
Township(s) LEMONT
Section(s) 34

- c. A legal description of the existing facility planning area must be included. LEGAL DESCRIPTION IS UNAVAILABLE. PETITION CONSISTS OF
d. A legal description of the area requested must also be included. SCRIVENERS ERROR
SEE ATTACHED EXHIBIT A ONLY.

3. Current FPA Status

Is the amendment area currently part of an existing facility planning area?

No Yes If yes, provide the name(s) of the FPA(s). _____

ILLINOIS AMERICAN FPA (FORMERLY
CITIZEN'S UTILITIES FPA) SEE EXHIBIT B & EXHIBIT C

4. Population and Household Forecasts

Provide an assessment of existing and proposed population of the requested area, and resultant waste loads and wastewater flows.

PROVIDE THE FOLLOWING INFORMATION FOR THE REQUESTED AMENDMENT AREA	Current	Forecasted	
		Number	By Year?
Population	0	154	2015
Number of Households	0	44	2015
Residential Population Equivalent (PE)	0	154	2015
Employment	0	0	
Employment Population Equivalent (PE)	0	0	
Total Population Equivalent (PE)	0	154	2015
Daily Average Wastewater Flow	Current	Forecasted	By Year?
Domestic	0	15400 gal	2015
Industrial	0		
Total	0	15400 gal	2015

NOTE: The proposed amendment must not exceed the population projections for the twenty-year planning period set forth in the currently approved facility plan or the CMAP twenty-year forecasts for the facility planning area. CMAP may agree to adjustment within the regional forecast total.

5. Amendment Area Land Uses

a. Current Zoning of Amendment Area: RESIDENTIAL

b. Date Zoning Received: 2008

c. Zoning Body: VILLAGE OF LEMONT

- d. Development(s): Describe current and proposed land use of the amendment area including, if available, project name, developer name, number and mix of units for residential developments, and total acreage. For non-residential development provide expected number of employees. Please indicate project status (i.e., planned, annexed, zoned, under construction, construction completed, etc.). Attach additional sheets as needed.

PROJECT NAME: GLEN OAKS ESTATES

DEVELOPER NAME: GLEN OAK ESTATES LLC

RESIDENTIAL UNITS PROPOSED: 44 SINGLE FAMILY

TOTAL ACREAGE: 25.24 ACRES

PROJECT STATUS: PLANNED, ANNEXED, ZONED, PLANS WERE
UNDER REVIEW. SEE EXHIBIT D

6. Wastewater Treatment

- a. Describe and map any existing wastewater sewer/interceptor and/or treatment facility located within or adjacent to the subject amendment area. Attach additional sheets as needed.

THE PLANNED DEVELOPMENT WILL CONNECT TO AN EXISTING 12-INCH
VILLAGE OF LEMONT SANITARY SEWER THAT IS TRIBUTARY TO THE
MWRDGC INTERCEPTOR AT ARCHER AVENUE AND WALKER ROAD. THE
12-INCH SANITARY SEWER IS LOCATED ADJACENT TO THE DEVELOPMENT
ON 131st STREET. SEE EXHIBIT E

- b. How will wastewater services be provided to/connected to the subject amendment area? Include map showing route of interceptors and sewers, pump stations or gravity flow, treatment plant, etc. Attach additional sheets as needed.

THE DEVELOPMENT WILL CONNECT TO THE EXISTING 12-INCH
SANITARY SEWER ON 131st STREET. SEE EXHIBIT E

7. **Alternatives - Describe wastewater service alternatives examined. (Attach additional sheets as needed.)**²

CONNECTION TO ILLINOIS AMERICAN FPA IS UNFEASIBLE
DUE TO SYSTEM CAPACITY RESTRAINTS, IN THE ILLINOIS
AMERICAN FPA.

8. **Document the cost effectiveness of the wastewater alternatives identified in Number 7 above. Provide a side-by-side analysis with the selected alternative highlighted. (Describe costs for all relevant system components including, but not limited to, sewers and interceptors, pumping stations, and treatment facilities.) (Attach additional sheets as needed.)**

CONNECTION TO ILLINOIS AMERICAN FPA IS UNFEASIBLE DUE TO
SYSTEM CAPACITY CONSTRAINTS, IN THE ILLINOIS AMERICAN FPA.

² Anticipated environmental impacts associated with each alternative should also be presented for water quality (surface and groundwater), wetlands, floodplains, prime agricultural lands, fish and wildlife, and endangered and threatened species. Options for alternative discharge locations (e.g., to receiving waters with greater dilution ratios) should also be discussed.

9. How much will provision of wastewater service to the subject amendment area

cost? THE COST IS INSIGNIFICANT. SANITARY SEWER MAIN IS ADJACENT TO SITE.

Treatment Facilities	\$ _____
Pumping Stations	\$ _____
Interceptor Sewers	\$ _____
Collection Sewers	\$ _____
Land Acquisition	\$ _____
Inspection/Construction Management	\$ _____
Project Management/Design	\$ _____
Operation and Maintenance	\$ _____
Other _____	\$ _____
Other _____	\$ _____
Estimated Total Cost to provide service:	\$ _____
Uniform Annual Equivalent Cost:	\$ _____

Additional Comments:

10. What will be the per household user costs? PART OF VILLAGE STANDARD WATER BILL.

Connection Fee	\$ _____
Monthly Service Fee	\$ _____
Other _____	\$ _____
Other _____	\$ _____
Other _____	\$ _____
Estimated Total Per Household Monthly Cost	\$ _____

Additional Comments:

Section D
To be completed for all amendment requests

1. Provide the following information regarding the environmental characteristics of the subject amendment area.

a. **Surface Water bodies** (streams, lakes): Attach Map _____ None X

b. **Wetlands**: Map Attached _____ Not Applicable (none) X
(If applicable, attach map at scale of 1 inch - 2,000 feet, giving size and location of any identified wetlands located in or immediately adjacent to subject amendment area.)

c. **Floodplains**: Map Attached _____ Not Applicable (none) X
(If applicable, attach map at scale of 1 inch - 2,000 feet, giving size and location of all IDOT/DRW - Federal Emergency Management Agency regulatory floodplains located in or immediately adjacent to subject amendment area.)

d. **Other**: Map Attached _____ Not Applicable (none) _____
(If applicable, attach map at scale of 1 inch = 2,000 feet identifying any aquifer, groundwater recharge area and/or state designated natural area located on or immediately adjacent to subject amendment area.)

2. Will amendment include, require or result in modification (i.e., filling, dredging, channelization, disposal or similar activity) of any lake, stream, wetland or floodplain area? No X Yes _____ (If yes, describe.)

Section E
Facility Planning Area Nonpoint Source Management
To be completed for all amendment requests.

To ensure consistency with the nonpoint source management policies and objectives of the Illinois Water Quality Management Plan, IEPA and CMAP recommend local adoption of ordinances or regulations which provide for water quality protection which is comparable to the objectives and standards of the following former NIPC model ordinances: 1) Model Stormwater Drainage and Detention Ordinance (as amended July 1994); 2) Model Soil Erosion and Sediment Control Ordinance (1991); 3) Model Flood Plain Ordinance (1989); and 4) Model Stream and Wetland Protection Ordinance for the Creation of a Lowland Conservancy Overlay District (1988). The following checklist provides guidance to applicants regarding important provisions and standards which CMAP recommends for inclusion in local ordinances. To aid in drafting of appropriate ordinance language, recommended sections from the relevant CMAP model ordinances are listed in parentheses.

1. Stormwater Management

a. Is the amendment area and/or facility planning area subject to a municipal and/or county stormwater drainage and detention ordinance?

Yes X No _____ Unknown _____

If yes, give name(s) of municipality(s) or county(s), attach copy. _____

VILLAGE OF LEMONT AND MWRDGC

b. Does the applicable stormwater management ordinance:

- Include control of runoff volume, rate, and quality in the purpose statement? (Section 100.0) Yes X No _____
- Promote the use of natural drainage practices (e.g., swales, filter strips, infiltration devices, and natural depressions over storm sewers to minimize runoff volumes and enhance pollutant filtering? (Sections 500.0 and 711) Yes X No _____
- Require that peak post-development discharge from events less than or equal to the two-year, 24-hour event be limited to 0.04 cfs per acre of watershed? (Section 701.0) Yes _____ No X

If no, what does it require for storms smaller than the 100-year event?

RELEASE IS RESTRICTED TO 0.15 cfs/Acre

- Require detention design standards which maximize water quality mitigation benefits, with a preference for wet bottom and/or wetland basins over dry basins? (Sections 600.0, 705, and 706) Yes No
- Prohibit detention in the floodway? (Section 708.2) Yes No
- Prohibit on-stream detention, unless it provides regional stormwater storage and is accompanied by other water quality BMPs upstream? (Section 708.3) Yes No
- Prohibit the direct discharge of undefained stormwater into wetlands? (Section 709) Yes No
- Require formal maintenance contracts for new detention facilities? (Sections 713.0 and 1100.0) Yes No

2. Soil Erosion and Sediment Control

a. Is the affected area/facility planning area subject to a municipal and/or county soil erosion and sediment control ordinance?

Yes No Unknown

If yes, give name(s) of municipality(s) or county(s) and attach copy. _____

VILLAGE OF LEMONT

b. Does the applicable soil erosion and sediment control ordinance:

- Include a comprehensive purpose statement which limits sediment delivery, as close as practicable, to pre-disturbance levels and minimizes effects on water quality, flooding, and nuisances? (Section 100)

Yes No

- Include a comprehensive set of principles which minimize sediment transport from the site for all storms up to the ten-year frequency event?

Yes No

(These principles should include provisions to minimize the area disturbed and the time of disturbance, follow natural contours, avoid sensitive areas, require that sediment control measures be in place as part of land development process before significant grading or disturbance is allowed, and require the early implementation of soil stabilization measures on

disturbed areas - Section 300).

- Require ordinance applicability for any land disturbing activity in excess of 5,000 square feet, or 500 square feet if adjacent to stream, lake, or wetland? (Section 400)

Yes _____ No Other _____ (Describe) _____

- Include explicit site design requirements for sediment control measures, conveyance channels, soil stabilization, construction adjacent to water bodies, construction entrances, etc.? (Section 503)

Yes No _____

- Adopt by reference the "Illinois Urban Manual" published by the Natural Resources Conservation Service and the Illinois Environmental Protection Agency in 1995 and the "Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control" published in 1988 (the Greenbook)? (Section 504)

Yes No _____

- Require routine maintenance of all erosion and sediment control Practices? (Section 505)

Yes No _____

- Require inspection by appropriately trained personnel of construction sites at critical points in the development process to ensure that measures are being correctly installed and maintained? (Section 506)

Yes No _____

- Provide effective enforcement mechanisms including performance bonds, stop-work orders, and penalties, as appropriate? (Sections 405, 602, 603)

Yes No _____

3. Floodplain Management

- a. Is the affected area/facility planning area subject to a municipal and/or county floodplain management ordinance?

Yes No _____ Unknown _____

If yes, give name(s) of municipality(s) or county(s) and attach copy. _____

VILLAGE OF LEMONT

-
- b. Does the applicable floodplain management ordinance:
- Include protection of hydrologic functions, water quality, aquatic habitat, recreation, and aesthetics in the purposes for the ordinance? (Section 200)
Yes No
 - Restrict modifications in the floodway to the following appropriate uses: public flood control projects, public recreation and open space uses, water dependent activities, and crossing roadways and bridges?
Yes No
(The ordinance should thereby prohibit new treatment plants and pumping facilities; detached garages, sheds, and other non-habitable structures; parking lots and aircraft parking aprons; and roadways which run longitudinally along a watercourse.) (Section 802.0)
 - Discourage stream channel modification and require mitigation of unavoidable adverse water quality and aquatic habitat impacts? (Sections 801.1.q and 802.1.i)
Yes No
 - Discourage onstream impoundments unless public interest and environmental mitigation criteria are met? (Section 802.1.f)
Yes No
 - Require effective soil erosion and sediment control measures for all disturbances in the floodway? (Section 802.1.k)
Yes No
 - Require protection of a minimum 25 foot native vegetation buffer along the channel? (Section 802.1.p)
Yes No

4. **Stream and Wetland Protection**

- a. Is the affected area/facility planning area subject to a municipal and/or county stream and wetland protection ordinance?

Yes No Unknown

If yes, give name(s) of municipality(s) or county(s) and attach copy. _____

VILLAGE OF LEMONT

- b. Does the applicable stream and wetland protection ordinance:
- Include a comprehensive purpose statement which addresses the protection of hydrologic and hydraulic, water quality, habitat, aesthetic, and social and economic values and functions of wetlands? (Section 3.00) Yes _____ No X
 - Protect the beneficial functions of streams, lakes, and wetlands from damaging modifications, including filling, draining, excavating, damming, impoundment, and vegetation removal? (Sections 6.03 and 4.00.h - "development")
Yes _____ No X
 - Prohibit the modification of high quality, irreplaceable wetlands, lakes, and stream corridors?
Yes _____ No X
 - Discourage the modification of wetlands for stormwater management purposes unless the wetland is severely degraded and nonpoint source BMPs are implemented on the adjacent development? (Section 6.03)
Yes _____ No X
 - Designate a minimum 75 foot setback zone from the edge of identified wetlands and water bodies in which development is limited to the following types of activities: minor improvements like walkways and signs, maintenance of highways and utilities, and park and recreational area development? (Section 6.03)
Yes _____ No X
 - Establish a minimum 25-foot wide protected native vegetation buffer strip along the edge of identified wetlands and water bodies. (Section 6.08) Yes _____ No X
 - Prohibit watercourse relocation or modification except to remedy existing erosion problems, restore natural conditions, or to accommodate necessary utility crossings; and require mitigation of unavoidable adverse water quality and aquatic habitat impacts? (Sections 7.00, 7.01, and 7.02)
Yes _____ No X

- Discourage the armoring of channels and banks unless natural vegetation and gradual bank sloping are inadequate to prevent severe erosion?

(Section 7.03)

Yes _____ No x

- Discourage culvert crossings of streams unless necessary for allowing access to a property? (Section 7.04)

Yes _____ No x

- Discourage onstream impoundments unless public interest and environmental mitigation criteria are met? (Section 7.05)

Yes _____ No x

- Require adequate mitigation measures for approved wetland and water body modifications, including 1.5 to 1 acreage replacement for destroyed wetlands, maintenance and monitoring for at least 5 years, and full restoration of natural wetland or waterbody functions?

Yes _____ No x

Section F
Criteria for Facility Amendments to the Areawide Water Quality Management Plan for Northeastern Illinois

Staff review and subsequent Wastewater Committee consideration of all amendment requests are based on the "recommended Criteria for Facilities Amendments to the Areawide Water Quality Management Plan for Northeastern Illinois." These criteria delineate five conditions which must be addressed as necessary prerequisites for any amendment and an additional four conditions also of concern to CMAP.

Applicants are urged to provide any additional comments or to highlight any portion of their amendment application that relates to these criteria.

1. Any proposed facility amendment must be designed to meet State of Illinois water quality standards for the receiving waters and the appropriate discharge standards, or must receive a variance from the Illinois Pollution Control Board.
2. The population and employment for which the proposed amendment is designed must fall within the twenty-year forecasts for the facility planning area most recently adopted by CMAP, or CMAP may agree to adjustments within the regional forecast total.
3. The applicant must demonstrate that the unit of local government granting zoning to the project has formally accepted financial responsibility for the wastewater treatment system in event of system malfunction or failure. Such acceptance must be in the form of a resolution from the unit of local government granting zoning.
4. The proposed amendment should not reduce the effectiveness of the water quality improvement strategy contained in the original plan, for either point or nonpoint source control.
5. The proposed amendment should not adversely affect the cost effectiveness of the Areawide Water Quality Management Plan for meeting water quality standards in the facility planning area as a whole.
6. The proposed amendment should have the endorsement of the designated

management agency for wastewater treatment and substantial support by the municipalities within the affected facility planning area.

7. The proposed amendment should not adversely affect adjoining units of government.
8. The proposed amendment should be consistent with other county and regional plans or state policies, such as the preservation of agricultural land. (If the proposal would require the amendment of another regional plan, CMAP will consider the wisdom of that amendment at the same time.)
9. Consideration will be given to evidence of municipal or county zoning approval and commencement of development activity prior to Areawide Water Quality Management Plan adoption in January, 1979.

N:\nrdWater Resources\FPA Amendment Application\Current Application\Wqapp - CMAP 6-7-07.doc

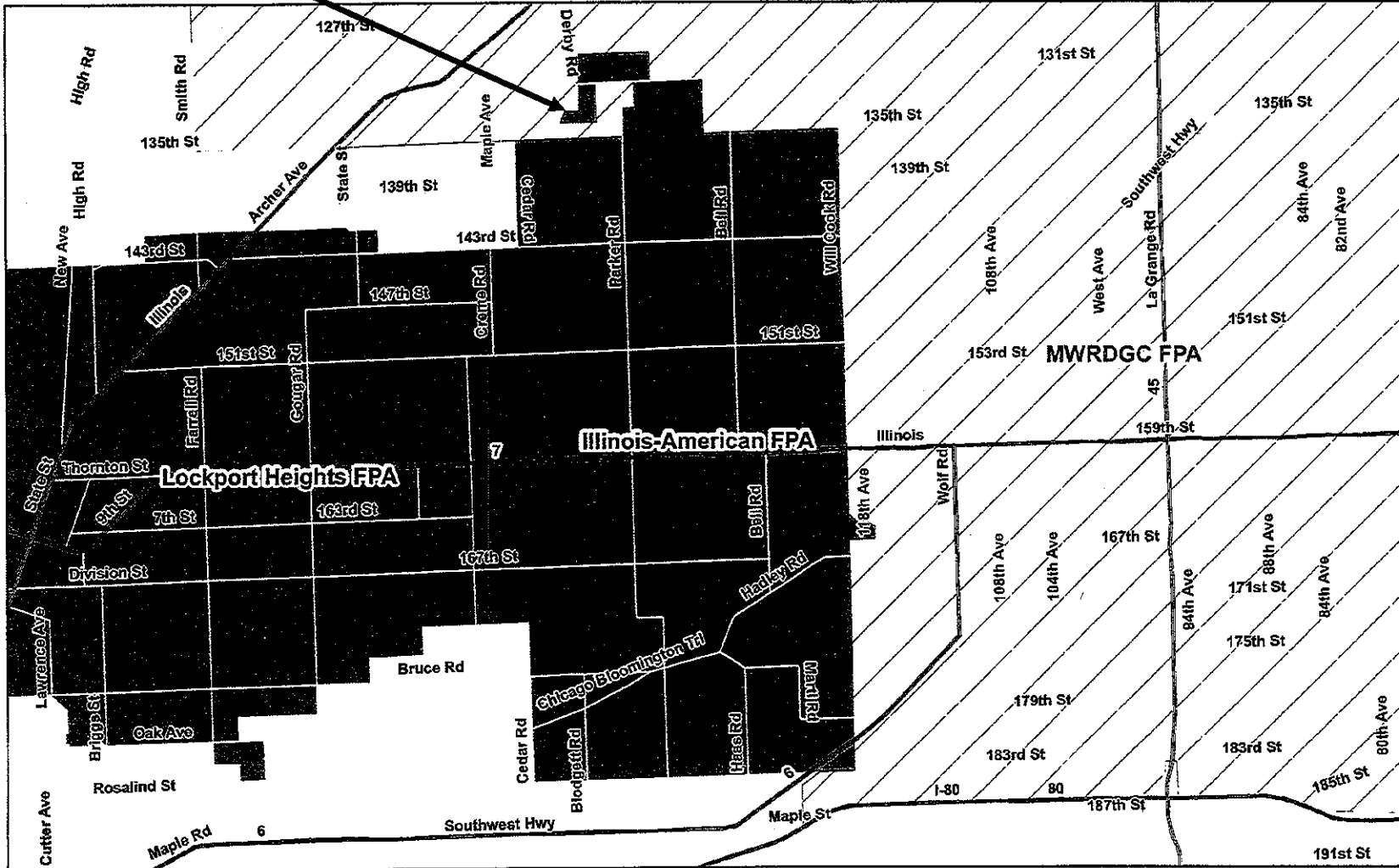
LEGAL DESCRIPTION
AREA TO BE REMOVED FROM ILLINOIS AMERICAN FPA
AND TRANSFERRED TO MWRDGC FPA

THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 34 TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN AND THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER THEREOF; THENCE SOUTH, 10.02 ½ CHAINS; THENCE WEST 6.43 CHAINS, MORE OR LESS TO AN OLD ROAD; THENCE NORTH 17 DEGREES 30 MINUTES EAST, 10.57 CHAINS; THENCE 3.28 CHAINS, MORE OR LESS, TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

EXHIBIT A

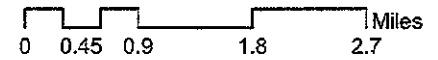
AREA TO BE REMOVED FROM ILLINOIS AMERICAN FPA
AND TRANSFERRED TO MWRDGC FPA

Existing FPA Boundaries

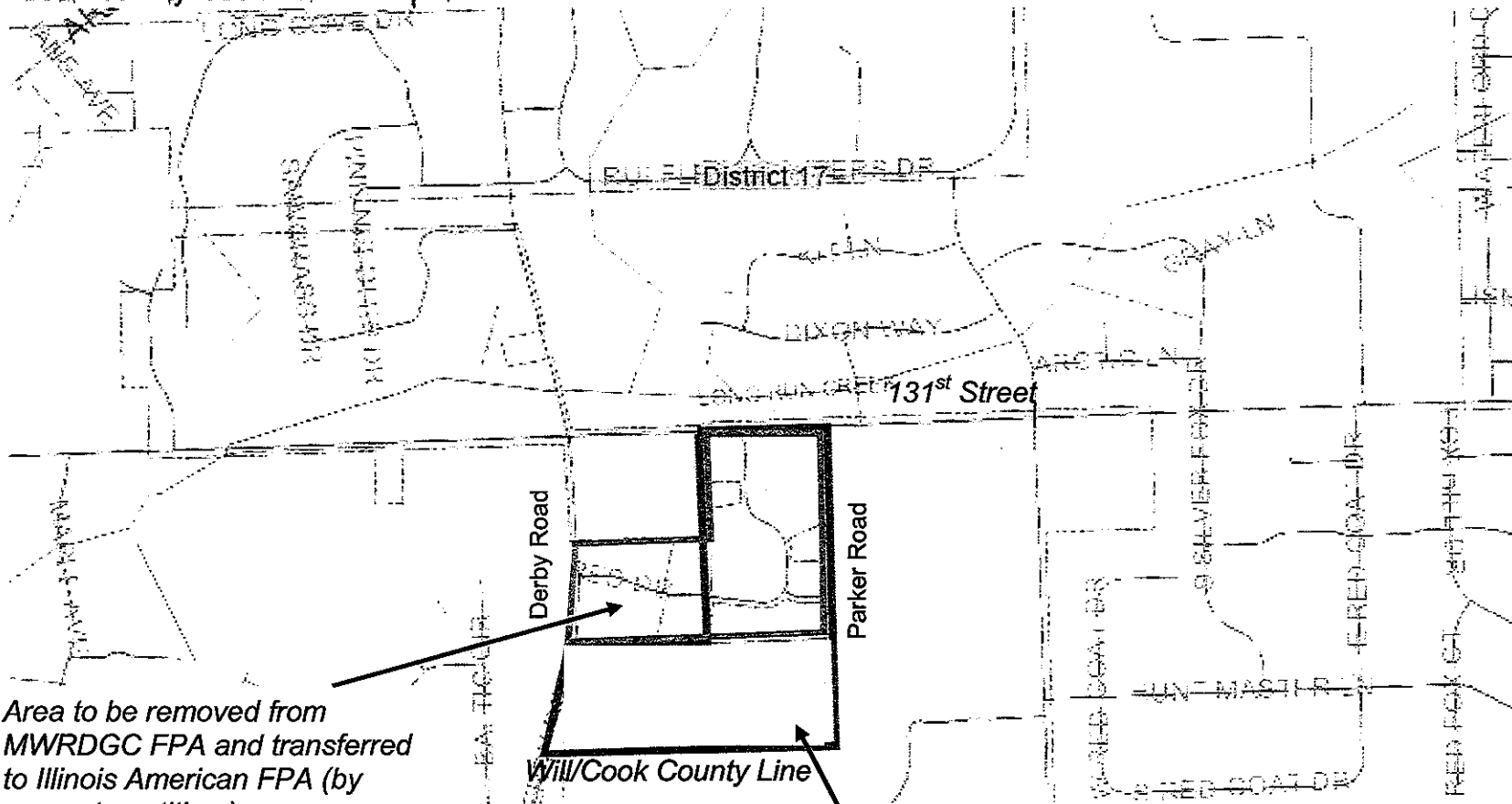


Legend

- Expressways
- Major Roads
- Illinois-American FPA
- Lockport Heights FPA
- MWRDGC FPA



Cook County CookViewer Output



Area to be removed from MWRDGC FPA and transferred to Illinois American FPA (by separate petition.)

1:15000

© 2009 Cook County

All Cook County geospatial data and maps are copyrighted.

All materials appearing on the web site are transmitted without warranty of any kind and are subject to the terms of the disclaimer.

COOKVIEWER

www.cookcountygov.com/cookviewer

Area to be removed from Illinois American FPA and transferred to MWRDGC FPA

Glen Oak Estates Conceptual Neighborhood Plan




© 2011 Teska Associates, Inc.

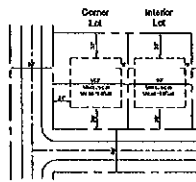
Lemont, Illinois
18 May 2011

Site Data:

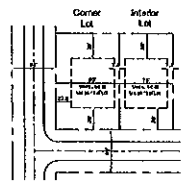
Gross Site Area <small>(Prior to Perimeter R.O.W. Expansion)</small>	131.14
Net Site Area <small>(After Perimeter R.O.W. Expansion)</small>	125.82
Total Units	247
Density	1.96 d.u./ac.
Naturalized Open Space <small>(Open Space Corridors, Buffers, Woodland Preserve, Detention)</small>	41.06 ac.
Normalized Open Space <small>(Neighborhood Commons, Rambleway, Amusement)</small>	2.54 ac.
Total Gross Open Space	43.49 ac.
Percentage Gross Open Space	35%
Total Net Open Space <small>(All Open Space Except Detention - 7.33 ac)</small>	36.36 ac.
Percentage Net Open Space	29%

Product Data:

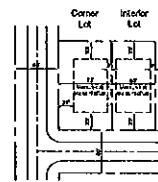
 12,150 s.f. Single Family Lots (60' x 135')	93 units
 10,125 s.f. Single Family Lots (75' x 135')	87 units
 7,500 s.f. Single Family Lots (60' x 125')	67 units
Total Units — 247 units	



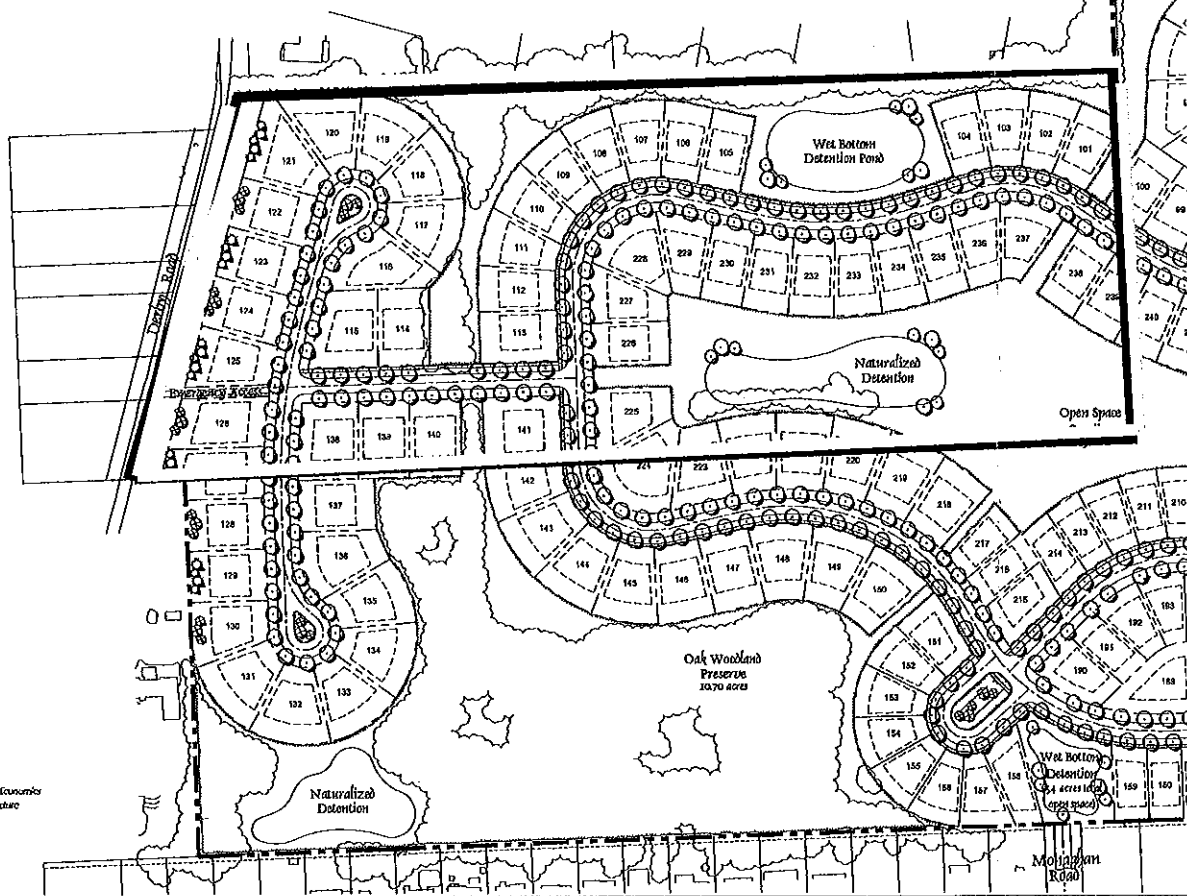
12,150 s.f. Lot Details



10,125 s.f. Lot Details



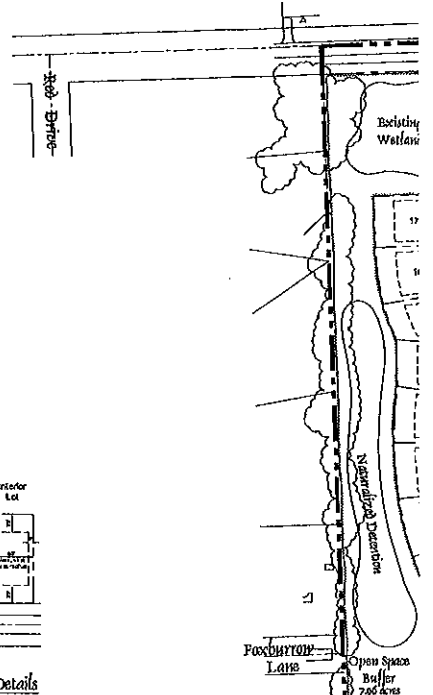
7,500 s.f. Lot Details



Designed By:



Community Planning Development (residential)
Site Design Landscape Architecture
827 Grove Street
Evanston, Illinois 60201
Tel 847.838.2015
Fax 847.838.2050



**LOCATION MAP OF SANITARY SEWER
CONSTRUCTED UNDER MWDCC PERMIT 05-528
TO SERVE THE FPA AMENDMENT SITE.**

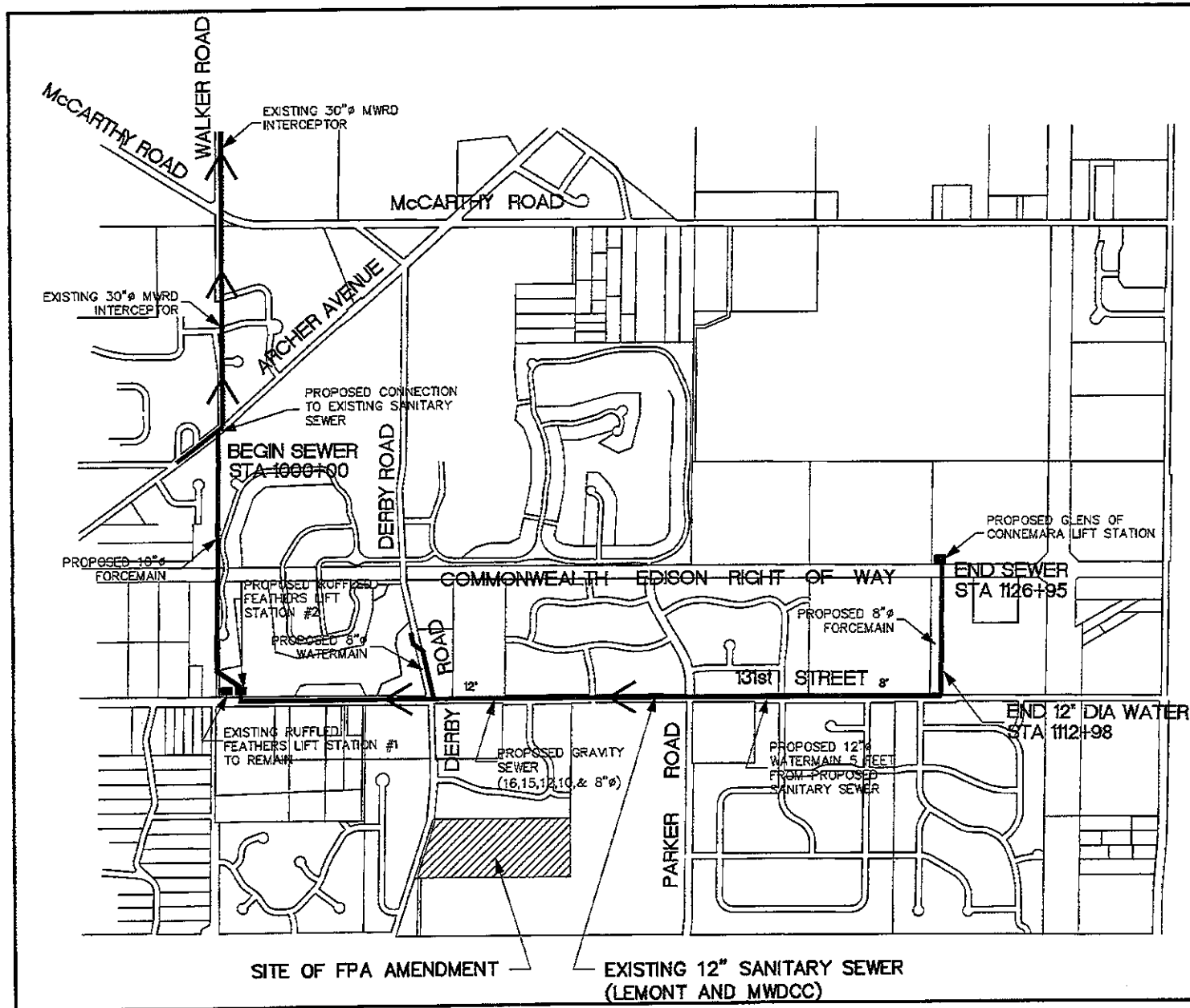


EXHIBIT E

Village Board

Agenda Memorandum

Item #

to: Mayor Brian K. Reaves
Village Board of Trustees

from: James L. Cainkar, P.E., P.L.S., Acting Village Engineer

subject: Logan Street Water Main Replacement:
West of Valley View Drive to Park Place

date: May 8, 2012

BACKGROUND

Thirteen (13) bids were received on May 8, 2012 at 10:00 am for the Logan Street Water Main Replacement Project, which work consists of the construction of 8-inch water main in trench; pressure connections; gate valves; hydrants; water service reconnections; pavement removal; pavement patching; and all appurtenant construction. The low bidder was Riccio Construction Company, which bid was in the amount of \$194,988.00. The bid was \$4,752.00 (2.50%) above the Engineer's Estimate of \$190,236.00.

PROS/CONS/ALTERNATIVES

Award of this bid will have this work completed in a timely and expeditious manner.

RECOMMENDATION

Award of the Logan Street Water Main Replacement Project to Riccio Construction Company, based on their bid amount \$194,988.00.

ATTACHMENTS

- Resolution Authorizing Award of Contract
- Letter of Award Recommendation; and
- Bid Tabulation listing the bid received, including company name, address and amount of bid.

VILLAGE BOARD ACTION REQUIRED

Approval of Resolution awarding the contract to Riccio Construction Company.

RESOLUTION _____

**RESOLUTION AUTHORIZING AWARD OF CONTRACT
FOR THE LOGAN STREET WATER MAIN REPLACEMENT PROJECT**

WHEREAS, the Village of Lemont requires that the Logan Street Water Main Replacement Project be completed; and

WHEREAS, the Village seeks to utilize the construction firm of Riccio Construction Company for such work; and

WHEREAS Riccio Construction Company submitted a low bid for such work in the amount of \$194,988.00;

NOW, THEREFORE, BE IT RESOLVED, by the President and Board of Trustees that the Contract with Riccio Construction Company is hereby approved.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL AND DuPAGE, ILLINOIS, on this 14th day of May, 2012.

AYES

NAYS

PASSED

ABSENT

Debby Blatzer
Paul Chialdikas
Clifford Miklos
Rick Sniegowski
Ronald Stapleton
Jeanette Virgilio

CHARLENE SMOLLEN, Village Clerk

Approved by me this 14th day of May, 2012.

A t t e s t:

BRIAN K. REAVES, Village President

CHARLENE SMOLLEN, Village Clerk

Approved as to form: _____

Jeff Stein, Village Attorney

Date: _____



Frank Novotny & Associates, Inc.

825 Midway Drive ♦ Willowbrook, IL ♦ 60527 ♦ Telephone: (630) 887-8640 ♦ Fax: (630) 887-0132

Civil Engineers/
Municipal Consultants

May 8, 2012

Mr. Ben Wehmeier
Administrator
Village of Lemont
418 Main Street
Lemont, Illinois 60439

Re: **Logan Street Water Main Replacement: Valley View Drive to Park Place**

Dear Ben:

Listed below and on the attached "Bid Tabulation", please find the results of the May 8 2012 bid opening for the above-captioned project. Thirteen (13) bids were received and tabulated, with no errors being found. A summary is as follows:

Riccio Construction Company	\$	194,988.00
Gerardi Sewer & Water		196,080.00
Suburban General Construction		196,473.00
D. Construction, Inc.		200,000.00
Conley Excavating, Inc.		200,364.05
Unique Plumbing, Inc.....		208,978.62
Austin Tyler Construction.....		215,701.00
Len Cox & Sons Excavating		224,134.00
Crystal Sewer & Water		227,399.00
PirTano Construction Co.		236,700.00
Bisping Construction Company		243,955.00
Swallow Construction, Inc.		256,736.00
Sheridan Plumbing & Sewer		261,182.60
 Engineer's Estimate	 \$	 190,236.00

The low bid submitted by Riccio Construction Company, in the amount of \$194,988.00, is \$4,752.00 (2.50%) above the Engineer's Estimate of \$190,236.00. Riccio Construction Company has satisfactorily performed this type of work in the Village previously. We, therefore, recommend that the Contract be awarded to **Riccio Construction Company, P.O. Box 672, Palos Park, IL 60464**, in the amount of **\$194,988.00**.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Very truly yours,

FRANK NOVOTNY & ASSOCIATES, INC.

James L. Cainkar, P.E., P.L.S.

JLC/dn

Enclosure

cc: Mr. Ralph Pukula, Director of Public Works, w/Enc.
Mr. Gerry Turrise, Water Supt., w/Enc.
Ms. Linda Molitor, Executive Assistant, w/Enc.
File No. 12092

TABULATION OF BIDS

OWNER: Village of Lemont
 PROJECT DESCRIPTION: Logan Street Water Main Replacement:
 Valley View Drive to Park Place
 BID OPENING: May 8, 2012 @ 10:00 am

PROJECT NO : 12092

Item No	Description	Unit	Quantity	Engineers Estimate		Riccio Construction Co. P.O. Box 672 Palos Park, IL 60464 5% Bid Bond		Gerardi Sewer & Water 4620 North Osage Norridge, IL 60706 5% Bid Bond		Suburban General Constr. 1019 East 31st Street LaGrange Park, IL 60586 5% Bid Bond		D. Construction, Inc. 1488 South Broadway Coal City, IL 60416 5% Bid Bond		Conley Excavating, Inc. 1555 Gramercy Place Morris, IL 60440 5% Bid Bond		Unique Plumbing, Inc. 9408 West 47th Street Brookfield, IL 60513 5% Bid Bond	
				Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount
1	Water Main in Trench, Ductile Iron, 4"	FOOT	26	40.00	1,040.00	52.00	1,352.00	42.00	1,092.00	50.00	1,300.00	90.00	2,340.00	67.00	1,742.00	80.00	2,080.00
2	Water Main in Trench, Ductile Iron, 6"	FOOT	17	45.00	765.00	54.00	918.00	46.00	782.00	60.00	1,020.00	90.00	1,530.00	68.00	1,156.00	80.00	1,360.00
3	Water Main in Trench, Ductile Iron, 8"	FOOT	853	55.00	46,915.00	59.00	50,327.00	56.00	47,768.00	67.00	57,151.00	80.00	68,240.00	58.75	50,113.75	72.80	62,098.40
4	Water Main in Encasing Pipe, Ductile Iron, 8"	FOOT	28	55.00	1,540.00	50.00	1,400.00	35.00	980.00	67.00	1,876.00	80.00	2,240.00	73.00	2,044.00	40.00	1,120.00
5	Encasing Pipe in Trench, PVC (C-900), 12"	FOOT	28	60.00	1,680.00	29.00	812.00	50.00	1,400.00	75.00	2,100.00	80.00	2,240.00	45.00	1,260.00	50.00	1,400.00
6	Polyethylene Encasement	FOOT	924	1.00	924.00	1.00	924.00	1.00	924.00	1.00	924.00	1.00	924.00	5.00	4,620.00	0.80	739.20
7	Gate Valves, 8"	EACH	3	1,200.00	3,600.00	1,300.00	3,900.00	1,175.00	3,525.00	4,000.00	12,000.00	1,500.00	4,500.00	1,320.00	3,960.00	1,200.00	3,600.00
8	Valve Vaults, Type A, 5' Dia.	EACH	2	2,500.00	5,000.00	2,000.00	4,000.00	1,800.00	3,600.00	3,500.00	7,000.00	1,500.00	3,000.00	1,500.00	3,000.00	2,000.00	4,000.00
9	Valve Box, Cast Iron, 6"	EACH	3	250.00	750.00	200.00	600.00	275.00	825.00	500.00	1,500.00	150.00	450.00	170.00	510.00	950.00	2,850.00
10	Fire Hydrants	EACH	4	3,700.00	14,800.00	3,700.00	14,800.00	3,900.00	15,600.00	6,000.00	24,000.00	4,500.00	18,000.00	3,300.00	13,200.00	3,400.00	13,600.00
11	Remove Existing Fire Hydrants	EACH	4	400.00	1,600.00	490.00	1,960.00	500.00	2,000.00	250.00	1,000.00	300.00	1,200.00	450.00	1,800.00	300.00	1,200.00
12	Pressure Connection, 6" X 6"	EACH	1	3,000.00	3,000.00	3,800.00	3,800.00	3,850.00	3,850.00	4,800.00	4,800.00	3,500.00	3,500.00	2,580.00	2,580.00	2,699.50	2,699.50
13	Pressure Connection, 8" X 8"	EACH	1	3,500.00	3,500.00	4,500.00	4,500.00	4,500.00	4,500.00	4,800.00	4,800.00	4,300.00	4,300.00	3,200.00	3,200.00	3,365.00	3,365.00
14	Connection to Existing Water Main, 4"	EACH	3	1,000.00	3,000.00	3,400.00	10,200.00	2,200.00	6,600.00	2,500.00	7,500.00	1,350.00	4,050.00	1,800.00	5,400.00	2,100.00	6,300.00
15	Disconnect & Cap Existing Water Main, 4"	EACH	3	800.00	2,400.00	650.00	1,950.00	650.00	1,950.00	750.00	2,250.00	500.00	1,500.00	250.00	750.00	1,700.00	5,100.00
16	Disconnect & Cap Existing Water Main, 6"	EACH	1	800.00	800.00	1,600.00	1,600.00	1,075.00	1,075.00	750.00	750.00	500.00	500.00	400.00	400.00	1,800.00	1,800.00
17	Disconnect & Cap Existing Water Main, 8"	EACH	1	800.00	800.00	1,600.00	1,600.00	1,075.00	1,075.00	750.00	750.00	500.00	500.00	400.00	400.00	1,800.00	1,800.00
18	Water Service Reconnection, 1 1/2", Near Side, With New Buffalo Box	EACH	7	1,600.00	11,200.00	1,225.00	8,575.00	1,650.00	11,550.00	1,250.00	8,750.00	1,150.00	8,050.00	1,000.00	7,000.00	1,543.30	10,803.10
19	Water Service Reconnection, Far Side	EACH	10	500.00	5,000.00	1,425.00	14,250.00	1,250.00	12,500.00	1,250.00	12,500.00	1,050.00	10,500.00	740.00	7,400.00	1,314.45	13,144.50
20	Water Service Line, 1-1/2"	FOOT	120	22.00	2,640.00	46.00	5,520.00	15.00	1,800.00	10.00	1,200.00	10.00	1,200.00	40.50	4,860.00	30.00	3,600.00
21	Valve Box to be Removed	EACH	5	600.00	3,000.00	70.00	350.00	100.00	500.00	100.00	500.00	50.00	250.00	150.00	750.00	100.00	500.00
22	Combination Curb and Gutter Removal	FOOT	130	4.00	520.00	6.00	780.00	3.00	390.00	1.00	130.00	4.00	520.00	7.00	910.00	3.00	390.00
23	Pipe Fittings (Mechanical Joints), Ductile Iron	LBS	1500	3.50	5,250.00	4.00	6,000.00	4.50	6,750.00	0.25	375.00	0.10	150.00	7.75	11,625.00	6.47	9,705.00
24	Selected Granular Backfill, CA-6	CU YD	850	35.00	29,750.00	23.00	19,550.00	26.00	22,100.00	12.00	10,200.00	27.00	22,950.00	32.00	27,200.00	18.00	15,300.00
25	Class "D" Patch, Type IV, 3"	SQ YD	630	40.00	25,200.00	34.00	21,420.00	34.00	21,420.00	35.00	22,050.00	40.00	25,200.00	43.00	27,090.00	40.32	25,401.60
26	Combination Concrete Curb and Gutter, Type B-6.12	FOOT	130	30.00	3,900.00	26.00	3,380.00	20.00	2,600.00	5.00	650.00	15.00	1,950.00	36.00	4,680.00	30.00	3,900.00
27	Concrete Driveway Pavement Removal	SQ YD	66	15.00	990.00	7.00	462.00	9.00	594.00	1.00	66.00	5.00	330.00	9.00	594.00	10.00	660.00
28	PC Concrete Driveway Pavement, 7"	SQ YD	66	60.00	3,960.00	58.00	3,828.00	50.00	3,300.00	40.00	2,640.00	60.00	3,960.00	51.00	3,366.00	56.00	3,696.00
29	Thermoplastic Pavement Marking - Line 6"	FOOT	64	8.00	512.00	25.00	1,600.00	20.00	1,280.00	24.00	1,536.00	15.00	960.00	4.70	300.80	26.88	1,720.32
30	Thermoplastic Pavement Marking - Line 24"	FOOT	15	20.00	300.00	66.00	990.00	50.00	750.00	65.00	975.00	50.00	750.00	13.50	202.50	72.80	1,092.00
31	Topsoil Furnish and Place, 4"	CU YD	20	50.00	1,000.00	30.00	600.00	40.00	800.00	14.00	280.00	20.00	400.00	40.00	800.00	56.00	1,120.00
32	Sodding	SQ YD	150	6.00	900.00	8.00	1,200.00	8.00	1,200.00	6.00	900.00	8.00	1,200.00	7.00	1,050.00	16.00	2,400.00
33	Insurance Provisions-Complete	L SUM	1	4,000.00	4,000.00	2,500.00	2,500.00	11,000.00	11,000.00	3,000.00	3,000.00	2,816.00	2,816.00	7,000.00	7,000.00	2,000.00	2,000.00
Totals:					180,236.00		194,855.00		196,080.00		196,473.00		200,000.00		200,364.05		206,878.62
Bid Error Corrections:																	
Corrected Totals ---							194,988.00		196,080.00		196,473.00		200,000.00		200,364.05		206,878.62
Over / Under ----							4,752.00		5,844.00		5,237.00		9,764.00		10,128.05		18,742.62
Percent ----							2.50%		3.07%		3.28%		5.13%		5.32%		9.85%

OWNER: Village of Lemont
 PROJECT DESCRIPTION: Logan Street Water Main Replacement
 Valley View Drive to Park Place
 BID OPENING: May 8, 2012 @ 10:00 am

PROJECT NO: 12092

Item No	Description	Unit	Quantity	Engineers Estimate		Austin Tyler Construction 23343 S. Ridge Road Elwood, IL 60421 5% Bid Bond		Lan Cox & Sons Excav. 151 Springfield Ave., Ste 10 Joliet, IL 60435 5% Bid Bond		Crystal Sewer & Water 1733 Terry Drive Joliet, IL 60436 5% Bid Bond		PirTano Construction Co. 1766 Armitage Court Addison, IL 60101 5% Bid Bond		Bisping Construction Co. P.O. Box 654 New Lenox, IL 60451 5% Bid Bond		Swallow Construction, Inc. 4250 Lacey Road Downers Grove, IL 60515 5% Bid Bond	
				Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount
1	Water Main in Trench, Ductile Iron, 4"	FOOT	26	40.00	1,040.00	60.00	1,560.00	60.00	1,500.00	88.00	2,288.00	44.00	1,144.00	197.00	5,122.00	55.00	1,430.00
2	Water Main in Trench, Ductile Iron, 6"	FOOT	17	45.00	765.00	66.00	1,122.00	60.00	1,020.00	84.00	1,428.00	44.00	748.00	277.00	4,709.00	60.00	1,020.00
3	Water Main in Trench, Ductile Iron, 8"	FOOT	853	55.00	46,915.00	64.00	54,592.00	51.00	43,503.00	84.00	71,652.00	67.00	57,151.00	88.00	75,064.00	65.00	55,445.00
4	Water Main in Encasing Pipe, Ductile Iron, 8"	FOOT	28	65.00	1,840.00	41.00	1,148.00	47.00	1,316.00	110.50	3,094.00	74.00	2,072.00	120.00	3,360.00	56.00	1,568.00
5	Encasing Pipe in Trench, PVC (C-900), 12"	FOOT	28	60.00	1,680.00	40.00	1,120.00	68.00	1,904.00	130.00	3,640.00	36.00	1,008.00	120.00	3,360.00	35.00	980.00
6	Polyethylene Encasement	FOOT	924	1.00	924.00	1.00	924.00	1.00	924.00	1.00	924.00	1.00	924.00	1.00	924.00	2.00	1,848.00
7	Gate Valves, 8"	EACH	3	1,200.00	3,600.00	2,000.00	6,000.00	1,750.00	5,250.00	1,375.00	4,125.00	1,050.00	3,150.00	2,000.00	6,000.00	1850.00	5,550.00
8	Valve Vaults, Type A, 5' Dia.	EACH	2	2,500.00	5,000.00	1,700.00	3,400.00	1,950.00	3,900.00	1,700.00	3,400.00	2,100.00	4,200.00	1,000.00	2,000.00	100.00	200.00
9	Valve Box, Cast Iron, 6"	EACH	3	260.00	780.00	500.00	1,500.00	700.00	2,100.00	525.00	1,575.00	200.00	600.00	200.00	600.00	225.00	675.00
10	Fire Hydrants	EACH	4	3,700.00	14,800.00	4,000.00	16,000.00	3,750.00	15,000.00	4,580.00	18,320.00	3,600.00	14,400.00	3,000.00	12,000.00	7500.00	30,000.00
11	Remove Existing Fire Hydrants	EACH	4	400.00	1,600.00	650.00	2,600.00	1,325.00	5,300.00	345.00	1,380.00	200.00	800.00	1,000.00	4,000.00	250.00	1,000.00
12	Pressure Connection, 6" X 6"	EACH	1	3,000.00	3,000.00	2,500.00	2,500.00	3,600.00	3,600.00	4,700.00	4,700.00	3,363.00	3,363.00	3,000.00	3,000.00	5,500.00	5,500.00
13	Pressure Connection, 8" X 8"	EACH	1	3,500.00	3,500.00	3,000.00	3,000.00	3,800.00	3,800.00	5,415.00	5,415.00	3,900.00	3,900.00	4,000.00	4,000.00	6,250.00	6,250.00
14	Connection to Existing Water Main, 4"	EACH	3	1,000.00	3,000.00	1,500.00	4,500.00	2,235.00	6,705.00	2,945.00	8,835.00	2,700.00	8,100.00	4,000.00	12,000.00	3,250.00	9,750.00
15	Disconnect & Cap Existing Water Main, 4"	EACH	3	800.00	2,400.00	2,000.00	6,000.00	2,200.00	6,600.00	1,555.00	4,665.00	500.00	1,500.00	2,000.00	6,000.00	1,750.00	5,250.00
16	Disconnect & Cap Existing Water Main, 6"	EACH	1	800.00	800.00	2,000.00	2,000.00	2,250.00	2,250.00	1,670.00	1,670.00	700.00	700.00	2,000.00	2,000.00	1,750.00	1,750.00
17	Disconnect & Cap Existing Water Main, 8"	EACH	1	800.00	800.00	2,000.00	2,000.00	2,345.00	2,345.00	1,710.00	1,710.00	700.00	700.00	2,000.00	2,000.00	1,750.00	1,750.00
18	Water Service Reconnection, 1 1/2", Near Side, With New Buffalo Box	EACH	7	1,600.00	11,200.00	1,600.00	11,200.00	1,400.00	9,800.00	1,260.00	8,820.00	1,680.00	13,160.00	1,000.00	7,000.00	2,100.00	14,700.00
19	Water Service Reconnection, Far Side	EACH	10	500.00	5,000.00	1,200.00	12,000.00	1,800.00	18,000.00	1,690.00	16,900.00	1,400.00	14,000.00	2,000.00	20,000.00	2,900.00	29,000.00
20	Water Service Line, 1-1/2"	FOOT	120	22.00	2,640.00	34.00	4,080.00	40.00	4,800.00	40.00	4,800.00	27.00	3,240.00	20.00	2,400.00	9.00	1,080.00
21	Valve Box to be Removed	EACH	5	600.00	3,000.00	275.00	1,375.00	45.00	225.00	195.00	975.00	200.00	1,000.00	100.00	500.00	45.00	225.00
22	Combination Curb and Gutter Removal	FOOT	130	4.00	520.00	10.00	1,300.00	4.00	520.00	13.00	1,690.00	6.00	780.00	10.00	1,300.00	2.00	260.00
23	Pipe Fittings (Mechanical Joints), Ductile Iron	LBS	1500	3.50	5,250.00	7.00	10,500.00	9.00	13,500.00	0.01	15.00	4,000.00	6,000.00	3.00	4,500.00	6.50	9,750.00
24	Selected Granular Backfill, CA-6	CU YD	850	35.00	29,750.00	30.00	25,500.00	30.00	25,500.00	12.00	10,200.00	34.00	28,900.00	20.00	17,000.00	30.00	25,500.00
25	Class "D" Patch, Type IV, 3"	SQ YD	630	40.00	25,200.00	27.00	17,010.00	44.00	27,720.00	40.50	25,515.00	67.00	42,210.00	40.00	25,200.00	35.00	22,050.00
26	Combination Concrete Curb and Gutter, Type B-B-12	FOOT	130	30.00	3,900.00	60.00	7,800.00	38.00	4,940.00	35.50	4,615.00	32.00	4,160.00	30.00	3,900.00	50.00	6,500.00
27	Concrete Driveway Pavement Removal	SQ YD	66	15.00	990.00	10.00	660.00	7.00	462.00	19.50	1,287.00	10.00	660.00	10.00	660.00	7.50	495.00
28	PC Concrete Driveway Pavement, 7"	SQ YD	66	60.00	3,960.00	85.00	5,610.00	47.00	3,102.00	67.00	4,422.00	51.00	3,366.00	100.00	6,600.00	80.00	5,280.00
29	Thermoplastic Pavement Marking - Line 6"	FOOT	64	8.00	512.00	25.00	1,600.00	30.00	1,920.00	31.00	1,984.00	16.00	1,024.00	4.00	256.00	10.00	640.00
30	Thermoplastic Pavement Marking - Line 24"	FOOT	15	20.00	300.00	70.00	1,050.00	68.00	1,020.00	123.00	1,845.00	34.00	510.00	200.00	3,000.00	20.00	300.00
31	Topsoil Furnish and Place, 4"	CU YD	20	50.00	1,000.00	115.00	2,300.00	70.00	1,400.00	30.50	610.00	34.00	680.00	75.00	1,500.00	77.00	1,540.00
32	Sodding	SQ YD	150	6.00	900.00	15.00	2,250.00	16.00	2,400.00	20.00	3,000.00	17.00	2,550.00	20.00	3,000.00	13.00	1,950.00
33	Insurance Provisions-Complete	L SUM	1	4,000.00	4,000.00	1,500.00	1,500.00	1,800.00	1,800.00	1,900.00	1,900.00	10,000.00	10,000.00	1,000.00	1,000.00	7,500.00	7,500.00
Totals:					180,236.00		215,701.00		224,134.00		227,399.00		236,700.00		243,955.00		256,736.00
Bid Error Corrections:																	
Corrected Totals ---							215,701.00		224,134.00		227,399.00		236,700.00		243,955.00		256,736.00
Over / Under ----							25,465.00		33,898.00		37,163.00		46,464.00		53,719.00		66,500.00
Percent ----							13.39%		17.82%		19.54%		24.42%		28.24%		34.96%

Resolution No. _____

**A Resolution Approving an Intergovernmental Agreement with
Lemont-Bromberek Combined School District 113A**

BE IT RESOLVED by the Village President and Board of Trustees of the Village of Lemont as follows:

SECTION ONE: The Village Board finds that it is necessary, convenient and in the interest of the Village to enter into an Intergovernmental Agreement with the Lemont-Bromberek Combined School District 113A to facilitate temporarily relocation of a portion of the Village’s municipal offices from Village Hall to 410 McCarthy Road, Lemont, Illinois during the reconstruction of Village Hall.

SECTION TWO: The Village Administrator and Village Attorney are hereby authorized to negotiate and enter into such an Intergovernmental Agreement with the Lemont-Bromberek Combined School District 113A and further, the Mayor and/or Village Administrator are authorized to execute such Intergovernmental Agreement in the form satisfactory to the Village Administrator and Village Attorney; to make minor changes to the document prior to execution which do not materially increase the Village’s obligations; and to take any other steps necessary to carry out this resolution.

PASSED AND APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LEMONT, COUNTIES OF COOK, WILL AND DUPAGE, ILLINOIS on this 14th day of May, 2012.

PRESIDENT AND VILLAGE BOARD MEMBERS:

	AYES:	NAYS:	ABSENT:	ABSTAIN
Debby Blatzer	_____	_____	_____	_____
Paul Chialdikas	_____	_____	_____	_____
Clifford Miklos	_____	_____	_____	_____
Ron Stapleton	_____	_____	_____	_____
Rick Sniegowski	_____	_____	_____	_____
Jeanette Virgilio	_____	_____	_____	_____

BRIAN K. REAVES
President

ATTEST:

CHARLENE M. SMOLLEN
Village Clerk